

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10417 Armory Avenue, Kensington	Meeting Date:	8/16/2023
Resource:	Secondary Resource Kensington Historic District	Report Date:	8/9/2023
Applicant:	Frankly Pizza (Frank Linn, Agent)	Public Notice:	8/2/2023
Review:	HAWP	Tax Credit:	No
Permit Number:	1038875	Staff:	John Liebertz
PROPOSAL:	Construction of awning and lattice.		

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with five (5) conditions** the HAWP application with final review and approval delegated to staff:

1. The applicant shall submit a proposed floorplan.
2. The applicant shall submit a specification sheet or detail for the corrugated metal roof.
3. The applicant shall submit a specification sheet for the lattice which could be wood or painted cellular PVC.
4. The applicant shall submit a specification sheet for the band board (fascia) which could be wood or painted cellular PVC.
5. The applicant shall clarify whether there are skylights or vents in the corrugated roof since “Sheet A-2.0 – Proposed Right Elevation” depicts unlabeled openings and submit specification sheets if applicable.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Secondary Resource within the Kensington Park Historic District
STYLE: Commercial
DATE: c. 1956



Figure 1: The subject property at 10417 Armory Avenue is located mid-block on the east side of Kensington Avenue. The red outline is the boundary of the Kensington Master Plan Historic District.

PROPOSAL

The applicant proposes to demolish and replace the existing metal-frame, removable cloth awning that shelters the courtyard to the south of 10417 Armory Avenue with a permanent corrugated metal, shed roof. The roof would be supported by wood posts attached to the existing masonry wall. Lattice would infill the spaces between the masonry wall and roof.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Kensington Historic District. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A), Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

The *Amendment* notes that:

The district is architecturally significant as a collection of late 19th and early 20th century houses exhibit a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake, and Colonial Revival. The houses share a uniformity of scale, setbacks, and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when

considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change. The *Vision* identifies the following, as those features that help define the character of Kensington's built environment:

- Building Setbacks: Residential and Commercial Patterns
- Rhythm of Spacing between Buildings
- Geographic and Landscape Features
- Scale and Building Height
- Directional Expression of Building
- Roof Forms and Material
- Porches
- Dominant Building Material
- Outbuildings
- Integrity of Form, Building Condition, and Threats
- Architectural Style

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The applicable *Standards* are as follows:

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION



***Figure 2: View of the subject property, 2023.
Source: Montgomery Planning.***

The subject property contains a Secondary Resource in the Kensington Master Plan Historic District. The one-story store consists of a concrete block structural system with a brick veneer that supports a flat roof. P.C. McCurdy built the store for his plumbing business in 1954.¹ Between 1954 and 1963, the property owner constructed one-story additions to the north, east, and southeast of the building. In 1996, the Historic Preservation Commission approved the addition of the wrought-iron gate to create the subject courtyard for a café that operated solely out of the rear of the building

¹ "Montgomery County Lists Recent Building Permits," *Evening Star*, October 16, 1954.

(now part of Frankly Pizza—the tenant and applicant).² Between 2014 and 2017, Frankly Pizza added the metal-framed cloth awning to shelter the exterior seating.³



Figure 3: Historic views of the subject property at 10417 Armory Avenue. The aerial (left) shows the building prior to the construction of the additions to the north and east. The 1950-1963 Sanborn Fire Insurance Map (center) showing the subject property. A 1996 photograph (right) of the courtyard on the right shows the courtyard prior to the approval of the wrought-iron gates.

Source: HistoricAerials.com, Sanborn Fire Insurance Company, and Montgomery Planning.

Staff finds that the proposal meets the applicable guidelines and recommends approval with conditions. The subject property does not contribute to the character of the historic district due to its 1954 date of construction. Furthermore, the building itself is not architecturally significant. Alterations to the property should be given a lenient review, per Chapter 24A-8(d). While the proposal would be visible from the public rights-of-way, the design, scale, and material of the addition would not adversely affect the character of the district (per Standard 2). Staff requests additional information missing from the application. This includes: 1) a proposed floor plan; 2) specification sheet/detail for the corrugated metal roof; 3) specification sheet for the lattice (which could be wood or painted cellular PVC); 4) note or specification sheet for the band board (which could be wood or painted cellular PVC); and 5) clarification, and specifications if applicable, on whether there are skylights or vents in the corrugated roof since “Sheet A-2.0 – Proposed Right Elevation” depicts unlabeled openings.

After full and fair consideration of the applicant’s submission, staff finds the proposal, as modified by the condition, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with the *Secretary of the Interior’s Standards for Rehabilitation #2 and #9*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with five (5) conditions** the HAWP application with final review and approval delegated to staff:

1. The applicant shall submit a proposed floorplan.
2. The applicant shall submit a specification sheet or detail for the corrugated metal roof.
3. The applicant shall submit a specification sheet for the lattice which could be wood or painted cellular PVC.
4. The applicant shall submit a specification sheet for the band board (fascia) which could be wood or painted cellular PVC.

² For more information, see

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640003/Box012/31-6-96L_Kensington%20Historic%20District_10417-C%20Armory%20Ave_07-16-1996.pdf.

³ Staff was unable to find a HAWP associated with the addition of the cloth awning; however, since the proposal calls for its removal no further research or action is required.

5. The applicant shall clarify whether there are skylights or vents in the corrugated roof since “Sheet A-2.0 – Proposed Right Elevation” depicts unlabeled openings and submit specification sheets if applicable.

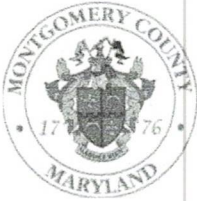
under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Amendment* and *Vision of Kensington: A Long-Range Preservation Plan*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior’s Standards for Rehabilitation #2 and #9*.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff’s discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or john.liebertz@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1038875
DATE ASSIGNED _____

APPLICANT:

Name: Frankly Pizza
Address: 10417 Armory Ave
Daytime Phone: 202-390-2512

E-mail: franklypizza@gmail.com
City: Kensington Zip: 20895
Tax Account No.: 90-0451389

AGENT/CONTACT (if applicable):

Name: Frank Linn
Address: 3008 Collins Ave
Daytime Phone: 202-390-2512

E-mail: franklypizza@gmail.com
City: Silver Spring Zip: 20902
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 10417 Armory Ave

Is the Property Located within an Historic District? Yes/District Name Kensington
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 10417 Street: Armory Ave
Town/City: Kensington Nearest Cross Street: Knowles Ave
Lot: #9 Block: 2 Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>Attached Covered Pergoa</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

7-26-2023
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address RIC 3702 PERRY AVE KENSINGTON, MD, 20895	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Community Title Network 10415 Armory ave Kensington MD, 20895	10421 Armory Avenue, Kensington 20895 3794 Howard Avenue, Kensington, 20895 3786 Howard Avenue, Kensington 20895 3784 Howard Avenue, Kensington 20895 3772 Howard Avenue, Kensington 20895

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

10417 Armory ave is aproxametly 2000 sqft. within a larger building that also includes Potomac Sweets and the Nail Salon. There is a black wrought iron gate leading to the entrance of the 550 sq ft flagstone patio. It is currently a pizza restaurant and is next door to Community Title Network, 10415 Armory ave and is divided by a a driveway.

10417 has a flat roof.

There are 4 parking spots out front with minimal landscaping along the mentioned driveway. There is also a small Chokecherry tree which will not be disturbed. In fact the will be no disruption of any of the landscaping for this project.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The scope of work includes the additon of a simple wood pergola covered with a corrugated metal slanted roof which will cover the entire patio.

Work Item 1: Awning

Description of Current Condition:
Curnnetly the patio is covered with a retractable awning.

Proposed Work:
The awning is to be removed and replaced with a covered pergola

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

BLANK SPACE FOR APPROVED STAMPS

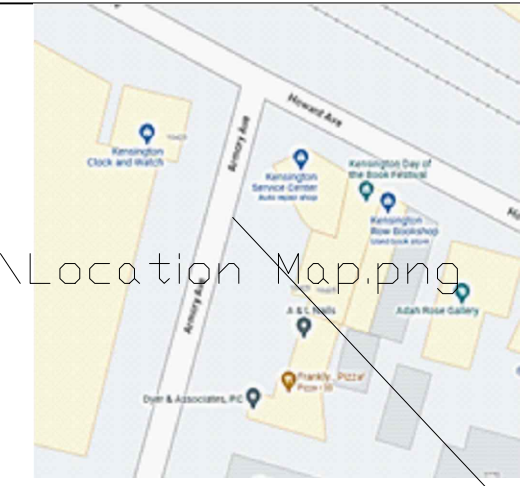
CODE ANALYSIS/PROJECT DATA

SCOPE OF WORK: ALTERATION OF 857 SF EXISTING PATIO WITH OPEN FRAME ROOF TO BE REPLACED WITH IMPROVEMENT. WORK INCLUDE PATCHING OF EXISTING WALL AND FLOOR WITH PAINTING. EXISTING FIXED 24 SEATS TO BE LOCATED PER PLAN. WORK TO INCLUDE RELOCATION OF THE ELECTRICAL LIGHTS, NO PLUMBING OR MECHANICAL WORK.

APPLICABLE CODES: Building: IBC 2018 NFPA 2018 Mechanical: IMC 2018 Plumbing: IPC 2018 Electrical: NFPA 2017 70 NEC Handicap Accessibility: ICC/ANSI A117.1 2010

Table with columns for Use Group, Construction Type, Sprinkler system, Space area, Number of stories, Fire Resistance Ratings, etc.

PROJECT LOCATION MAP

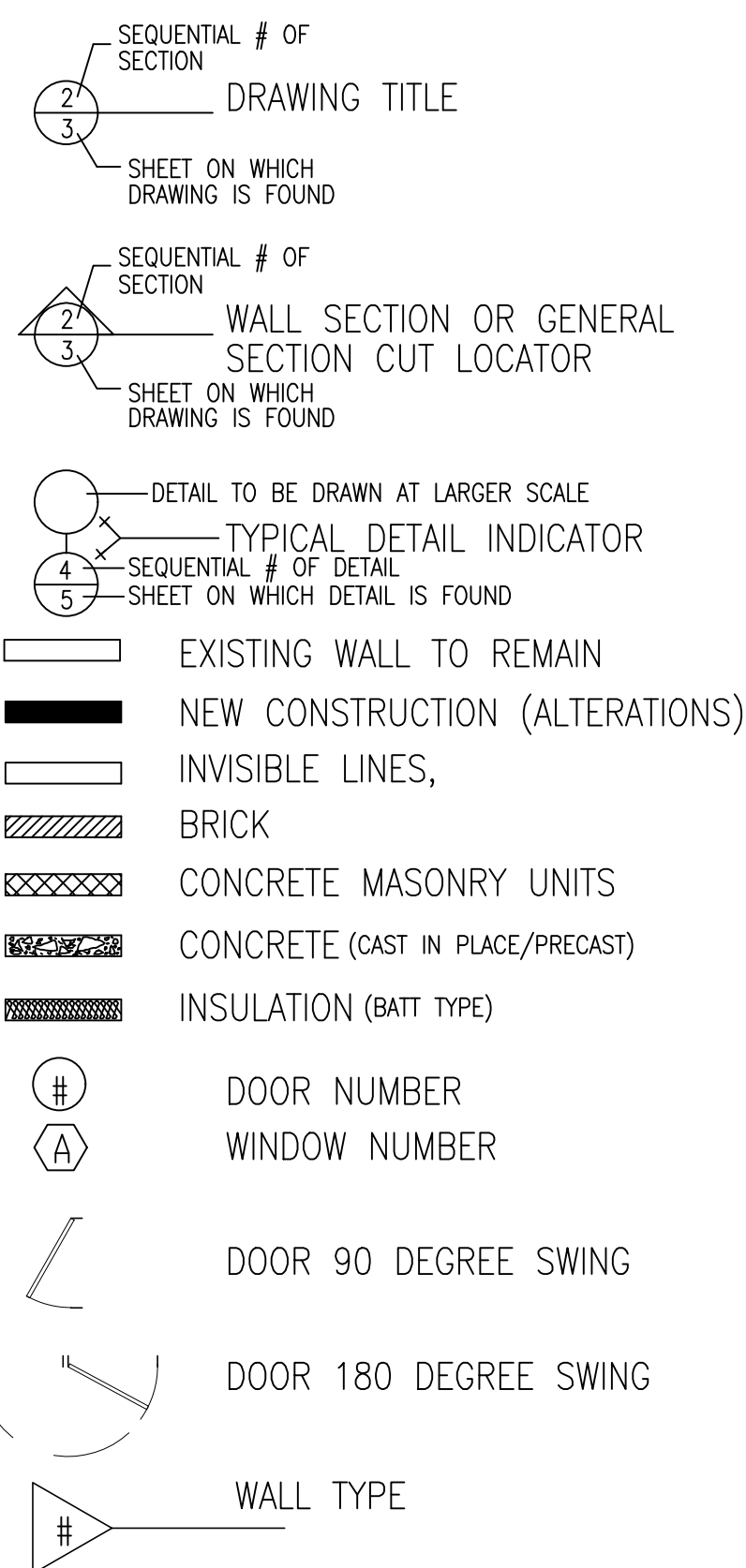


VICINITY MAP NOT TO SCALE PROJCT SITE

GENERAL NOTES

- 1. ALL WORK PERFORMED SHALL COMPLY WITH INTERNATIONAL BUILDING AND CODE ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. 2. ON SITE VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. 3. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. 4. GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE SHOWN. 5. SHOULD THE CONTRACTOR FIND ANY ERROR, AMBIGUITIES AND/OR OMISSIONS IN THE DRAWINGS AND NOTES, OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING HE SHOULD PROMPTLY NOTIFY THE OWNER AND THE ARCHITECT BEFORE ANY PART OF THE WORK INVOLVED IS STARTED. THE CONTRACTOR SHOULD PROCEED ONLY UPON CLARIFICATION FROM THE OWNER AND THE ARCHITECT. 6. THE OWNER WITHOUT INVALIDATING THE CONTRACT MAY ORDER CHANGES IN WORK CONSISTING OF ADDITIONS, DEMOLITION, OR MODIFICATIONS. THE CONTRACT SUM AND TIME BEING ADJUSTED ACCORDINGLY. ALL CHANGES SHALL BE AUTHORIZED IN WRITING BY THE OWNER AND THE ARCHITECT ANY COST OR CREDIT TO THE OWNER FROM A CHANGE IN WORK SHALL BE DETERMINED BY MUTUAL AGREEMENT. 7. ALL DOOR AND WINDOW DIMENSIONS ARE NOMINAL AND SHALL BE COORDINATED WITH OTHER WORK BY CONTRACTORS, SUBCONTRACTORS, AND MANUFACTURER PRIOR TO FABRICATION AND CONSTRUCTION. 8. DIMENSIONS INDICATED MAY VARY FROM SCALED DRAWINGS. 9. OVERALL DIMENSIONS TAKE PRECEDENCE OVER DIMENSIONING DISCREPANCIES ARISING OUT OF THE USE OF NOMINAL AND ACTUAL DIMENSIONS. ADJUST UNIT DIMENSIONS ACCORDINGLY TO ACHIEVE ESTABLISHED ELEVATIONS. SHIM AS REQUIRED. 10. ALL ELECTRICAL WORK TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR. THE CONTRACTOR TO OBTAIN REQUIRED ELECTRICAL PERMIT BEFORE STARTING ANY ELECTRICAL WORK.

DRAWING AND GRAPHIC SYMBOLS



ABBREVIATIONS

Table of abbreviations: AFF Above Finish Floor, BLKG Blocking, BLDG Building, CLG Ceiling, CMU Concrete Masonry Unit, CLR Clear, CO Clean Out, CNTR Counter, CONT Continuous, CSK Countersunk, DET Detail, DN Down, DWGS Drawings, ELEV Elevation, EQ Equal, Ex Existing, FAB Fabricate, F.D. Floor Drain, FAST Fasten, FIXT Fixture, FIN Finish, FR From, GA Gage, GWB Gypsum Wall Board, GYP Gypsum, H.C. Hollow Core, H.S. Heat Strengthened, JST Joist, INSUL Insulation, LAV Lavatory, LB Pound, LLV Long leg vertical, M.O. Masonry Opening, MAS Masonry, MTD Mounted, MT Marble Threshold, NOM Nominal, NTS Not To Scale, OA Overall, OC On Center, PT Pressure Treated, PTD Painted, P-LAM Plastic Laminate, PLYWD Plywood, PSF Pounds per square foot, PSI Pounds per square inch, RO Rough Opening, REQ. Required, REINF Reinforced, RND Round, SF Square Feet, STD Standard, SST Stainless Steel, STL Steel, T.O. Top Of, TYP Typical, VIF Verify in Field, VB Vapor Barrier, WR Water Resistant, W/ With, W/O Without, WD Wood

CAD CONSULTANT

CA CONSTRUCTION SOLUTION, LLC. 5202 KIMANNA DR. CENTREVILLE VA. 20120

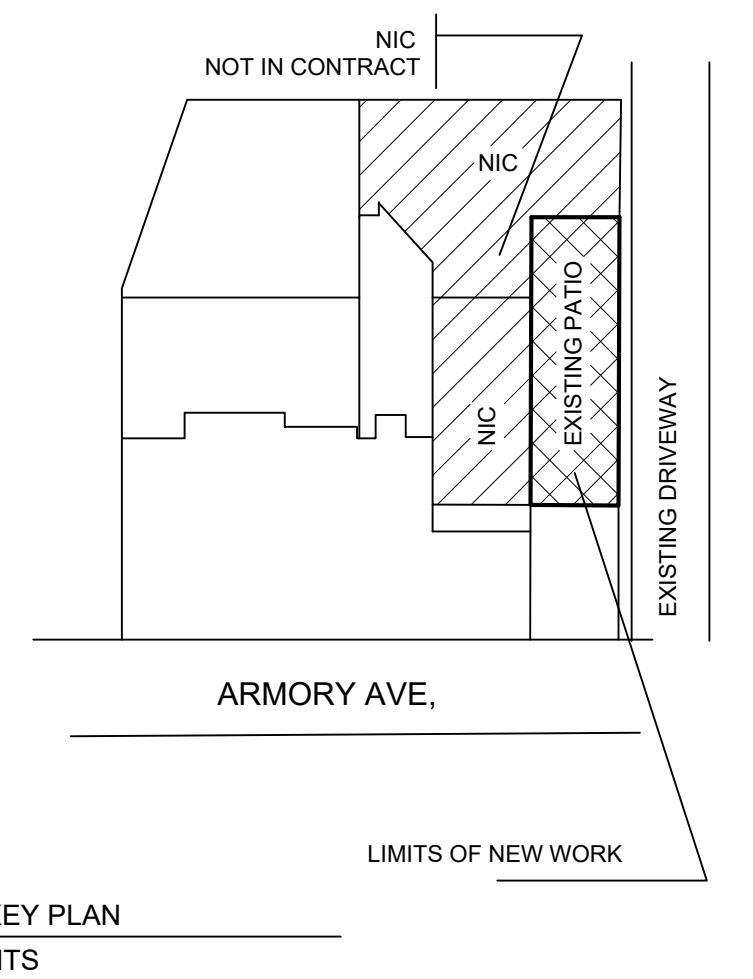
CACONSTRUCTIONOLUTION@GMAIL.COM

(240) 593-2318 (C)

DRAWING INDEX

- A0-01 COVER SHEET General notes, Project data, abbreviation drawing symbols & notes D-1.0 AS BUILT / DEMO. PLAN A-1.0 AS BUILT/PROPOSED PLANS A-2.0 AS BUILT/PROPOSED SECTION, ELEVATIONS F-1.0 FIRE SAFETY PLANS / OCCUPANCY CALCULATION

BLANK SPACE FOR APPROVED STAMPS



EXISTING PATIO ALTERATION

10417 ARMORY AVE, KENSINGTON, MARYLAND 20895

CDC DESIGN, LLC.

DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

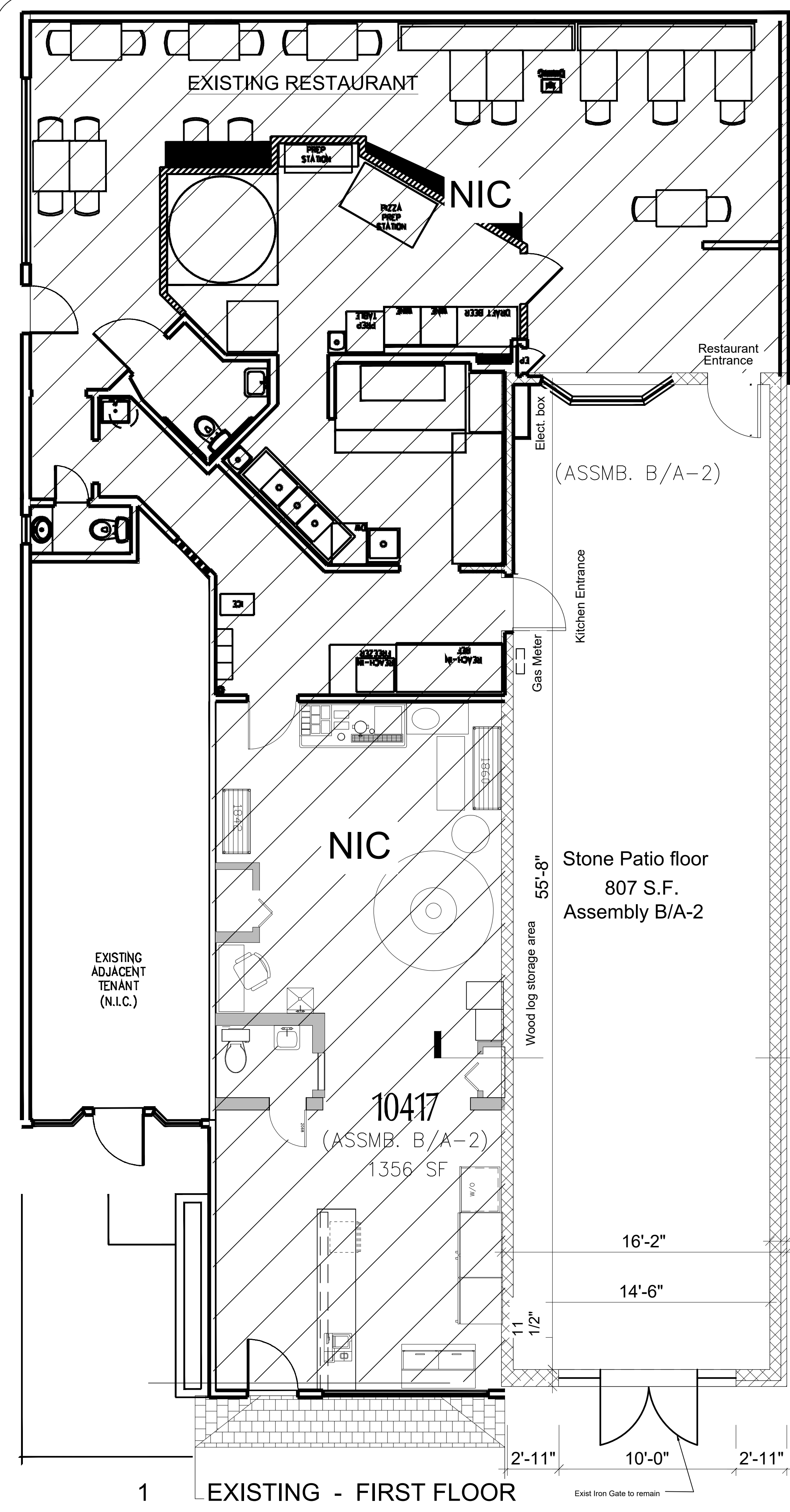
(301) 773 3000



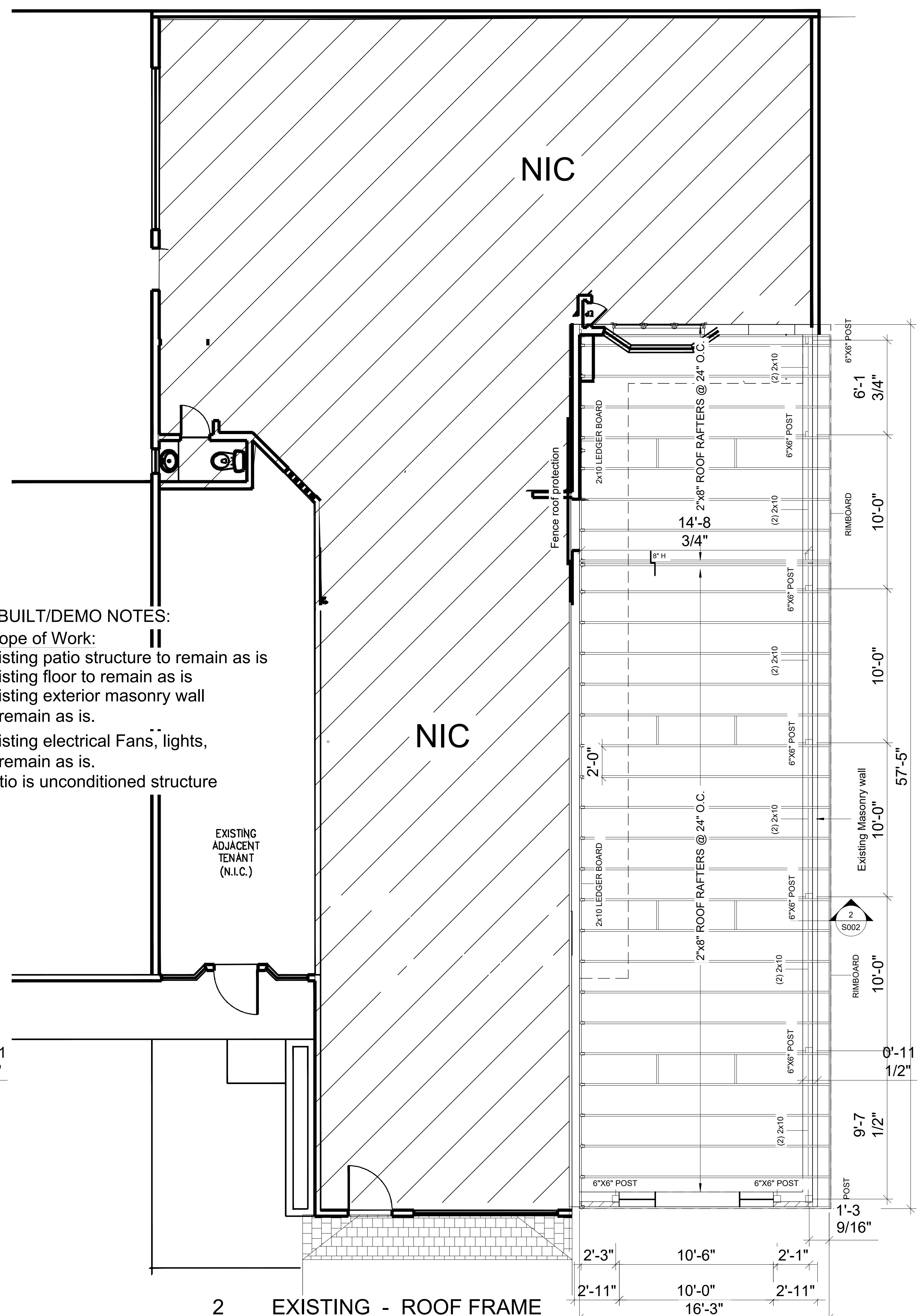
PROFESSIONAL CERTIFICATION

I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 8941, expiration date 02-21-2024

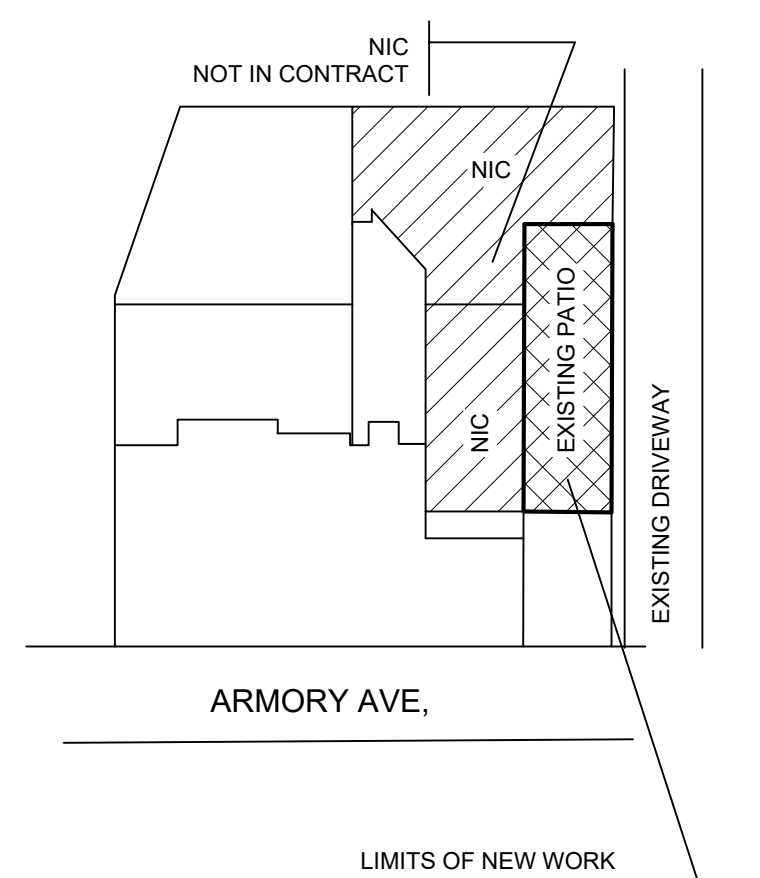
Table with columns for Drawing No., Sheet Title, Project No., Mark, Revisions, and Date.



AS BUILT/DEMO NOTES:
 Scope of Work:
 Existing patio structure to remain as is
 Existing floor to remain as is
 Existing exterior masonry wall to remain as is.
 Existing electrical Fans, lights, to remain as is.
 Patio is unconditioned structure



PROFESSIONAL CERTIFICATION
 I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 8941, expiration date 02-27-2024



EXISTING PATIO ALTERATION
 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895

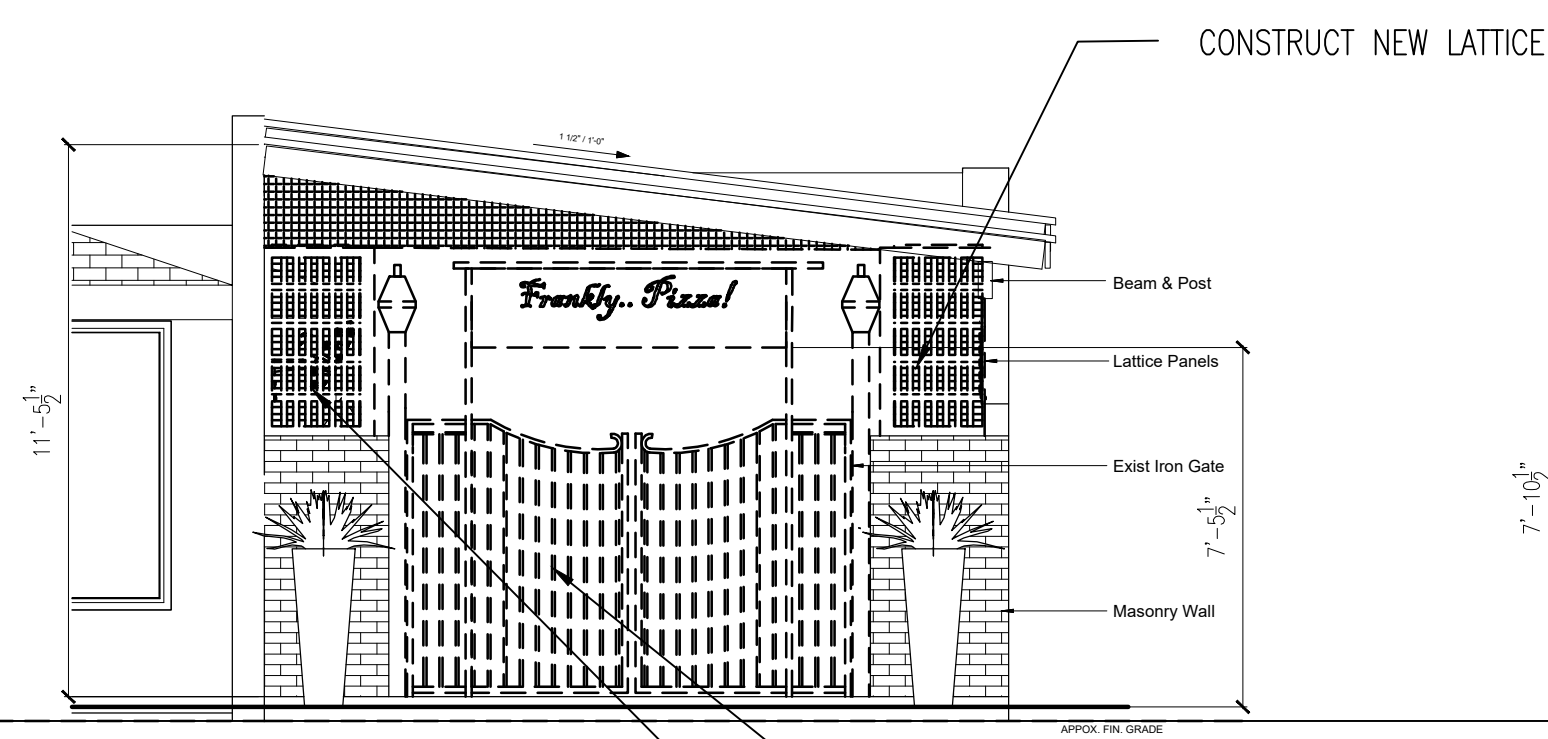
CDC DESIGN, LLC.
 DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

(301) 773 3000

DRAWING NO. A-1.0 SHEET 00 OF 00	SHEET TITLE: AS BUILT/ PROPOSED PLANS	PROJECT NO. A023-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: JC OWED				

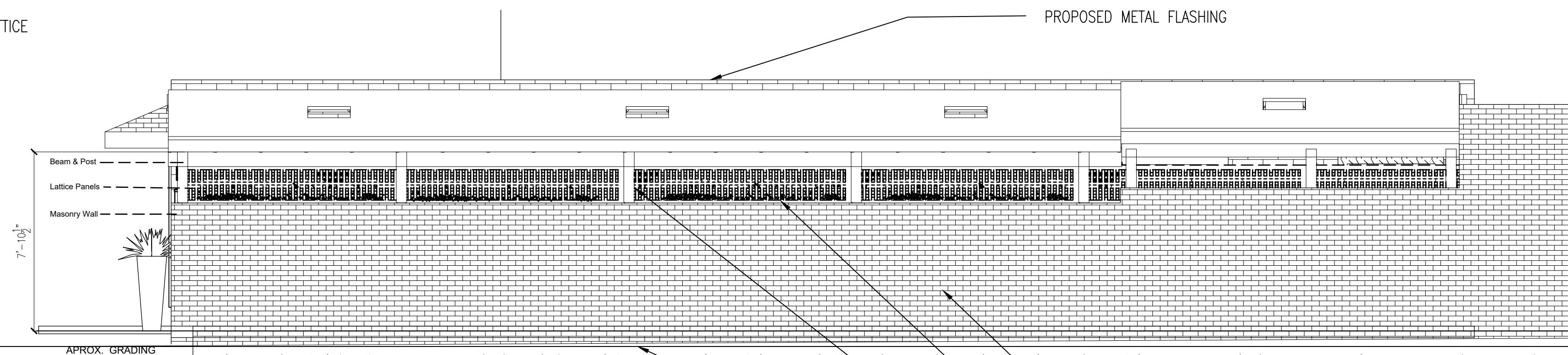
A-1.0 SCALE: 1/4" = 1'-0"

A-1.0 SCALE: 1/4" = 1'-0"



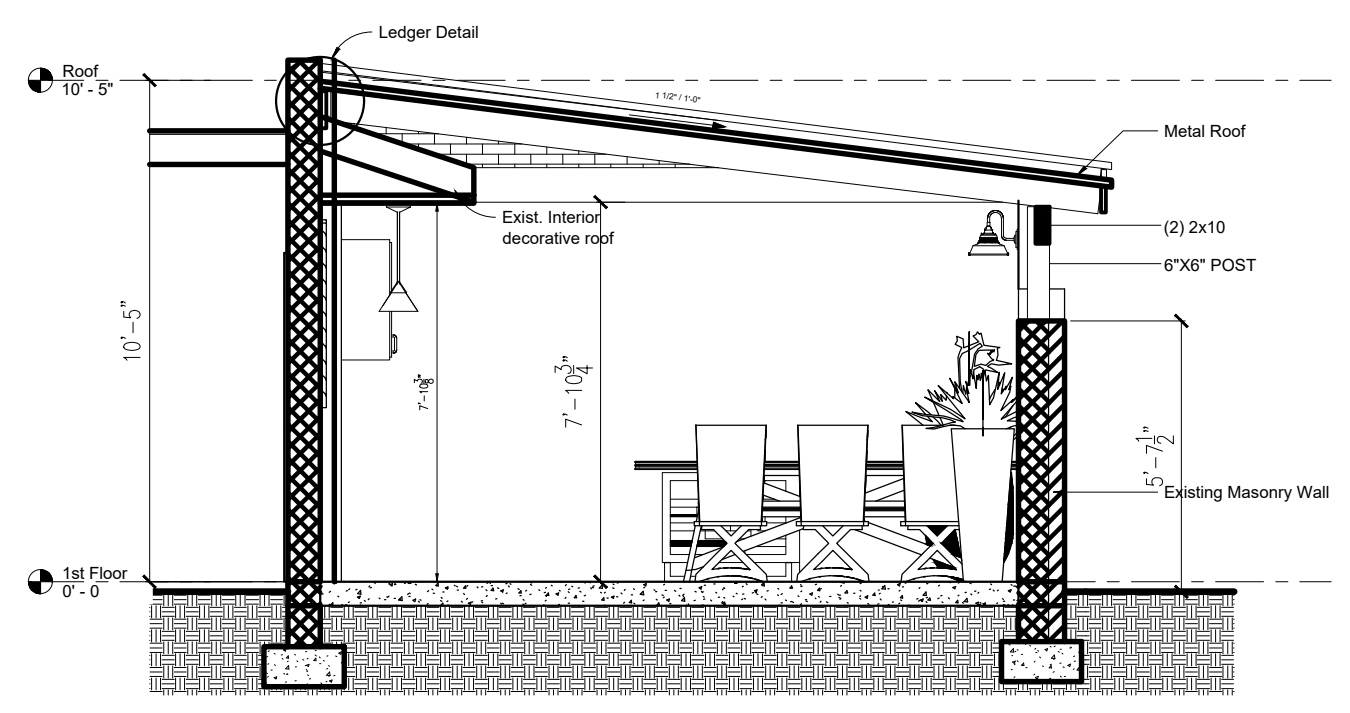
EXISTING METAL GATE TO REMAIN
CONSTRUCT NEW LATTICE

1 PROPOSED - FRONT ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"

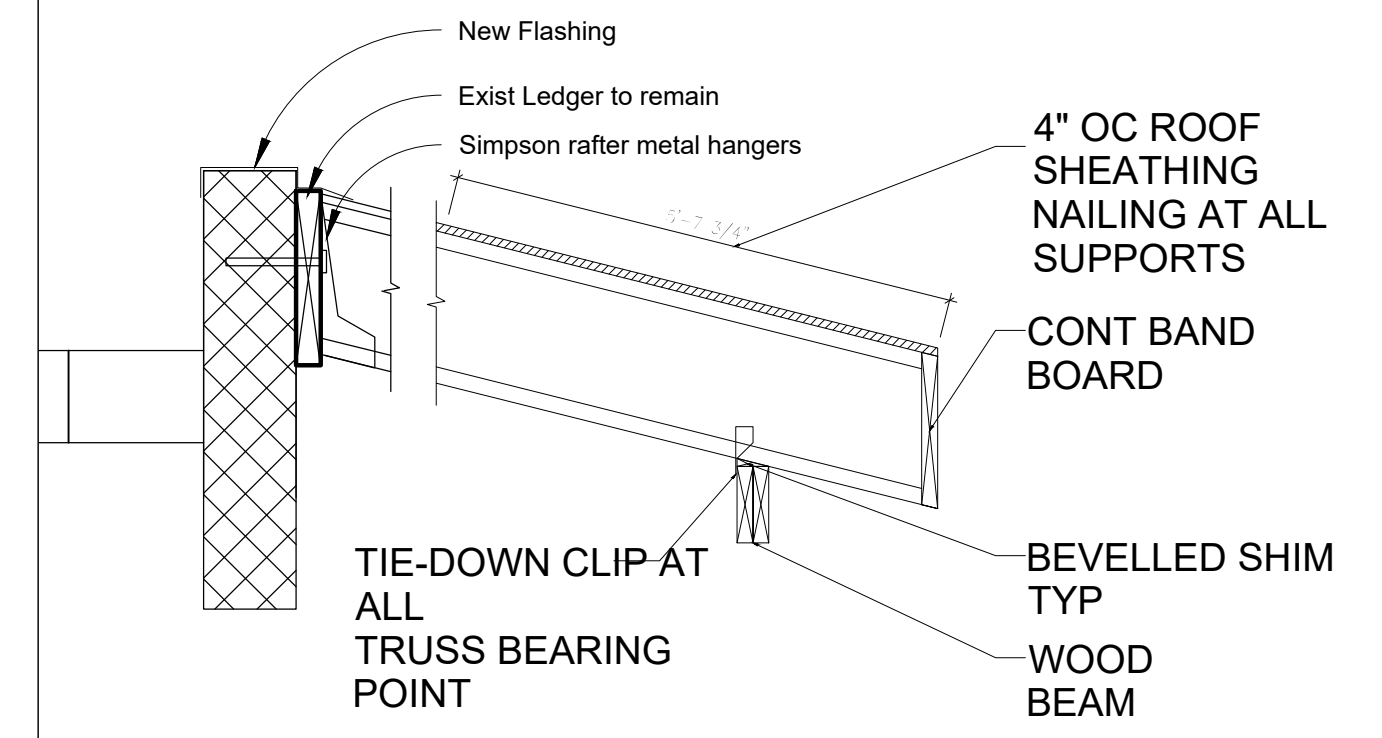


EXISTING MASONRY WALL
PROPOSED LATTICE PANEL
PROPOSED 6X6 POST
EXISTING GRADE

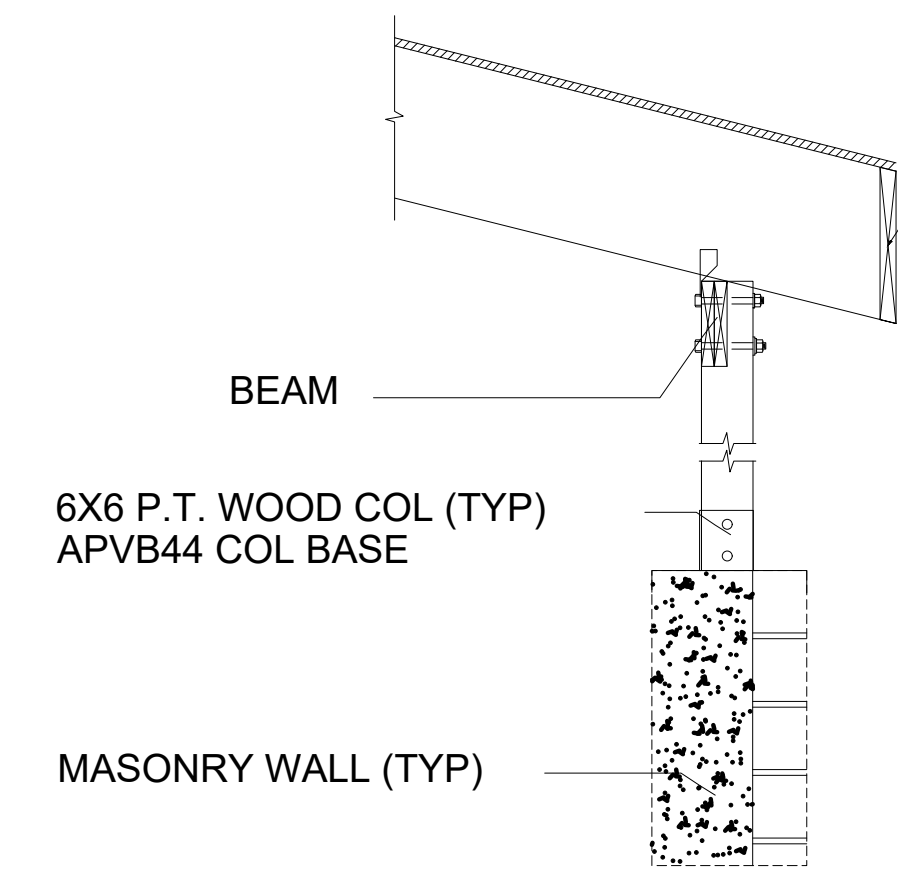
2 PROPOSED - RIGHT ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



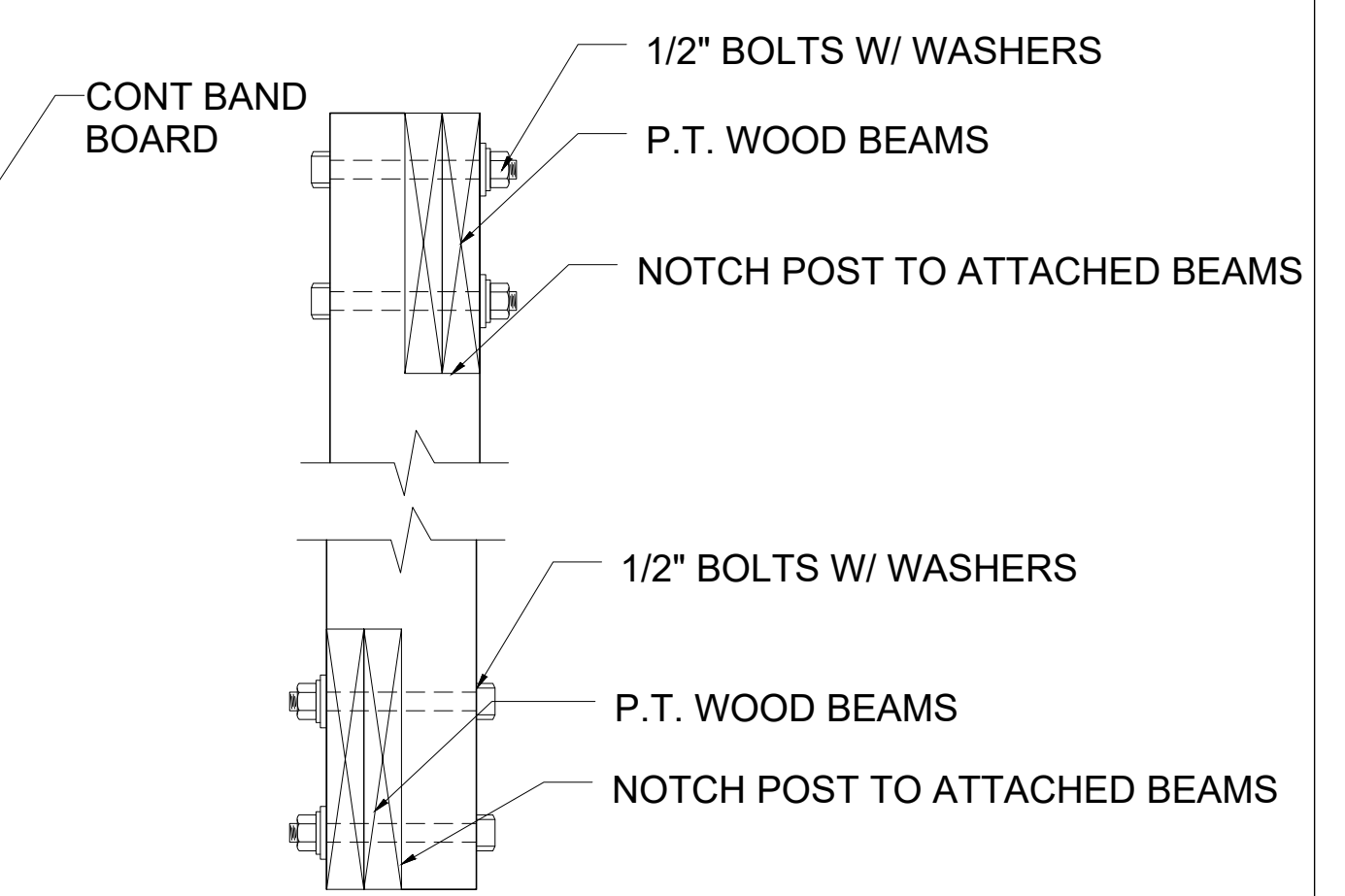
3 PROPOSED - SECTION
A-2.0 SCALE: 1/4" = 1'-0"



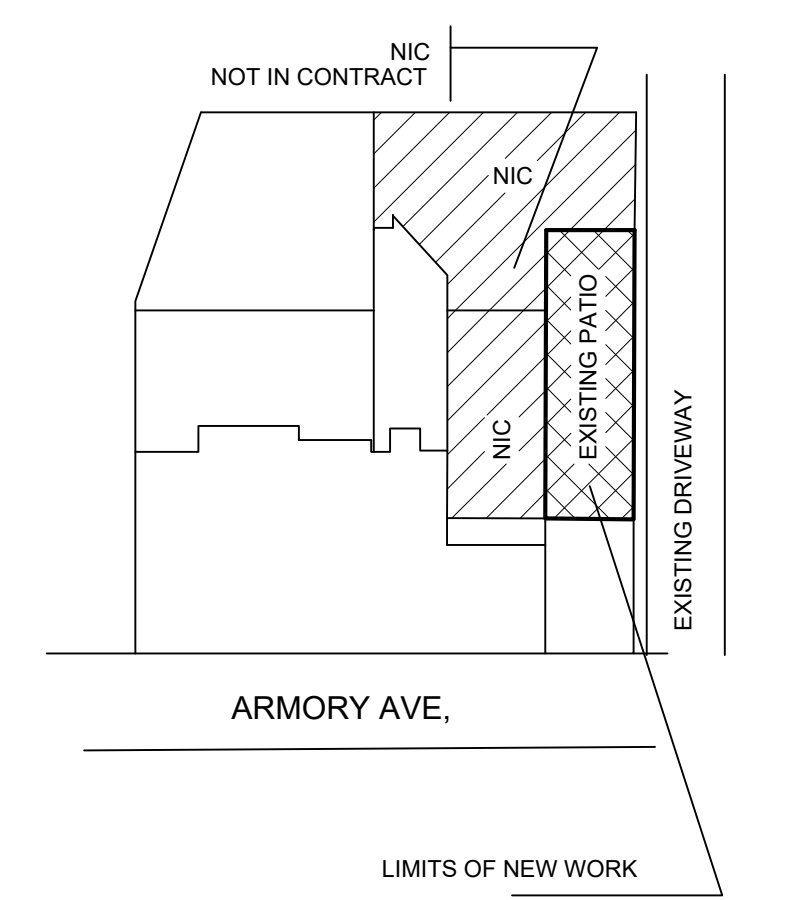
4 LEDGER DETAIL
A-2.0 SCALE: 1/2" = 1'-0"



5 BEAM & COLUMN DETAIL
A-2.0 SCALE: 1/2" = 1'-0"



6 BEAM & COLUMN CONNECTION DETAIL
A-2.0 SCALE: 1/2" = 1'-0"



KEY PLAN
NTS

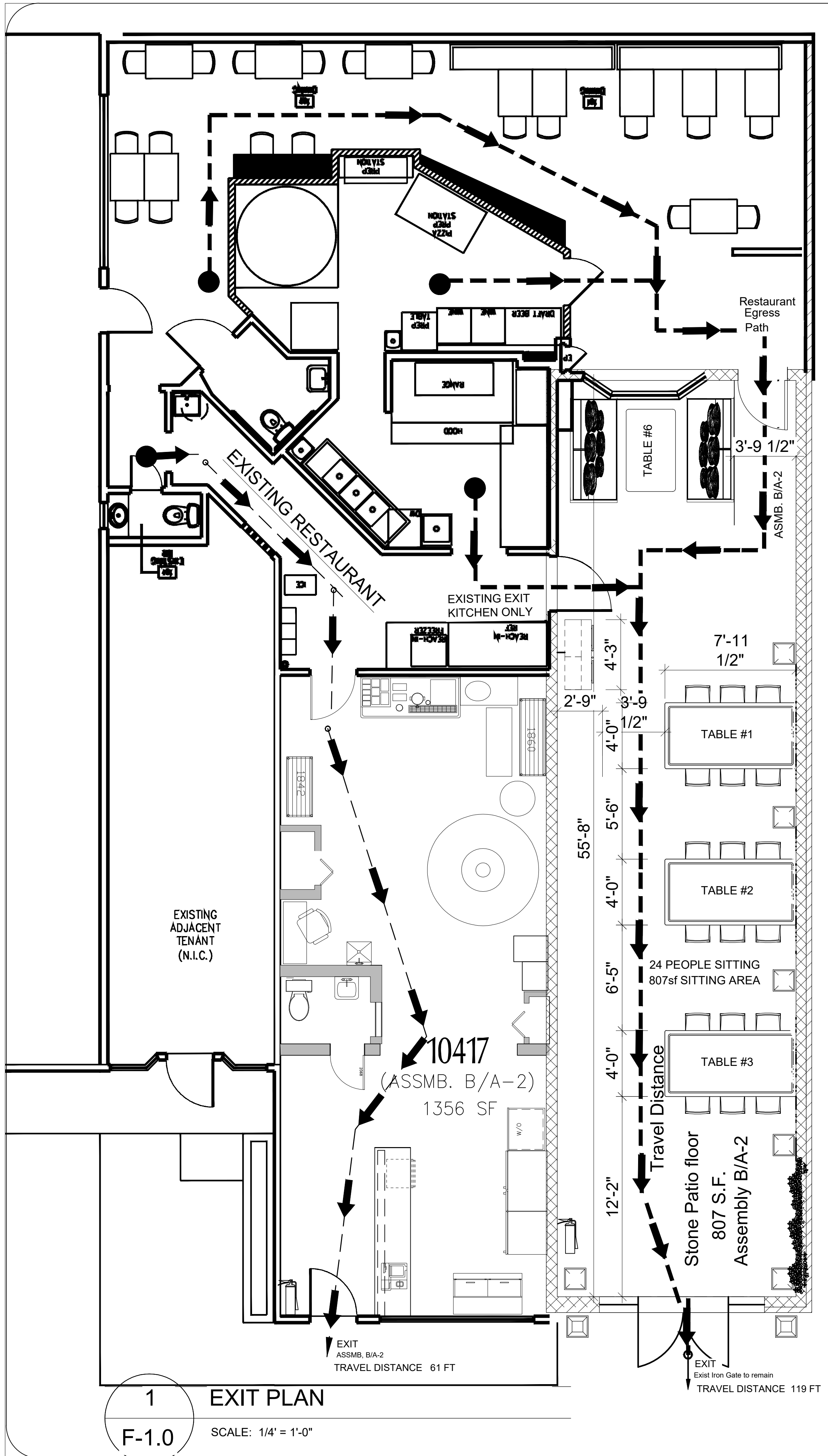
ALTERATION OF PATIO
10417 ARMORY AVE., KENSINGTON, MARYLAND 20895
CDC DESIGN, LLC.
DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
7903 ECHOLS AVE., LANHAM, MARYLAND 20706



PROFESSIONAL CERTIFICATION
I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 9241, expiration date 02-27-2024.

DRAWING No. A-2.0 SHEET 00 OF 00	SHEET TITLE: FRONT & RIGHT SIDE ELEVATIONS, SECTION AND DETAILS	PROJECT No. A023-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: GCHWZ				

(301) 773 3000



1 EXIT PLAN
F-1.0 SCALE: 1/4" = 1'-0"

OCCUPANCY CALCULATIONS

10417C ARMORY LANE (EXIST.)			
PROJECT ADDRESS:	10417 ARMORY AVENUE KENSINGTON, MD 20895		
PROPOSED USE GROUP FOR TENANT:	A-2 RESTAURANT		
NOTE OF OPERATION:	RESTAURANT SHALL BE FULL SERVICE. CLIENTELE WILL PAY TABLE SIDE. OPERATION FOR LUNCH AND DINNER SERVICE.		
IBC USE AND OCCUPANCY CLASSIFICATION	B/A-2		
IBC CONSTRUCTION TYPE	IB		
NO. OF STORES (ABOVE GRADE)	1		
HIGH RISE	N		
COVERED MALL	N		
FULLY SPRINKLERED & MONITORED	Y		
GROSS BUILDING AREAS:			
TOTAL BUILDING SQUARE FOOTAGE	8,952 SF		
TENANT FITOUT (SCOPE OF WORK)	1,356 SF		
OCCUPANT COUNT PER USE BY CODE	FLOOR AREA PER OCCUPANT	AREA	OCCUPANT ALLOWANCE
DINING	15 NET	580	39
KITCHEN/PREP AREAS	200 GROSS	581	3
CORRIDOR/RESTROOMS	100 GROSS	195	2
TOTAL INTERIOR		1,356	45

NOTES:
 1. SEE EGRESS PLAN FOR EXIT DIAGRAM.
 2. SEASONAL OUTDOOR SEATING IS NOT INCLUDED IN THE INTERIOR OCCUPANT LOAD CALCULATION.
 3. BASED ON NEW LAYOUT, RESTAURANT SHALL SERVE MAXIMUM OF 24 PEOPLE AND SHALL HAVE 2 EMPLOYEES FOR A TOTAL OF 26 OCCUPANTS AT ANY GIVEN TIME.

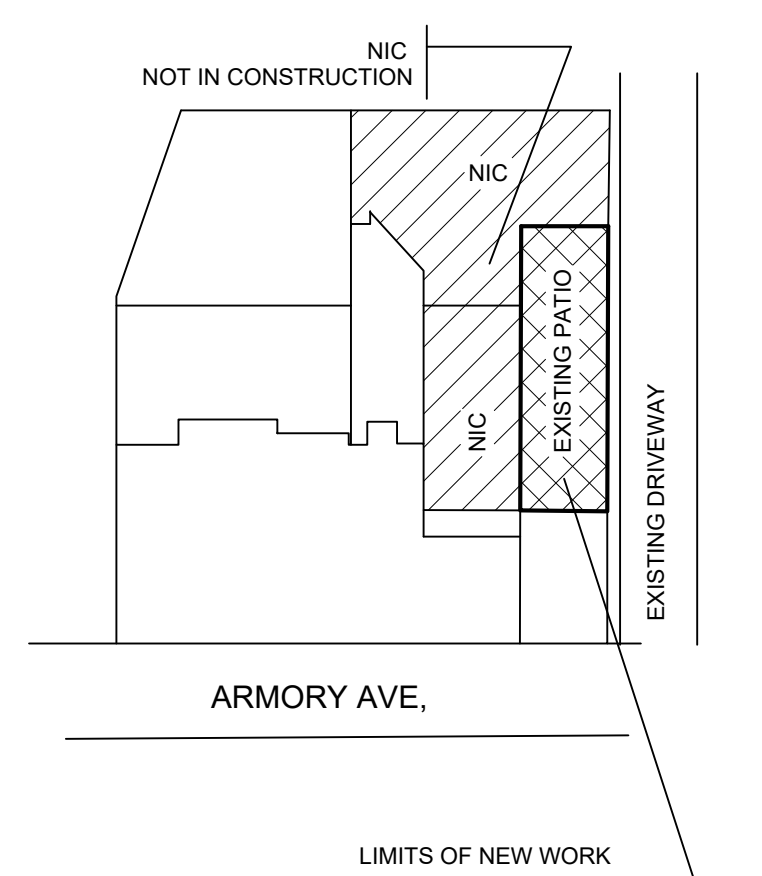
FIRE RESISTANCE AND BUILDING CODE INFORMATION	
BUILDING ELEMENT	TYPE IIB
STRUCTURAL FRAME INCLUDING COLUMNS, ORDERS AND TRUSSES	0
BEARING WALLS AND PARTITIONS EXTERIOR	0
BEARING WALLS AND PARTITIONS INTERIOR	0
NONBEARING WALLS AND PARTITIONS EXTERIOR	0
NONBEARING WALLS AND PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
EXIT ENCLOSURE	2
SHAFT	2
EXIT ACCESS CORRIDOR	1

- NOTES:
 1. BY COMPUTATION BUT 30" MINIMUM IS ALLOWED.
 2. SEPARATE PERMIT REQUIRED FOR FIRE EXTINGUISHERS.
 3. FIRE SAFETY SHALL BE MAINTAINED IN WORKING CONDITION DURING CONSTRUCTION, AS STATED IN IBC 2018.
 4. SAFEGUARDS DURING CONSTRUCTION SHALL BE AS STATED IN IBC 2018 CHAPTER 13 AND 2018 NFPA 241.
 5. ALL EGRESS DOOR SHALL HAVE READILY VISIBLE DURABLE SIGN ON THE EGRESS SIDE OF THE DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED PER 2018 IBC SECTION 1030.1.3.2.
- CLEAR EGRESS WIDTH 36" Min
 2018 IBC 1024.2
- TRAVEL DISTANCE/DIRECTION
 ● PORTABLE FIRE EXTINGUISHER (Shall be mounted within 5' of egress exist door)

10417 ARMORY LANE (NEW)			
PROJECT ADDRESS:	10417 ARMORY AVENUE KENSINGTON, MD 20895		
PROPOSED USE GROUP FOR TENANT:	A-2 RESTAURANT		
NOTE OF OPERATION:	SPACE TO BE FOR TAKE OUT SERVICE ONLY WITH NO SEATING OR BATHROOM FACILITIES		
IBC USE AND OCCUPANCY CLASSIFICATION	B/A-2		
IBC CONSTRUCTION TYPE	IB		
NO. OF STORES (ABOVE GRADE)	1		
HIGH RISE	N		
COVERED MALL	N		
FULLY SPRINKLERED & MONITORED	Y		
GROSS BUILDING AREAS:			
TOTAL BUILDING SQUARE FOOTAGE	8,952 SF		
TENANT FITOUT (SCOPE OF WORK)	959 SF		
OCCUPANT COUNT PER USE BY CODE	FLOOR AREA PER OCCUPANT	AREA	OCCUPANT ALLOWANCE
ASSEMBLY AREAS WITHOUT FIXED SEATS	15 NET	82	5
KITCHEN/PREP AREAS	200 GROSS	781	4
CORRIDOR/RESTROOMS	100 GROSS	96	1
TOTAL INTERIOR		959	10

NOTES:
 1. SEE EGRESS PLAN FOR EXIT DIAGRAM.

FIRE RESISTANCE AND BUILDING CODE INFORMATION	
BUILDING ELEMENT	TYPE IIB
STRUCTURAL FRAME INCLUDING COLUMNS, ORDERS AND TRUSSES	0
BEARING WALLS AND PARTITIONS EXTERIOR	0
BEARING WALLS AND PARTITIONS INTERIOR	0
NONBEARING WALLS AND PARTITIONS EXTERIOR	0
NONBEARING WALLS AND PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
EXIT ENCLOSURE	2
SHAFT	2
EXIT ACCESS CORRIDOR	1



KEY PLAN
 NTS

EXISTING PATIO ALTERATION
 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895
CDC DESIGN, LLC.
 DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
 7903 ECHOLS AVE, LANHAM, MARYLAND 20706



PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 8941, expiration date 02-27-2024

DRAWING No. **F-1.0** SHEET 00 OF 00
 SHEET TITLE: **FIRE SAFETY PLAN**
 PROJECT No. **AO23-014**
 DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: JC OKED

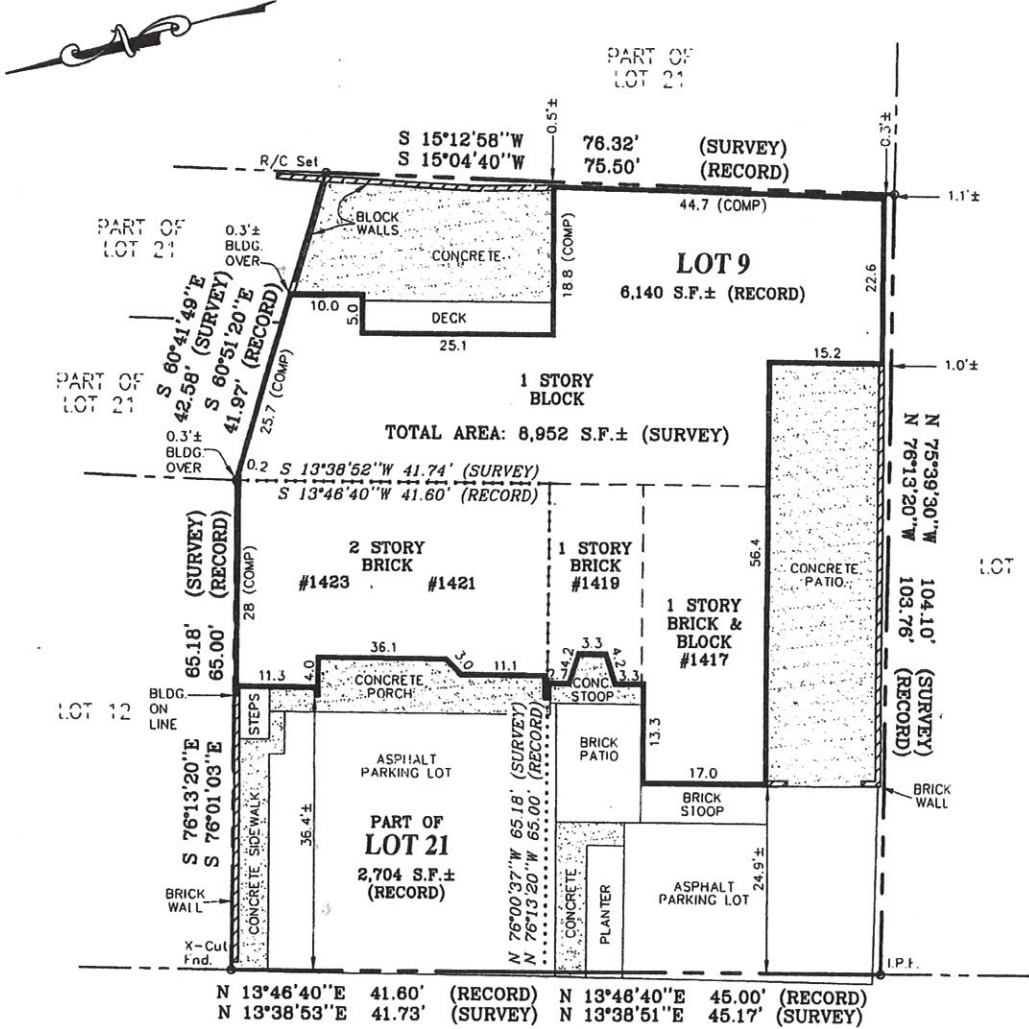
MARK	REVISIONS	DATE

(301) 773 3000

The information shown hereon has been prepared without benefit of a Title Report, therefore, may not reflect all easements or encumbrances which may affect subject property.

Notes:

- 1) Flood zone information not available.
- 2) All property corners have been recovered or set and verified per field survey performed: October 24, 2005.
- 3) I.P.F. Indicates iron pipe found.
R/C Set indicates rebar & cap set.
X-Cut indicate crosscut found in concrete or asphalt, as indicated.




ARMORY AVENUE
(50' WIDE R/W PER PLAT)

PLAT OF SURVEY
LOT 9 and PART OF LOT 21
BLOCK 2
R. B. DETRICK'S SUBDIVISION
KENSINGTON
AND
KNOWLES ESTATES
MONTGOMERY COUNTY, MARYLAND



All Building Line and Flood Zone Information has been taken from available sources and is subject to interpretation of originator.

SURVEYOR'S CERTIFICATE		REFERENCES			SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20879 301/948-5100, Fax 301/948-1286	
"I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY PURSUANT TO THE DEED OR PLAT OF RECORD. PROPERTY MARKERS HAVE BEEN RECOVERED OR PLACED IN ACCORDANCE WITH THE INFORMATION SHOWN". <i>Jeffrey A. Foster</i> 587 MARYLAND PROPERTY LINE SURVEYOR REG. NO.		PLAT BK. 49	PLAT NO. 3764		DATE OF LOCATIONS	SCALE: 1" = 20'
		LIBER 11507	FOLIO 384	WALL CHECK:	DRAWN BY: A.L.W.	
				HSE. LOC.: 10-14-05	JOB NO.: 05-8189	
				PROP. CORS.: 10-24-05		

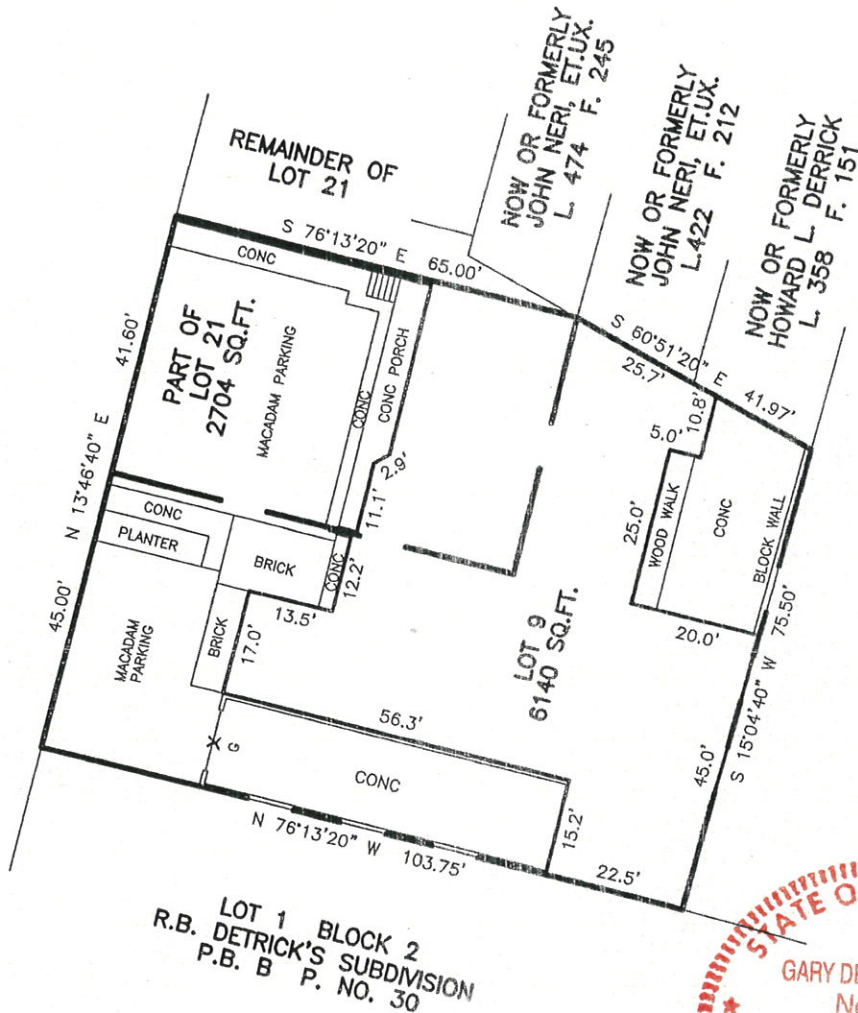
LOCATION DRAWING
 LOT 9 BLOCK 2
 R.B. DETRICK'S SUBDIVISION
 KENSINGTON
 LOT 9 BLOCK 2
 ALSO PART OF LOT 21

REAL ESTATE OF LAURANOR KNOWLES

PLAT BOOK 1 PLAT NO. 24
 MONTGOMERY COUNTY, MARYLAND

NORTH

ARMORY AVENUE
 50' R/W



PROPERTY ADDRESS: 10417-10423 ARMORY AVENUE

THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE C (AREA OF MINIMAL FLOODING) ACCORDING TO NATIONAL FLOOD INSURANCE PROGRAM F.I.R.M. MAP COMMUNITY PANEL NO. 240049 0175 C AS REVISED 08-01-84

CERTIFICATE

I HEREBY DECLARE THAT THE POSITION OF ALL THE VISIBLE EXISTING IMPROVEMENTS SHOWN ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN ESTABLISHED BY PROPER FIELD METHODS. NO TITLE REPORT HAS BEEN FURNISHED. SUBJECT TO ALL RESTRICTIONS AND EASEMENTS OF RECORD.

Gary Dean Simpson
 GARY DEAN SIMPSON
 Reg. MARYLAND Property Line Surveyor No. 514

REFERENCES

- PLAT BK. 49
- PLAT NO. 3764
- LIBER
- FOLIO



CENTRAL MARYLAND SURVEYORS, INC.

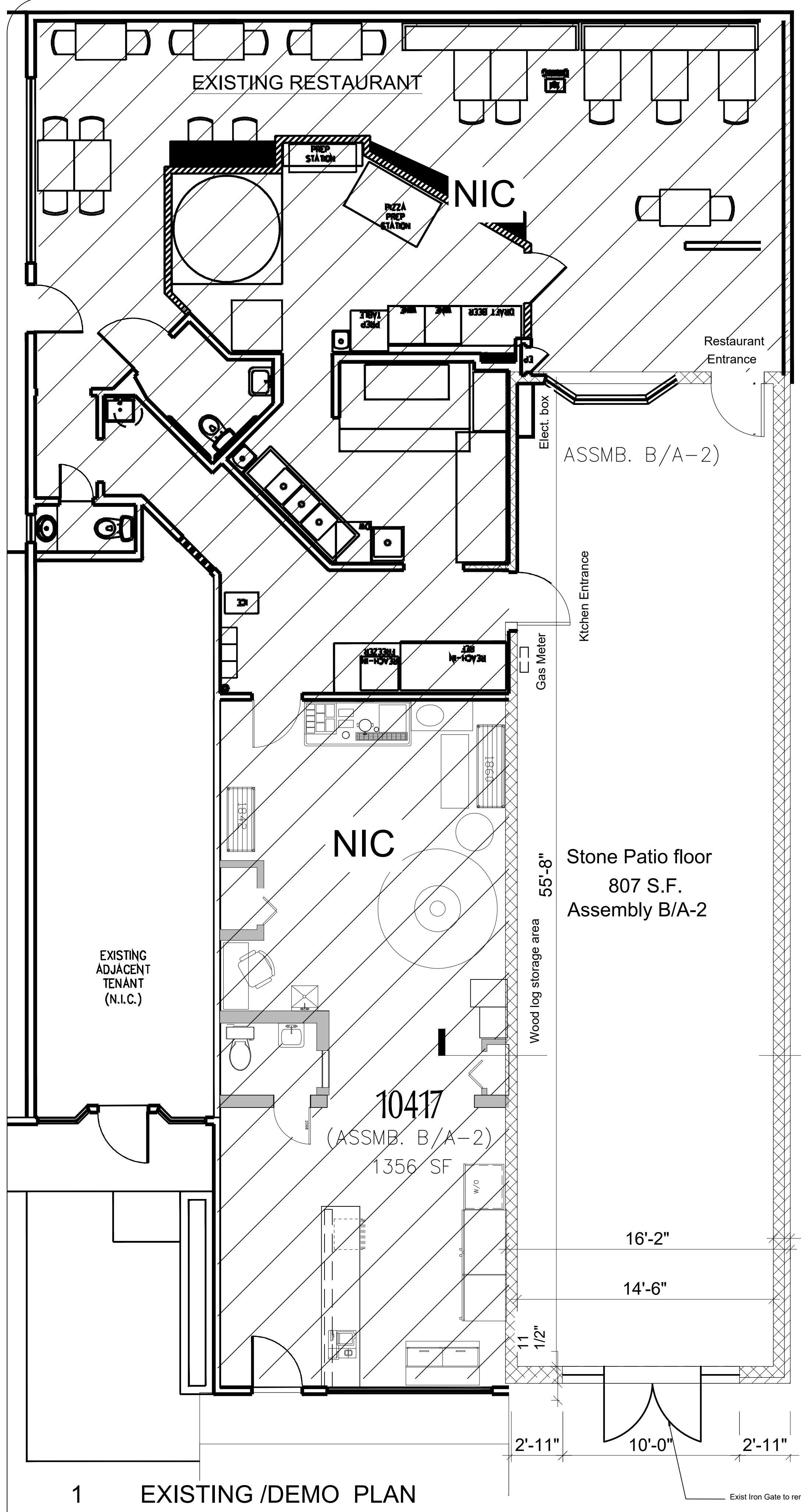
2813 PATUXENT RIVER ROAD, DAVIDSONVILLE, MD. 21035
 PHONE (410) 798-9700 FAX (410) 798-9705

DATES:	SCALE: 1" = 30'
WALL CHECK:	DRAWN BY: MLC
HSE. LOC.: 05-21-03	JOB NO.: 0958-03
BOUNDARY:	

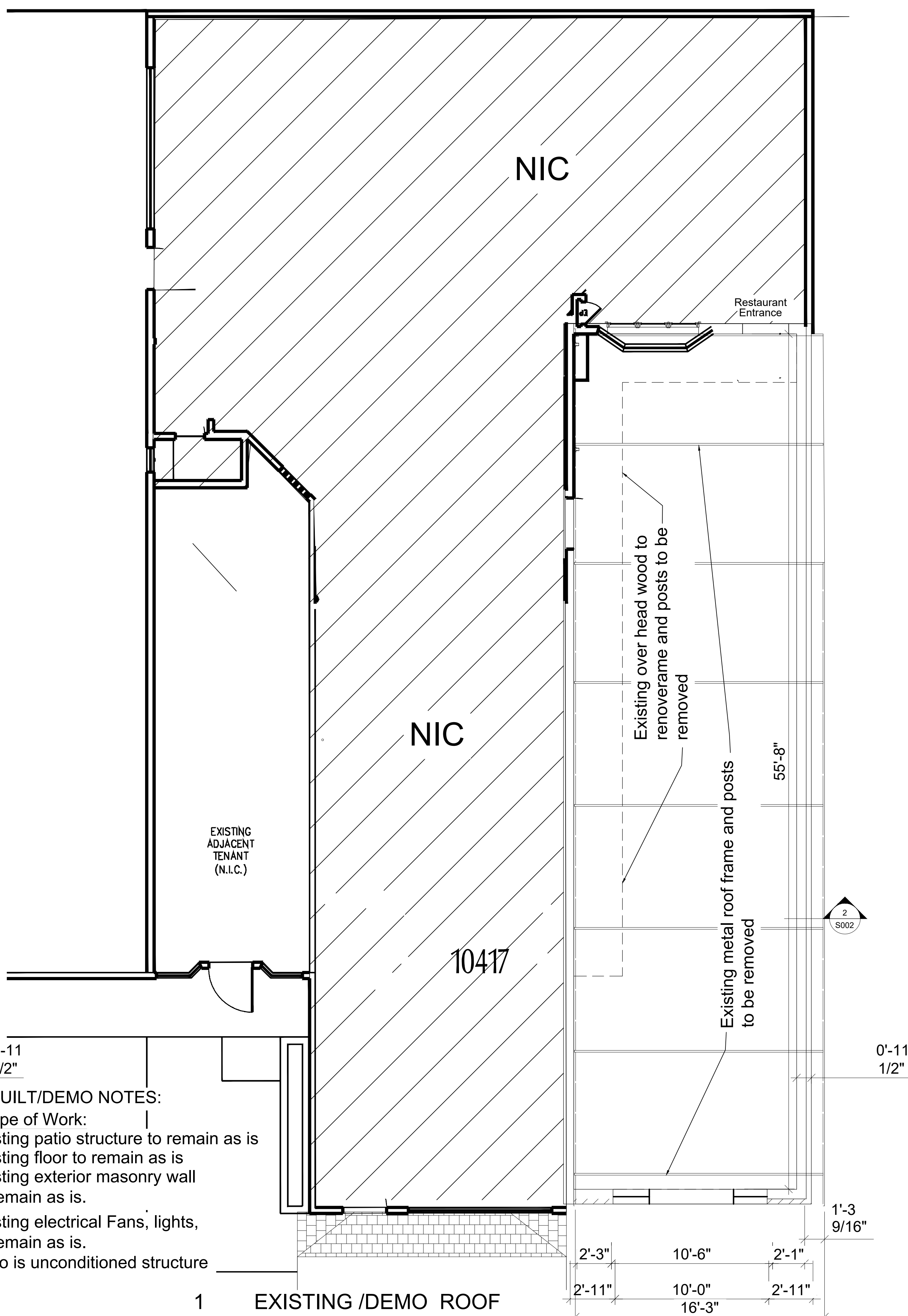
- NOTES:
- 1) This location drawing is of benefit to a consumer only in so far as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing.
 - 2) This location drawing is not to be used for the building of fences or other improvements. No boundary survey has been performed.
 - 3) This location drawing is not to be relied upon for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.
 - 4) B.R.L. information, if shown was obtained from existing record plat or was provided to CMS, and is not guaranteed by CMS, Inc.
 - 5) Flood Zone information is subject to the interpretation of the originator.
 - 6) Adjoiner deed research has not been undertaken with the Location Drawing.
 - 7) CMS, Inc. does not certify to unshown or unrecorded encroachments or overlaps.
 - 8) Level of accuracy 3'±.

NO REPRODUCTION WITHOUT EXPRESSED WRITTEN PERMISSION BY CMS, INC.

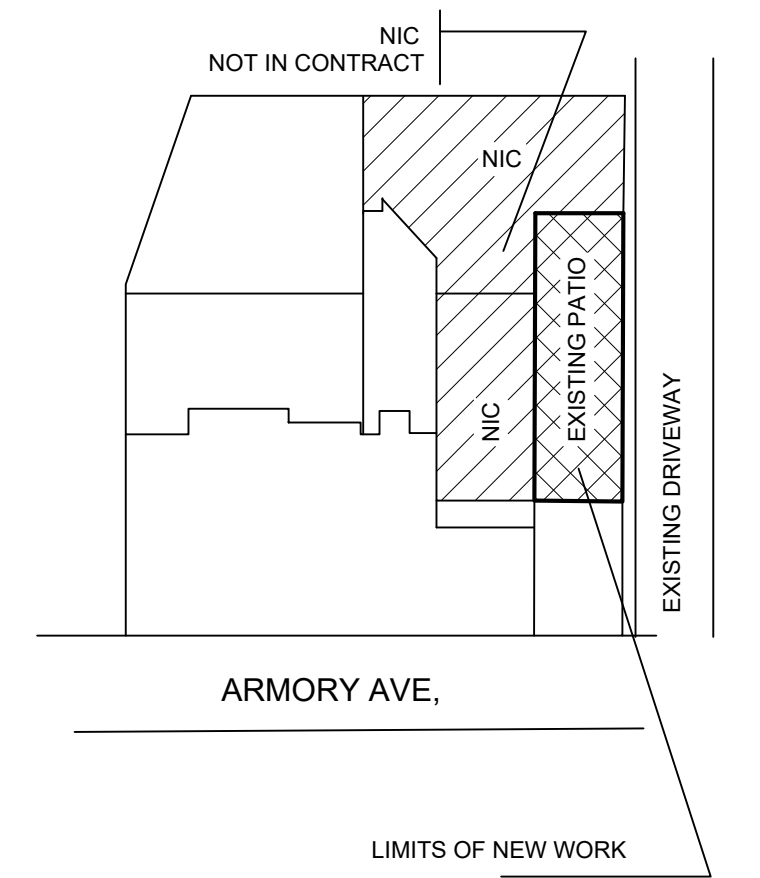
© Copyright CMS, INC.



AS BUILT/DEMO NOTES:
 Scope of Work:
 Existing patio structure to remain as is
 Existing floor to remain as is
 Existing exterior masonry wall to remain as is.
 Existing electrical Fans, lights, to remain as is.
 Patio is unconditioned structure



PROFESSIONAL CERTIFICATION
 I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 9941 expiration date 02-27-2024



EXISTING PATIO ALTERATION
 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895
CDC DESIGN, LLC.
 DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

DRAWING NO. D-1.0 SHEET 00 OF 00	SHEET TITLE: AS BUILT/DEMO PLAN	PROJECT NO. A023-014	MARK	REVISIONS	DATE							
	<table border="1"> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>											
DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: JC CHKD:												

1 EXISTING / DEMO PLAN
 D-1.0 SCALE: 1/4" = 1'-0"

1 EXISTING / DEMO ROOF
 D-1.0 SCALE: 1/4" = 1'-0"

(301) 773 3000

Town of Kensington

3710 Mitchell Street

Kensington, MD 20895

301-949-2424 (Office) 301-949-4925 (Fax)

Town@tok.md.gov



Attention Department of Permitting Services (DPS)

TOWN OF KENSINGTON APPLICATION

Please be advised that the following applicant has applied for a Alteration/Renovation Permit with the Town of Kensington, and they must send all approved County Permits to the Town to complete the Permitting process.

APPLICATION #	<u>20230039</u>	HAS BEEN RELEASED
THE OWNER	<u>SANTELLI NICHOLAS & YI ET AL</u>	AT
SITE ADDRESS	<u>10417 ARMORY AVE</u>	
HAVING PAID	<u>\$346.84</u>	
PROJECT	<u>Enclosing existing patio</u>	
DATED	<u>05/17/2023</u>	<u>Alex Marini</u>

The Staff signature only releases the permit for DPS review and does not represent an approval of the permit application by the Town. All County permits must be submitted before Town review and approval.

****This form does not represent an approved Town of Kensington Permit, and serves only as notification to Montgomery County****

Town of Kensington

3710 Mitchell Street

Kensington, MD 20895

301-949-2424 (Office) 301-949-4925 (Fax)

Town@tok.md.gov



Attention Department of Permitting Services (DPS)

TOWN OF KENSINGTON APPLICATION

Please be advised that the following applicant has applied for a Alteration/Renovation Permit with the Town of Kensington, and they must send all approved County Permits to the Town to complete the Permitting process.

APPLICATION #	<u>20230039</u>	HAS BEEN RELEASED
THE OWNER	<u>SANTELLI NICHOLAS & YI ET AL</u>	AT
SITE ADDRESS	<u>10417 ARMORY AVE</u>	
HAVING PAID	<u>\$346.84</u>	
PROJECT	<u>Enclosing existing patio</u>	
DATED	<u>05/17/2023</u>	<u>Alex Marini</u>

The Staff signature only releases the permit for DPS review and does not represent an approval of the permit application by the Town. All County permits must be submitted before Town review and approval.

****This form does not represent an approved Town of Kensington Permit, and serves only as notification to Montgomery County****

BLANK SPACE FOR APPROVED STAMPS

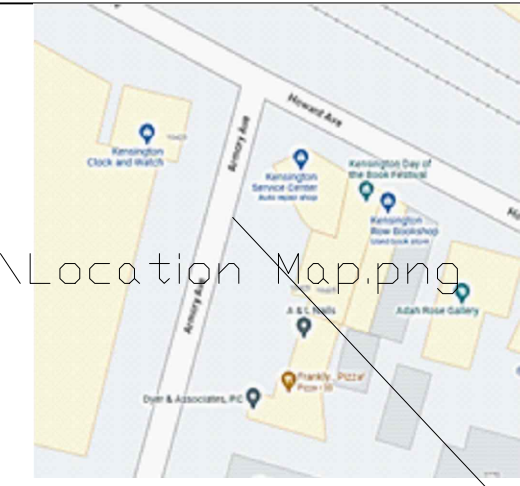
CODE ANALYSIS/PROJECT DATA

SCOPE OF WORK: ALTERATION OF 857 SF EXISTING PATIO WITH OPEN FRAME ROOF TO BE REPLACED WITH IMPROVEMENT. WORK INCLUDE PATCHING OF EXISTING WALL AND FLOOR WITH PAINTING. EXISTING FIXED 24 SEATS TO BE LOCATED PER PLAN. WORK TO INCLUDE RELOCATION OF THE ELECTRICAL LIGHTS, NO PLUMBING OR MECHANICAL WORK.

APPLICABLE CODES: Building: IBC 2018 NFPA 2018 Mechanical: IMC 2018 Plumbing: IPC 2018 Electrical: NFPA 2017 70 NEC Handicap Accessibility: ICC/ANSI A117.1 2010

Table with columns for Use Group, Construction Type, Sprinkler system, Space area, Number of stories, Fire Resistance Ratings, etc.

PROJECT LOCATION MAP

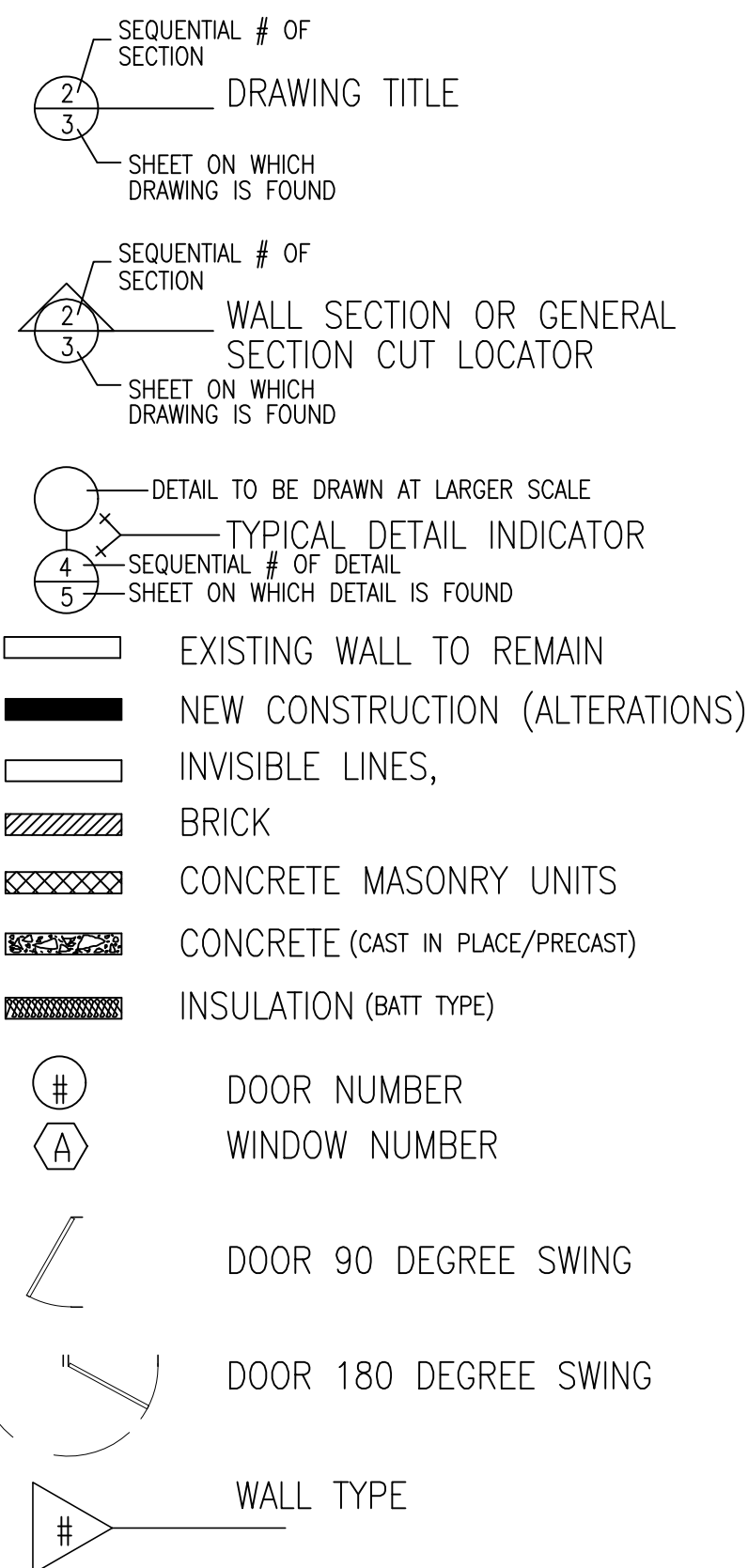


VICINITY MAP NOT TO SCALE PROJCT SITE

GENERAL NOTES

- 1. ALL WORK PERFORMED SHALL COMPLY WITH INTERNATIONAL BUILDING AND CODE ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS. 2. ON SITE VERIFICATIONS OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ... 10. ALL ELECTRICAL WORK TO BE PERFORMED BY LICENSED ELECTRICAL CONTRACTOR.

DRAWING AND GRAPHIC SYMBOLS



ABBREVIATIONS

Table of abbreviations: AFF Above Finish Floor, BLKG Blocking, BLDG Building, CLG Ceiling, CMU Concrete Masonry Unit, CLR Clear, CO Clean Out, CNTR Counter, CONT Continuous, CSK Countersunk, DET Detail, DN Down, DWGS Drawings, ELEV Elevation, EQ Equal, Ex Existing, FAB Fabricate, F.D. Floor Drain, FAST Fasten, FIXT Fixture, FIN Finish, FR From, GA Gage, GWB Gypsum Wall Board, GYP Gypsum, H.C. Hollow Core, H.S. Heat Strengthened, JST Joist, INSUL Insulation, LAV Lavatory, LB Pound, LLV Long leg vertical, M.O. Masonry Opening, MAS Masonry, MTD Mounted, MT Marble Threshold, NOM Nominal, NTS Not To Scale, OA Overall, OC On Center, PT Pressure Treated, PTD Painted, P-LAM Plastic Laminat, PLYWD Plywood, PSF Pounds per square foot, PSI Pounds per square inch, RO Rough Opening, REQ. Required, REINF Reinforced, RND Round, SF Square Feet, STD Standard, SST Stainless Steel, STL Steel, T.O. Top Of, TYP Typical, VIF Verify in Field, VB Vapor Barrier, WR Water Resistant, W/ With, W/O Without, WD Wood

CAD CONSULTANT

CA CONSTRUCTION SOLUTION, LLC. 5202 KIMANNA DR. CENTREVILLE VA. 20120

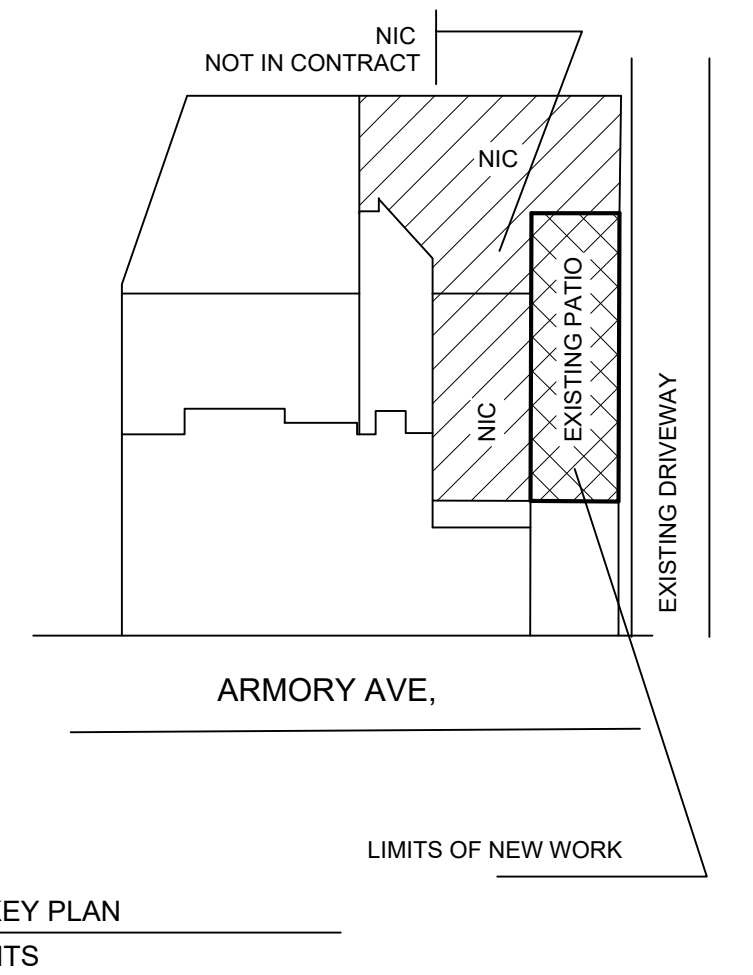
CACONSTRUCTIONSSOLUTION@GMAIL.COM

(240) 593-2318 (C)

DRAWING INDEX

- A0-01 COVER SHEET General notes, Project data, abbreviation drawing symbols & notes D-1.0 AS BUILT / DEMO. PLAN A-1.0 AS BUILT/PROPOSED PLANS A-2.0 AS BUILT/PROPOSED SECTION, ELEVATIONS F-1.0 FIRE SAFETY PLANS / OCCUPANCY CALCULATION

BLANK SPACE FOR APPROVED STAMPS



EXISTING PATIO ALTERATION

10417 ARMORY AVE, KENSINGTON, MARYLAND 20895

CDC DESIGN, LLC.

DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

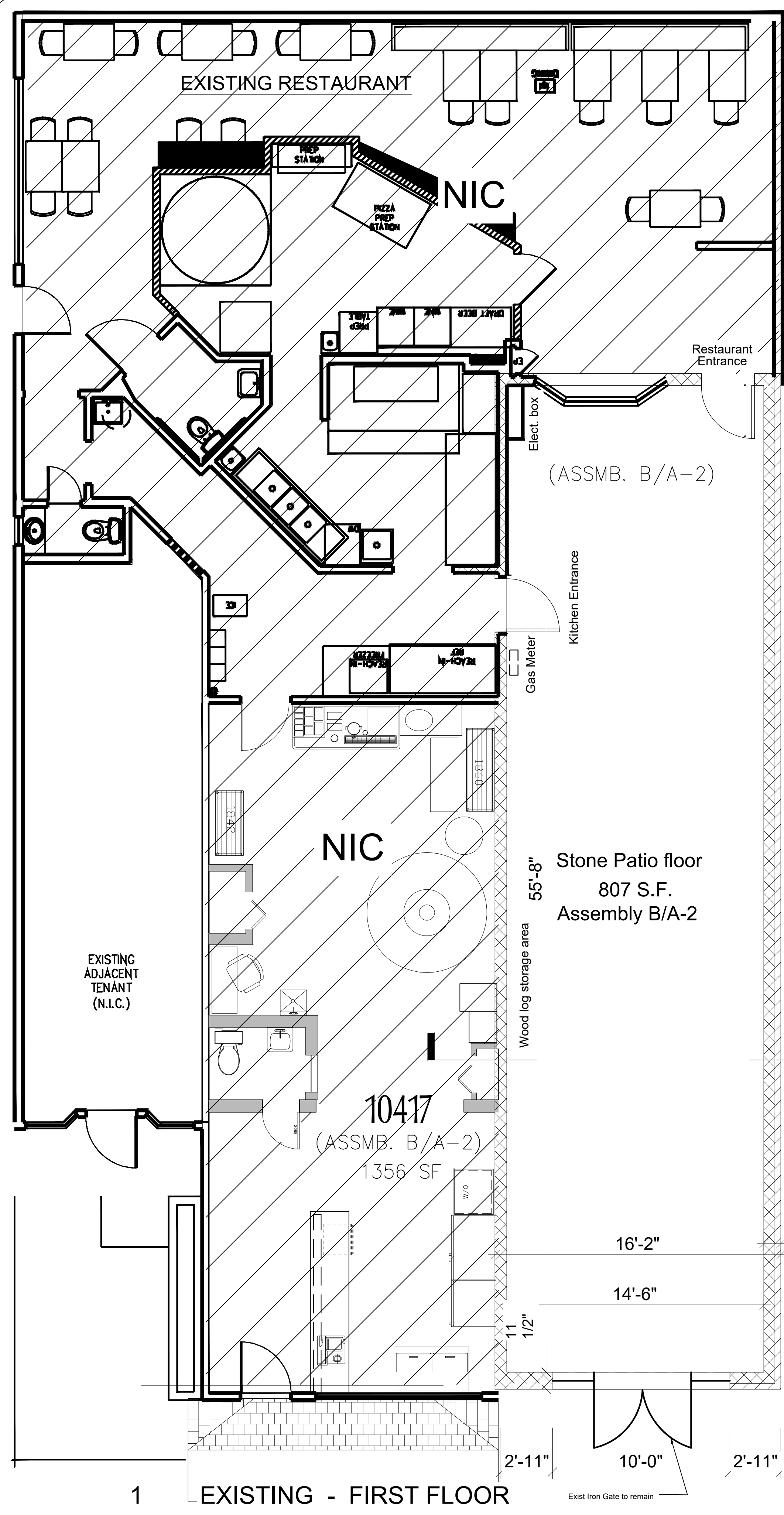
(301) 773 3000



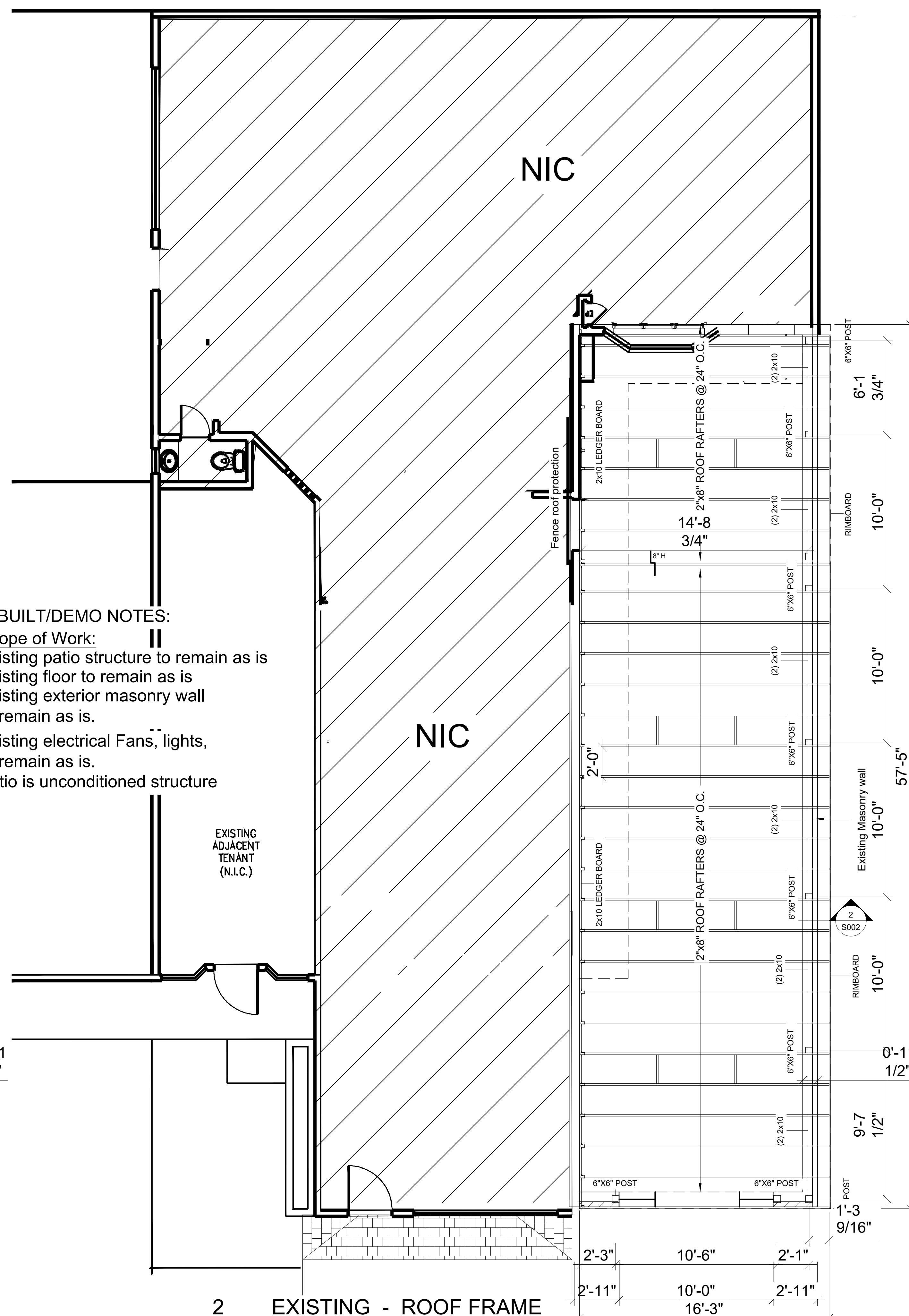
PROFESSIONAL CERTIFICATION

I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 8941, expiration date 02-21-2024

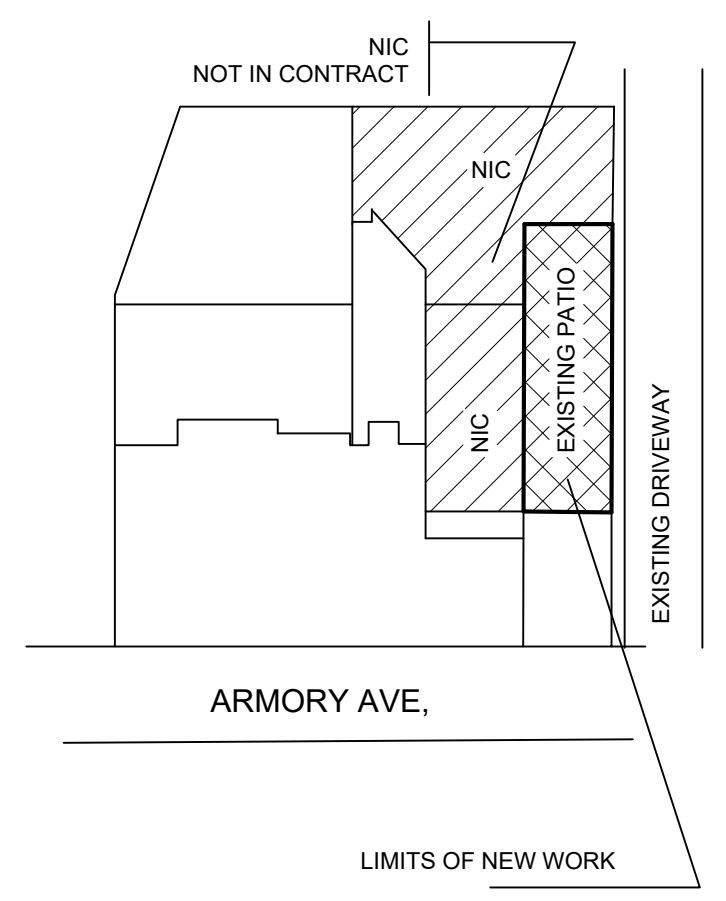
Table with columns for Drawing No. (A-0.01), Sheet Title (COVER SHEET, PROJECT DATA, DWG. INDEX, DEMO PLANS), Project No. (A023-014), Mark, Revisions, and Date.



AS BUILT/DEMO NOTES:
 Scope of Work:
 Existing patio structure to remain as is
 Existing floor to remain as is
 Existing exterior masonry wall to remain as is.
 Existing electrical Fans, lights, to remain as is.
 Patio is unconditioned structure

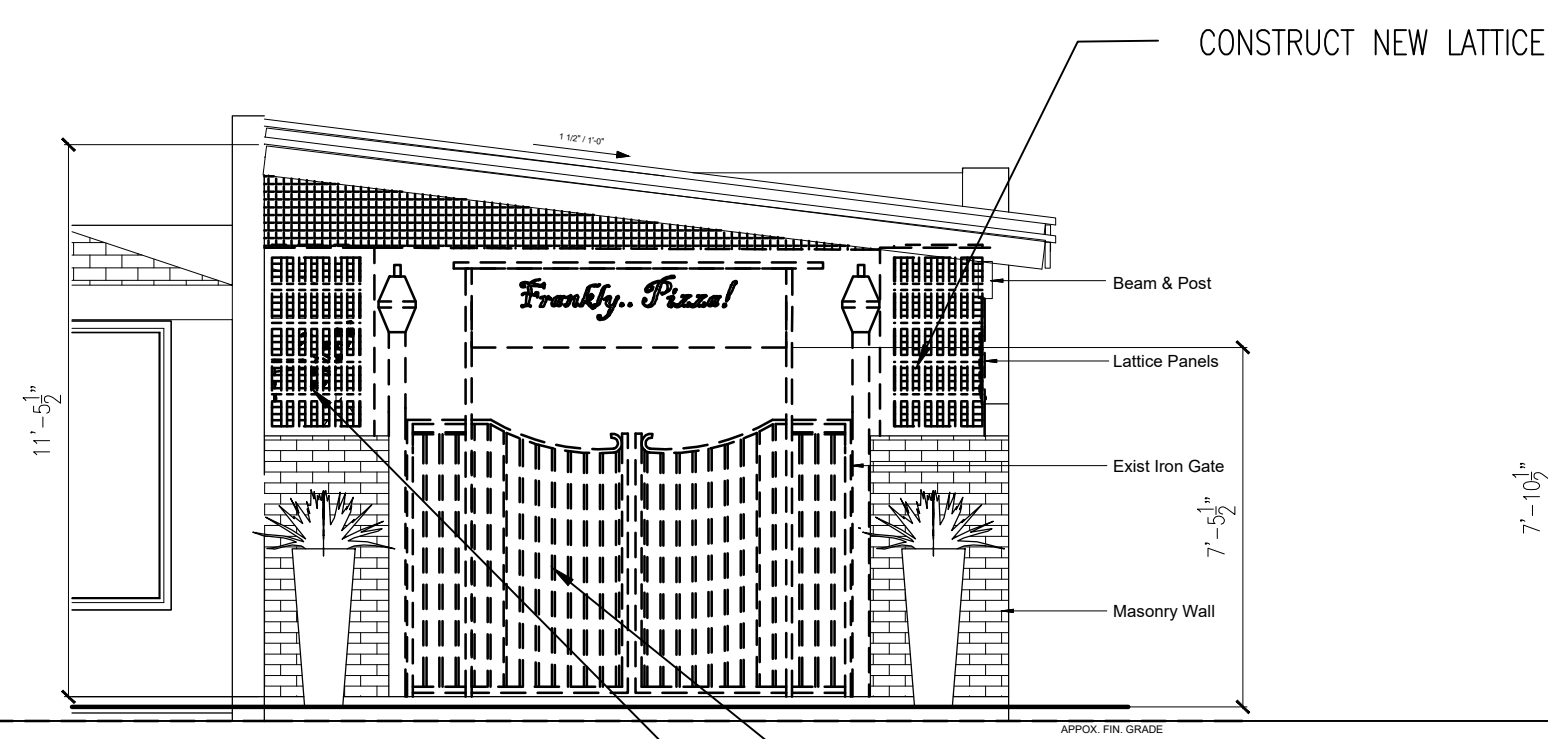


PROFESSIONAL CERTIFICATION
 I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 8941 expiration date 02-27-2024



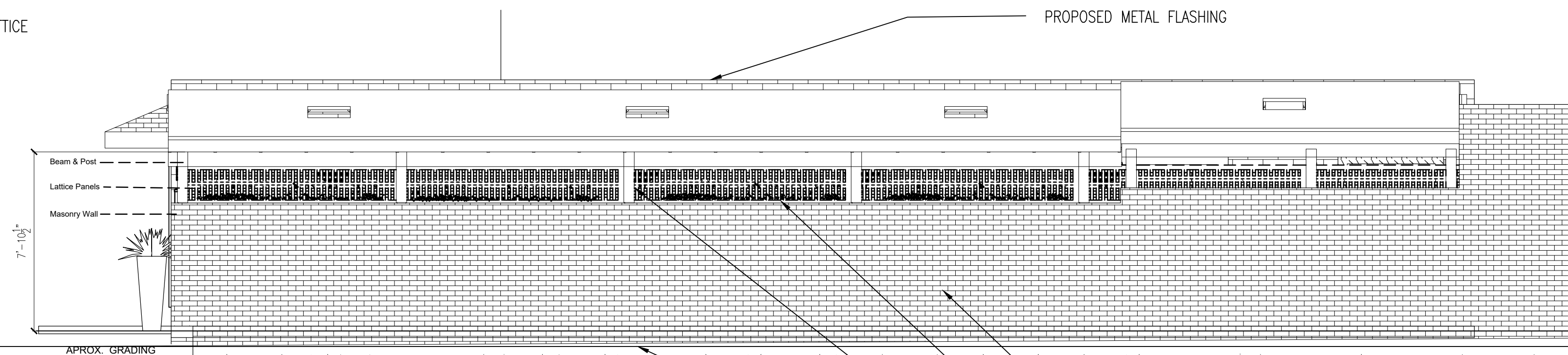
EXISTING PATIO ALTERATION
 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895
CDC DESIGN, LLC.
 DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

DRAWING NO. A-1.0 SHEET 00 OF 00	SHEET TITLE: AS BUILT/ PROPOSED PLANS	PROJECT NO. A023-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: JC OWED				



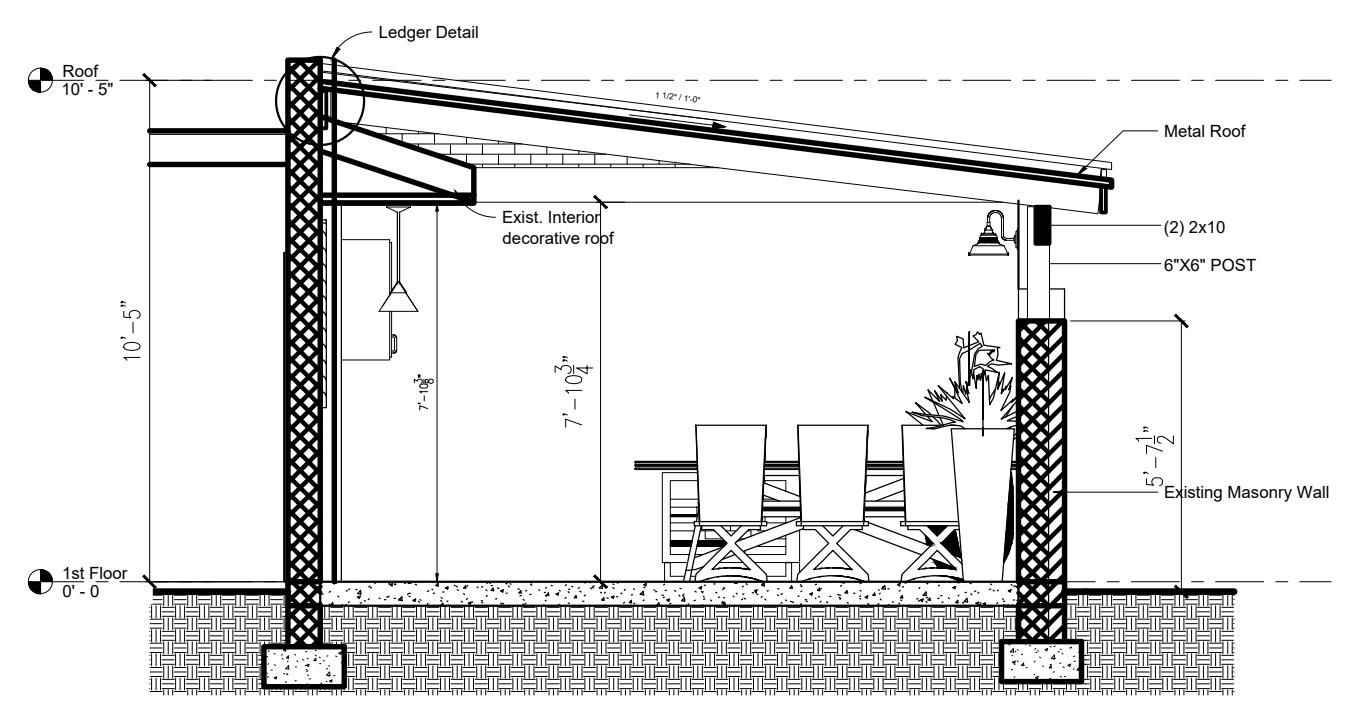
EXISTING METAL GATE TO REMAIN
CONSTRUCT NEW LATTICE

1 PROPOSED - FRONT ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"

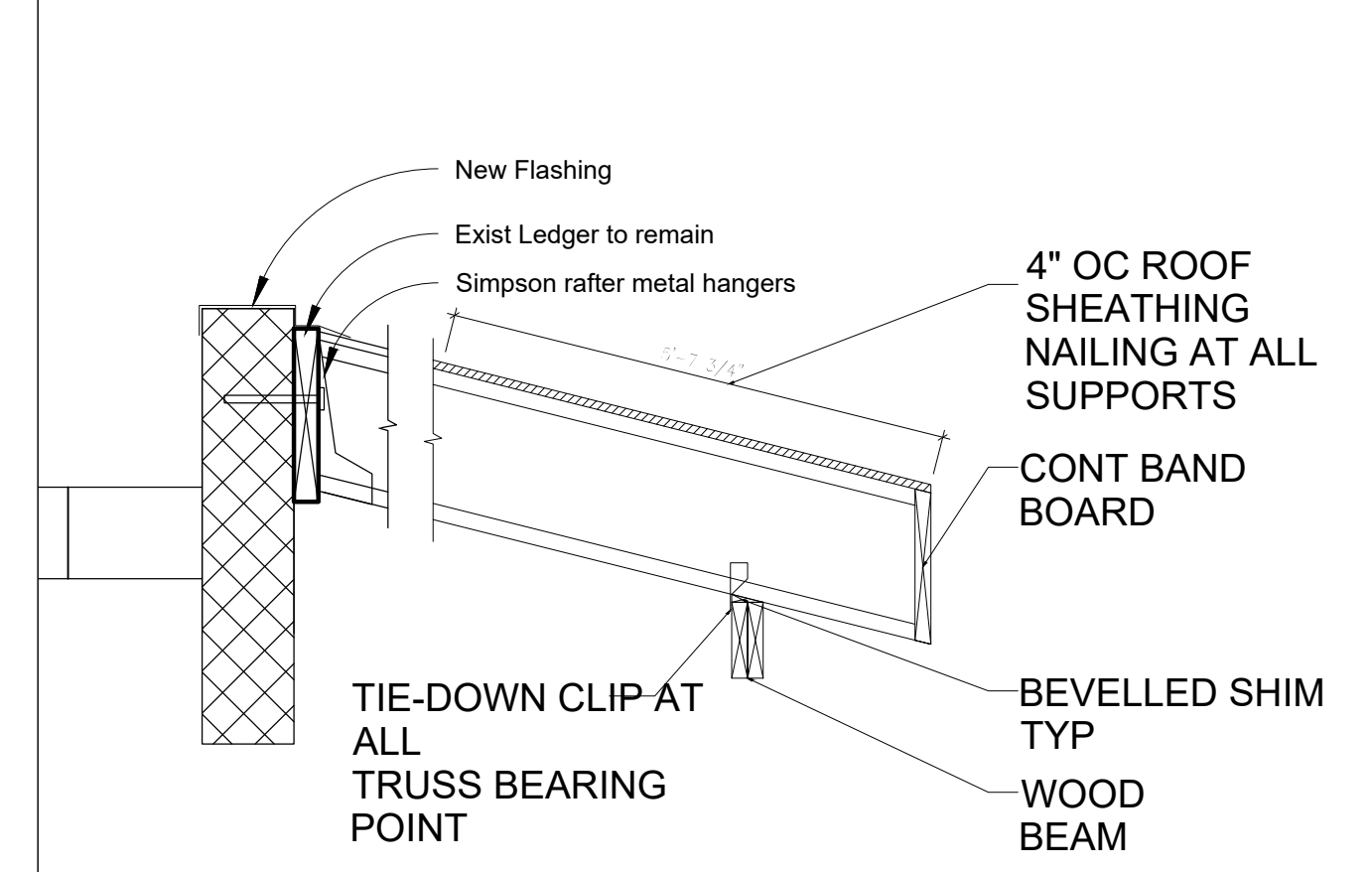


EXISTING MASONRY WALL
PROPOSED LATTICE PANEL
PROPOSED 6X6 POST
EXISTING GRADE

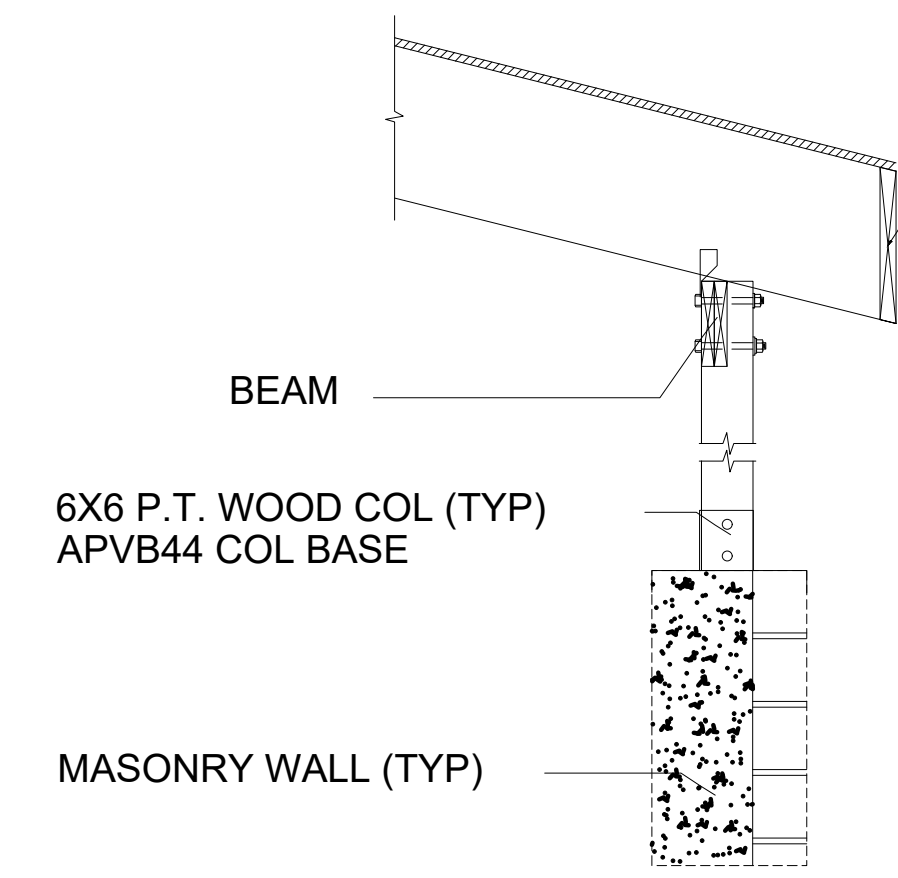
2 PROPOSED - RIGHT ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



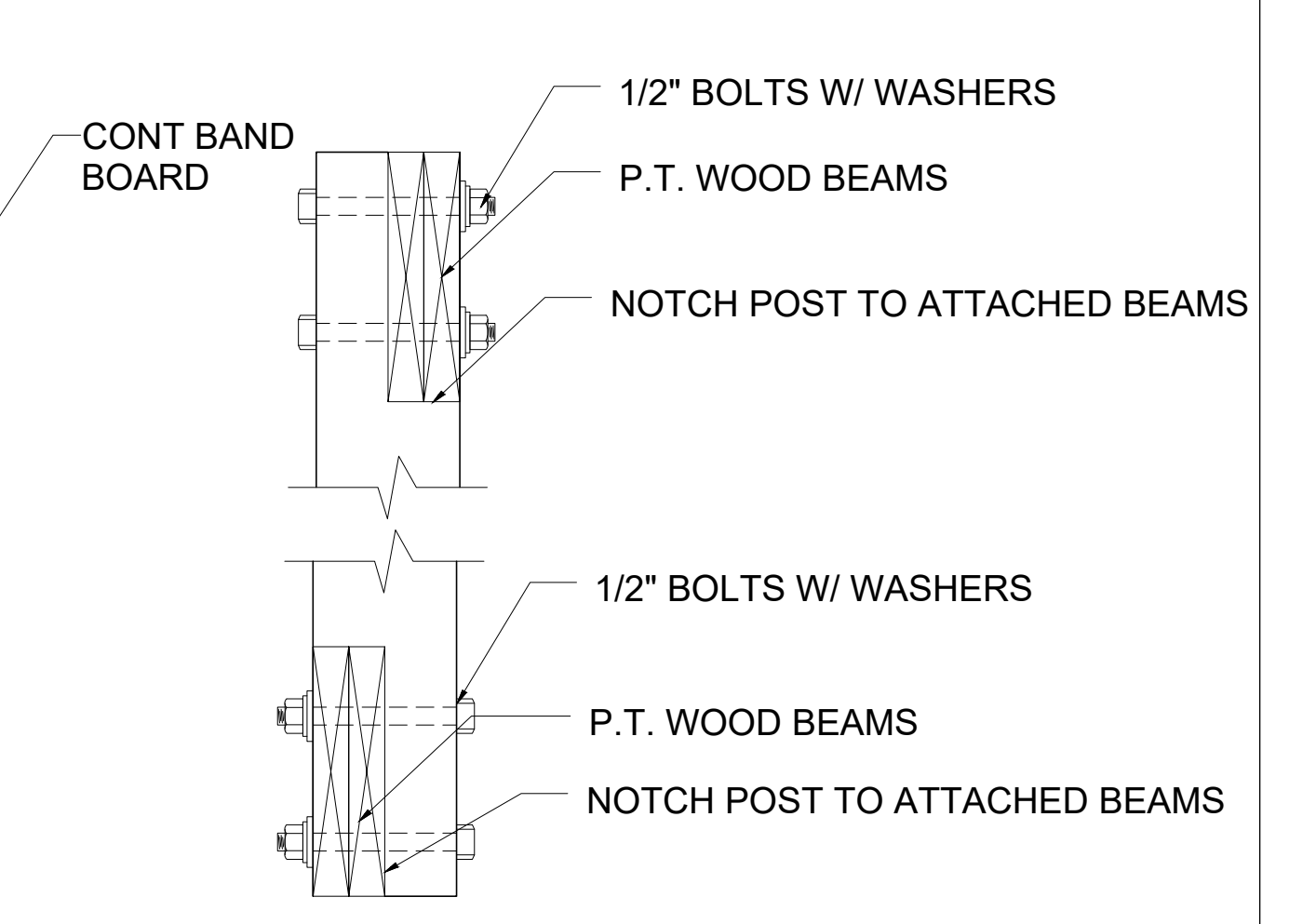
3 PROPOSED - SECTION
A-2.0 SCALE: 1/4" = 1'-0"



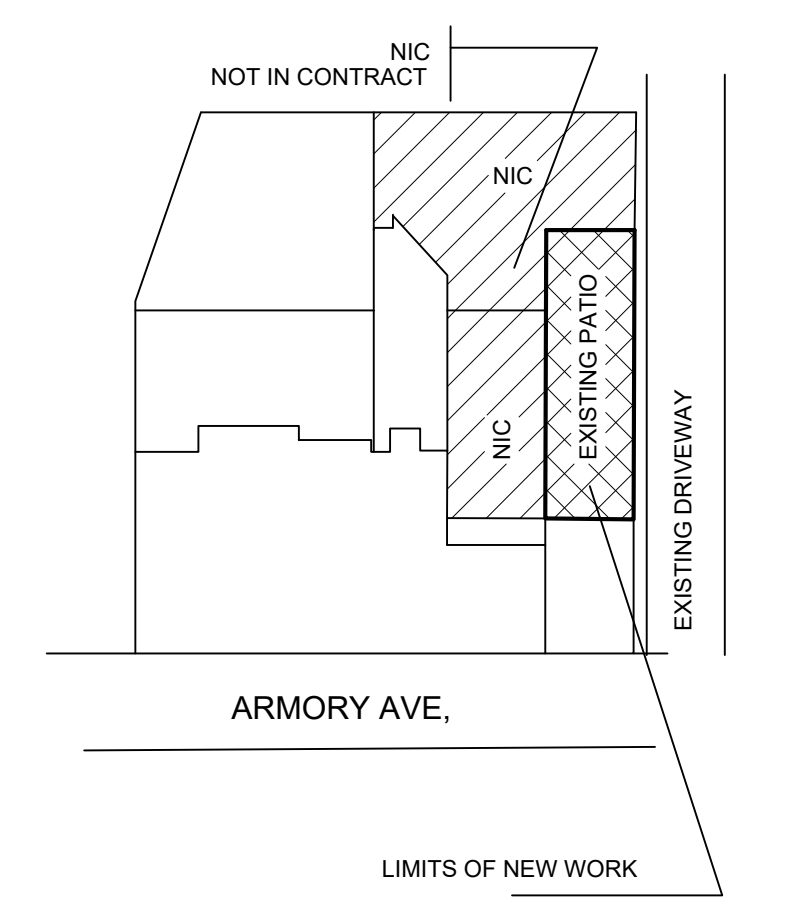
4 LEDGER DETAIL
A-2.0 SCALE: 1/2" = 1'-0"



5 BEAM & COLUMN DETAIL
A-2.0 SCALE: 1/2" = 1'-0"



6 BEAM & COLUMN CONNECTION DETAIL
A-2.0 SCALE: 1/2" = 1'-0"



KEY PLAN
NTS

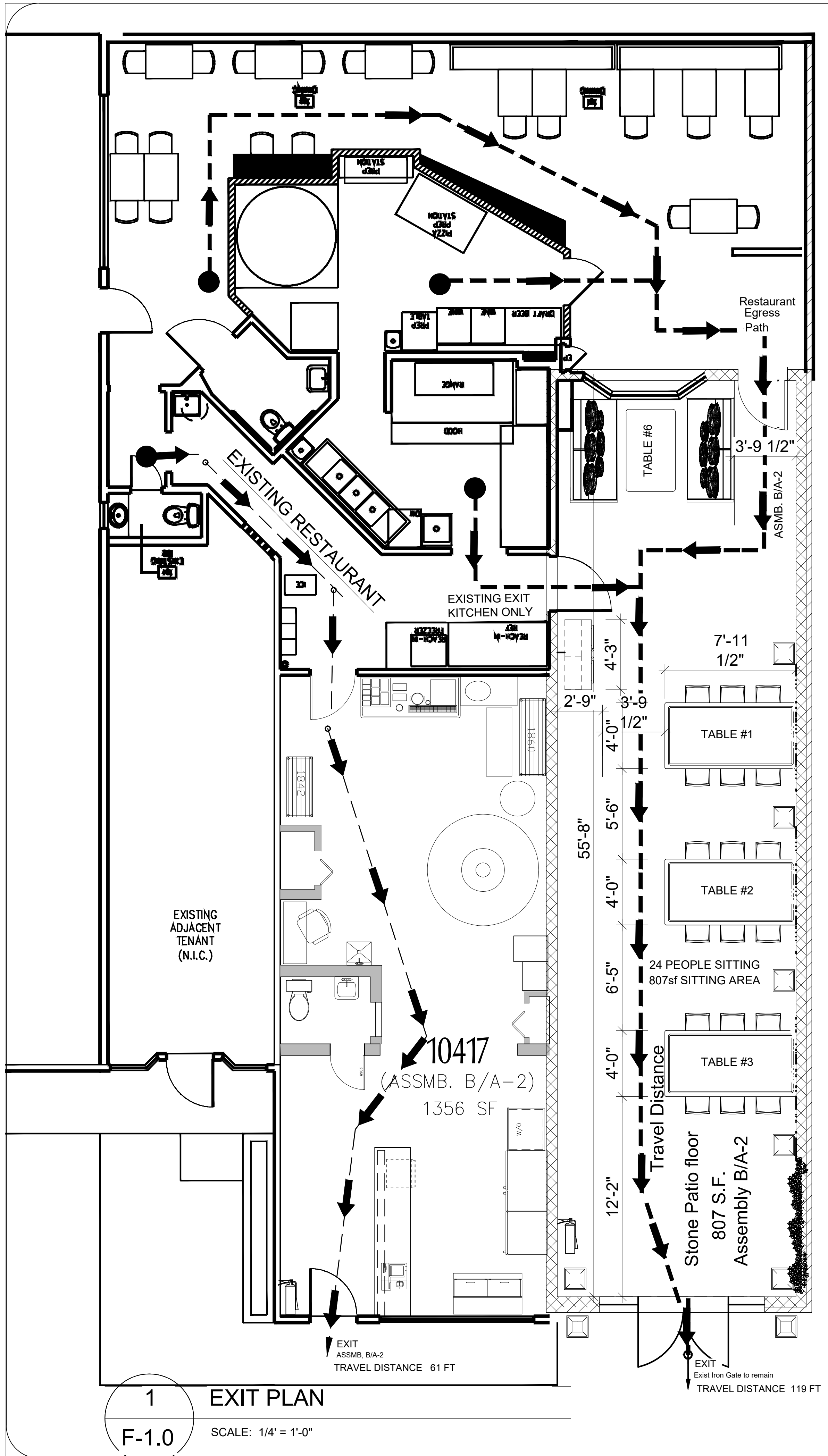
ALTERATION OF PATIO
10417 ARMORY AVE., KENSINGTON, MARYLAND 20895
CDC DESIGN, LLC.
DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
7903 ECHOLS AVE., LANHAM, MARYLAND 20706



PROFESSIONAL CERTIFICATION
I Certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 9241, expiration date 02-27-2024

DRAWING No. A-2.0 SHEET 00 OF 00	SHEET TITLE: FRONT & RIGHT SIDE ELEVATIONS, SECTION AND DETAILS	PROJECT No. A023-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: GCHWZ				

(301) 773 3000



1 EXIT PLAN
F-1.0 SCALE: 1/4" = 1'-0"

OCCUPANCY CALCULATIONS

10417C ARMORY LANE (EXIST.)			
PROJECT ADDRESS:	10417 ARMORY AVENUE KENSINGTON, MD 20895		
PROPOSED USE GROUP FOR TENANT:	A-2 RESTAURANT		
NOTE OF OPERATION:	RESTAURANT SHALL BE FULL SERVICE. CLIENTELE WILL PAY TABLE SIDE. OPERATION FOR LUNCH AND DINNER SERVICE.		
IBC USE AND OCCUPANCY CLASSIFICATION	B/A-2		
IBC CONSTRUCTION TYPE	IB		
NO. OF STORES (ABOVE GRADE)	1		
HIGH RISE	N		
COVERED MALL	N		
FULLY SPRINKLERED & MONITORED	Y		
GROSS BUILDING AREAS:			
TOTAL BUILDING SQUARE FOOTAGE	8,952 SF		
TENANT FITOUT (SCOPE OF WORK)	1,356 SF		
OCCUPANT COUNT PER USE BY CODE	FLOOR AREA PER OCCUPANT	AREA	OCCUPANT ALLOWANCE
DINING	15 NET	580	39
KITCHEN/PREP AREAS	200 GROSS	581	3
CORRIDOR/RESTROOMS	100 GROSS	195	2
TOTAL INTERIOR		1,356	45

NOTES:
 1. SEE EGRESS PLAN FOR EXIT DIAGRAM.
 2. SEASONAL OUTDOOR SEATING IS NOT INCLUDED IN THE INTERIOR OCCUPANT LOAD CALCULATION.
 3. BASED ON NEW LAYOUT, RESTAURANT SHALL SERVE MAXIMUM OF 24 PEOPLE AND SHALL HAVE 2 EMPLOYEES FOR A TOTAL OF 26 OCCUPANTS AT ANY GIVEN TIME.

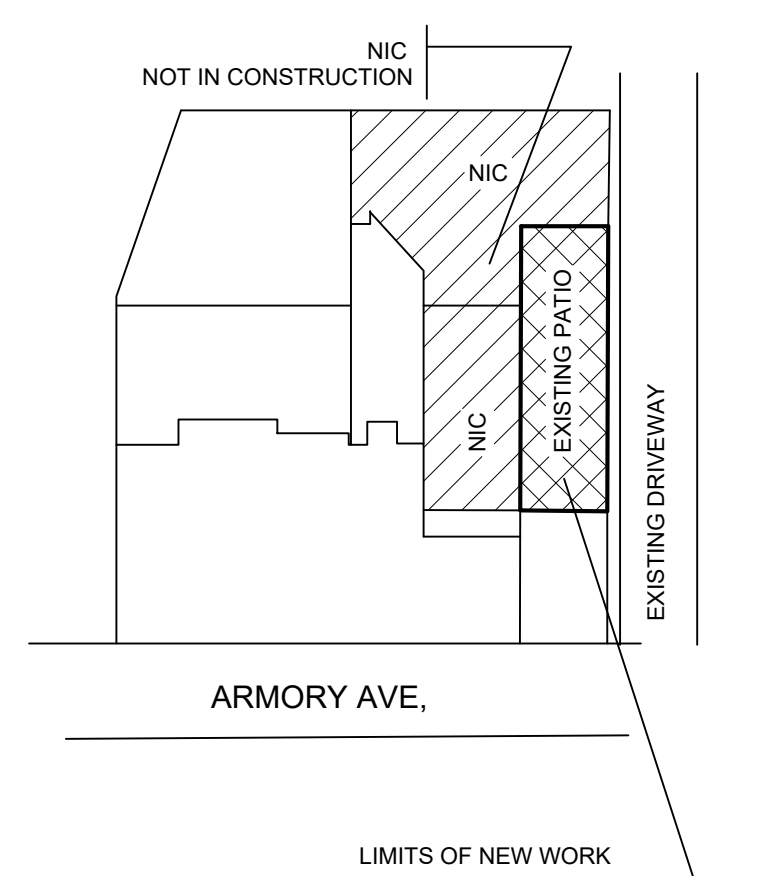
FIRE RESISTANCE AND BUILDING CODE INFORMATION	
BUILDING ELEMENT	TYPE IIB
STRUCTURAL FRAME INCLUDING COLUMNS, ORDERS AND TRUSSES	0
BEARING WALLS AND PARTITIONS EXTERIOR	0
BEARING WALLS AND PARTITIONS INTERIOR	0
NONBEARING WALLS AND PARTITIONS EXTERIOR	0
NONBEARING WALLS AND PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
EXIT ENCLOSURE	2
SHAFT	2
EXIT ACCESS CORRIDOR	1

- NOTES:
 1. BY COMPUTATION BUT 30" MINIMUM IS ALLOWED.
 2. SEPARATE PERMIT REQUIRED FOR FIRE EXTINGUISHERS.
 3. FIRE SAFETY SHALL BE MAINTAINED IN WORKING CONDITION DURING CONSTRUCTION, AS STATED IN IBC 2018.
 4. SAFEGUARDS DURING CONSTRUCTION SHALL BE AS STATED IN IBC 2018 CHAPTER 13 AND 2018 WITH 241.
 5. ALL EGRESS DOOR SHALL HAVE READILY VISIBLE DURABLE SIGN ON THE EGRESS SIDE OF THE DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED PER 2018 IBC SECTION 10101.1.3.2.
- CLEAR EGRESS WIDTH 36" Min
 2018 IBC 1024.2
- TRAVEL DISTANCE/DIRECTION
 ● PORTABLE FIRE EXTINGUISHER (Shall be mounted within 5' of egress exist door)

10417 ARMORY LANE (NEW)			
PROJECT ADDRESS:	10417 ARMORY AVENUE KENSINGTON, MD 20895		
PROPOSED USE GROUP FOR TENANT:	A-2 RESTAURANT		
NOTE OF OPERATION:	SPACE TO BE FOR TAKE OUT SERVICE ONLY WITH NO SEATING OR BATHROOM FACILITIES		
IBC USE AND OCCUPANCY CLASSIFICATION	B/A-2		
IBC CONSTRUCTION TYPE	IB		
NO. OF STORES (ABOVE GRADE)	1		
HIGH RISE	N		
COVERED MALL	N		
FULLY SPRINKLERED & MONITORED	Y		
GROSS BUILDING AREAS:			
TOTAL BUILDING SQUARE FOOTAGE	8,952 SF		
TENANT FITOUT (SCOPE OF WORK)	959 SF		
OCCUPANT COUNT PER USE BY CODE	FLOOR AREA PER OCCUPANT	AREA	OCCUPANT ALLOWANCE
ASSEMBLY AREAS WITHOUT FIXED SEATS	15 NET	82	5
KITCHEN/PREP AREAS	200 GROSS	781	4
CORRIDOR/RESTROOMS	100 GROSS	96	1
TOTAL INTERIOR		959	10

NOTES:
 1. SEE EGRESS PLAN FOR EXIT DIAGRAM.

FIRE RESISTANCE AND BUILDING CODE INFORMATION	
BUILDING ELEMENT	TYPE IIB
STRUCTURAL FRAME INCLUDING COLUMNS, ORDERS AND TRUSSES	0
BEARING WALLS AND PARTITIONS EXTERIOR	0
BEARING WALLS AND PARTITIONS INTERIOR	0
NONBEARING WALLS AND PARTITIONS EXTERIOR	0
NONBEARING WALLS AND PARTITIONS INTERIOR	0
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	0
EXIT ENCLOSURE	2
SHAFT	2
EXIT ACCESS CORRIDOR	1



KEY PLAN
 NTS

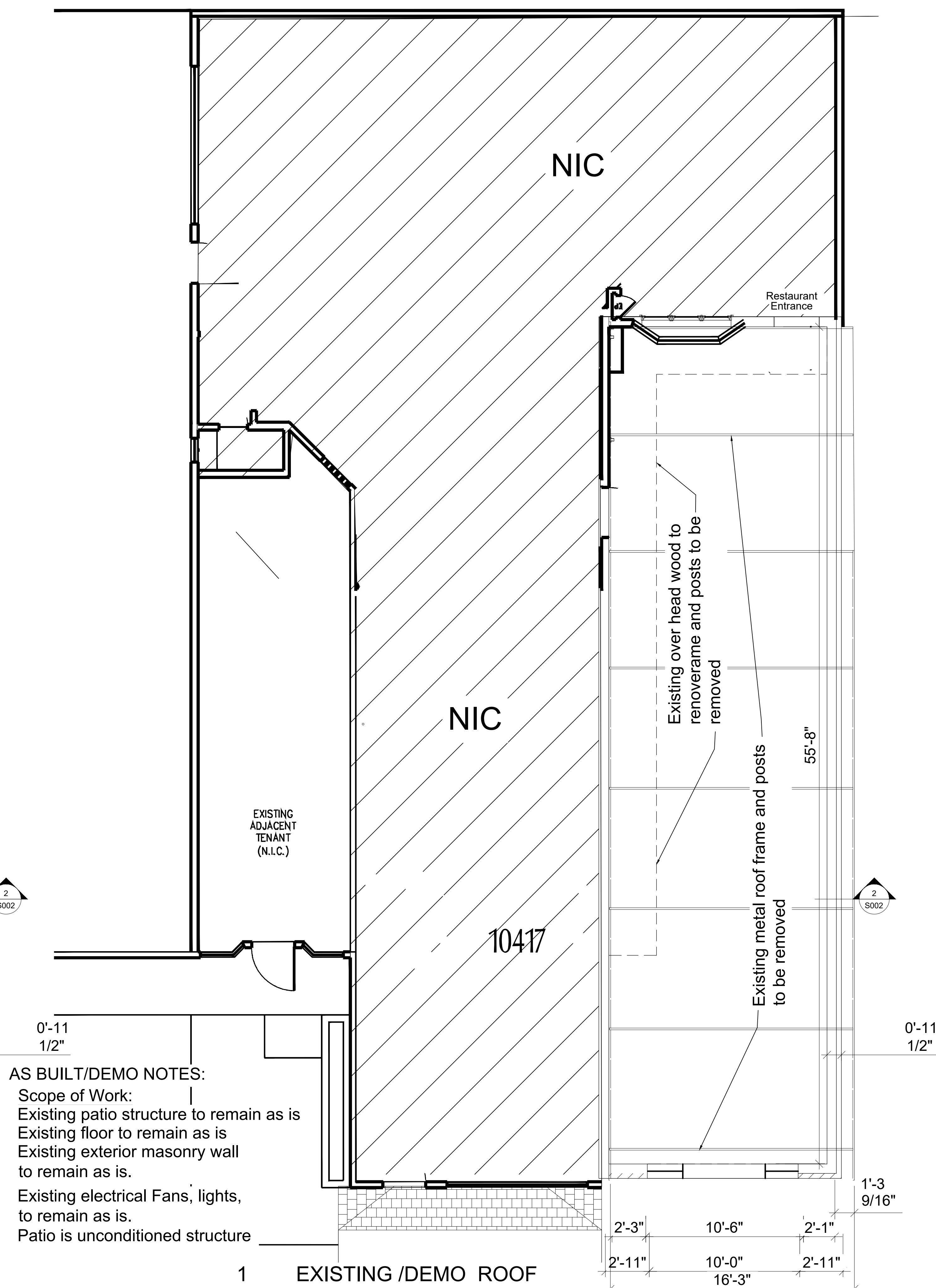
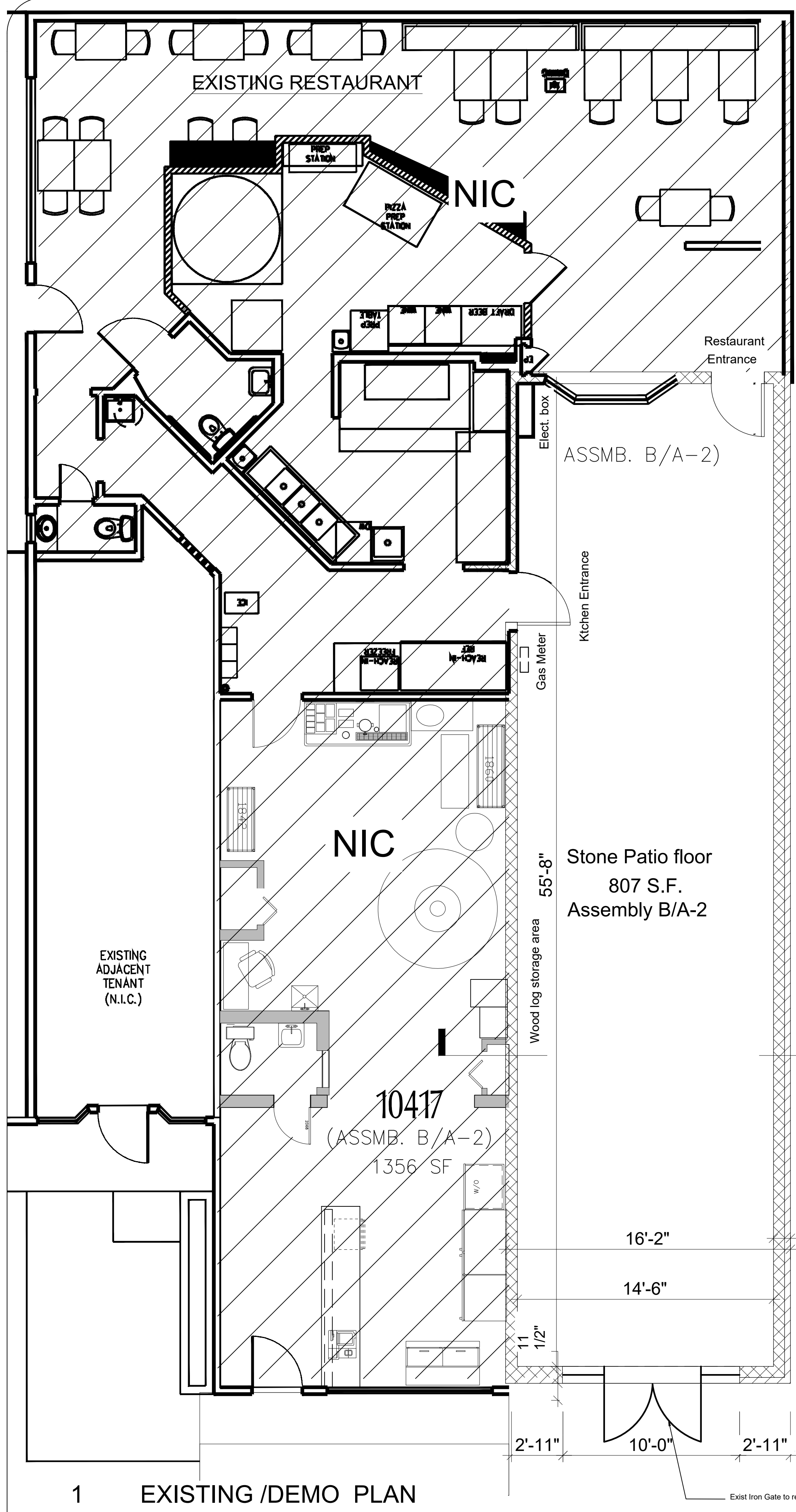
EXISTING PATIO ALTERATION
 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895
CDC DESIGN, LLC.
 DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

(301) 773 3000



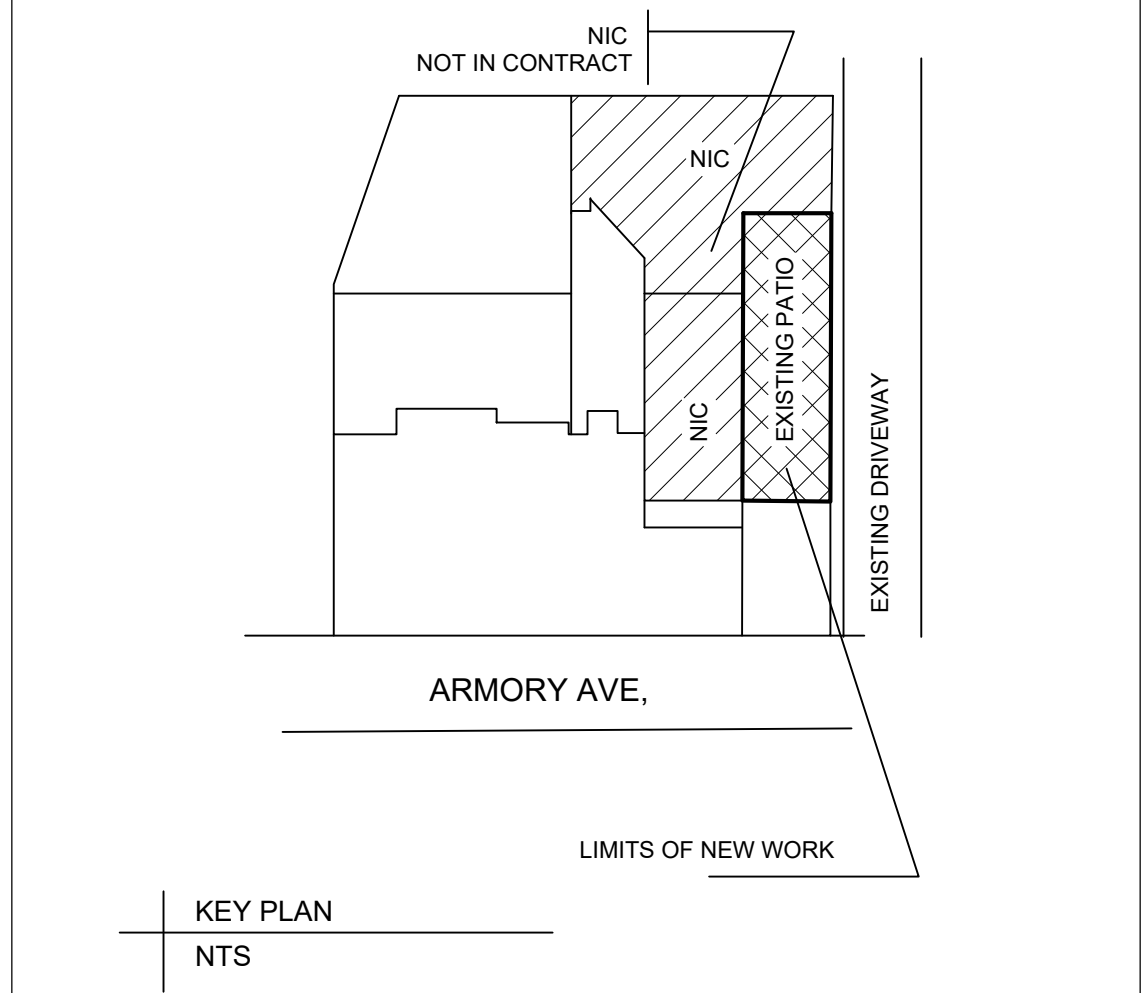
PROFESSIONAL CERTIFICATION
 I certify that these documents were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 8941, expiration date 02-27-2024

DRAWING No. F-1.0 SHEET 00 OF 00	SHEET TITLE: C FIRE SAFETY PLAN	PROJECT No. AO23-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: JC OKED				



AS BUILT/DEMO NOTES:
 Scope of Work:
 Existing patio structure to remain as is
 Existing floor to remain as is
 Existing exterior masonry wall to remain as is.
 Existing electrical Fans, lights, to remain as is.
 Patio is unconditioned structure

PROFESSIONAL CERTIFICATION
 I Certify that these document were prepared or approved by me, and that I am a duly licensed Architect under the laws of the State of Maryland license number 9941 expiration date 02-27-2024



EXISTING PATIO ALTERATION
 10417 ARMORY AVE, KENSINGTON, MARYLAND 20895
CDC DESIGN, LLC.
 DESIGN & CONSTRUCTION MANAGEMENT ARCHITECTS
 7903 ECHOLS AVE, LANHAM, MARYLAND 20706

DRAWING NO. D-1.0 SHEET 00 OF 00	SHEET TITLE: AS BUILT/DEMO PLAN	PROJECT NO. A023-014	MARK	REVISIONS	DATE
	DATE: 07/11/23 SCALE: AS SHOWN DRAWN BY: JC CHKD:				

1 EXISTING / DEMO PLAN
 D-1.0 SCALE: 1/4" = 1'-0"

1 EXISTING / DEMO ROOF
 D-1.0 SCALE: 1/4" = 1'-0"

(301) 773 3000



POTOMAC sweets

FRANKLYPIZZA.COM



10417

CARRY OUT • DINE IN

Frankly...Pizza!

CLOSED

CLOSED

COM

10417

E IN



Frankly... Pizza!

Sorry
we're
CLOSED

SECURED BY
ADT
1-800-ADT-5247
ADT

