

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	23 and 29 Hesketh Street, 28 and 30 and 32 W. Irving Street	Meeting Date:	9/6/2023
Resource:	Contributing Resources Chevy Chase Village Historic District	Report Date:	8/30/2023
Applicant:	Chevy Chase Village	Public Notice:	8/23/2023
Review:	HAWP	Tax Credit:	N/A
Permit Number:	1039467	Staff:	Dan Bruechert
Proposal:	Tree Removals		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resources within the Chevy Chase Village Historic District
STYLE: Craftsman and Colonial Revival
DATE: c. 1918-1933



Figure 1: Tree removals are proposed at 23 and 29 Hesketh St., 28, 30, and 32 W. Irving St., and in the right-of-way adjacent to 5815 Cedar Pkwy.

PROPOSAL

The applicant proposes to remove eleven trees as part of a stormwater drainage project.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District, several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Sec. 24A-8. Same-Criteria for issuance.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 94, § 1; Ord. No. 11-59*)

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Tree removal should be subject to strict scrutiny and consistent with the Chevy Chase Village Urban Forest Ordinance.

Secretary of the Interior’s Standards for Rehabilitation

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.

STAFF DISCUSSION

The applicant, Chevy Chase Village, proposes to remove a total of 11 (eleven) trees in the Chevy Chase Village Historic District to accommodate the installation of a new storm drain. Two of the trees are in the public right-of-way, while the remaining 9 (nine) trees are located at the rear property line of the identified properties. The application materials include a number of photographs showing site conditions after heavy rain demonstrating the necessity of the new drain. Staff finds the storm drain itself does not require a HAWP, as the work will not result in a visual or material change to the historic district. In addition to the trees discussed below, a significant number of trees smaller than 6” (six inches) d.b.h. are within the limits of disturbance and will be removed.

Staff finds the tree removal is necessary under 24A-8(b)(3), (5), (6) and supports the project for the reasons further outlined below.

Trees in the Public Right-of-Way

In the public right-of-way adjacent to 5815 Cedar Parkway, the applicant proposes to remove two trees; a crape myrtle measuring 12” (twelve-inch) at its base and a 14” (fourteen-inch) d.b.h. Swamp White Oak.

Staff finds the crepe myrtle is smaller than the 6” (six inches) d.b.h. size minimum required for a HAWP and does not require the HPC’s approval, though other state and/or county permits may be necessary.

The Village Arborist determined that the Swamp White Oak cannot be protected as part of the drainage project as it is located only a few feet from the road above the proposed location of the drainage pipe. Staff finds the Swamp White Oak needs to be removed so that the proposed drain can connect to the existing stormwater system. Staff additionally finds the proposed stormwater drain route will cause the least disruption to the district and is in an established right-of-way, an area dedicated to this type of infrastructure project. Staff recommends the HPC approve the Swamp White Oak removal under 24A-8(b)(6).

Private Property Tree Removals

The remaining proposed tree removals are all on private property, along the rear property line of the identified addresses:

Address	Proposed Tree Removal
23 Hesketh St.	10” Holly
29 Hesketh St.	36” Tulip Poplar
	38” Tulip Poplar
28 W. Irving St.	30” Sweetgum
30 W. Irving St.	9” Honeylocust
32 W. Irving St.	19” Mulberry
	18” American Elm
	18” Honey Locust
	10” Virginia Pine

All of the trees outlined above are within the limits of disturbance of the proposed storm drain and cannot be protected based on the findings of the Village Arborist. Aside from 3 (three) of the trees at 32 W. Irving St., the trees are identified as being in “good condition.” Staff finds that the proposed trees need to be removed in order for the Village to complete the stormwater project and recommends the HPC approve their removal under 24A-8(b)(3), (5), and (6). Staff additionally finds that as these trees are at the rear property line of these properties in a district, 24A-8(d) also applies.

Staff frequently recommends conditions to the approval of tree removal HAWPs to ensure that replating occurs which will help promote the district’s tree canopy. This is especially true in the Chevy Chase Village Historic District where tree removals are to be reviewed under *strict scrutiny*. While this application does not include specifics for replanting, it does state that “Following the completion of the project, the Village will work with residents to reforest on their property.” Because of the large number of tree removals smaller than 6” (six inches) d.b.h. in addition to the larger trees discussed above, Staff finds it is appropriate to allow the individual property owners to work with their local government to determine appropriate replanting without a condition of approval for this HAWP.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application; under the Criteria for Issuance in Chapter 24A-8(b)(2), (3), (5), (6), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the

exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---------------------------------------------|----------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Project Overview
Provided by RK&K Engineers

Hesketh Drainage Briefing



Bob Palmer
RK&K Engineers

April 4, 2019

Hesketh Drainage Briefing

Topics

- Overview of Drainage Conditions
 - Conditions
 - Causes
- Process for Completing Drainage Improvement Project
 - Planning
 - Design
 - Construction
- Questions and Answers

Hesketh Drainage Briefing

Conditions







Hesketh Drainage Briefing

Conditions

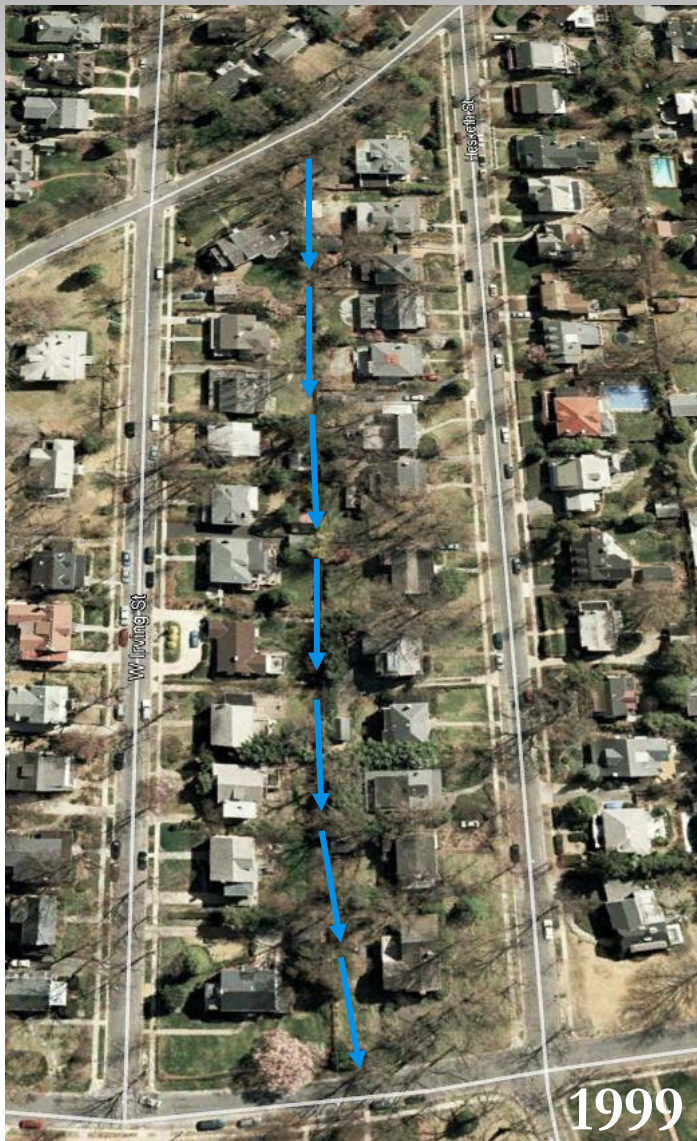






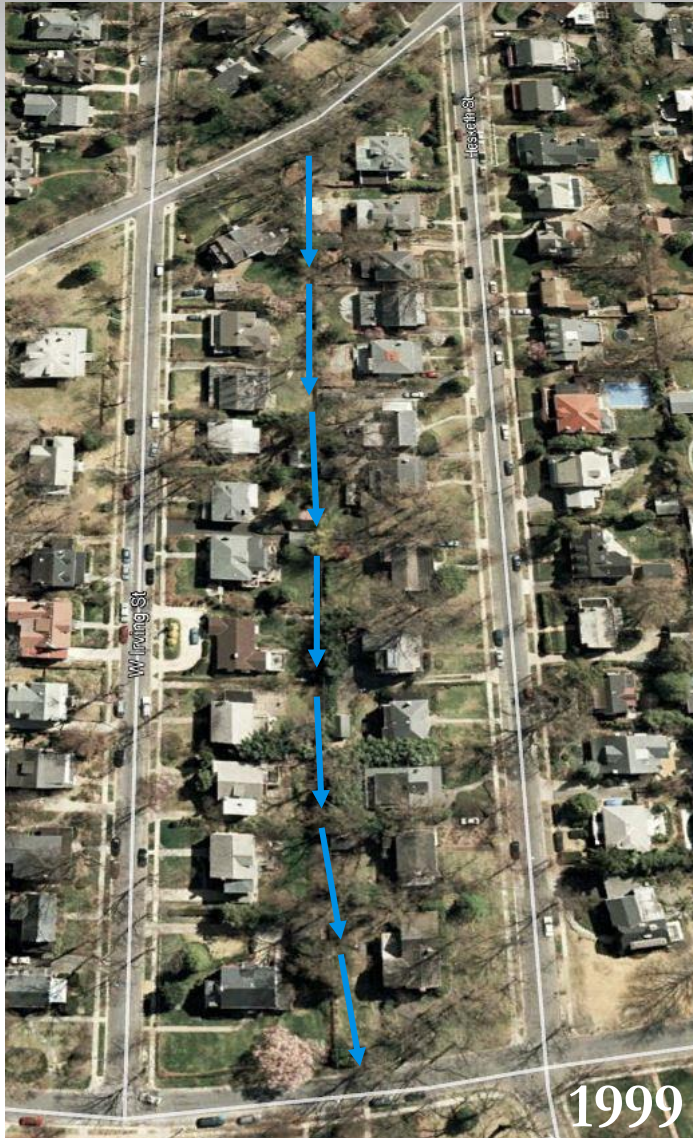
Hesketh Drainage Briefing

Causes



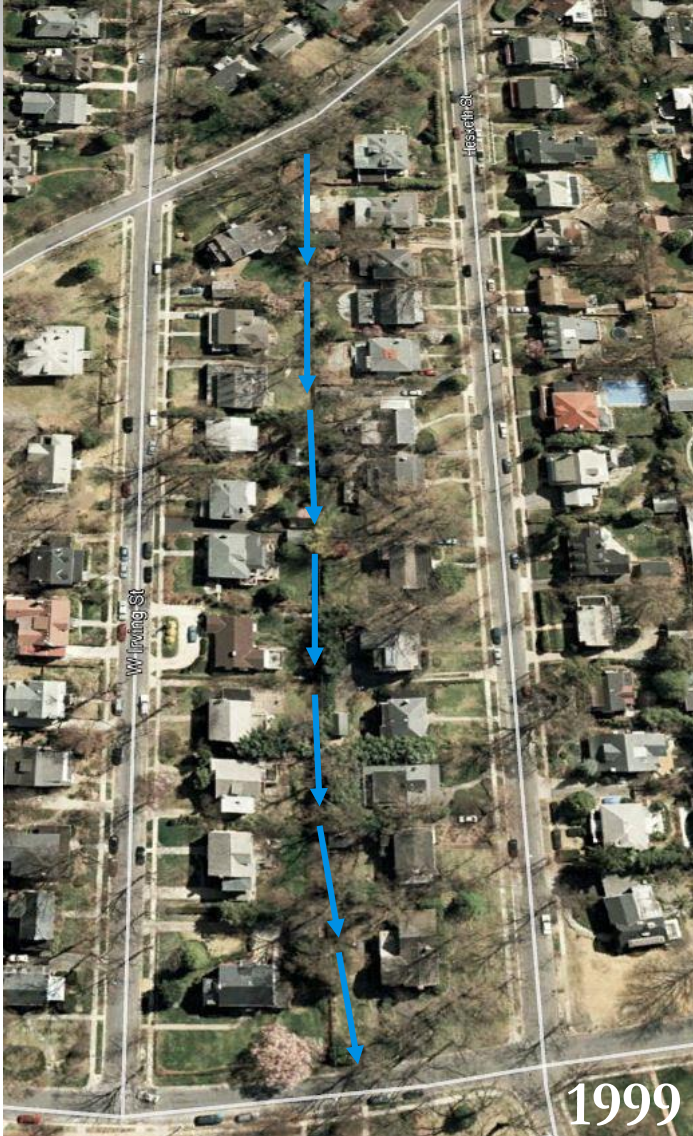
Hesketh Drainage Briefing

Causes



Hesketh Drainage Briefing

Causes



Hesketh Drainage Briefing

Causes

- Increased Impervious Area
- Poorly Draining Soils
- Insufficient Drainage Conveyance/Outfall
- Fences Blocking Flow
- Increased Rainfall

Hesketh Drainage Briefing

Process

- Planning Phase
 - Existing storm drain system inventory and analysis
 - Coordination with MCDOT (quantity management)
 - Coordination with MCDEP (stormwater management)
 - Property owner involvement (easements, impacts)
 - Project Phasing

Hesketh Drainage Briefing Process

- Design Phase
 - Complete Aerial/Land Surveys (Including Utility Marking)
 - Develop Alternatives / Define Project Limits
 - Utility Coordination
 - Prepare Design Documents
 - Permitting
 - Secure Funding
 - Advertise

Hesketh Drainage Briefing

Process

- Construction Phase
 - Contractor Selection
 - Community Notifications
 - Construction Activities
 - Clearing/Demolition
 - Erosion & Sediment Control
 - Excavation/Pipe & Inlet Installation
 - Temporary Stabilization
 - Permanent Stabilization

Hesketh Drainage Briefing

Construction Activities



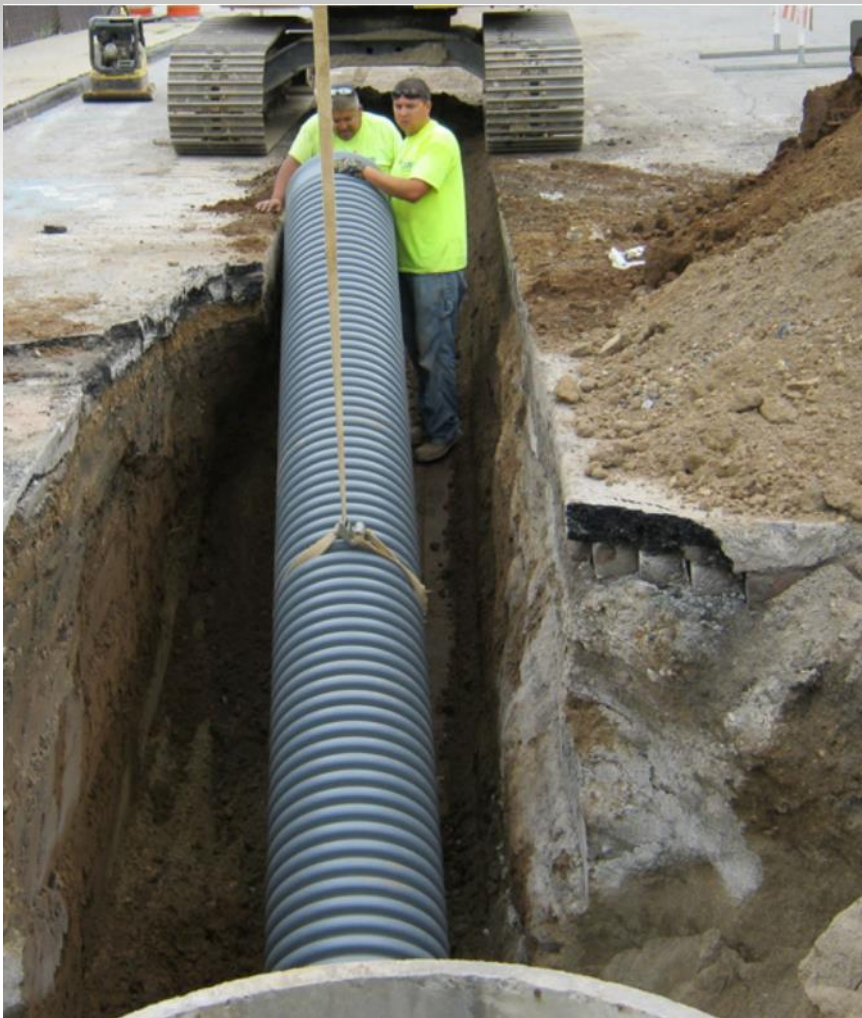
Hesketh Drainage Briefing

Construction Activities



Hesketh Drainage Briefing

Construction Activities



Hesketh Drainage Briefing

Construction Activities



Hesketh Drainage Briefing

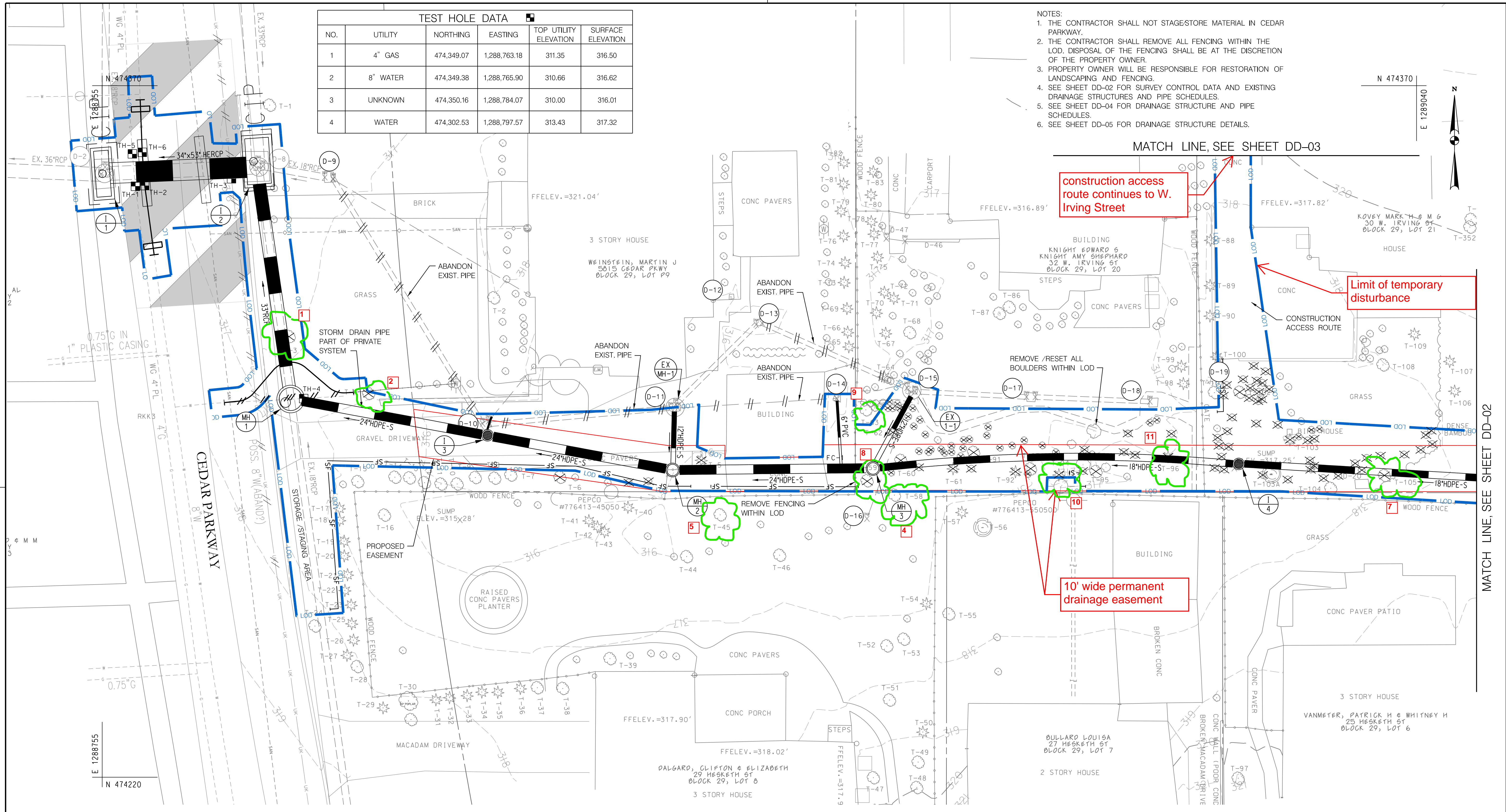
Construction Activities



Project Plan
Subject Trees are Clouded in Green

TEST HOLE DATA					
NO.	UTILITY	NORTHING	EASTING	TOP UTILITY ELEVATION	SURFACE ELEVATION
1	4" GAS	474,349.07	1,288,763.18	311.35	316.50
2	8" WATER	474,349.38	1,288,765.90	310.66	316.62
3	UNKNOWN	474,350.16	1,288,784.07	310.00	316.01
4	WATER	474,302.53	1,288,797.57	313.43	317.32

- NOTES:
1. THE CONTRACTOR SHALL NOT STAGE/STORE MATERIAL IN CEDAR PARKWAY.
 2. THE CONTRACTOR SHALL REMOVE ALL FENCING WITHIN THE LOD. DISPOSAL OF THE FENCING SHALL BE AT THE DISCRETION OF THE PROPERTY OWNER.
 3. PROPERTY OWNER WILL BE RESPONSIBLE FOR RESTORATION OF LANDSCAPING AND FENCING.
 4. SEE SHEET DD-02 FOR SURVEY CONTROL DATA AND EXISTING DRAINAGE STRUCTURES AND PIPE SCHEDULES.
 5. SEE SHEET DD-04 FOR DRAINAGE STRUCTURE AND PIPE SCHEDULES.
 6. SEE SHEET DD-05 FOR DRAINAGE STRUCTURE DETAILS.



LEGEND

LIMIT OF DISTURBANCE	LOD	PROPOSED MANHOLE	
EXISTING DRAINAGE STRUCTURE	D-1	PROPOSED INLET	
PROPERTY LINE		EXISTING TREE	T-1
UTILITY POLE	PEPCO #776413-45050	EXISTING SHRUB	
PROPOSED STORM DRAIN (SIZE /FLOW DIRECTION)	18\"/>		

SEAL: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32596, EXPIRATION DATE: 01/16/2024

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MANAGER
CHEVY CHASE VILLAGE

5906 CONNECTICUT AVENUE
CHEVY CHASE, MARYLAND
PHONE: 301-654-7300
FAX: 301-907-9721

STORM DRAIN SITE PLAN

DESIGNED BY DES... DRAWN BY DES... CHECKED BY REP...

CHEVY CHASE VILLAGE

HESKETH DRAINAGE PROJECT

SCALE 1"=10' DATE NOVEMBER 2022

DWG: DD-01 SHEET NO. 1 OF 3

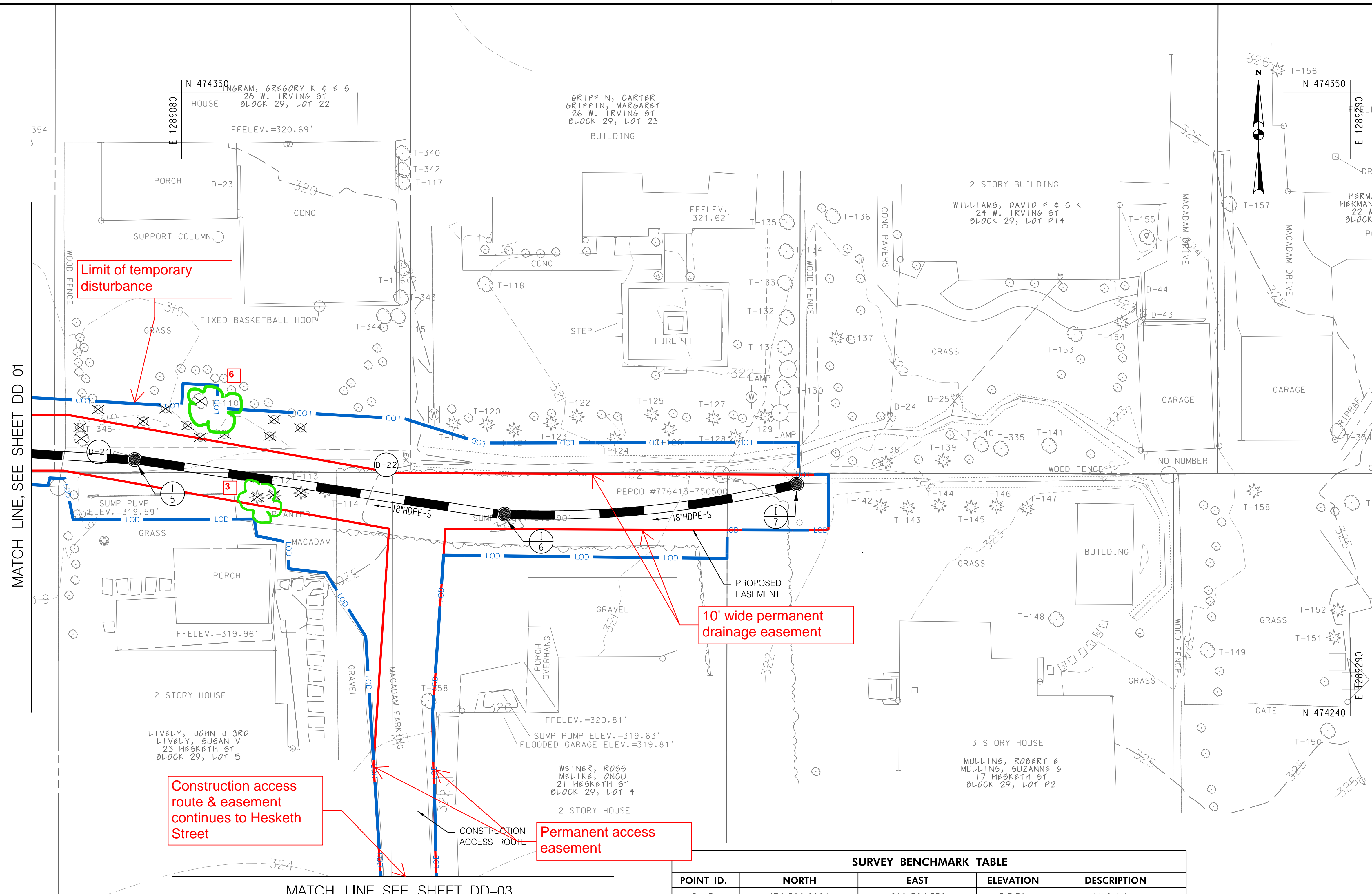
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MATCH LINE, SEE SHEET DD-02

EXISTING DRAINAGE STRUCTURES

- D-2 (SDMH) TOP OF RIM=316.74' (N)18" RCP INV=311.10' (E)36" RCP INV=311.08' (W)36" RCP INV=309.86'
- D-8 (SDMH) TOP OF RIM=316.42' (S)18" RCP INV=312.65' (E)18" RCP INV=311.54' (N)33" RCP INV=311.46' (W)36" RCP INV=311.38'
- D-9 (DI) TOP OF GRATE=316.38' (E)E4" PVC INV=315.22' (S)E12" STEEL INV=311.72' (W)18" RCP INV=311.53'
- D-10 (DI) TOP OF GRATE=315.35' (NE)4" PVC INV=313.93' (NW)12" STEEL INV=313.23' (E)12" PVC INV=313.21'
- D-11 (SDMH) TOP OF RIM=315.22' (E)6" PVC INV=313.67' (NE)12" PVC INV=313.60' (W)12" PVC INV=313.50'
- D-12 (DI) TOP OF GRATE=315.94' FILLED WITH DEBRIS INVERTS NOT OBTAINED
- D-13 (DI) TOP OF GRATE=315.85' (SE)12" PVC INV=313.83' (SW)12" PVC INV=313.67'
- D-21 (DI) TOP OF GRATE=318.47' FILLED WITH DEBRIS INVERTS NOT OBTAINED (E) SUSPECTED 4" PVC
- D-14 (DI) TOP OF GRATE=315.66' 6" PVC INV SITTING ON TOP OF GRATE COMING FROM GARAGE ROAD (W)6" PVC INV=314.29'
- D-15 (SDMH) TOP OF RIM=315.88' (S)8" PVC INV=314.44' (E)12" HDPE INV=314.20' (NW)12" HDPE INV=314.17'
- D-16 (PINV) 8" PVC DIRECTION ONLY COULD NOT FIND NEXT STRUCTURE
- D-17 (DI) TOP OF GRATE=316.13' (W)12" HDPE INV=314.31' (E)12" HDPE INV=314.43'
- D-18 (DI) TOP OF GRATE=316.47' (W)12" HDPE INV=314.74'
- D-19 (DI) TOP OF GRATE=317.01' FILLED WITH DEBRIS INVERTS NOT OBTAINED
- D-22 (PINV) (W)4" PVC INV=319.19' POSSIBLY PERFORATED

- NOTES:
- THE CONTRACTOR SHALL REMOVE ALL FENCING WITHIN THE LOD. DISPOSAL OF THE FENCING SHALL BE AT THE DISCRETION OF THE PROPERTY OWNER.
 - PROPERTY OWNER WILL BE RESPONSIBLE FOR RESTORATION OF LANDSCAPING AND FENCING.
 - SEE SHEET DD-04 FOR DRAINAGE STRUCTURE AND PIPE SCHEDULES.
 - SEE SHEET DD-05 FOR DRAINAGE STRUCTURE DETAILS.



SURVEY BENCHMARK TABLE

POINT ID.	NORTH	EAST	ELEVATION	DESCRIPTION
RKK3	474,300.2904	1,288,764.5761	317.38	MAG NAIL
KPL20	474,258.7743	1,288,891.3981	316.69	CAP & REBAR
KPL32	474,313.6767	1,289,001.9710	317.27	CAP & REBAR
KPL32A	474,304.1084	1,288,938.0760	316.28	CAP & REBAR

LEGEND

- LIMIT OF DISTURBANCE — LOD —
- EXISTING DRAINAGE STRUCTURE (SD) D-1
- PROPERTY LINE - - - - -
- UTILITY POLE ○ PEPCO #776413-45050
- PROPOSED STORM DRAIN (SIZE /FLOW DIRECTION) — 18"HDPE-S
- PROPOSED MANHOLE (circle with cross)
- PROPOSED INLET (square)
- EXISTING TREE (star)
- EXISTING SHRUB (circle)
- EXISTING FENCE (dashed line)
- EXISTING BOULDER (circle with cross)

SEAL: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32596, EXPIRATION DATE: 01/16/2024

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 MANAGER
 CHEVY CHASE VILLAGE
 5906 CONNECTICUT AVENUE
 CHEVY CHASE, MARYLAND
 PHONE: 301-654-7300
 FAX: 301-907-9721

STORM DRAIN SITE PLAN

DESIGNED BY _DES_ DRAWN BY _DES_ CHECKED BY _REP_

CHEVY CHASE VILLAGE

HESKETH DRAINAGE PROJECT

SCALE 1"=10' DATE NOVEMBER 2022

DWG: DD-02 SHEET NO. 2 OF 3

EXHIBIT B-2

\\server\06\2016\16689_Civil\Map\Hesketh Drainage Project\10 6\CADD\Plan\DD-002_Hesketh_w Easement.dgn
 6/2/2022

Right of Way Tree Removals

IFO 5815 Cedar Parkway

12” Multi-trunk Crape Myrtle

14” Swamp White Oak



Name: Chevy Chase Village
Address: 5906 Connecticut Avenue, Chevy Chase MD, 20815
County: MO; MONTGOMERY

Applicant Type: Government entity whose right-of-way the trees are within The applicant is a public agency: Yes

Is hereby granted a permit to perform:

Tree Removal, 2 Tree(s) Tree planting, 2 Tree(s) Chevy Chase

The proposed tree care will: Eliminate a hazard to property, public safety, or health

Described as follows:

PARTICULAR TREE OR TREES INVOLVED:

Remove 14" oak and 12" crape myrtle @ 5815 Cedar Parkway, Chevy Chase 20815

Applicant may replant up to two trees at their discretion as space allows.

LIMITATIONS OR CONDITIONS ON TREE CARE OR PLANTING:

Contract/Job #: Old Permit #:

Location: 5815 Cedar Parkway

NOTE: The roadside tree law does not convey tree ownership to the Department. Permission from the owner of the tree or trees in question (SHA, MdTA, local DPW, etc.) must also be obtained prior to beginning any work.

EXCLUDING ANY TREE NOT WITHIN THE RIGHT-OF-WAY OF A PUBLIC HIGHWAY

Provided, that the work authorized by this permit shall not begin until the Forest Warden designated by the Director as his agent shall be present and give their sanction to the means employed, and that the work may be suspended by order of the Forest Warden upon any failure or refusal of the operators to perform it in accordance with the rules and regulations of the Department of Natural Resources - Forest Service.

Authorized By: Mark Dykes Title: Forest Ranger
Address: 17400 Annapolis Rock Road, Woodbine, MD., 21797 Issue Date: 08/01/2023
LTE performing the work: Anthony D. Faoro (License #: 895)



Feather & Assoc.

Tolbert V. Feather, Ph.D.

Advisors for: Landscape Development

Landscape Management, Plant Pest Management

Chevy Chase Village
5906 Connecticut Avenue
Chevy Chase, MD 20815

June 15, 2023

RE: Public Tree Removal 5815 Cedar Parkway
Crapemyrtle 12" diameter at the base, multi-stemmed.
This tree cannot be protected for the drainage project.



Tolbert V. Feather
Village Arborist



Feather & Assoc.

Tolbert V. Feather, Ph.D.

Advisors for: Landscape Development

Landscape Management, Plant Pest Management

Chevy Chase Village
5906 Connecticut Avenue
Chevy Chase, MD 20815

June 15, 2023

RE: Public Tree Removal 5815 Cedar Parkway

Swamp White Oak 14" diameter at 4.5' above ground level.

This tree cannot be protected for the drainage project.



Tolbert V. Feather
Village Arborist



Private Property Tree Removals

23 Hesketh Street	10” Multi-trunk Holly
29 Hesketh Street	36” Tulip Poplar
	38” Tulip Poplar
28 West Irving Street	30” Sweetgum
30 West Irving Street	9” Honeylocust
32 West Irving Street	19” Mulberry
	18” American Elm
	18” Honeylocust
	10” Virginia Pine

**Chevy Chase Village
Tree Inspection Request Form**

Property Address: 23 Hesketh Street
Date this form submitted to Village office: / /
Resident Name: Phone: E-mail:
This request initiated by: <input type="checkbox"/> Village office staff. <input type="checkbox"/> Resident/property owner
<input checked="" type="checkbox"/> Inspect tree(s) ¹ requested for removal -- are any conditions in CCV Code Sec. 17-3(a) met? [\$50/tree fee] <input type="checkbox"/> Inspect trees ¹ on property to determine if a Tree Protection Plan (TPP) is needed for proposed project ² . <input type="checkbox"/> Pursuant to a Village Bldg Permit application ² , prepare TPP for trees ¹ on property [\$250 fee] <input type="checkbox"/> Verify that a TPP has been implemented for Village Building Permit # _____. <input type="checkbox"/> Follow up on an existing TPP -- is it OK to remove TPP? <input type="checkbox"/> Village right-of-way/park <input type="checkbox"/> Other: _____
¹ Show location of tree(s) on a plat or site plan (or on diagram on reverse, but only if plat unavailable). ² Attach full description of proposed project.

Sections below must be completed by Village Arborist:

Tree #1: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R *Multi-stem*
 DBH* = 10" @ base Species: Nellie Stevens holly Tag#: T-111 n/a: no tag.
 Assessment: Good condition cannot be protected for drainage project

Tree #2: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH* = _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

Tree #3: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH* = _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

(For more trees, please check here and attach pages: # of extra trees ____; # of extra pages ____.)

Arborist assessment: Does tree meet any of the conditions in Village Code 17-3 to qualify for removal?

Removal Approved	Denied	*Is permit required? (i.e. is trunk circumf. ≥24"?)	Y	N
Tree #1 <input checked="" type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tree #2 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Tree #3 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>

Arborist Signature  **Date** 6/15/27

Diagram for Tree Inspection
(use this diagram ONLY if a plat or site survey is unavailable)

Instructions for Arborist (or) Notes from Arborist:

Rear of house

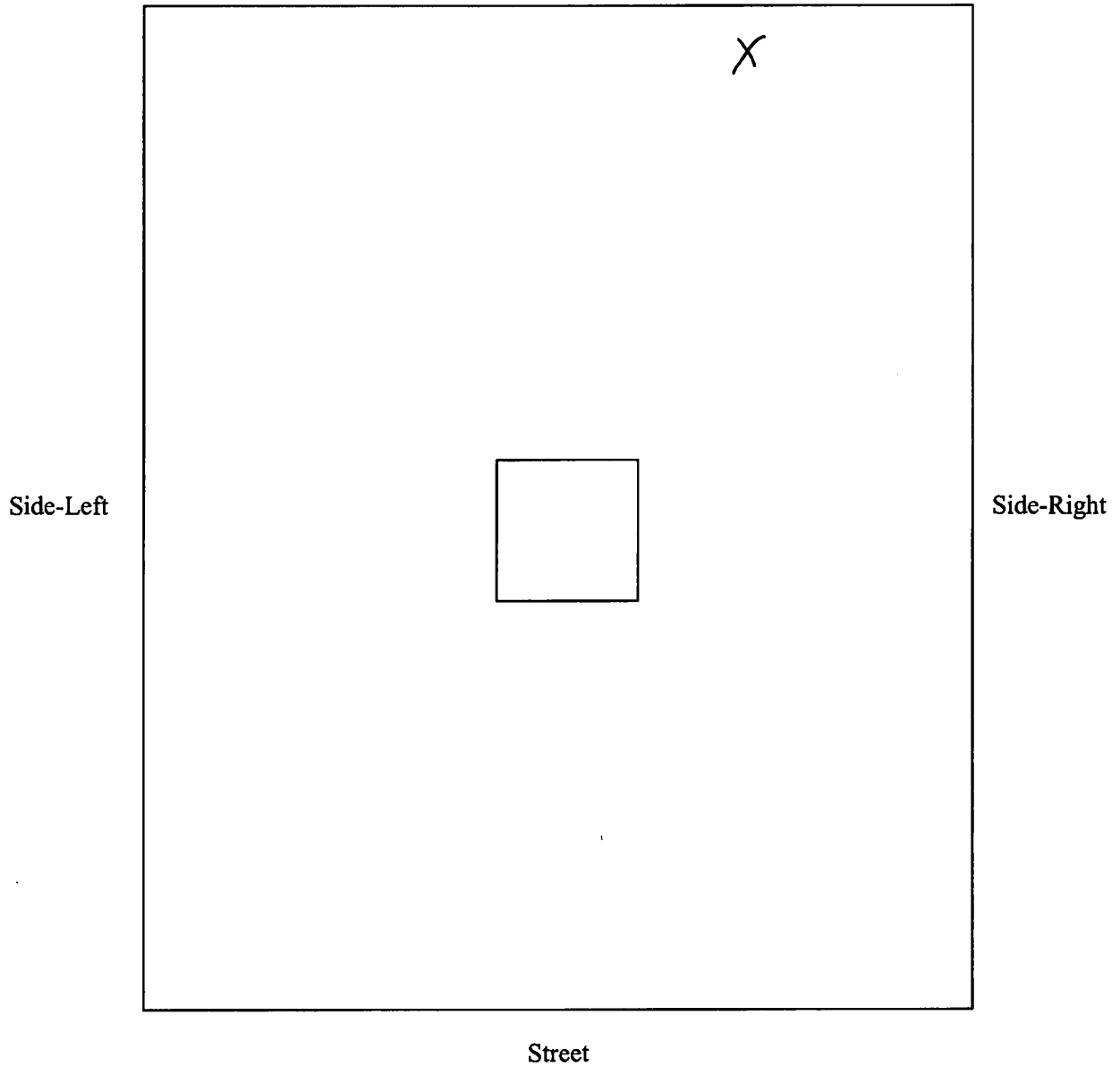




Figure 1: Multi-trunk Holly at 23 Hesketh Street

Diagram for Tree Inspection
(use this diagram ONLY if a plat or site survey is unavailable)

Instructions for Arborist (or) Notes from Arborist:

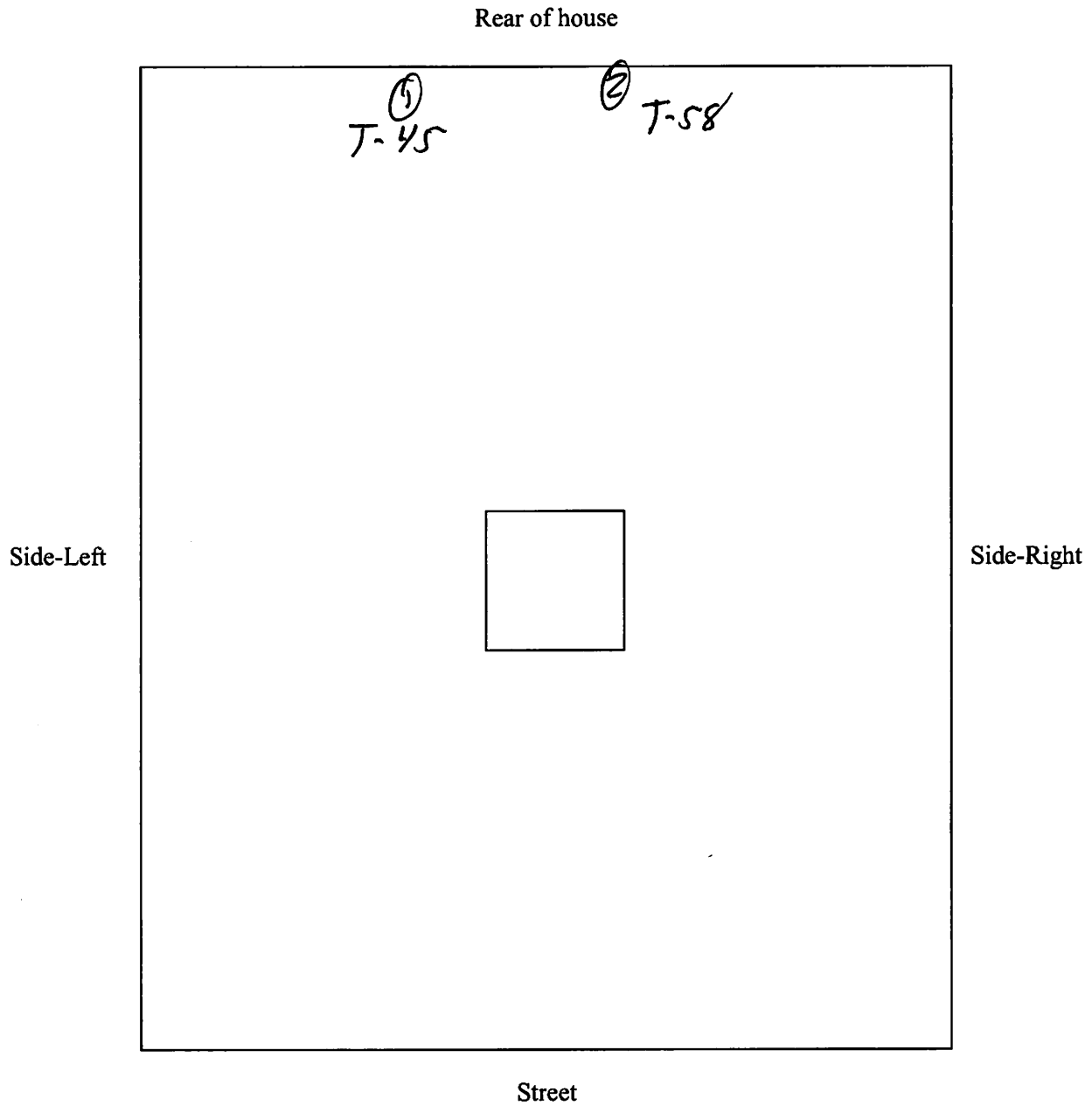




Figure 2: 36" Tulip Poplar at 29 Hesketh Street



Figure 3: 38" Tulip Poplar at 29 Hesketh Street

**Chevy Chase Village
Tree Inspection Request Form**

Property Address: 28 West Irving Street
Date this form submitted to Village office: / /
Resident Name: Phone: E-mail:
This request initiated by: <input type="checkbox"/> Village office staff. <input type="checkbox"/> Resident/property owner
<input checked="" type="checkbox"/> Inspect tree(s) ¹ requested for removal -- are any conditions in CCV Code Sec. 17-3(a) met? [\$50/tree fee] <input type="checkbox"/> Inspect trees ¹ on property to determine if a Tree Protection Plan (TPP) is needed for proposed project ² . <input type="checkbox"/> Pursuant to a Village Bldg Permit application ² , prepare TPP for trees ¹ on property [\$250 fee] <input type="checkbox"/> Verify that a TPP has been implemented for Village Building Permit # _____. <input type="checkbox"/> Follow up on an existing TPP -- is it OK to remove TPP? <input type="checkbox"/> Village right-of-way/park <input type="checkbox"/> Other: _____ <small>¹Show location of tree(s) on a plat or site plan (or on diagram on reverse, but only if plat unavailable). ²Attach full description of proposed project.</small>

Sections below must be completed by Village Arborist:

Tree #1: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= 30 Species: Swet gum Tag#: T-110 n/a: no tag.
 Assessment: Good condition cannot be protected for drainage project

Tree #2: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

Tree #3: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

(For more trees, please check here and attach pages: # of extra trees ____; # of extra pages ____.)

Arborist assessment: Does tree meet any of the conditions in Village Code 17-3 to qualify for removal?

Removal Approved	Denied	*Is permit required? (i.e, is trunk circumf. ≥24"?)	Y	N
Tree #1 <input type="checkbox"/>	<input type="checkbox"/>	Tree #1	<input type="checkbox"/>	<input type="checkbox"/>
Tree #2 <input type="checkbox"/>	<input type="checkbox"/>	Tree #2	<input type="checkbox"/>	<input type="checkbox"/>
Tree #3 <input type="checkbox"/>	<input type="checkbox"/>	Tree #3	<input type="checkbox"/>	<input type="checkbox"/>

Arborist Signature _____ **Date** _____

Diagram for Tree Inspection
(use this diagram ONLY if a plat or site survey is unavailable)

Instructions for Arborist (or) Notes from Arborist:

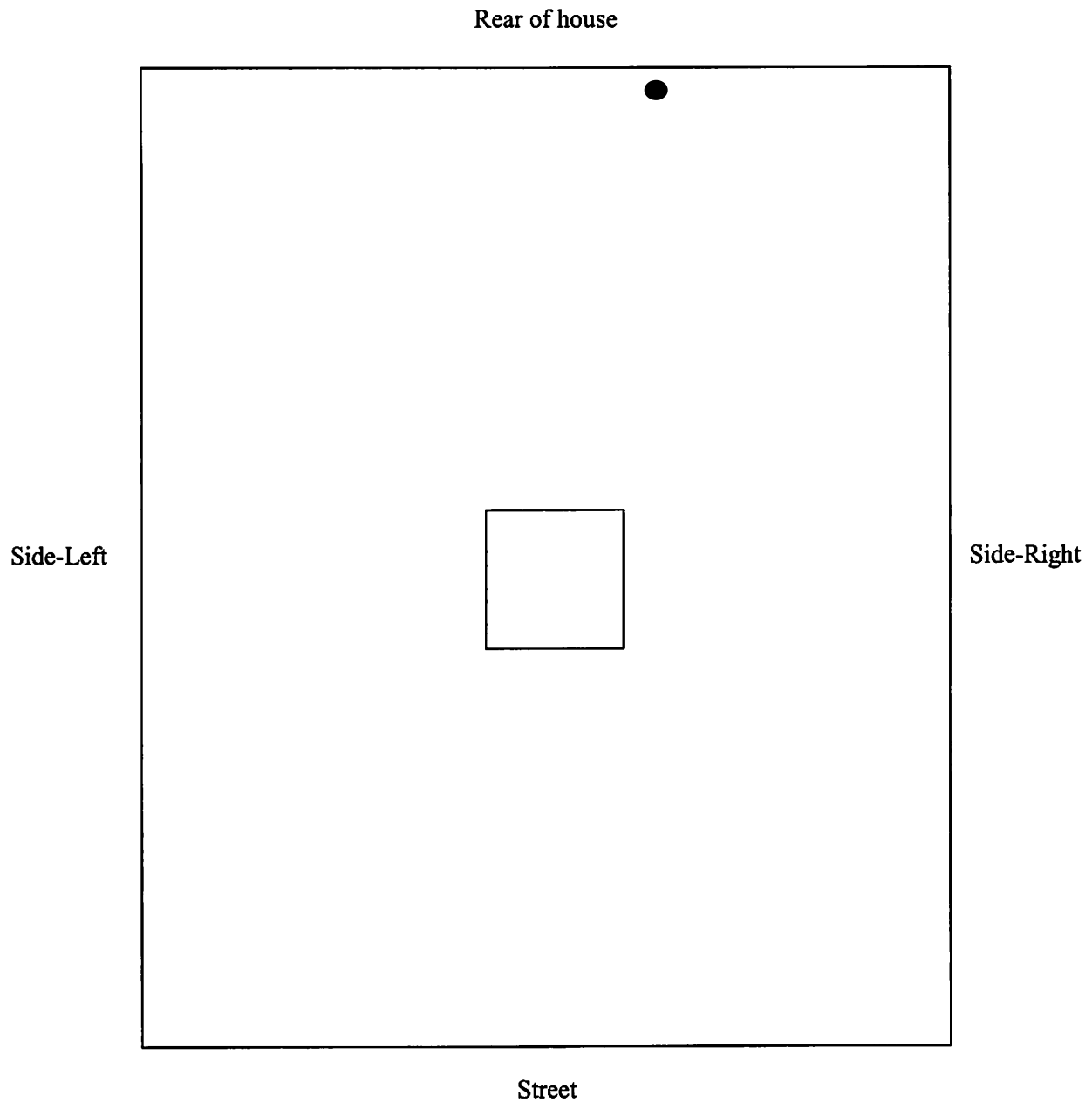




Figure 4: 30" Sweetgum at 28 West Irving Street

**Chevy Chase Village
Tree Inspection Request Form**

Property Address: 30 West Irving Street
Date this form submitted to Village office: / /
Resident Name: Phone: E-mail:
This request initiated by: <input type="checkbox"/> Village office staff. <input type="checkbox"/> Resident/property owner
<input checked="" type="checkbox"/> Inspect tree(s) ¹ requested for removal -- are any conditions in CCV Code Sec. 17-3(a) met? [\$50/tree fee] <input type="checkbox"/> Inspect trees ¹ on property to determine if a Tree Protection Plan (TPP) is needed for proposed project ² . <input type="checkbox"/> Pursuant to a Village Bldg Permit application ² , prepare TPP for trees ¹ on property [\$250 fee] <input type="checkbox"/> Verify that a TPP has been implemented for Village Building Permit # _____. <input type="checkbox"/> Follow up on an existing TPP -- is it OK to remove TPP? <input type="checkbox"/> Village right-of-way/park <input type="checkbox"/> Other: _____
<small>¹ Show location of tree(s) on a plat or site plan (or on diagram on reverse, but only if plat unavailable). ² Attach full description of proposed project.</small>

Sections below must be completed by Village Arborist:

Tree #1: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= 9 Species: Honeylocust Tag#: T-105 n/a: no tag.
 Assessment: Good Condition Cannot be protected for drainage project

Tree #2: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

Tree #3: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

(For more trees, please check here and attach pages: # of extra trees ____; # of extra pages ____.)

Arborist assessment: Does tree meet any of the conditions in Village Code 17-3 to qualify for removal?

Removal Approved	Denied	*Is permit required? (i.e. is trunk circumf. ≥24"?)	Y	N
Tree #1 <input checked="" type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tree #2 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Tree #3 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>

Arborist Signature  **Date** 6/15/25

Diagram for Tree Inspection
(use this diagram ONLY if a plat or site survey is unavailable)

Instructions for Arborist (or) Notes from Arborist:

Rear of house

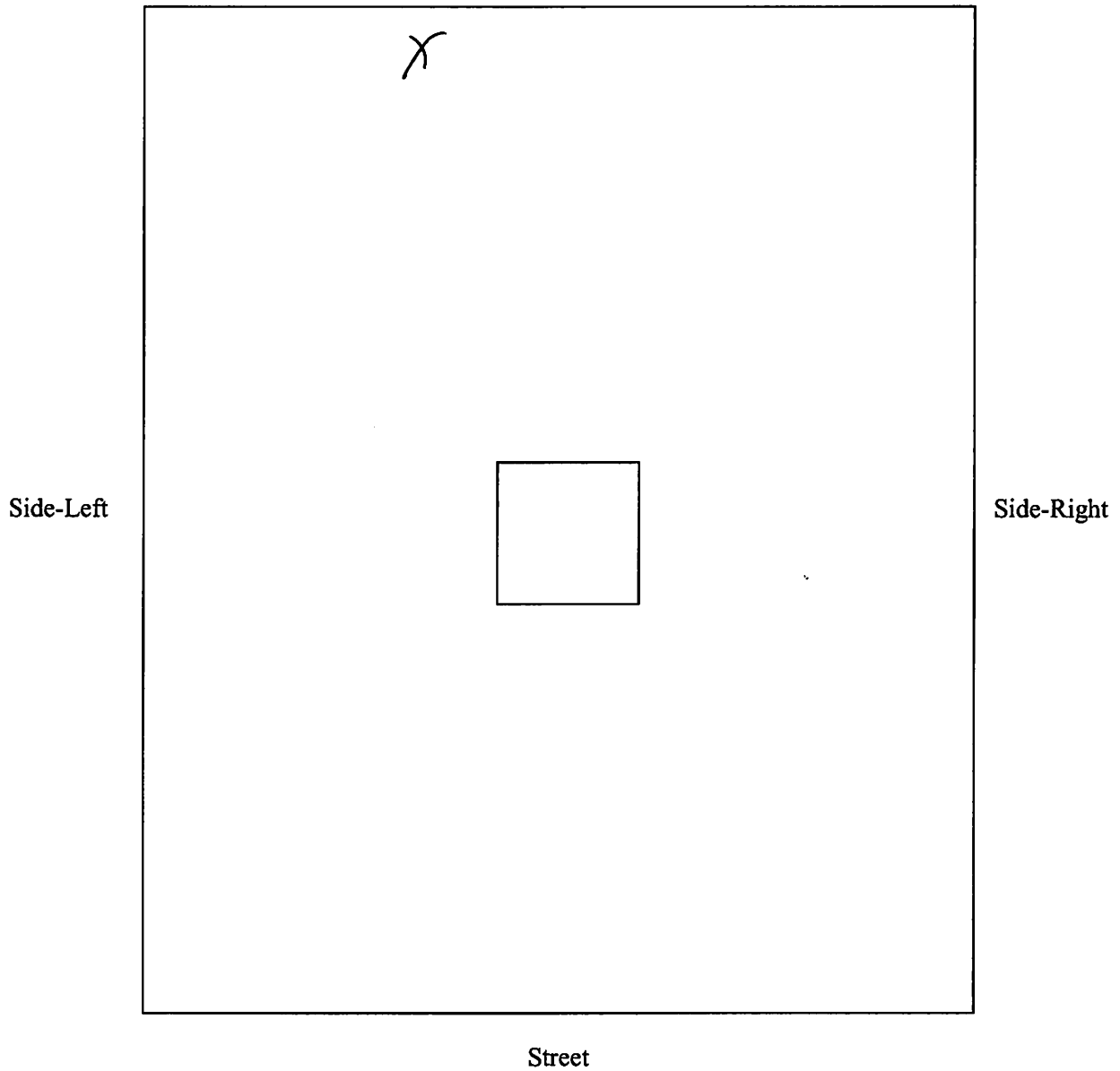




Figure 5: 9" Honeylocust at 30 West Irving Street

**Chevy Chase Village
Tree Inspection Request Form**

Property Address: 32 West Irving Street
Date this form submitted to Village office: / /
Resident Name:
Phone:
E-mail:
This request initiated by: <input type="checkbox"/> Village office staff. <input type="checkbox"/> Resident/property owner
<input checked="" type="checkbox"/> Inspect tree(s) ¹ requested for removal -- are any conditions in CCV Code Sec. 17-3(a) met? [\$50/tree fee] <input type="checkbox"/> Inspect trees ¹ on property to determine if a Tree Protection Plan (TPP) is needed for proposed project ² . <input type="checkbox"/> Pursuant to a Village Bldg Permit application ² , prepare TPP for trees ¹ on property [\$250 fee] <input type="checkbox"/> Verify that a TPP has been implemented for Village Building Permit # _____. <input type="checkbox"/> Follow up on an existing TPP -- is it OK to remove TPP? <input type="checkbox"/> Village right-of-way/park <input type="checkbox"/> Other: _____
¹ Show location of tree(s) on a plat or site plan (or on diagram on reverse, but only if plat unavailable). ² Attach full description of proposed project.

Sections below must be completed by Village Arborist:

Tree #1: Private Property Village right-of-way
Location: Rear Front Side-L Side-R
DBH* = 10 **Species:** Vinghna Pine **Tag#:** T-96 n/a: no tag.
Assessment: Poor Condition Cannot be protected for drainage project

Tree #2: Private Property Village right-of-way
Location: Rear Front Side-L Side-R
DBH* = 18 **Species:** Honeylocust **Tag#:** T-93 n/a: no tag.
Assessment: Poor Condition Cannot be protected for drainage project

Tree #3: Private Property Village right-of-way
Location: Rear Front Side-L Side-R
DBH* = 18 **Species:** American Elm **Tag#:** T-63 n/a: no tag.
Assessment: Good Condition Cannot be protected for drainage project

(For more trees, please check here and attach pages: # of extra trees ____; # of extra pages ____.)

Arborist assessment: Does tree meet any of the conditions in Village Code 17-3 to qualify for removal?

Removal Approved	Denied	*Is permit required? (i.e. is trunk circumf. ≥24"?)	Y	N
Tree #1 <input checked="" type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tree #2 <input checked="" type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tree #3 <input checked="" type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>

Arborist Signature  **Date** 6/15/23

Tree #4: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= 19 Species: Mulberry Tag#: T-59 n/a: no tag.
 Assessment: Poor Condition cannot be protected for doarbade project

Tree #5: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

Tree #6: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

Tree #7: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

Tree #8: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

Tree #9: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

Tree #10: Private Property Village right-of-way
 Location: Rear Front Side-L Side-R
 DBH*= _____ Species: _____ Tag#: _____ n/a: no tag.
 Assessment: _____

(For more trees, please check here and attach pages: # of extra trees ____; # of extra pages ____.)

Arborist assessment: Does tree meet any of the conditions in Village Code 17-3 to qualify for removal?

Removal Approved	Denied	*Is permit required? (i.e, trunk circumference \geq 24"?)	Y	N
Tree #4 <input checked="" type="checkbox"/>	<input type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tree #5 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Tree #6 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Tree #7 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Tree #8 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Tree #9 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
Tree #10 <input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>

Arborist/Staff Signature  Date 6/15/23

Diagram for Tree Inspection/Reforestation Recommendation

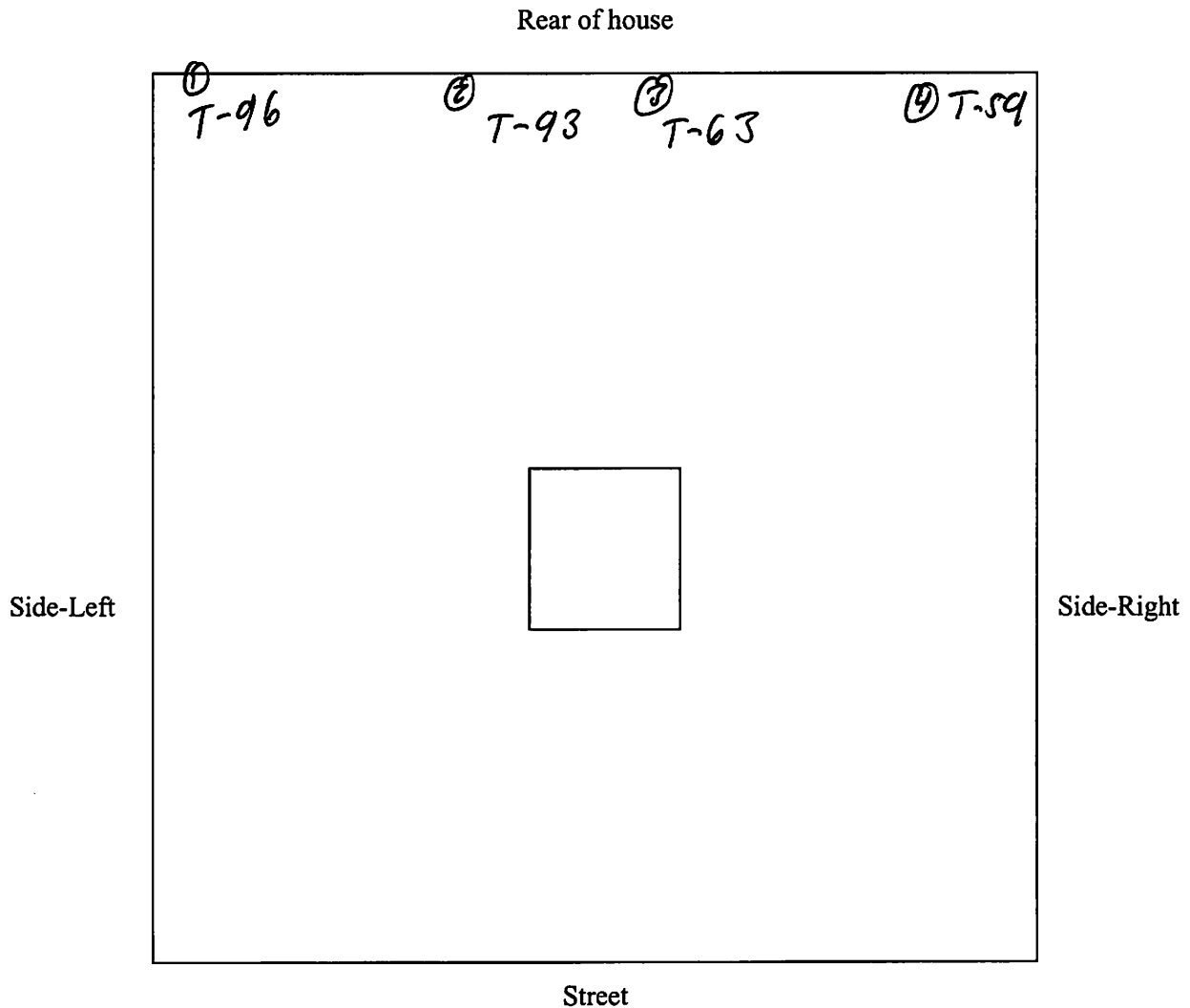
(use this diagram ONLY if a plat or site survey is unavailable)

Instructions for Arborist (or) Notes from Arborist:

Arborist Reforestation Recommendation:

Species(s) (in Order of Preference)

Location (in Order of Preference)



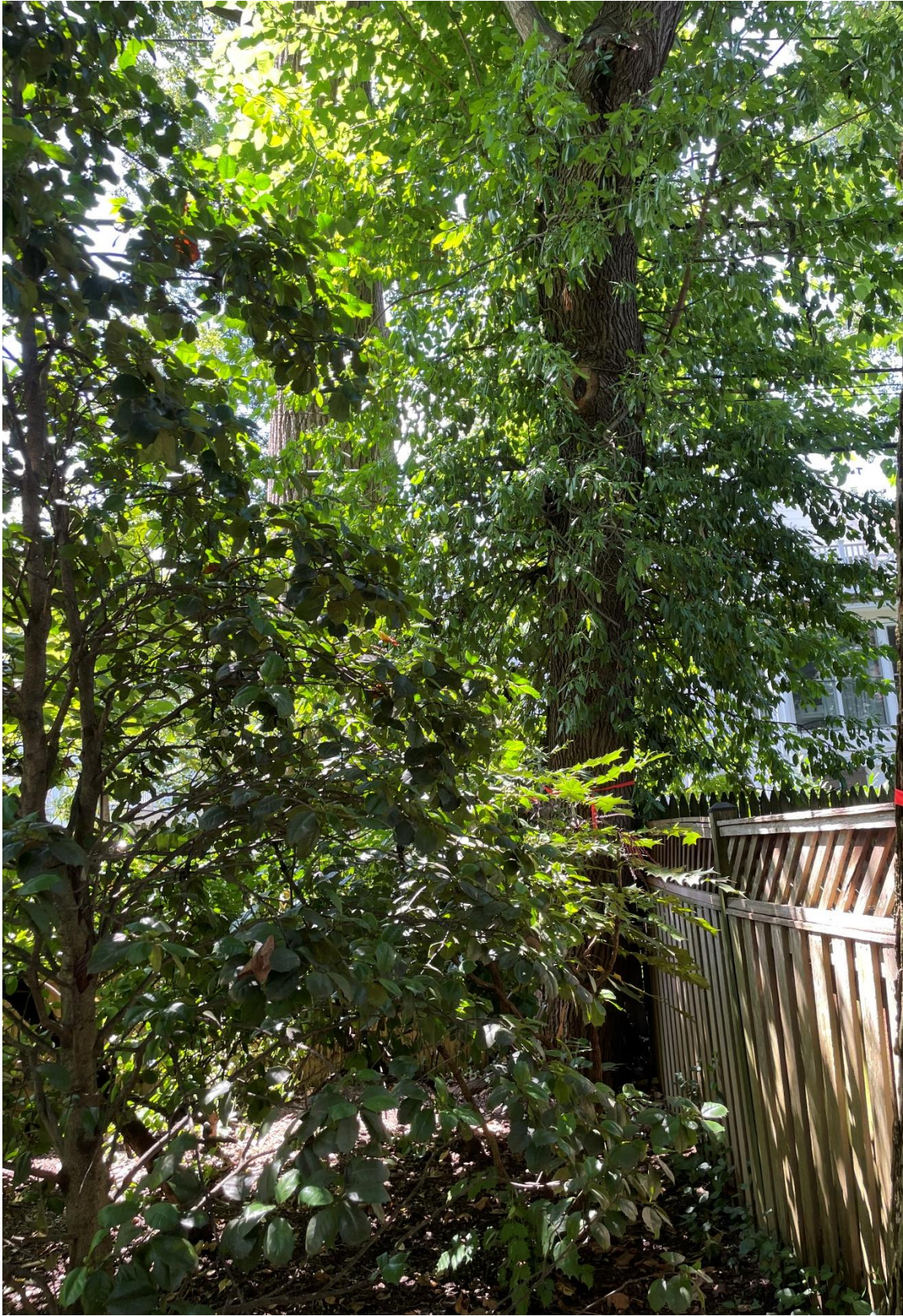


Figure 6: 18" American Elm at 32 West Irving Street



Figure 7: 18" Honeylocust at 32 West Irving Street



Figure 8: 10" Virginia Pine at 32 West Irving Street



Figure 9: 19" Mulberry at 32 West Irving Street