

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7200 Maple Avenue, Takoma Park	<b>Meeting Date:</b>	9/6/2023
<b>Resource:</b>	Outstanding Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	8/30/2023
<b>Applicant:</b>	Elizabeth Baer & Daniel Eichner (Richard J. Vitullo, Architect)	<b>Public Notice:</b>	8/23/2023
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Permit Number:</b>	1040006	<b>Staff:</b>	John Liebertz

**PROPOSAL:** Partial demolition and new construction.

**STAFF RECOMMENDATION**

Staff recommends that the Historic Preservation Commission (HPC) **approve with ten (10) conditions** the HAWP application with final approval of all details delegated to staff:

1. The applicant shall submit specifications for the new foundation (infilled section of the existing addition).
2. The applicant shall remove and replace the proposed wood lap siding with a 2 ½” reveal with the smooth finished, cementitious fiberboard siding (with a 6” exposure) on the first story of the rear addition.
3. The applicant shall submit additional window specifications that the muntin profile and width match the existing windows to the greatest possible extent.
4. The applicant shall revise the note on the rear elevation from “new wood windows” to “new aluminum-clad widows.”
5. The applicant shall submit specifications for the single-leaf door on the north elevation.
6. The applicant shall submit a detailed drawing of the proposed screened-in porch.
7. The applicant shall submit material specifications for the stone patio.
8. The applicant shall submit the specifications for any new lighting.
9. The applicant shall submit the project to the City of Takoma Park’s Urban Forester, follow any recommendations, and forward the correspondence to staff.
10. The applicant shall include a note that all cellular polyvinyl chloride and poly-ash trim is painted.



**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Takoma Park Historic District

**STYLE:** Craftsman

**DATE:** c. 1923

*Figure 1: The subject property (noted with the yellow star) is located at the northeast corner of the intersection of Maple and Tulip Avenues.*

## **PROPOSAL**

The applicant proposes the following alterations: 1) infill the open space/areaway on the first story of the two-story addition on the west elevation; 2) replace the existing material and fenestration patterns on the rear addition; 3) demolish the existing deck and arbor; 4) construct a screened-in porch primarily within the footprint of the existing deck; 5) install a new stair accessing the screened-in porch on its south elevation; 6) construct a new covered entryway on the north elevation of the rear addition; 7) add a 450 square foot stone and concrete patio with a 12'x12' arbor to the south of the screened-in porch and addition; and 8) relocate the existing fence and gates.

## **APPLICABLE GUIDELINES**

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

### ***Takoma Park Historic District Guidelines***

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Outstanding Resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes and additions. The guiding principles to be utilized by the Historic Preservation Commission are the Secretary of the Interior's Standards for Rehabilitation.

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources:

- Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setback, and materials,
- Emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way,
- Preservation of original and distinctive architectural features, such as porches, dormers, decorative details, shutters, etc. is encouraged,
- Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged,
- Preservation of original building materials and use of appropriate, compatible new materials is encouraged, and
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.



**Montgomery County Code, Chapter 24A-8**

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION*****Property History***

The subject property located at the intersection of Maple Avenue and Tulip Avenue is an Outstanding Resource to the Takoma Park Historic District. The site features a Craftsman-influenced house constructed c. 1923. The wood-frame house rests on a parged concrete foundation and supports a gable roof. The walls are clad with wood lap siding. Typical fenestration consists of six-over-one, double-hung, wood-sash windows and four-light, fixed wood windows.

The house is oriented towards Tulip Avenue, but it is addressed as 7200 Maple Avenue. The 1927 to 1963 Sanborn Fire Insurance Map depicts the presently enclosed porch (facing Maple Avenue) on the east elevation as open, the extant portico on the south elevation (facing Tulip Avenue), a sleeping porch on the northwest corner of the house, and a two-car garage in the northwest corner of the property. It is uncertain whether the portico on the south elevation or the porch on the east elevation served as the original entry to the home. The best evidence available is from a 1952 sale advertisement that noted its “central hall

entrance.” This description aligns with the south elevation as the primary point of entry at that time. In the mid-to-late twentieth century, previous property owners altered the west elevation (functional rear) of the dwelling to create the current two-story, shed roof addition where the proposed work would occur.



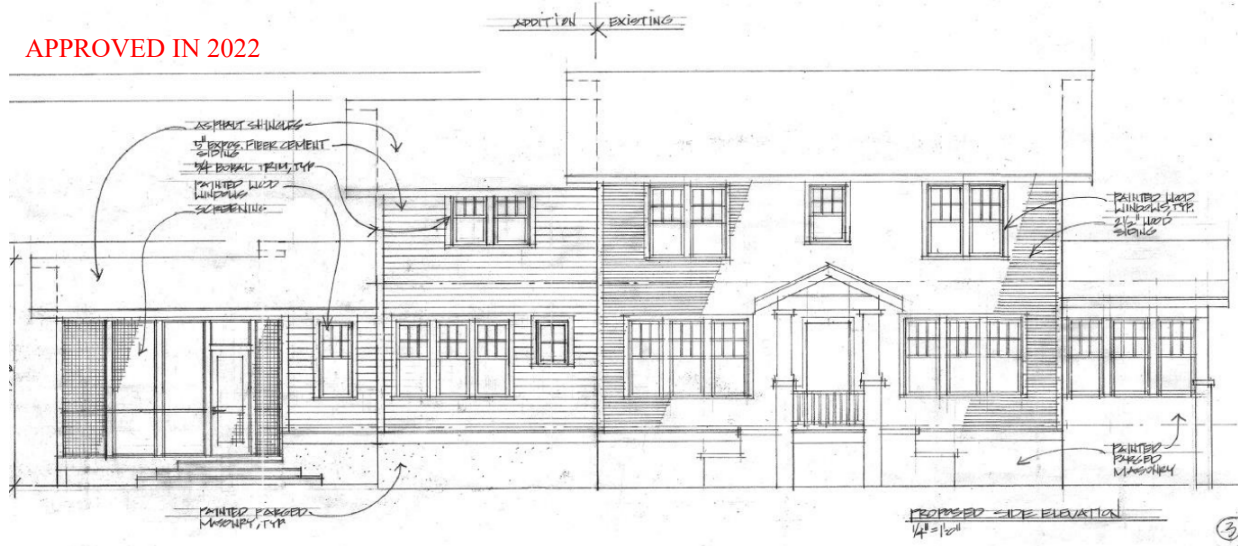
**Figure 2: View of the south elevation facing Tulip Avenue which serves as the current primary entrance (top) and the east elevation showing the enclosed porch facing Maple Avenue (left), and the 1927-1963 Sanborn Fire Insurance Map with the property outlined in red.**

### *Historic Area Work Permits*

The Historic Preservation Commission reviewed and approved a much larger addition and screened-in porch submitted by the applicant at its March 23, 2022, meeting. For more information, see <https://montgomeryplanning.org/wp-content/uploads/2022/03/I.B-7200-Maple-Avenue-Takoma-Park-982698.pdf>. This proposal omits the approved demolition of the existing sleeping porch and construction of a new gable addition. Instead, it retains the form of the extant shed roof, rear addition and adds a new screened-in porch within the footprint of the existing deck (*Figure 3*).



APPROVED IN 2022



CURRENT PROPOSAL

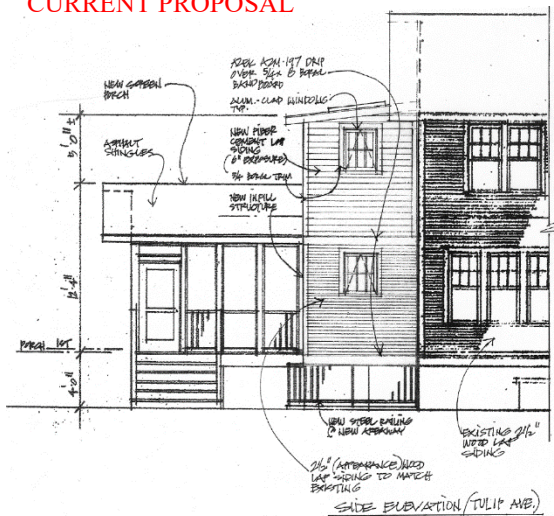


Figure 3: View of the HAWP approved by the HPC in March 2022 (top) and the revised proposal submitted by the applicant (bottom).  
Source: Applicant.

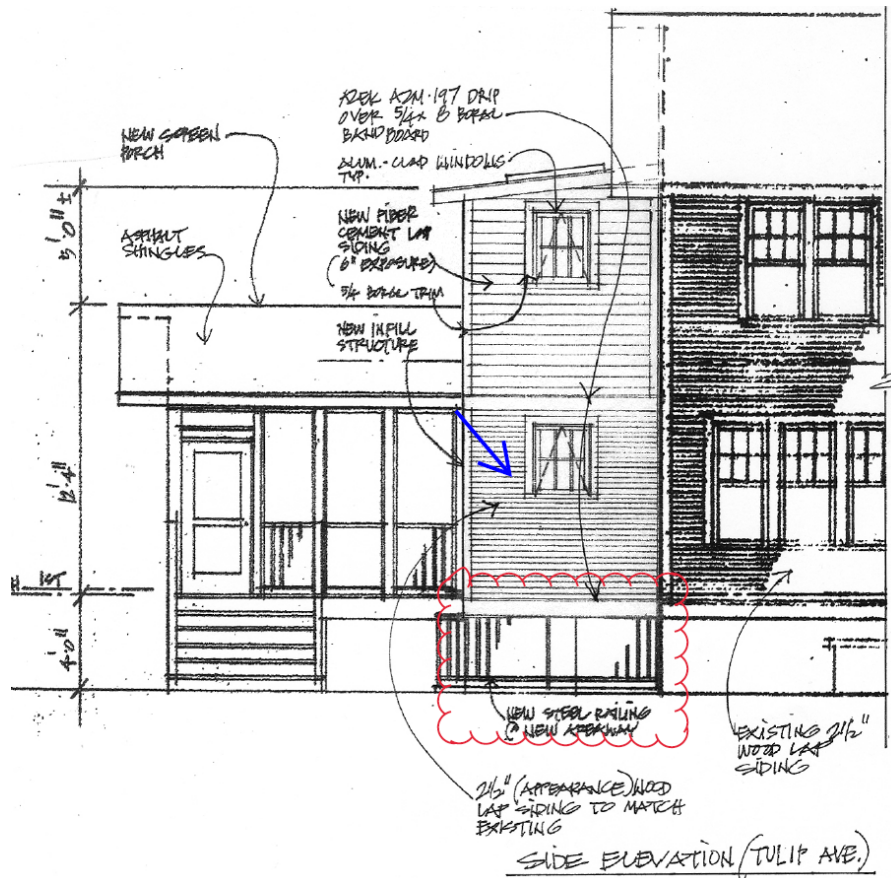
Proposal – Existing Addition (Scale and Massing)

Staff finds that the proposed renovation and expansion of the rear addition (prior sleeping porch) to be consistent with the applicable guidelines and recommends approval. The proposal primarily would retain the existing scale and form of the rear addition and compatibility with the house. A covered entryway (7’9 x 6’) would be added on the northwest corner of the rear addition and an open areaway under the second story of the rear addition would be infilled. While the alterations on the west elevation would be visible from the public rights-of-way, there are no other feasible locations due to the constraints of the corner lot. Lastly, the overall scale and massing of the proposal would have no adverse effect to the individual resource or the historic district. The HPC approved a much larger gable addition with a screened-in porch in this same location in 2022.

Proposal – Existing Addition (Material)

Staff finds the proposed materials to be consistent with the applicable guidelines and recommends approval with conditions. Staff requests the applicant label the proposed foundation for the infilled section of the rear addition; it should be parged CMU or a similar material to mimic the appearance of the existing masonry foundation of the historic house (Figure 4).

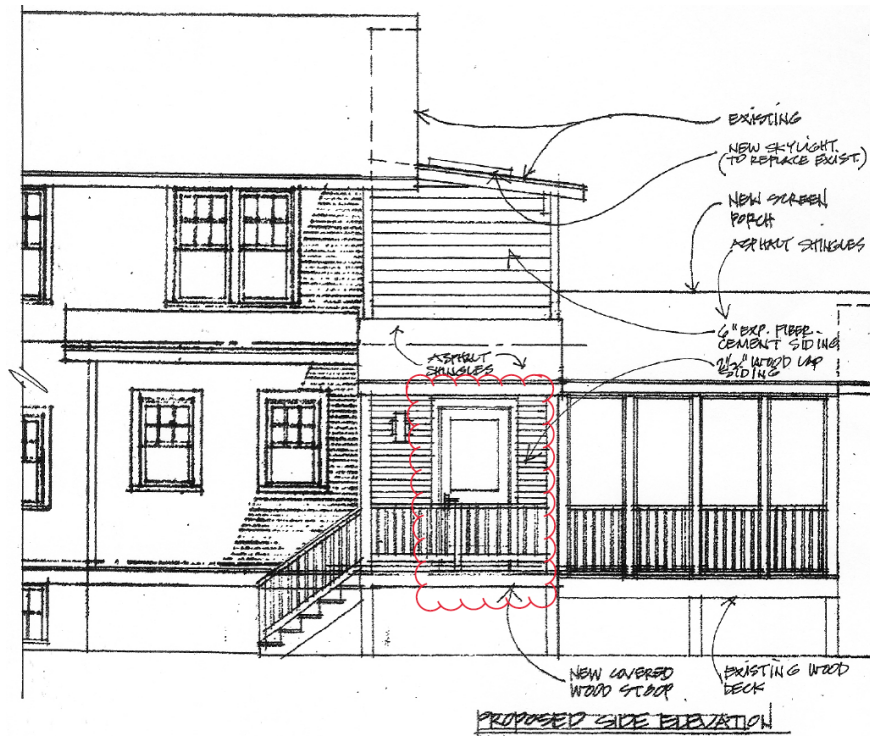
The proposal utilized wood lap siding (with a 2 ½” reveal) on the first story and cementitious fiberboard siding (with a 6” exposure) on the second story of the rear addition (*Figure 4*). The new wood siding, however, matches the historic house and provides a false narrative about the evolution of the property. Therefore, staff recommends the replacement of all wood lap siding with a smooth-finished, cementitious fiberboard siding (with a 6” exposure). The HPC regularly approves the use of substitute material on additions to Outstanding Resources in the historic district including the proposed cementitious fiberboard siding and cellular polyvinyl chloride and poly-ash trim.



*Figure 4: View of the proposed south elevation. The blue arrow points to the proposed wood lap siding with a 2 ½” reveal. Staff recommends replacement of this siding with cementitious siding with a 6” exposure. The area noted with the red cloud shows the foundation that requires a note about material.*

Staff finds the proposed single-light and six-light, aluminum-clad, awning windows to be compatible with the historic house. Staff, however, requests additional information about the muntin’s profile and width which should match the historic house’s window to the greatest possible extent. In addition, the note for the windows on the rear elevation should be revised from “new wood windows” to “new aluminum-clad windows.”

Staff finds the proposed wood sliding glass doors accessing the screened-in porch and the single-light, single-leaf wood door on the new covered entry in the northwest corner of the house to be compatible with the historic house. These doors would have no or limited visibility from the public right-of-way, and therefore, would have no adverse effect. Staff requests that the applicant submit a specification sheet for the proposed single-leaf door (*Figure 5*).



**Figure 5: View of the proposed north elevation. Staff requests a specification sheet for the door noted with the red cloud.**

Staff finds the replacement of the existing shallow pitched shed roof with an EPDM (rubber roof), if required, and the replacement of the existing skylight to be compatible with the historic house and the surrounding district. Due to the roof slope, these materials would have no visibility from the public rights-of-way.

#### *Proposal – Screened-in Porch (Scale, Design, and Materials)*

Staff finds the proposed gable roof, screened-in porch to be consistent with the applicable guidelines and recommends approval with conditions. The porch would be 16' x 12' and the roof ridge would be 16'4" above grade. The porch features wood flooring, wood framing and posts railing wrapped in cementitious fiberboard trim, wood railing, and polyvinyl chloride screening. The size, scale, and materials are compatible with the proposed addition and historic house. Staff, however, requests a detailed drawing illustrating how the posts and the screening would be installed. The posts should rest on the flooring and not be bolted to the exterior fascia board.

#### *Proposal – Areaway, Hardscape, Arbor, and Fencing*

Staff finds the proposed concrete areaway with steel railing (abutting the south elevation of the existing elevation and screened-in porch), the 450 square-foot stone and concrete patio, the arbor (12' x 12'), and the relocation of fencing to be consistent with the applicable guidelines and recommends approval with conditions. These items would be located in the rear yard and have limited visibility (absent the removal of the existing fence) from the public rights-of-way. The proposed arbor on the stone patio replaces an existing arbor located on the deck. As a result, there would be no adverse effects to the setting, landscaping, or patterns of open space in the historic district. Staff, however, requests additional material specifications for the proposed patio which are absent from the application.

#### *Proposal – Trees*

Staff finds that the overall proposal would not adversely affect significant trees, meets the applicable guidelines, and recommends approval with condition. Staff requests that the applicant contact the Urban

Forester for the City of Takoma Park, follow all recommendations and requirements, and forward the correspondence to staff.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the condition, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* #9, and #10, and *Takoma Park Historic District Guidelines*.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with ten (10) conditions** the HAWP application with final approval delegated to staff:

1. The applicant shall submit specifications for the new foundation (infilled section of the existing addition).
2. The applicant shall remove and replace the proposed wood lap siding with a 2 ½" reveal with the smooth finished, cementitious fiberboard siding (with a 6" exposure) on the first story of the rear addition.
3. The applicant shall submit additional window specifications that the muntin profile and width match the existing windows to the greatest possible extent.
4. The applicant shall revise the note on the rear elevation from "new wood windows" to "new aluminum-clad widows."
5. The applicant shall submit specifications for the single-leaf door on the north elevation.
6. The applicant shall submit a detailed drawing of the proposed screened-in porch.
7. The applicant shall submit material specifications for the stone patio.
8. The applicant shall submit the specifications for any new lighting.
9. The applicant shall submit the project to the City of Takoma Park's Urban Forester, follow any recommendations, and forward the correspondence to staff.
10. The applicant shall include a note that all cellular polyvinyl chloride and poly-ash trim is painted.

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #9 and #10.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [john.liebertz@montgomeryplanning.org](mailto:john.liebertz@montgomeryplanning.org) to schedule a follow-up site visit.





APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

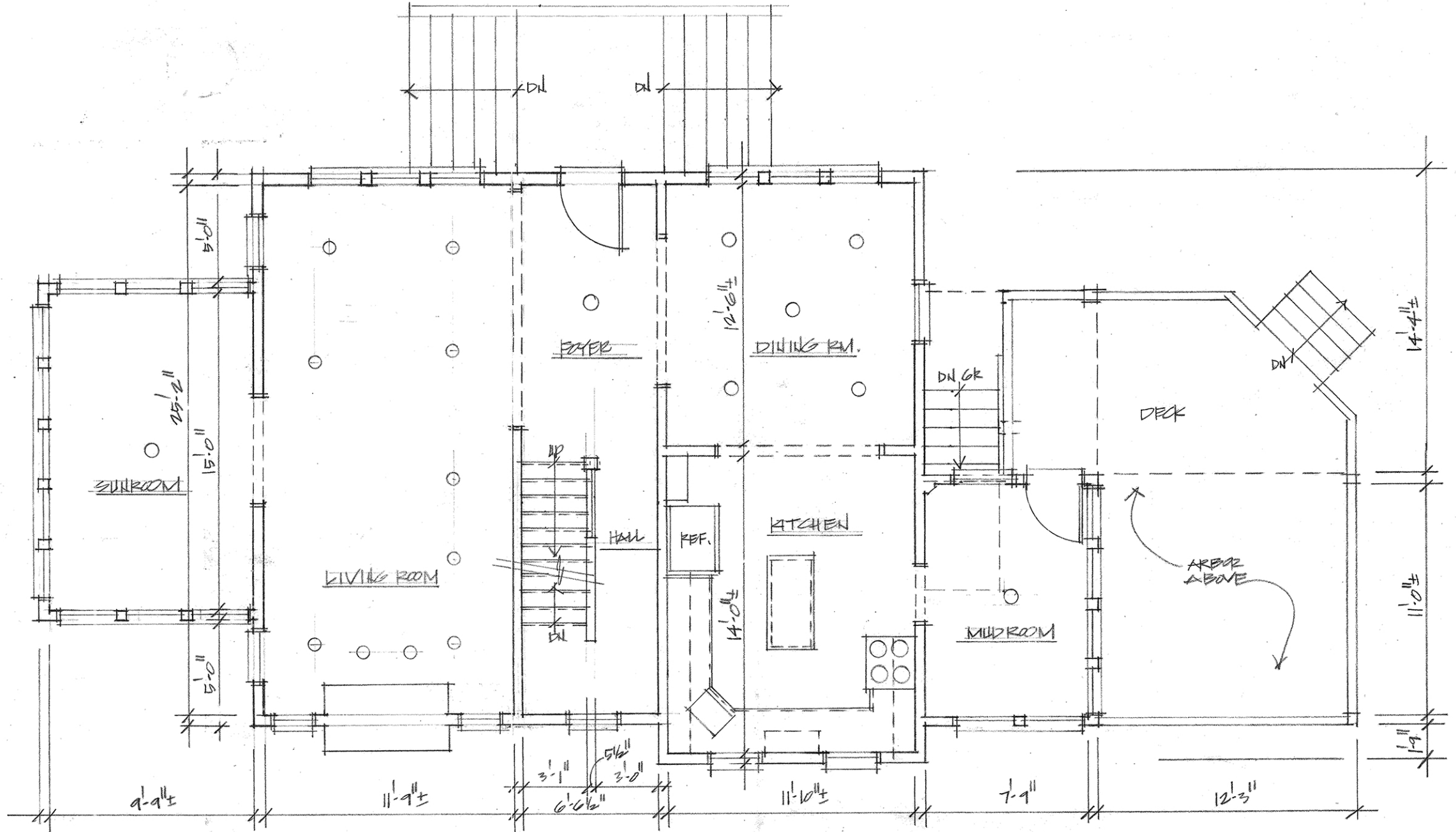
Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

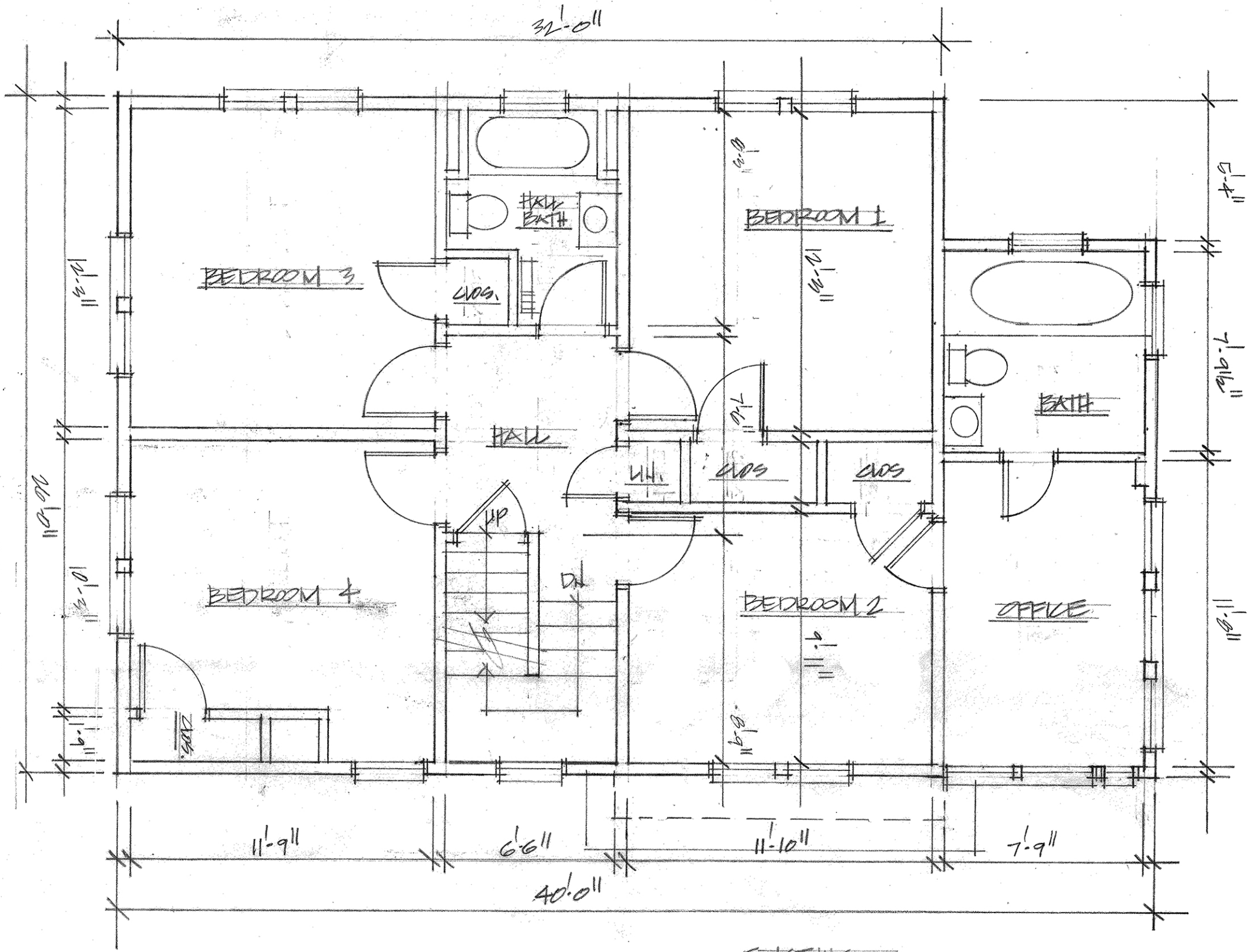
**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



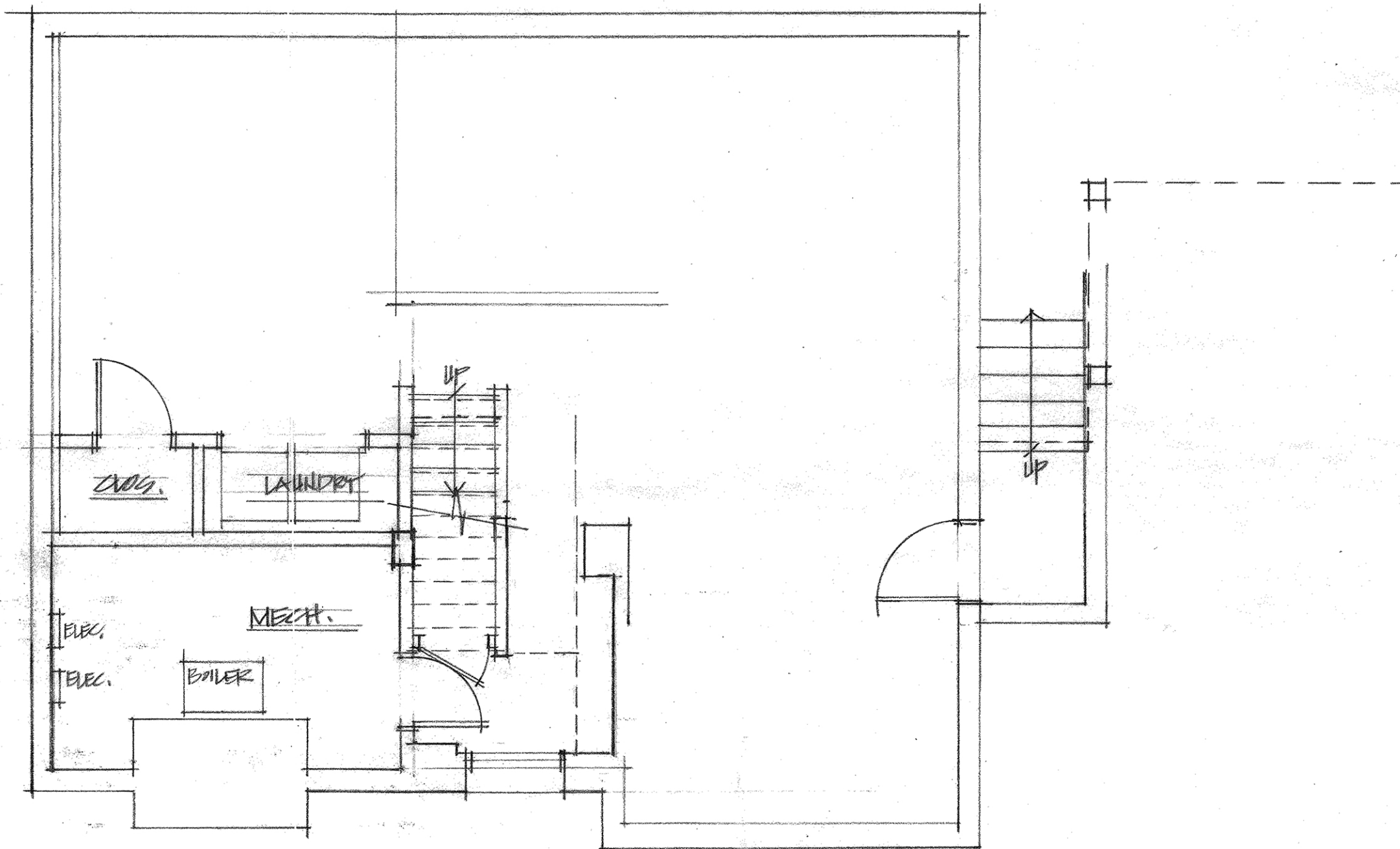
EXISTING  
FIRST FLOOR PLAN  
1/4" = 1'-0"

BAER/EICHNER RESIDENCE  
7200 MAPLE AVE  
BETHESDA, MD



EXISTING  
 SECOND FLOOR PLAN  
 1/4" = 1'-0"



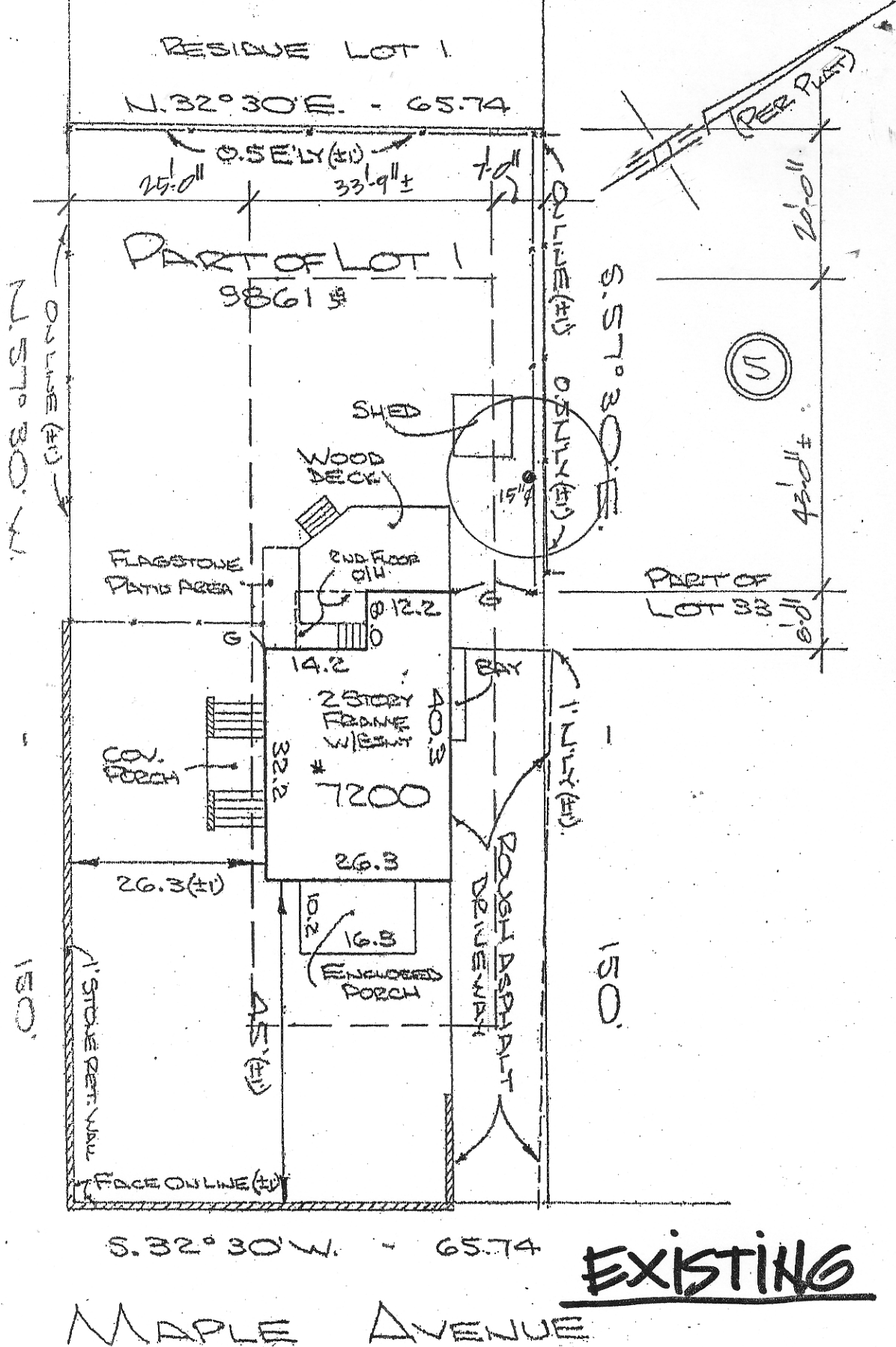


EXISTING  
BASEMENT PLAN

1/4" = 1'-0"

8

TULIP AVENUE



Capitol Surveys, Inc.  
 10762 Rhode Island Avenue  
 Beltsville, Maryland 20705

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the

DESCRIPTION OF ***EXISTING*** STRUCTURE,  
ENVIRONMENTAL SETTING AND HISTORICAL FEATURES  
AT:

**7200 Maple Ave., Takoma Park, MD 20912**

*This is an "Outstanding Resource" 2-story Craftsman-style house, built in 1923, and it is located in the Takoma Park Historic District, and is on the corner of Maple and Tulip Avenues. It is rectangular in shape; the original house is 26'-4" x 32'-3", with a later 8' x 12' addition on 1<sup>st</sup> floor and a 8' x 20' addition on the 2<sup>nd</sup> floor, at the rear. There is an 10' x 16' sun porch across the front. The existing house has a 1113 S.F. footprint, with a full basement under the original house.*

- a. Original House Structure:** *The main house structure is wood framed and is gabled (5.5:12 slope), with the ridge perpendicular to Maple Ave.. There is a shed roof over the later rear addition (2:12 slope).*
- b. Foundation:** *The foundation is parged CMU, painted.*
- c. Exterior Finish:** *The exterior finish of the original house is 2 ½"-appearance wood lap siding. The exterior finish on the later addition is 5" German siding. Trim is generally a 1 x 5" with a perimeter backband edge all around attached as a "frame".*
- d. Windows:** *Original house-There are original painted wood windows, predominantly 6-over-1 double hung. Other windows are 4-lite fixed. Later addition- All windows are painted wood windows. Most windows have glass storm windows. There is an existing skylight in the rear later addition.*
- e. Wood Deck:** *There is a 12' x 20' rear wood deck, built later. There is an areaway at the rear of the original house, with a basement access door at the rear; the wood deck is inset over this areaway to allow for proper headroom.*

DESCRIPTION OF THE ***PROPOSED*** PROJECT AND ITS  
EFFECT ON THE HISTORIC RESOURCE:  
**7200 Maple Avenue., Takoma Park, MD 20912**

**Existing Rear Addition:** *The existing 2-story rear addition (former sleeping porch?) will be renovated and expanded:*

- a. **1<sup>st</sup> floor, Rear:** *A 64 SF enclosed mudroom/powder room addition is being added to infill the current open area now covering the existing areaway. A new concrete areaway will be added on the west side to replace the existing areaway.*
- b. **2<sup>nd</sup> Floor, Rear:** *The existing space, and structure will be maintained, but converted functionally into a Walk-in Closet and Master Bathroom.*

**New Screen Porch and Wood Stoops:** *A 250 SF 1-story screen porch with a gable roof (pitch: 4.5:12) will be built (mostly) on the existing footprint of the existing rear wood deck. A wood stoop and stair to grade will be built at the west side of the screen porch. A covered wood stoop will be built on the east side of the Mudroom, with stairs to grade.*

**These will be built using the following materials/details:**

1) **Exterior Finish:** 2<sup>nd</sup> Floor only: *Painted fiber cement smooth lap siding with a 6" exposure. Window, corner and intermediate trim will be a 5/4 x 4 Boral trim, ptd. 1<sup>st</sup> Floor only:* *Painted 2 1/2" (appearance) wood lap siding to match existing. Separating the 1<sup>st</sup> and 2<sup>nd</sup> floor finishes (as well as the bottom of the 1<sup>st</sup> floor siding) will be an Azek AZM-197 drip cap over a 5/4 x 8 Boral bandboard. Window subsills will be an Azek AZM-6930 Historic subsill.*

2) **Roofing:** Existing 2-story (later) addition: *Existing to remain unless deemed deteriorated; if so, then new EPDM roofing will be installed. New Screen Porch and covered wood stoop: new asphalt shingles.*

3) **Windows and Doors:** *The new windows will be aluminum-clad wood awning windows; see elevations for mullion divisions. The new sliding French doors from the mudroom to the screen porch and the inswing French door from the mudroom to the covered wood stoop will be painted wood.*

4) **Screen Porch:** *Wood framed, wrapped in fiber cement trim with PVC screening. Wood decking on Screen Porch and wood stoops to be ipe or other hardwood.*

**New Wood Arbor and Patio:** *A 12'-0" x 12'-0" wood arbor will be built over a 450 SF bluestone over concrete patio. This will be built using pressure-treated wood (see detail).*



**OWNERS:**

**Elizabeth Baer**

**Daniel Eichner**

7200 Maple Ave.

Takoma Park, MD 20912

**AGENT FOR OWNER:**

**Richard J. Vitullo AIA**

**Vitullo Architecture Studio, PC**

7016 Woodland Ave.

Takoma Park, MD 20912

**Adjoining Property Owners**

**HAWP**

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**Julia Sweig**

7202 Maple Ave.

Takoma Park, MD 20912

**Caroline & Thomas Alderson**

7137 Maple Ave.

Takoma Park, MD 20912

**James Saloma**

7124 Maple Ave.

Takoma Park, MD 20912

**Mary & Tom Hanisco**

7207 Maple Ave.

Takoma Park, MD 20912

**John Cavanagh & Robin Broad**

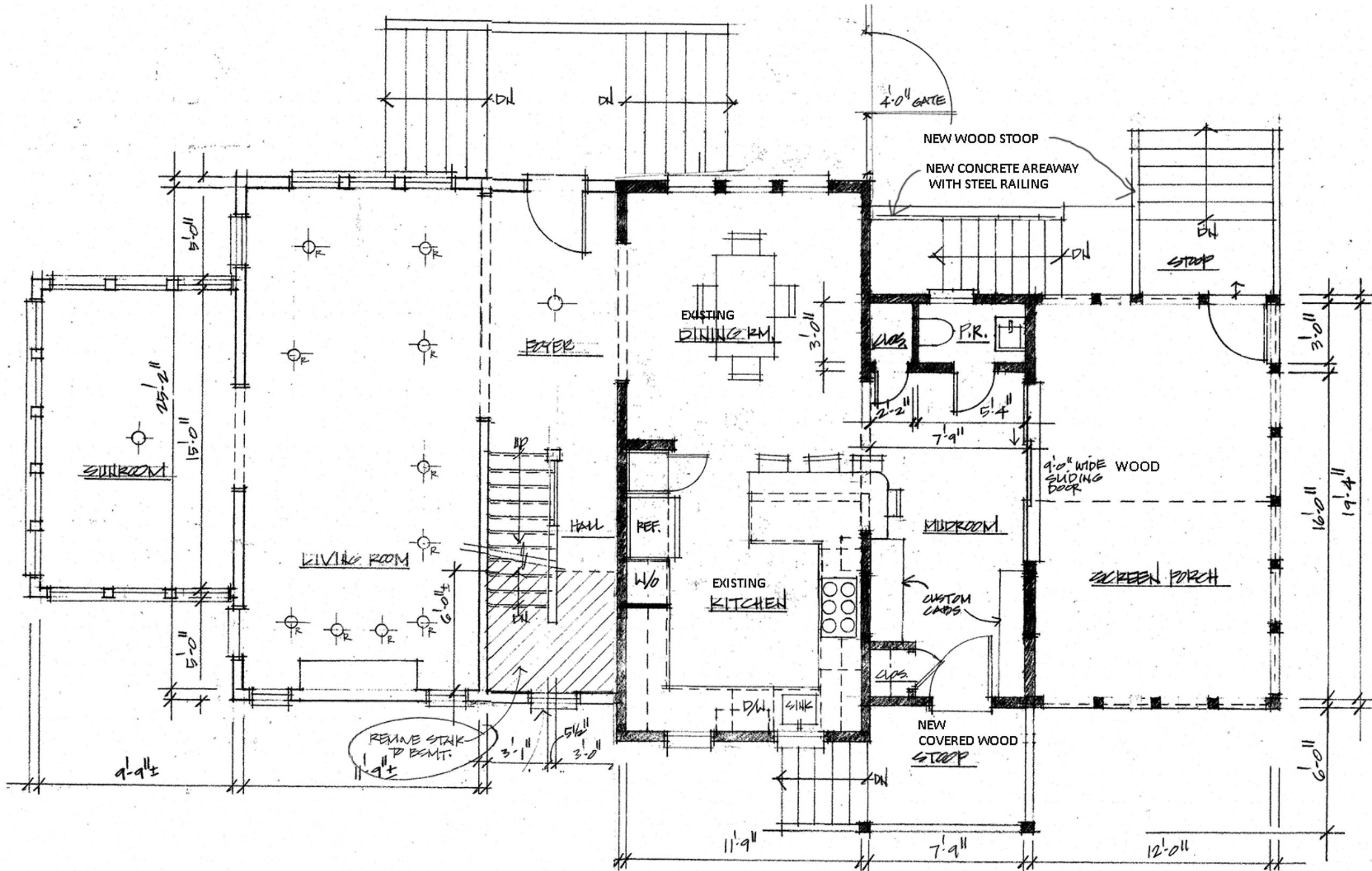
214 Tulip Ave.

Takoma Park, MD 20912

7201 Maple Avenue, Takoma Park MD 20912

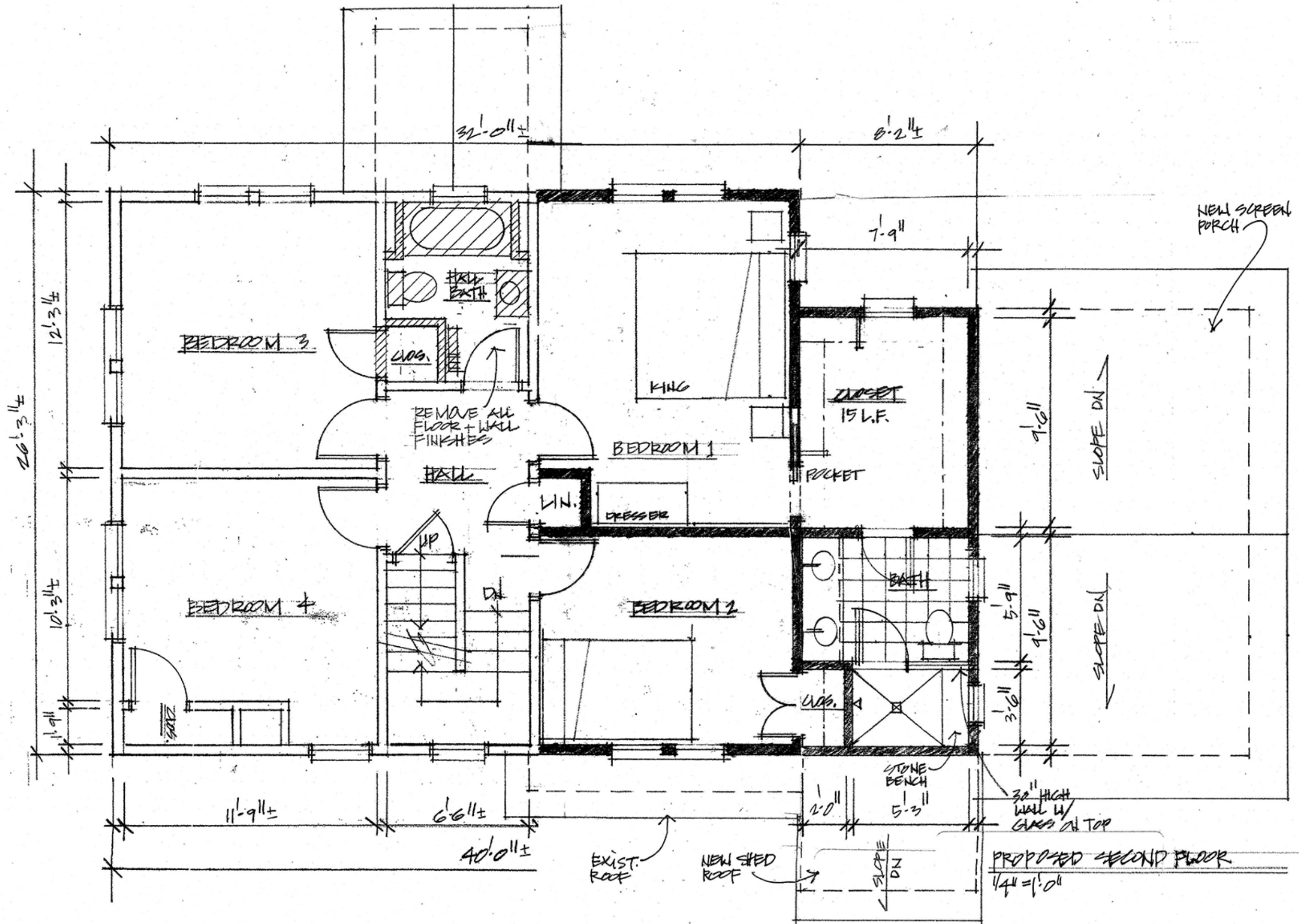
7137 Maple Avenue, Takoma Park MD 20912





PROPOSED FIRST FLOOR  
 1/4" = 1'-0"

BAKER/EICHLER



DECK ADM. 197 DRIP  
OVER 5/4x8 BOARDS  
BLUM.-CLAD WINDOWS  
TYP.

NEW GREEN  
PORCH

5'0" ±

ASPHALT  
SHINGLES

NEW FIBER  
CEMENT LAY  
SIDING  
(6" EXPOSURE)  
5/4 BOARDS TRIM

NEW INFILL  
STRUCTURE

12'4"

PORCH 14'

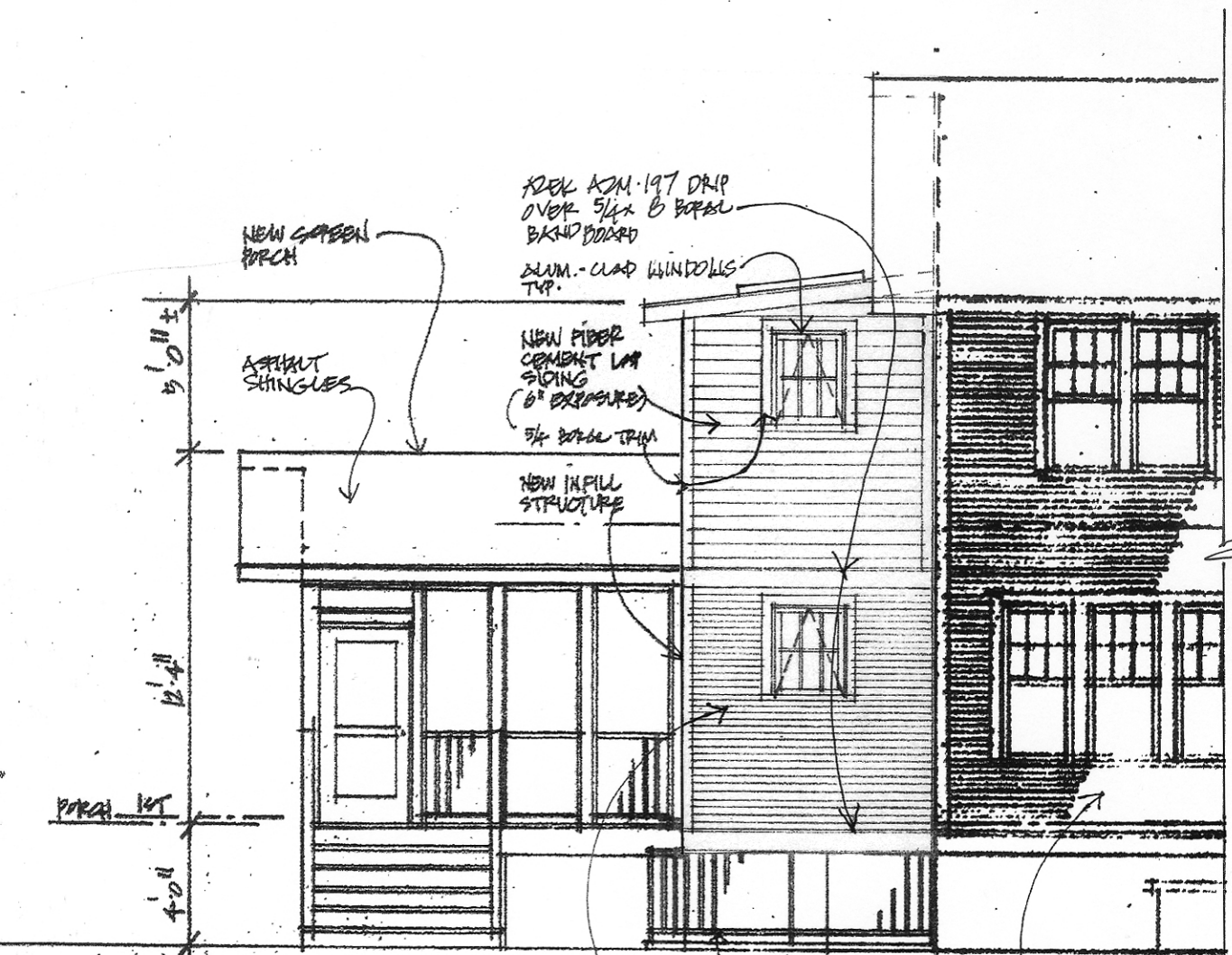
4'0"

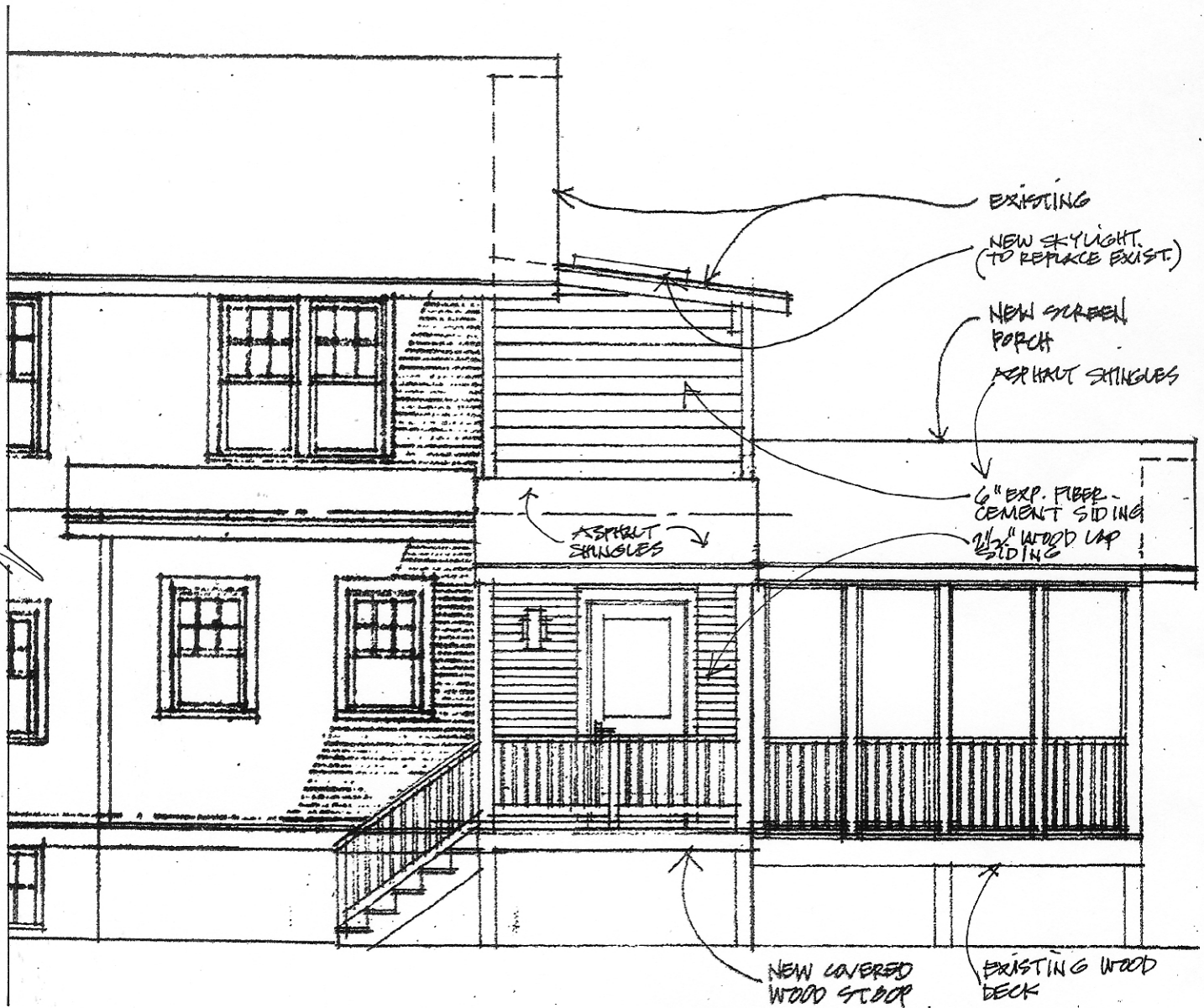
NEW STEEL RAILING  
& NEW KECKWAY

EXISTING 2 1/2"  
WOOD LAY  
SIDING

2 1/2" (APPEARANCE) WOOD  
LAY SIDING TO MATCH  
EXISTING

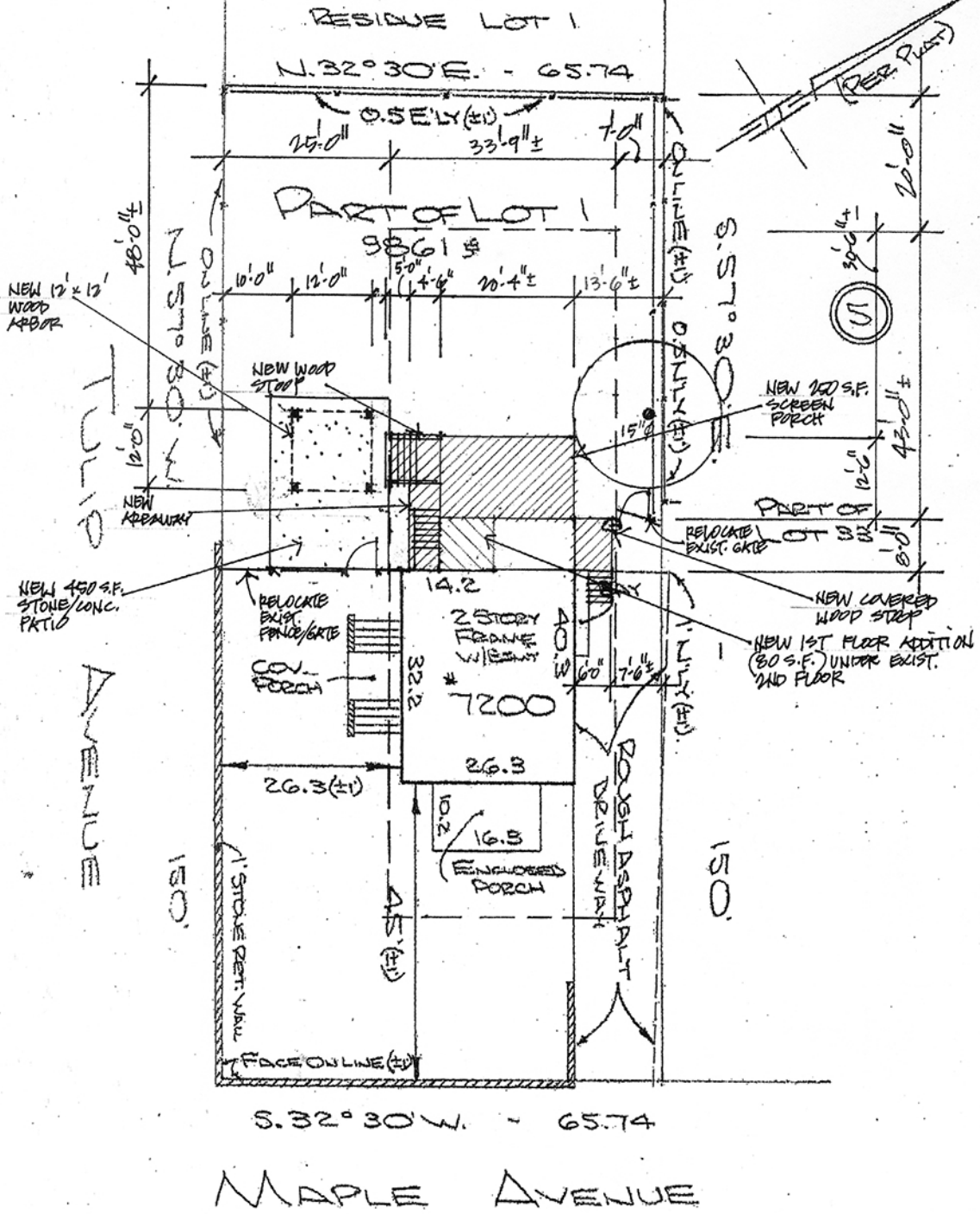
SIDE ELEVATION (TULIP AVE.)





PROPOSED SIDE ELEVATION





**Capitol Surveys, Inc.**  
 10762 Rhode Island Avenue  
 Beltsville, Maryland 20705  
 Phone 301-931-1350  
 Fax 301-931-1352

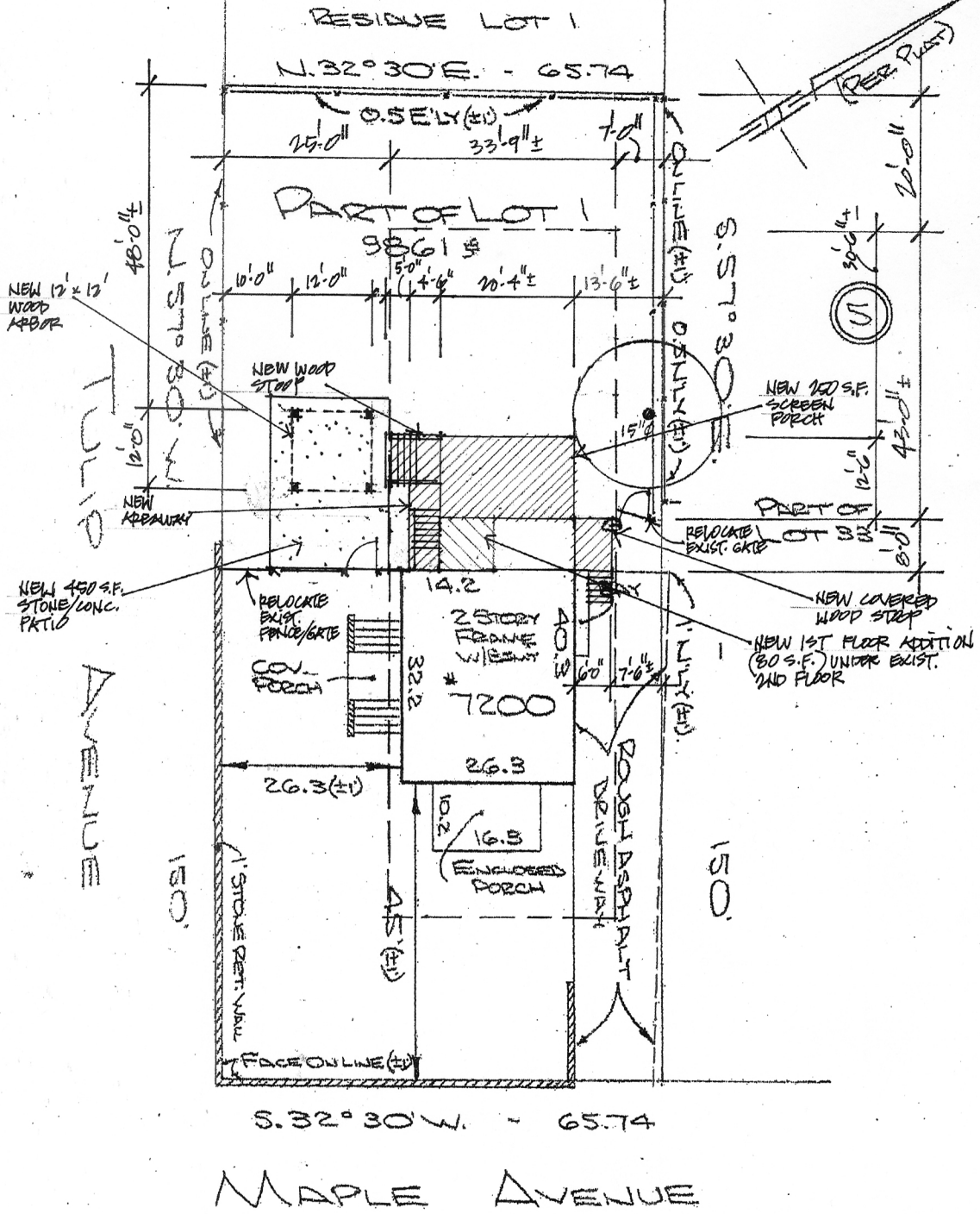
NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title and securing financing or re-financing.

LOCATION DRAWING  
 PART OF LOT 1 BLOCK 5  
**TAKOMA PARK**  
 MONTGOMERY COUNTY, MARYLAND  
 Recorded in Plat Book A Plat 3 Scale 1" = 20'  
 CASE: RE10774 FILE: 107165  
 DATE: APRIL 20, 2018

I hereby certify this location drawing was prepared in accordance with the minimum standards of practice for the State of Maryland and is correct to the best of my belief of what can be visually and accessibly observed.

*Edward L. Lopez*  
 Edward L. Lopez, Jr.  
 Maryland Property Line Surveyor No. 522  
 License Current Through February 13, 2019

1" = 20'-0"



**Capitol Surveys, Inc.**  
 10762 Rhode Island Avenue  
 Beltsville, Maryland 20705  
 Phone 301-931-1350  
 Fax 301-931-1352

NOTES: Plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing; the plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements; and the plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title and securing financing or re-financing.

LOCATION DRAWING  
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 MONTGOMERY COUNTY, MARYLAND

Recorded in Plat Book **A** Plat **3** Scale 1" = 20'

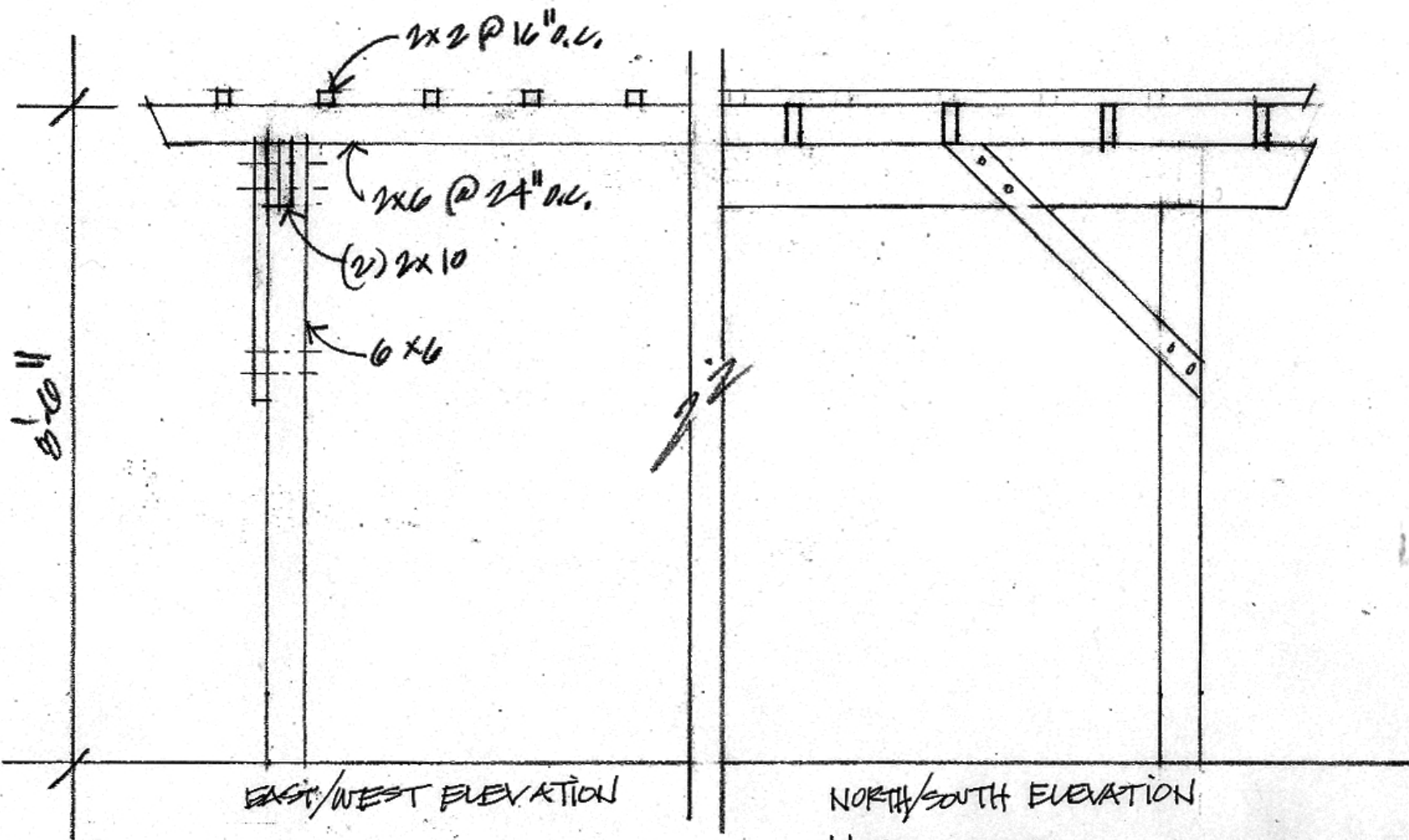
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 License Current Through February 13, 2019

1" = 20' 0"





EAST/WEST ELEVATION

NORTH/SOUTH ELEVATION

WOOD ARBOR

1/2" = 1'-0"









7200





7200

WE RECYCLE





















5/8 Trim Sizes		1X Trim Sizes		5/4 Trim Sizes		2X Trim Sizes	
Nominal	Actual	Nominal	Actual	Nominal	Actual	Nominal	Actual
						2 x 2	1-1/2" x 1-1/2"
		1 x 3	3/4" x 2-1/2"	5/4 x 3	1" x 2-1/2"		
5/8 x 4	5/8" x 3-1/2"	1 x 4	3/4" x 3-1/2"	5/4 x 4	1" x 3-1/2"	2 x 4	1-1/2" x 3-1/2"
		1 x 5	3/4" x 4-1/2"	5/4 x 5	1" x 4-1/2"		
5/8 x 6	5/8" x 5-1/2"	1 x 6	3/4" x 5-1/2"	5/4 x 6	1" x 5-1/2"	2 x 6	1-1/2" x 5-1/2"
5/8 x 8	5/8" x 7-1/4"	1 x 8	3/4" x 7-1/4"	5/4 x 8	1" x 7-1/4"	2 x 8	1-1/2" x 7-1/4"
5/8 x 10	5/8" x 9-1/4"	1 x 10	3/4" x 9-1/4"	5/4 x 10	1" x 9-1/4"	2 x 10	1-1/2" x 9-1/4"
5/8 x 12	5/8" x 11-1/4"	1 x 12	3/4" x 11-1/4"	5/4 x 12	1" x 11-1/4"	2 x 12	1-1/2" x 11-1/4"

[View Warranty](#)

See the TruExterior Trim Advantage

[Watch Now](#)





HOME / RESIDENTIAL ROOFING / PRODUCTS / LANDMARK®



LANDMARK®

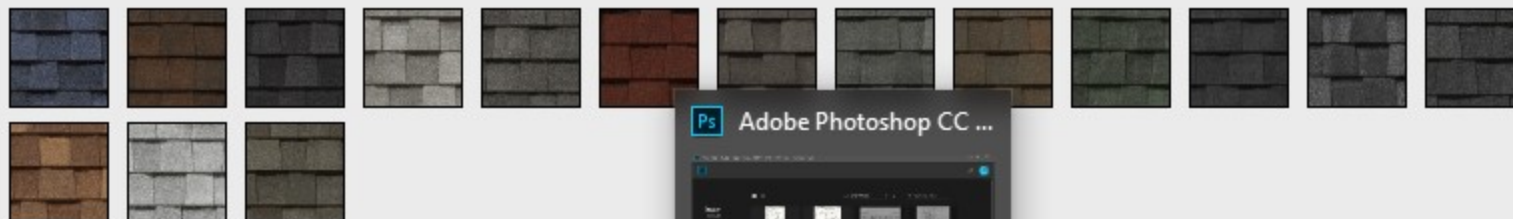
VISUALIZE YOUR HOME

GET AN ESTIMATE

VIEW GALLERY

PRODUCTS AVAILABLE NEAR ZIP CODE:

20912

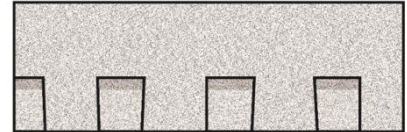




## Landmark® Shingles

### PRODUCT INFORMATION

Landmark® shingles reflect the same high manufacturing standards and superior warranty protection as the rest of CertainTeed's line of roofing products. Landmark (and Algae Resistant-AR) shingles are built with the industry's toughest fiber glass mat base, and their strict dimensional tolerance assures consistency. Complex granule color blends and subtle shadow lines produce a distinctive color selection. Landmark is produced with the unique NailTrak® nailing feature.



Landmark algae-resistant (AR) shingles are algae-resistant and help protect against dark or black discoloration, sometimes called staining or streaking, caused by blue-green algae. AR shingles are not available in all regions.

**Colors:** Please refer to the product brochure or CertainTeed website for the colors available in your region.

**Limitations:** Use on roofs with slopes greater than 2" per foot. Low-slope applications (2:12 to < 4:12) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard® Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

**Product Composition:** Landmark shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in a special, tough asphaltic cement. All Landmark shingles have self-sealing adhesive strips.

### Applicable Standards

ASTM D3018 Type I	ICC-ES ESR-1389 and ESR-3537
ASTM D3462	CSA Standard A123.5 (Regional)
ASTM E108 Class A Fire Resistance	Miami-Dade Product Control Approved (Regional)
ASTM D3161 Class F Wind Resistance	Florida Product Approval # FL5444
ASTM D7158 Class H Wind Resistance	Meets TDI Windstorm Requirements
UL 790 Class A Fire Resistance	

### Technical Data:

	Landmark (and AR)
Weight/Square (approx.)	217 to 229 lb *
Dimensions (overall)	13 1/4" x 38 3/4"
Shingles/Square (approx.)	66
Weather Exposure	5 5/8"

\*Dependent on manufacturing location

## **INSTALLATION**

Detailed installation instructions are supplied on each bundle of Landmark shingles and must be followed. Separate application sheets may also be obtained from CertainTeed.

**Hips and Ridges:** For capping hip and ridge apply CertainTeed Shadow Ridge®, Cedar Crest® or Mountain Ridge® shingles of a like color.

## **MAINTENANCE**

These shingles do not require maintenance when installed according to manufacturer's application instructions. However, to protect the investment, any roof should be routinely inspected at least once a year. Older roofs should be looked at more frequently.

## **WARRANTY**

Landmark (and AR) shingles carry a lifetime limited, transferable warranty to the consumer against manufacturing defects when applied to stated CertainTeed application instructions for this product. In addition, Landmark (and AR) carry up to 10-years of SureStart™ Protection. Landmark AR shingles carry a 10-year algae resistance warranty. For specific warranty details and limitations, refer to the warranty itself (available from the local supplier, roofing contractor or on-line at [www.certainteed.com](http://www.certainteed.com)).

## **TECHNICAL SUPPORT**

Technical Service Department: 800-345-1145  
e-mail: [RPG.T.Services@saint-gobain.com](mailto:RPG.T.Services@saint-gobain.com)

## **FOR MORE INFORMATION**

Customer Experience Team: 800-233-8990  
e-mail: [gethelp@saint-gobain.com](mailto:gethelp@saint-gobain.com)  
Web site: [www.certainteed.com](http://www.certainteed.com)

**CertainTeed**  
20 Moores Road  
Malvern, PA 19355





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
*County Executive*

Rabbiah Sabbakhan  
*Director*

# HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 8/7/2023

Application No: 1040006  
AP Type: HISTORIC  
Customer No: 1471649

## Affidavit Acknowledgement

The Homeowner is the Primary applicant  
This application does not violate any covenants and deed restrictions

## Primary Applicant Information

Address 7200 MAPLE AVE  
TAKOMA PARK, MD 20912

Othercontact VITULLO

Homeowner Eichner (Primary)

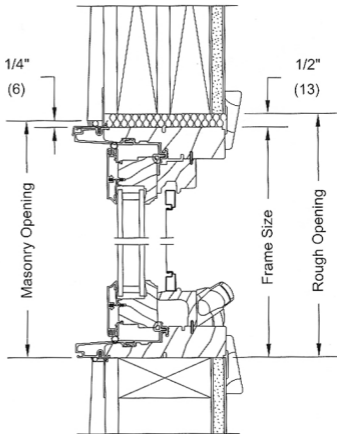
## Historic Area Work Permit Details

Work  
Type ALTER

Scope of Work Renovate existing 2-story rear addition, adding an infill space partially on 1st floor under an existing 2nd floor. Build new areaway and 2 new wood stoops, and a new screen porch over an existing wood deck.

# AWNING

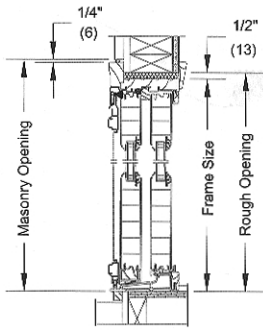
## CONSTRUCTION DETAILS



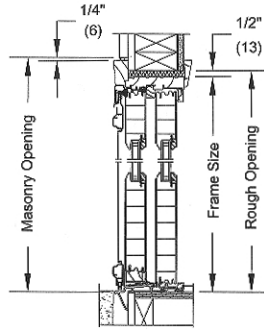
HEAD JAMB AND SILL - OPERATOR

# WOOD SLIDING FRENCH DOOR

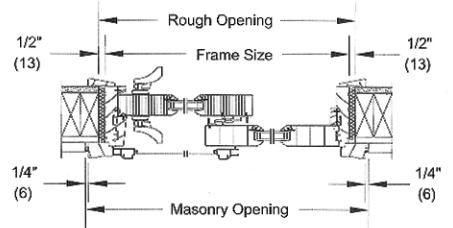
## CONSTRUCTION DETAIL



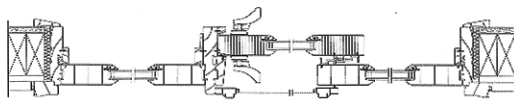
ULTIMATE WOOD SLIDING FRENCH DOOR HEAD JAMB AND SILL WITH ULTIMATE TOP HUNG SCREEN



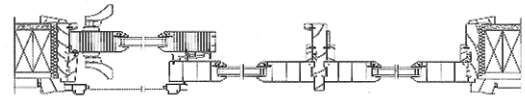
ULTIMATE WOOD SLIDING FRENCH DOOR HEAD JAMB AND SILL WITH HIGH PERFORMANCE LOW PROFILE SILL



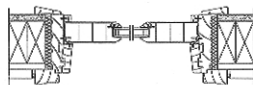
ULTIMATE WOOD SLIDING FRENCH DOOR 2 PANEL JAMB XO WITH ULTIMATE TOP HUNG SCREEN



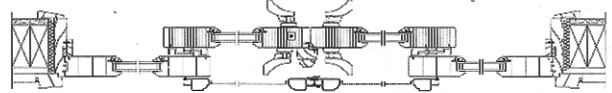
ULTIMATE WOOD SLIDING FRENCH DOOR 3 PANEL JAMB OXO R WITH ULTIMATE TOP HUNG SCREEN



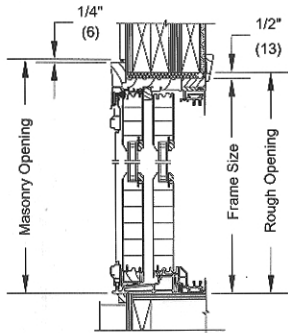
ULTIMATE WOOD SLIDING FRENCH DOOR 3 PANEL JAMB X00 WITH ULTIMATE TOP HUNG SCREEN



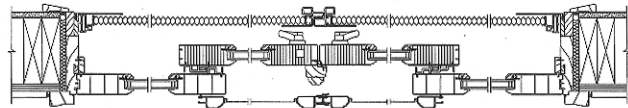
ULTIMATE WOOD SLIDING FRENCH DOOR 1 PANEL JAMB O STATIONARY



ULTIMATE WOOD SLIDING FRENCH DOOR 4 PANEL JAMB OXXO R WITH ULTIMATE TOP HUNG SCREEN

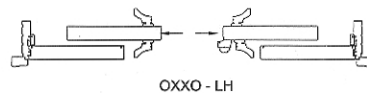
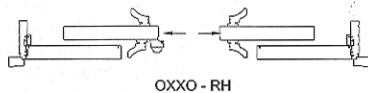
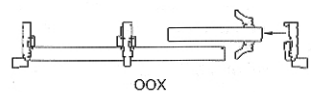
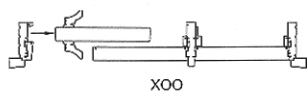
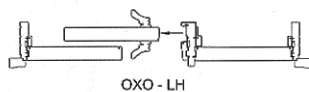
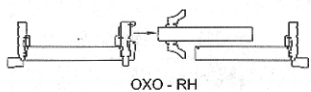
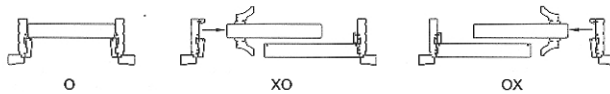


ULTIMATE WOOD SLIDING FRENCH DOOR HEAD JAMB AND SILL WITH INTERIOR SHADES

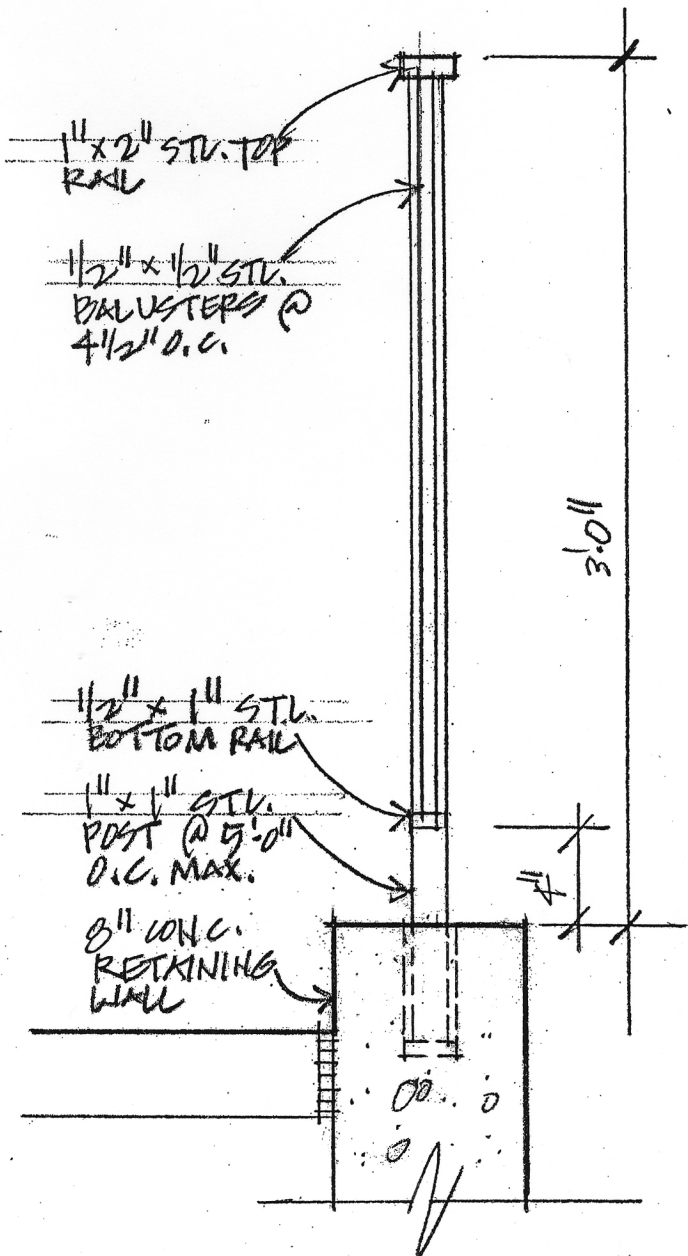


ULTIMATE WOOD SLIDING FRENCH DOOR 4 PANEL JAMB OXXO R WITH INTERIOR SHADES

## PANEL CONFIGURATIONS







STEEL RAIL DETAIL  
 $1\frac{1}{2}'' = 1'-0''$

# HANDRAIL

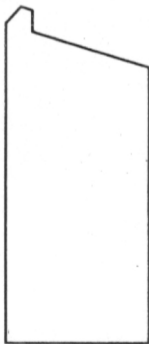
# STOCK PINE



SM-8840  
1-1/2 X 3-1/2  
TOP PORCH RAIL



LWM-237  
1-1/4 X 1-1/4  
BALUSTER STOCK

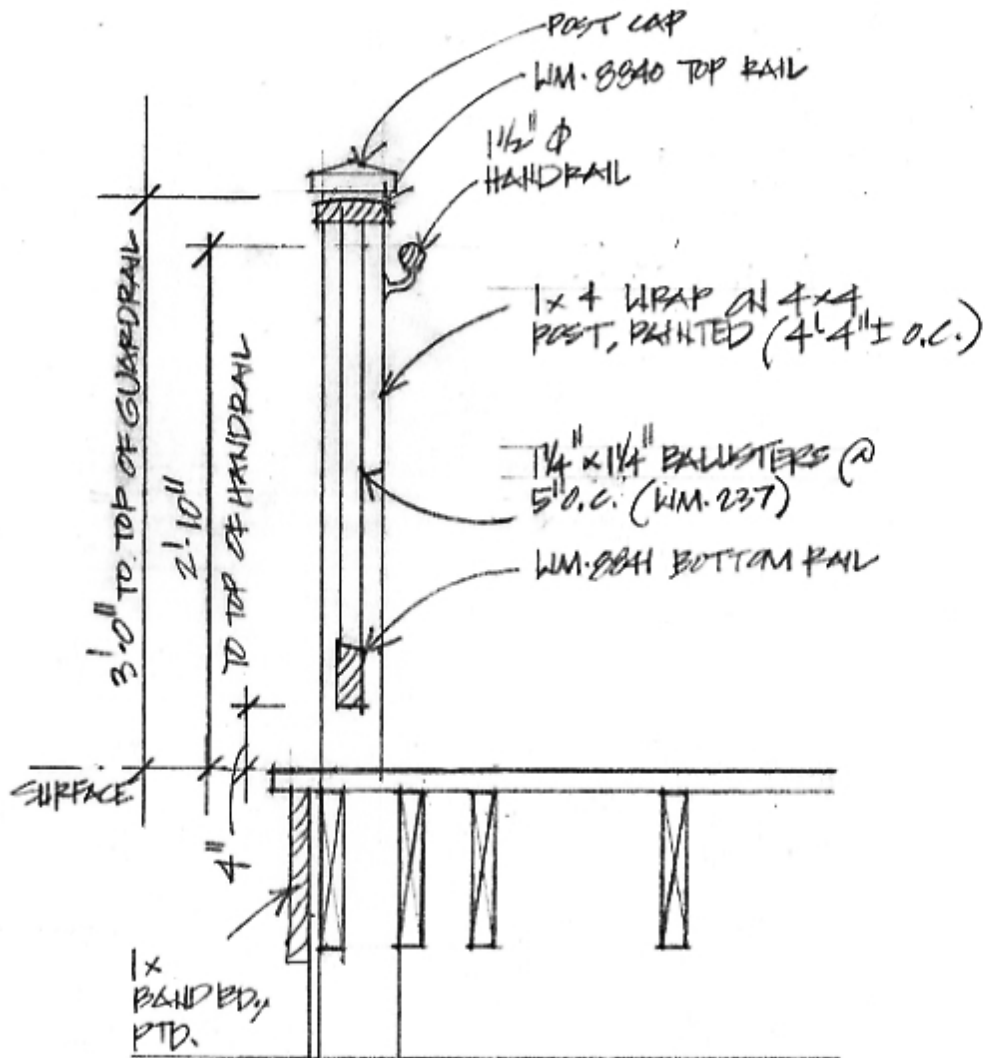


SM-8841  
1-1/2 X 3-1/2  
BOTTOM PORCH RAIL

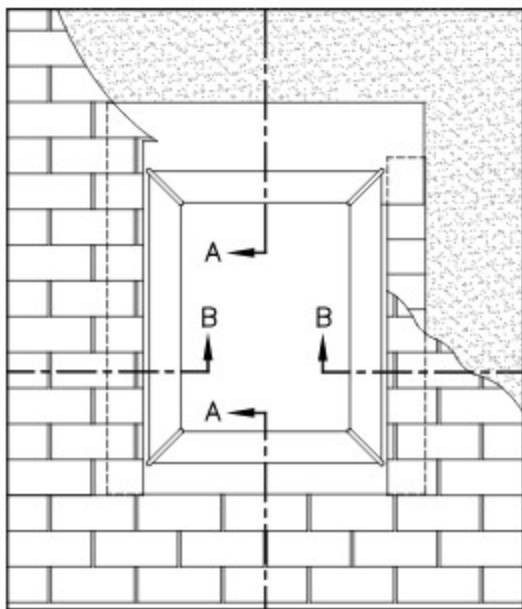
SCALE: HALF SIZE

PAGE NO. A-54

# BAR RAIL

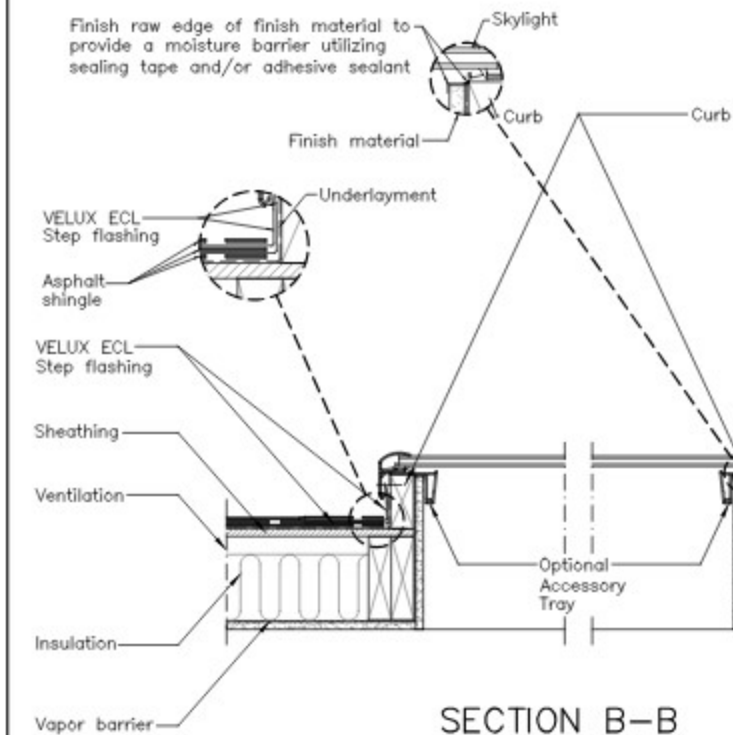


RAIL SECTION  
 1" = 1'-0"



**ELEVATION**

Finish raw edge of finish material to provide a moisture barrier utilizing sealing tape and/or adhesive sealant



**SECTION B-B**

BASIS OF DESIGN:  
VELUX FCM curb  
mounted fixed skylight

VELUX ECL  
Sill Flashing

Underlayment

Asphalt shingle

Finish material

$\frac{127-133}{5-5 \frac{1}{4}}$  mm

**SECTION A-A**

BASIS OF DESIGN:  
VELUX FCM curb  
mounted fixed skylight

Fasten to curb with screws  
furnished with skylight

Underlayment  
Note 1 & 3

Finish material

$\frac{80-100}{2 \frac{3}{8}-4}$  mm

Underlayment

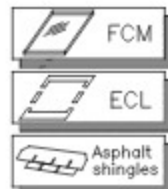
VELUX ECL  
Saddle Flashing

Sheathing

Insulation -  
place carefully  
around window

VELUX ECL Head Flashing  
placed between underlayment

Headers or blocking  
as required per code(s)



**GENERAL NOTES**

1. Underlayment to be folded up against all sides of curb.
2. Vapor barrier should be used to avoid moisture.
3. Wrap curb in adhesive underlayment provided with VELUX flashing. VELUX recommends use of VELUX type ZOZ 216 adhesive underlayment to wrap curb when not using VELUX flashings.

	VELUX 1418 Evans Pond Road Greenwood, SC 29649 1-800-88-VELUX www.VELUXUSA.com	Name JDH	Date Mar 10
	Sky-Product Management	Checked by WQ,CJ	Aug 22
FCM-Residential/Commercial Roof Section (Cathedral Ceiling with Asphalt Shingles)		Drawing No. FCM-02-0310	

This drawing is an instrument of service and is provided for informational use only.