

*Preliminary Consultation*  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	3930 Washington Street, Kensington	<b>Meeting Date:</b>	7/12/2023
<b>Resource:</b>	Primary Resource <b>Kensington Historic District</b>	<b>Report Date:</b>	7/5/2023
<b>Applicant:</b>	John and Iris Schwabe (Jodi Longo, Architect)	<b>Public Notice:</b>	6/28/2023
<b>Review:</b>	Preliminary Consultation	<b>Tax Credit:</b>	N/A
		<b>Staff:</b>	John Liebertz
<b>Permit Number:</b> 1030006			

**PROPOSAL:** Demolition of accessory structure and construction of a one-story addition, construction of new shed, other alterations.

**STAFF RECOMMENDATION**

Staff recommends that the applicant make any changes recommended by the Historic Preservation Commission (HPC) and return for a Historic Area Work Permit (HAWP).

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Primary Resource within the Kensington Historic District  
**STYLE:** Shingle  
**DATE:** Ca. 1898



**Figure 1:** The subject property at 3930 Washington Street is located on the south side of the street. The red line is the boundary of the Master Plan Historic District and the yellow star is the location of the subject dwelling.



## **PROPOSAL**

The applicant proposes to: 1) demolish an existing deck and cellar access on the rear elevation of the house; 2) construct a one-story rear addition with a rear porch; 3) demolish the detached garage; and 4) install a shed (10' x 10) in the rear yard.

## **APPLICABLE GUIDELINES**

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Brookeville Historic District. These documents approved and adopted Brookeville Historic District Master Plan Amendment (*Amendment*), *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Master Plan Amendment***

The Amendment notes that:

The district is architecturally significant as a collection of late 19th and early 20th century houses that exhibit a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake, and Colonial Revival. The houses share a uniformity of scale, setbacks, and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

### ***Vision of Kensington***

In accordance with Section 1.5 of the Historic Preservation Rules, Guidelines, and Procedures (Regulation No. 27-97), the Commission in developing its decision when reviewing a Historic Area Work Permit application for an undertaking involving a resource within the Kensington Historic District may use the Vision to determine the appropriateness of a proposal. The goal of the Vision "was to establish a sound database of information from which to produce a document that would serve the HPC, M-NCPPC, their staff, and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century."

In addition, the Vision provides a specific physical description of the district as it was at the time of the study (August, 1992), an analysis of character-defining features of the district, a discussion of the challenges facing the district, and a discussion of proposed strategies for maintaining the character of the district, while allowing for appropriate growth and change.

The Vision identifies the following, as those features that help define the character of Kensington's built environment:

- Building Setbacks: Residential and Commercial Patterns
- Rhythm and Spacing between Buildings
- Geographic and Landscape Features
- Scale and Building Height
- Directional Expression of Buildings
- Roof Forms and Materials
- Porches
- Dominant Building Material



- Outbuildings
- Integrity of Form, Building Condition, and Threats
- Architectural Style

***Montgomery County Code, Chapter 24A-8***

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



## **STAFF DISCUSSION**

The subject property is a Primary Resource to the Kensington Historic District. The property features a distinctive two-story, Shingle Styled house with a cross Dutch gambrel roof. The wood-frame building rests on a stone foundation. The walls are clad with wood lap siding on the first story and wood shingles in the upper gambrel ends. The asphalt shingle-clad roof is pierced by an internal brick chimney at the intersection of the gambrel roofs. The façade (north elevation) features a character defining full width, recessed front porch supported by wood posts. Fenestration primarily consists of three-over-one, double-hung, wood-sash windows. Other significant architectural features are the oriel window on the west elevation and a bay window on the east elevation. These irregular projections provide a sense of visual interest typical of the style. The dwelling retains a high degree of integrity and there are no relevant Historic Area Work Permits (HAWP) recorded for the resource.



***Figure 2: View of the façade (north) and east elevation of the subject house (left) and the 1950-1963 Sanborn Fire Insurance Map (property outlined in red).***

***Source: Montgomery Planning and Sanborn Fire Insurance Company.***

A small detached, one-story, one-car garage (*Figure 3*) is located to the southwest of the dwelling and accessed by a brick paver driveway. The non-historic, front-gable, wood-frame building rests on a concrete pad. The walls are clad with vertical wood siding on the south and north elevations and drop wood siding on the west and east elevations. The roof is clad in asphalt shingles.



***Figure 3: Aerial view from the west of property (left) and view of the north and east elevation of the detached garage (right).***

***Source: ConnectExplorer and Montgomery Planning.***





**Figure 4: View of the rear elevation.**

#### *Demolition of Rear Porch and Cellar Access*

The applicant proposes to demolish the small, non-historic, shed-roof porch and a cellar accessed via a corrugated metal hatch on the western and eastern extents of the rear elevation, respectively (*Figure 4*). Staff finds that the request is consistent with the applicable guidelines as the porch is a non-historic addition and neither element is a character defining feature of the dwelling or district.

#### *Preliminary Hearing #1 — Historic Preservation Commission, May 24, 2023*

At the first meeting, the applicant proposed to construct a one-story with basement, wood-frame, rear addition. The addition consisted of a single-story, gable-roof hyphen that connected to the taller single-story, gable-roof section with a shed-roof rear porch (*Figure 5*). Historic Preservation Staff found that the proposal complied with the applicable guidelines and recommended approval. The commission supported the demolition of a shed and construction of a rear addition, but found the proposed roof form to be incompatible with the historic house. Items recommended for further study included altering the addition's massing and form, offsetting the addition and turning it perpendicular to the house, increasing the length of the hyphen, and introduction of trim elements to separate the new construction from the historic house.

Members of the Kensington Local Advisory Panel (LAP) found that the proposal met regulatory compliance, but shared concerns about the lack of distinction between the new construction and historic house, width and depth of the hyphen, and the effect of a theoretical second story to the proposed one-story addition.

## OPTION 1



**Figure 5: Model showing the proposed addition presented to the HPC at its May 26, 2023, hearing. Source: Applicant.**

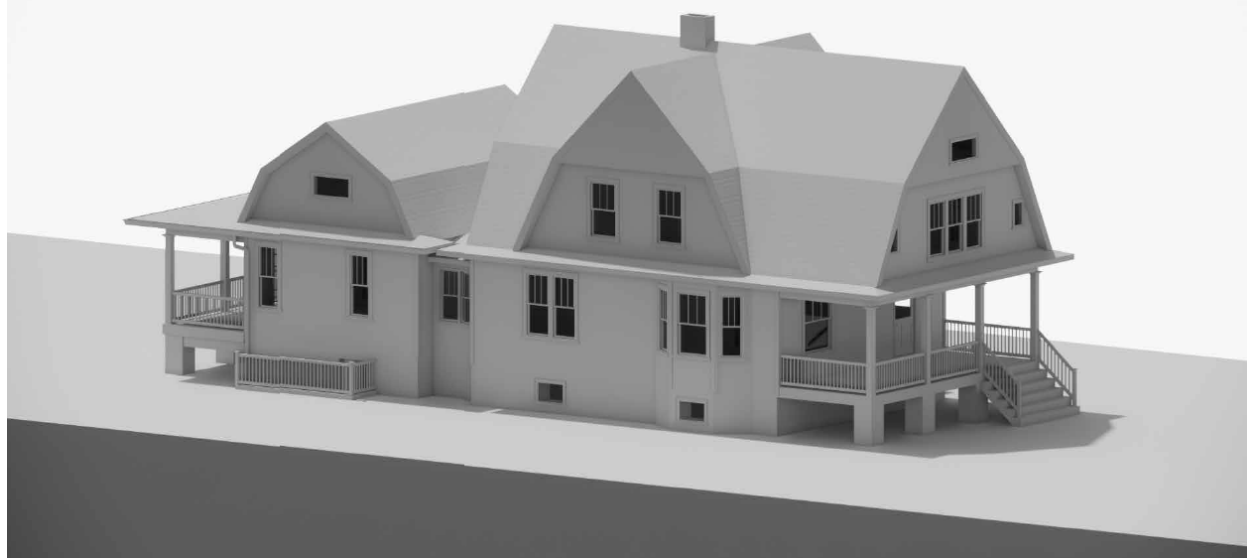


### *Description of Proposed Rear Addition*

The applicant revised their application in response to the HPC's comments. The proposed addition remains a single-story with a basement, wood-frame, rear addition. The most significant change is to the addition's roof form. The addition now consists of a 6'-deep, gable-roof hyphen that connects to a one-story, gambrel roof addition (25'6" x 27'4") with a full width, hipped-roof, rear porch (9' x 27'4"). On the side elevations, the gable-roof hyphen is recessed approximately 2'6" from the original house and gambrel addition (*Figure 6*).

The materials remain consistent from the last application. This includes the cementitious fiberboard siding, polyvinyl chloride trim, aluminum-clad wood windows and doors, solid extruded polyvinyl chloride decking, composite railings, architectural asphalt shingles, and half-round copper gutters.

## OPTION 2



**Figure 6: Model showing the revised addition with a gambrel roof.**

**Source: Applicant.**

### *Proposed Rear Addition – Concept, Scale, and Massing*

The HPC should consider and discuss the applicant's overall conceptual approach to the addition. The architect utilized a 6'-deep, gable-roof hyphen to connect the side-gambrel addition to the historic house. The hyphen's lower right height allowed the entire second story of the original gambrel-roof house to remain intact. The revised 2'6" setback of the addition on both elevations helps distinguish the new construction from the historic house. Staff, however, finds that the depth of the hyphen is insufficient. The proximity of a side-gambrel addition of this scale to the historic front-gambrel house adversely effects the design of the resource and is incompatible with the character of the streetscape. The length of the hyphen would need to be increased to create an addition that coalesces with the historic house as it would provide greater relief from the rear elevation and separate the two overhanging roofs.



### Staff's Recommendations for Rear Addition



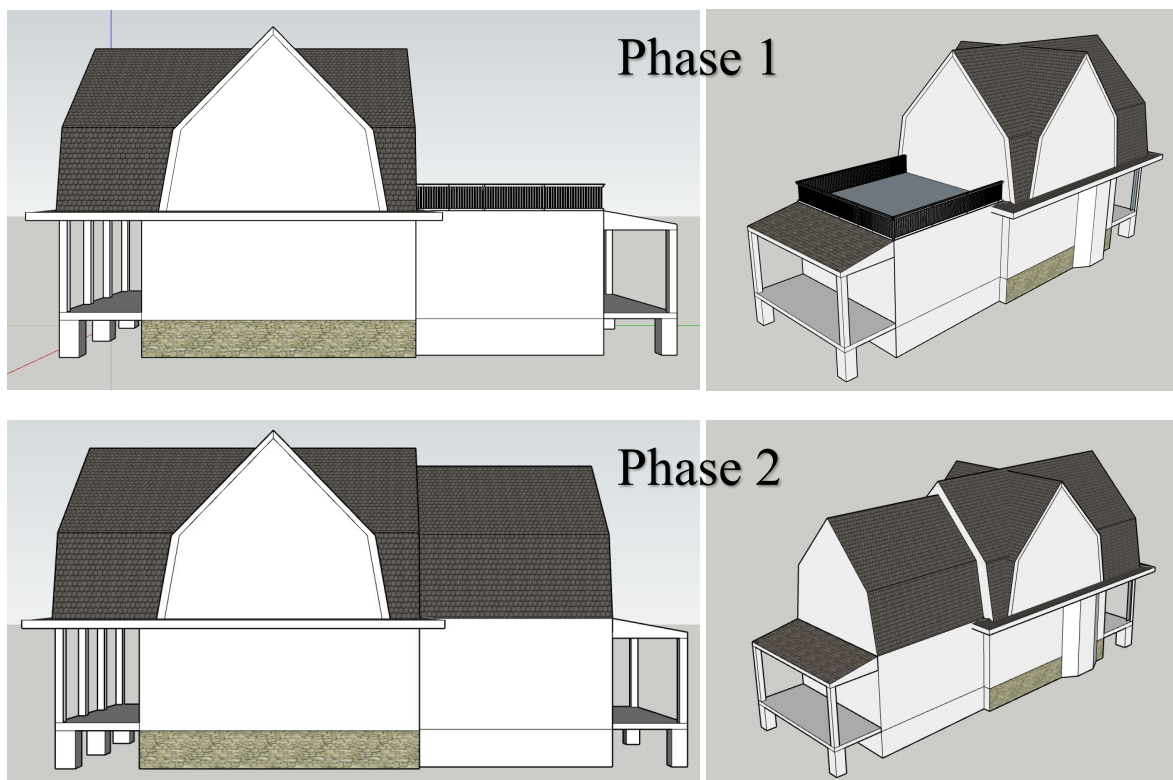
**Figure 7: Example of a side-gambrel house with one-story wings. One of the wings is an infilled porch.**

Staff recognizes the design challenges associated with a one-story rear addition to a two-story, front-gambrel house. Side-gambrel houses are more prevalent than front-gambrel houses and offer greater opportunities for additions (particularly one-story additions). Staff found numerous examples of small wings to the gambrel ends of such homes. In this example, the two-and-a-half-story, side-gambrel house is flanked by one-story, flat-roof wings (Figure 7).

In addition, the Kensington LAP raised valid concerns in response to the applicant's first proposal about the potential for a second story constructed by a future homeowner. Staff considered various massing alternatives for the applicant and the HPC to consider that could be compatible with the historic resource and character of the streetscape. The HPC should provide the applicant with clear guidance on the massing, scale, and composition of the addition.

Staff's first option utilizes the above-mentioned scheme of a one-story, flat roof with balustrade, wing on a gambrel end. While the size of the proposed addition (approximately 24' x 24' to accommodate the existing floorplan) is considerably larger than a typical wing, the visibility of the addition would be partially diminished from the public rights-of-way due to existing viewsheds. Furthermore, the addition would setup the location for a future second story addition which could consist of a telescoping (inset) gambrel roof (Figure 8). This final roof form would be compatible with the historic house and streetscape.

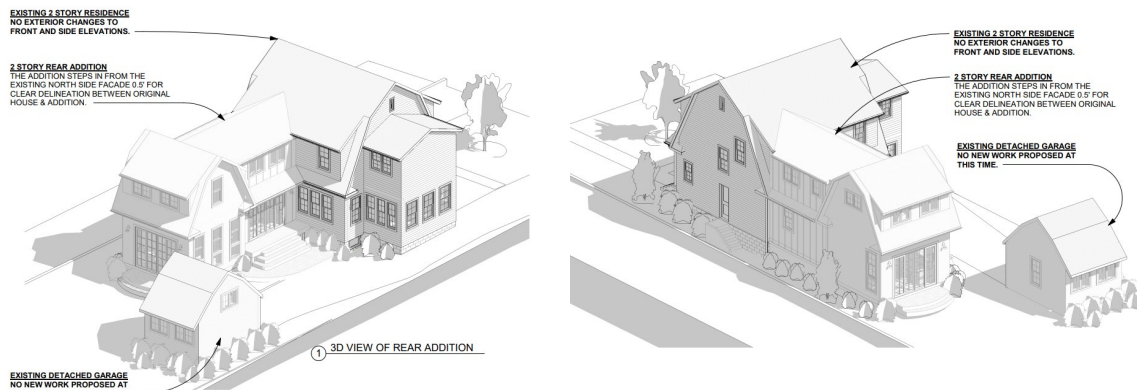
## STAFF OPTION 1



**Figure 8: Staff Option #1, massing model of a hypothetical flat roof addition with balustrade. The top images shows the first phase while the bottom images depicts a potential future second story addition.**

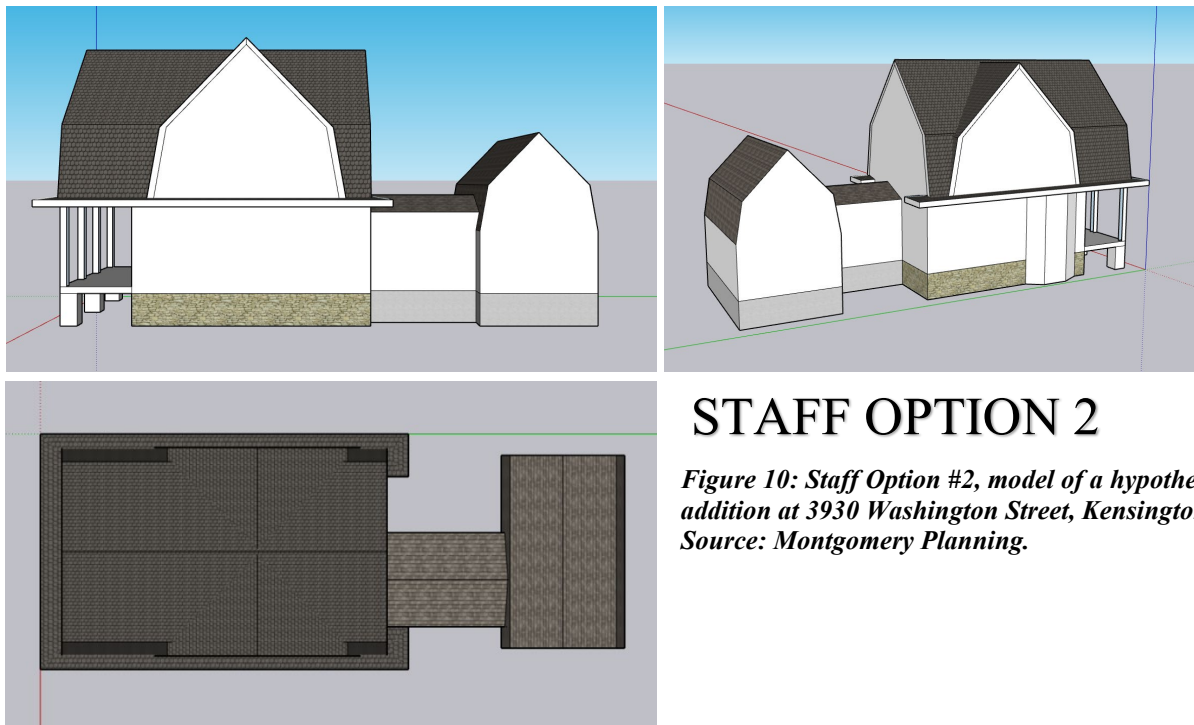


Staff's second option utilizes the applicant's existing scheme, but offsets and alters the dimensions of the hyphen. Recently, in a similar case, the HPC supported an addition to a side-gambrel house at 7216 Maple Avenue, Takoma Park (*Figure 9*).<sup>1</sup> The applicant in that case proposed an offset, 16'-long, two-story, gable-roof hyphen attached to a two-story, side-gambrel massing. This separation allowed for a distinct and compatible addition to the historic house.



**Figure 9: Model of the addition at 7216 Maple Avenue, Takoma Park.**  
**Source: Applicant.**

Staff suggests that the addition at 3930 Washington Street could be approached in a similar fashion. Members of the HPC recommended this design scheme as a potential solution at the May 26, 2023, hearing. The model below illustrates an offset, 16'-long, gable-roof hyphen that connects to a side-gambrel addition (*Figure 10*). The recessed portion on the side elevation could accommodate a porch in lieu of the rear porch presently proposed.



## STAFF OPTION 2

**Figure 10: Staff Option #2, model of a hypothetical addition at 3930 Washington Street, Kensington.**  
**Source: Montgomery Planning.**

<sup>1</sup> For more information, see <https://montgomeryplanning.org/wp-content/uploads/2023/03/II.B-7216-Maple-Avenue-Takoma-Park-1022993.pdf>.



Staff recommends the HPC take one of the following actions: 1) return to the original design scheme; 2) explore the proposed staff options; or 3) recommend specific building forms and roof types that would be compatible with the house and streetscape.

*Proposed Rear Addition – Materials*

Staff finds that the proposed materials (submitted to date) to be compatible with the historic house and surrounding district. The HPC regularly approves the use of cementitious fiberboard siding and polyvinyl chloride trim on addition to Primary Resources in the Kensington Historic District. Staff recommends additional study of the proposed siding based on the final massing scheme. In addition, the applicant should include specifications sheets for the siding in future applications.

Staff finds that the solid extruded polyvinyl chloride porch flooring to be consistent with the applicable guidelines and precedent established by the HPC. The guidelines do not permit the use of composite railings for Primary Resources in the Kensington Historic District. Staff recommends switching to the polyvinyl chloride railing (available from TimberTech).

The application is missing specification for the following items: 1) foundation of the addition and porch (piers); 2) soffit; 3) posts supporting the rear porch roof; 4) hardscaping (if applicable); and 5) exterior lighting (if applicable).

*Proposed Shed*

The application includes a photograph of the proposed shed but no other details. All drawings and material specifications should be submitted as part of the HAWP application.

**STAFF RECOMMENDATION**

Staff recommends that the applicant make any changes suggested by the HPC and return for a preliminary consultation with the requested information.





APPLICATION FOR  
HISTORIC AREA WORK PERMIT  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# \_\_\_\_\_

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? ☐ Yes/District Name \_\_\_\_\_

☐ No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: \_\_\_\_\_

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent

\_\_\_\_\_  
Date



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

**Owner's Agent's mailing address**

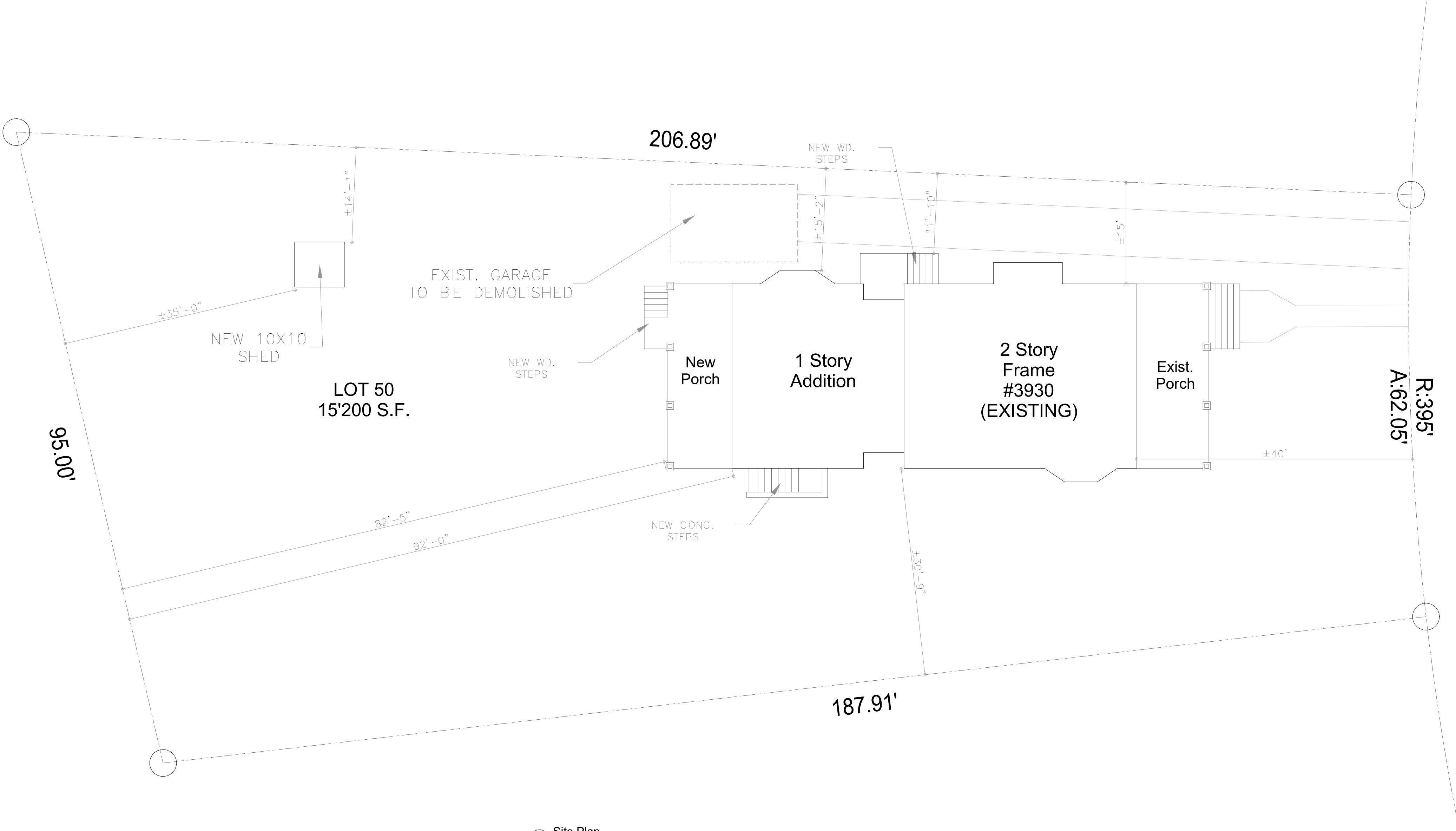
**Adjacent and confronting Property Owners mailing addresses**



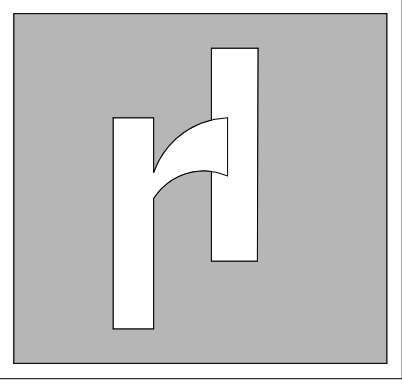
**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:





① Site Plan  
1" = 10'-0"



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ARCHITECTS, LLC

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GAITHERSBURG, MD. 20879  
TEL: (301) 948-3197  
e-mail: rlissabet1@comcast.net



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR  
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LICENSE No. 6152 - EXP. DATE 09-02-24

Revisions		
#	Date	

Client:  
MR. & MRS. SCHWABE

Location:  
3930 WASHINGTON ST  
KENSINGTON, MD 20895

Project:  
RESIDENCE ADDITION

Drawing Title:  
  
Site Plan

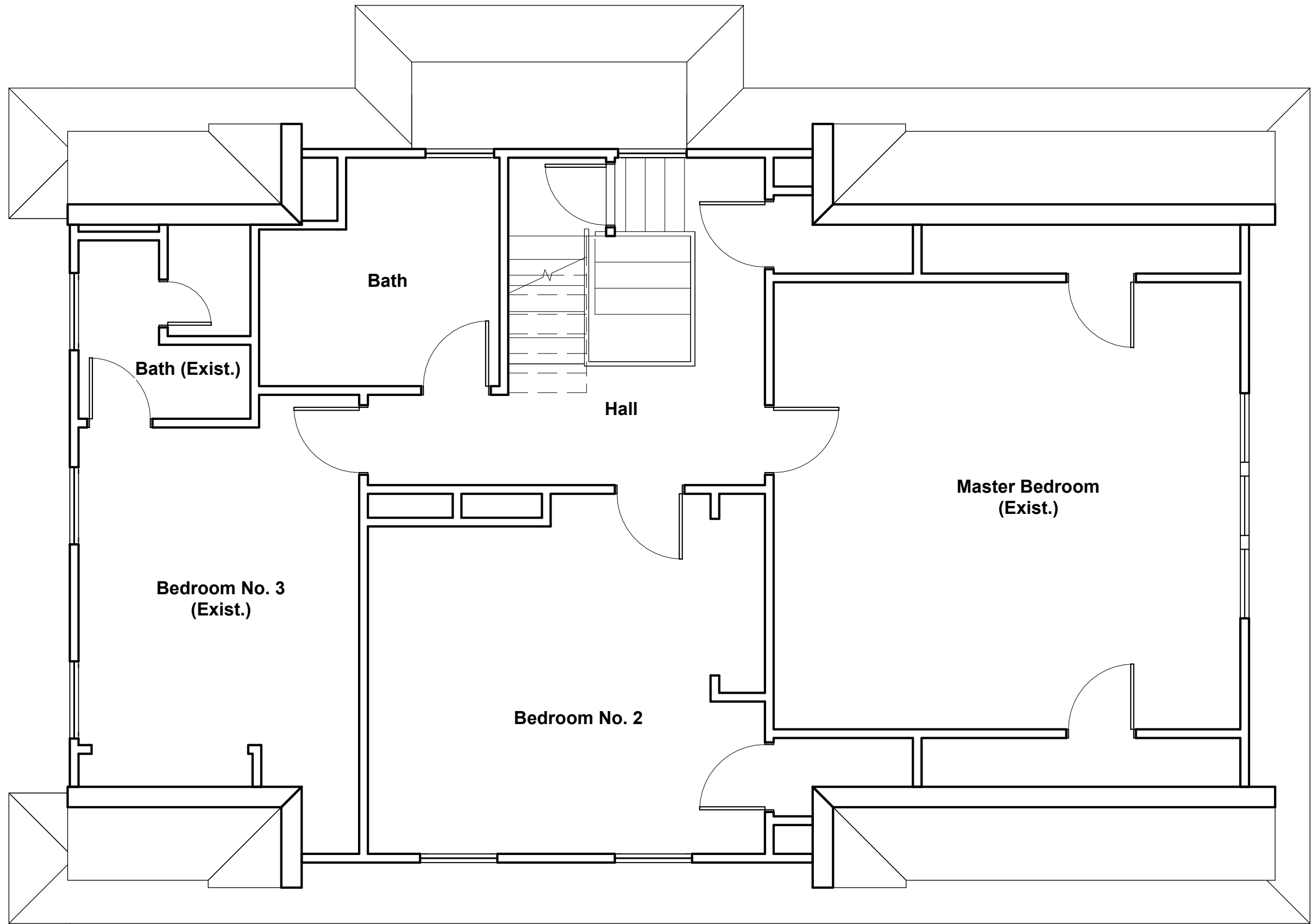
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C.G.

Project No.  
110522-E2

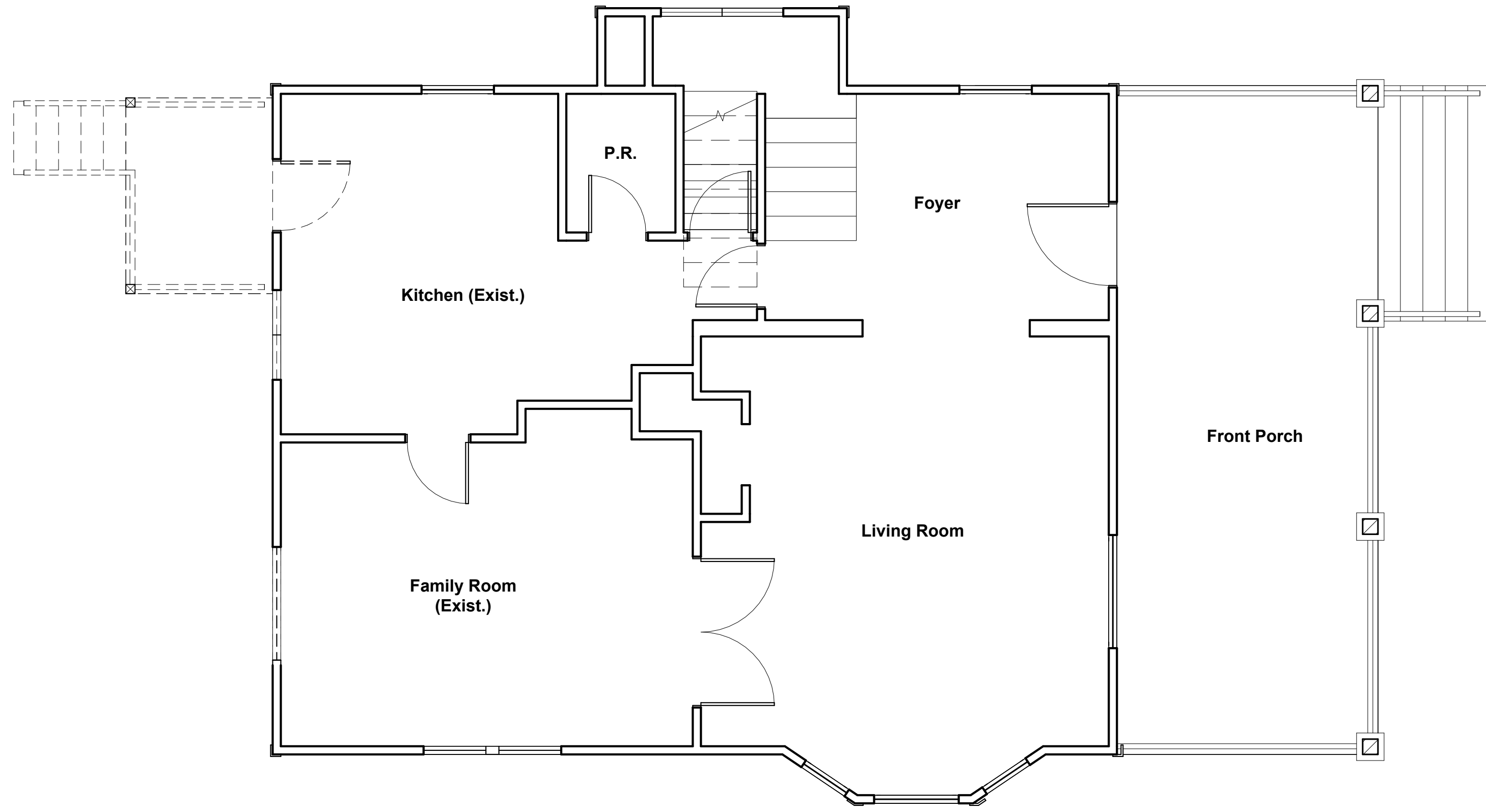
HPC SUBMISISON (06/21/2023)

Drawing No.  
  
A001

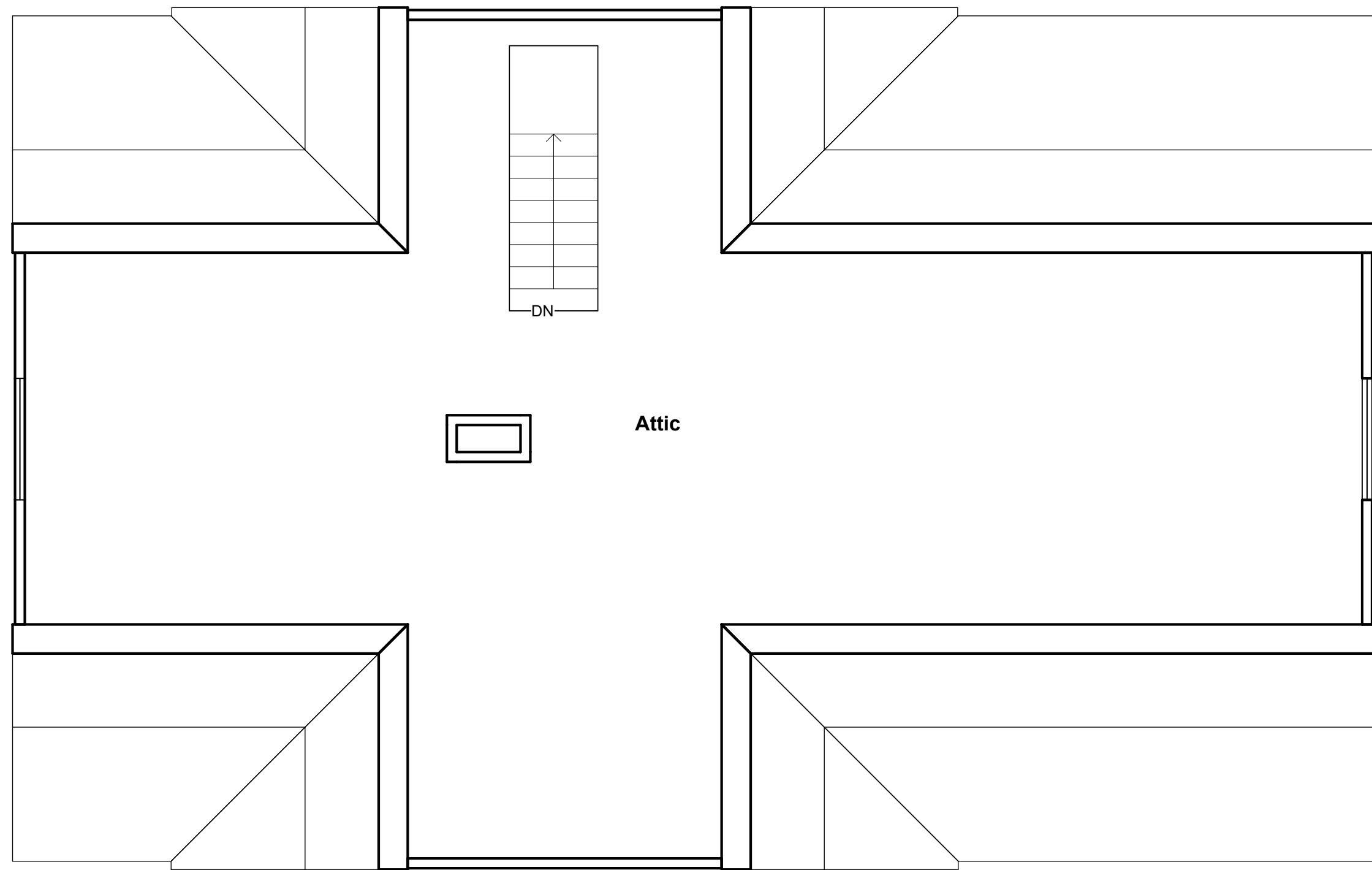




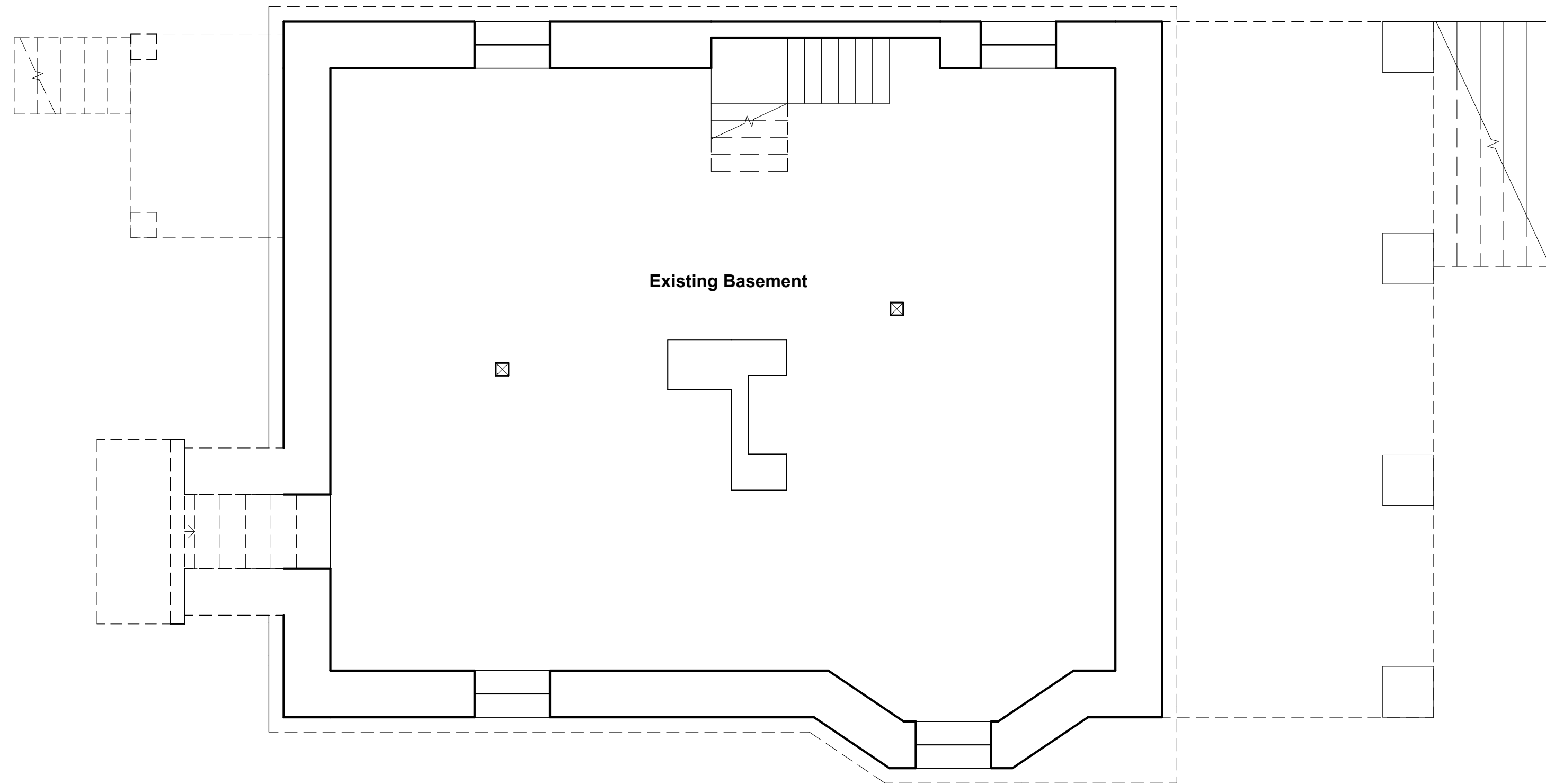
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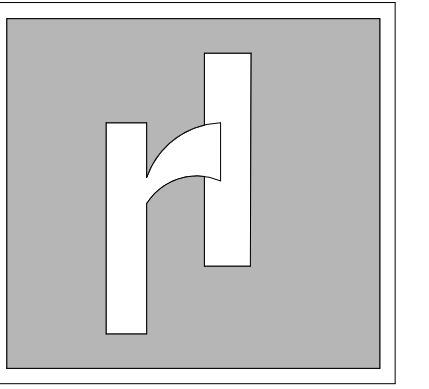
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① Attic Plan (Existing)  
1/4" = 1'-0"



② Basement (Existing)  
1/4" = 1'-0"



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Project:  
**RESIDENCE ADDITION**

Drawing Title:  
**Floor Plans (Existing &  
Demo)**

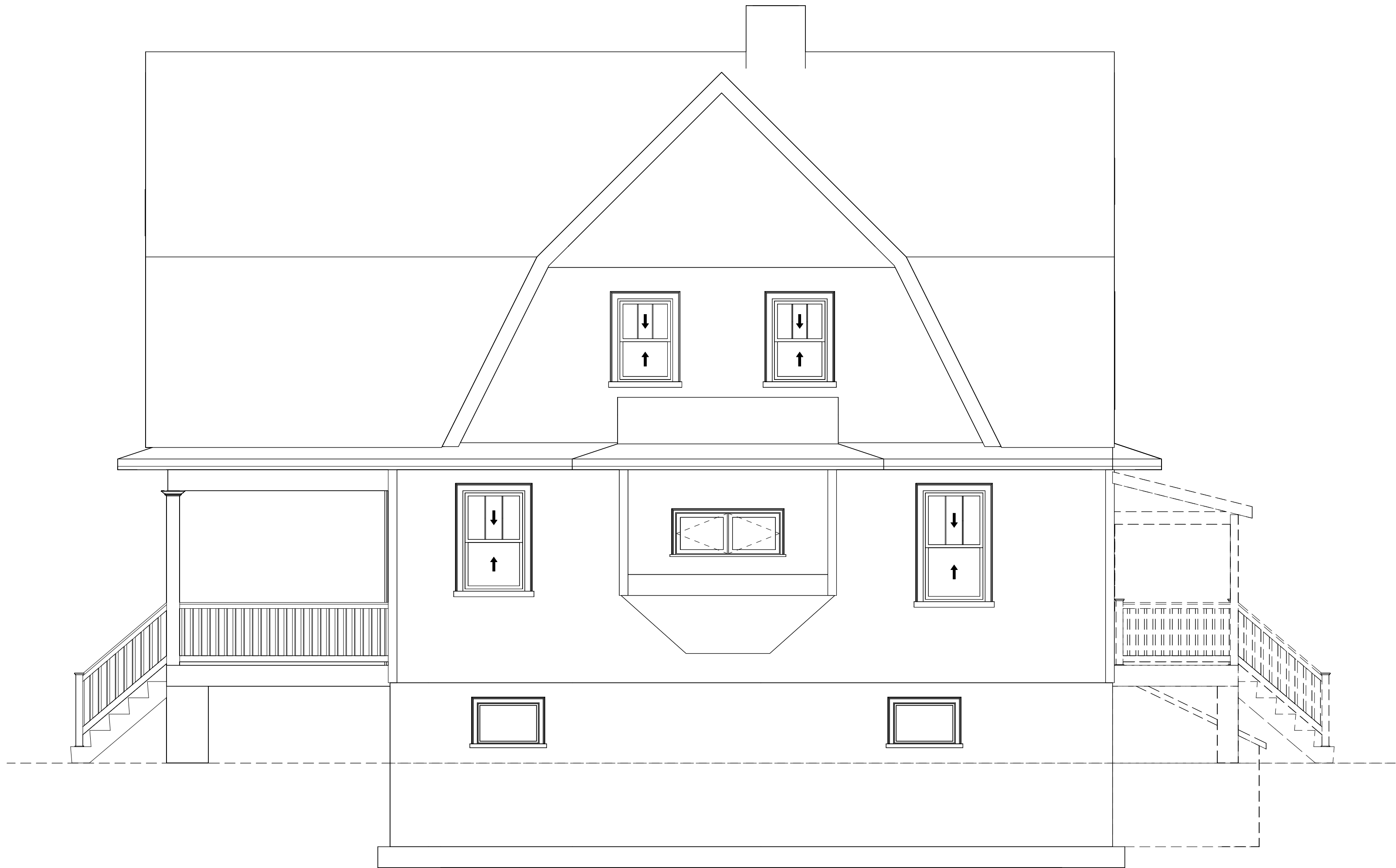
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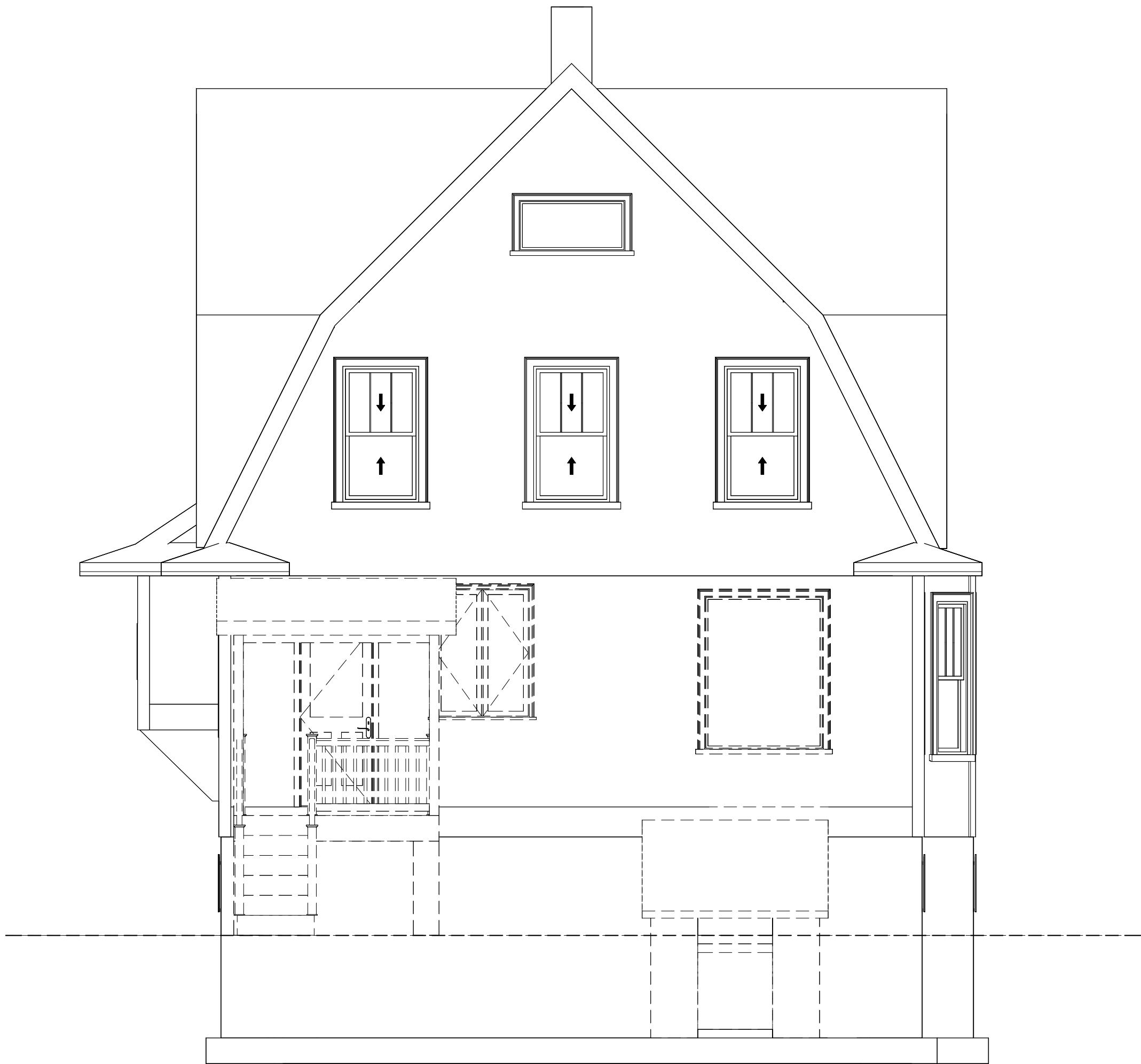
HPC SUBMISISON (06/21/2023)

Drawing No.  
**A002**





④ Left Elevation (Existing)  
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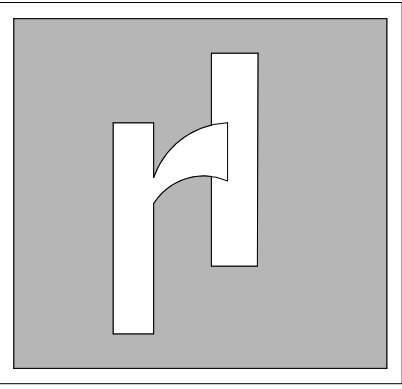
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① Right Elevation (Existing)  
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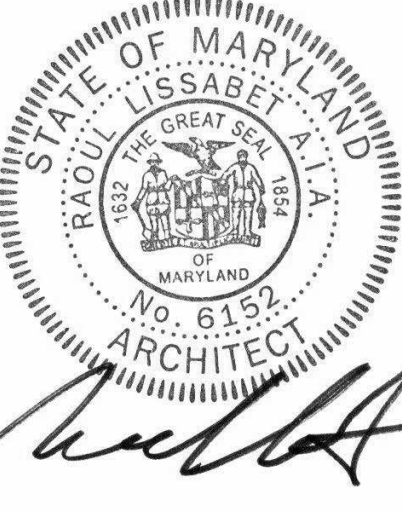


② Front Elevation (Existing)  
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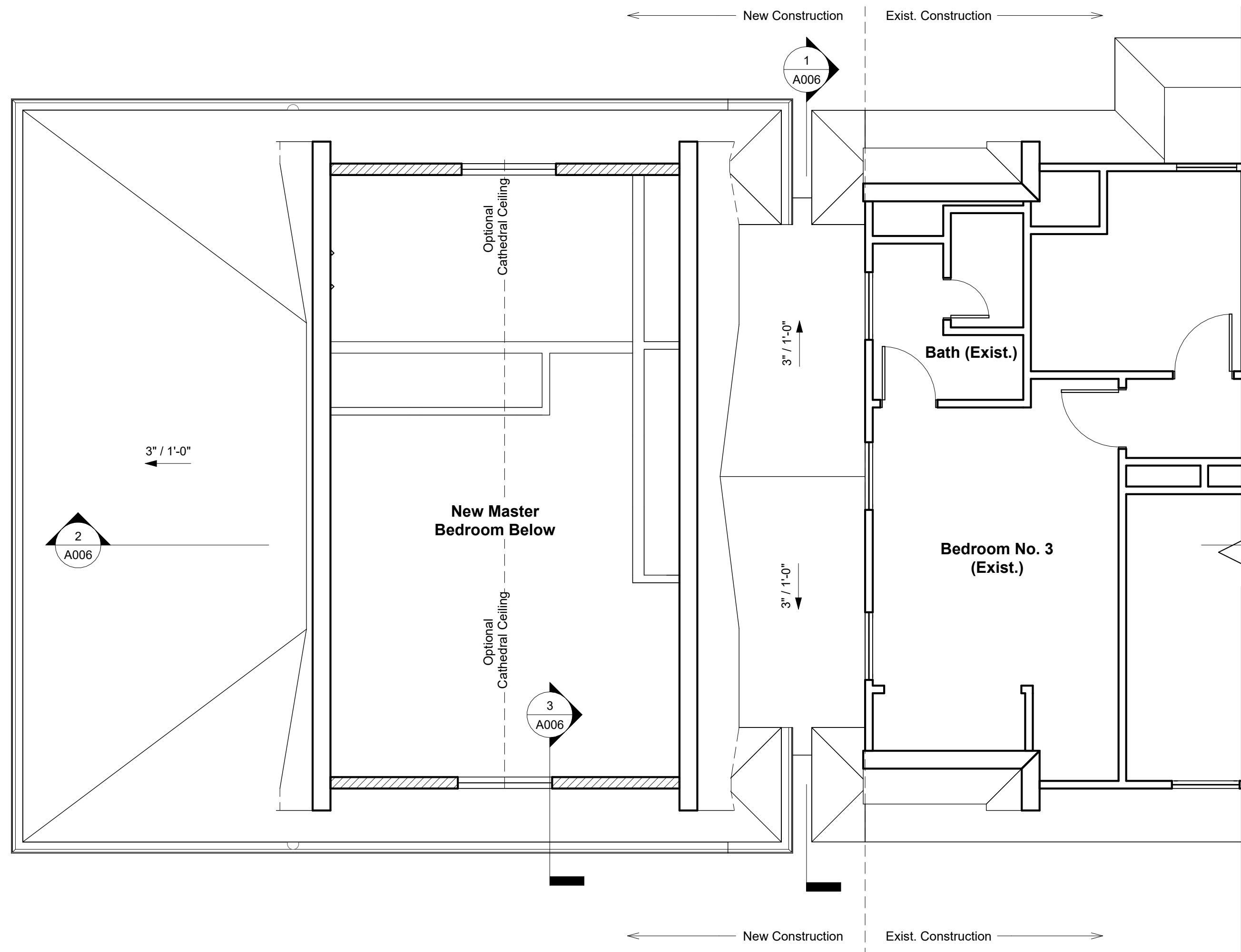
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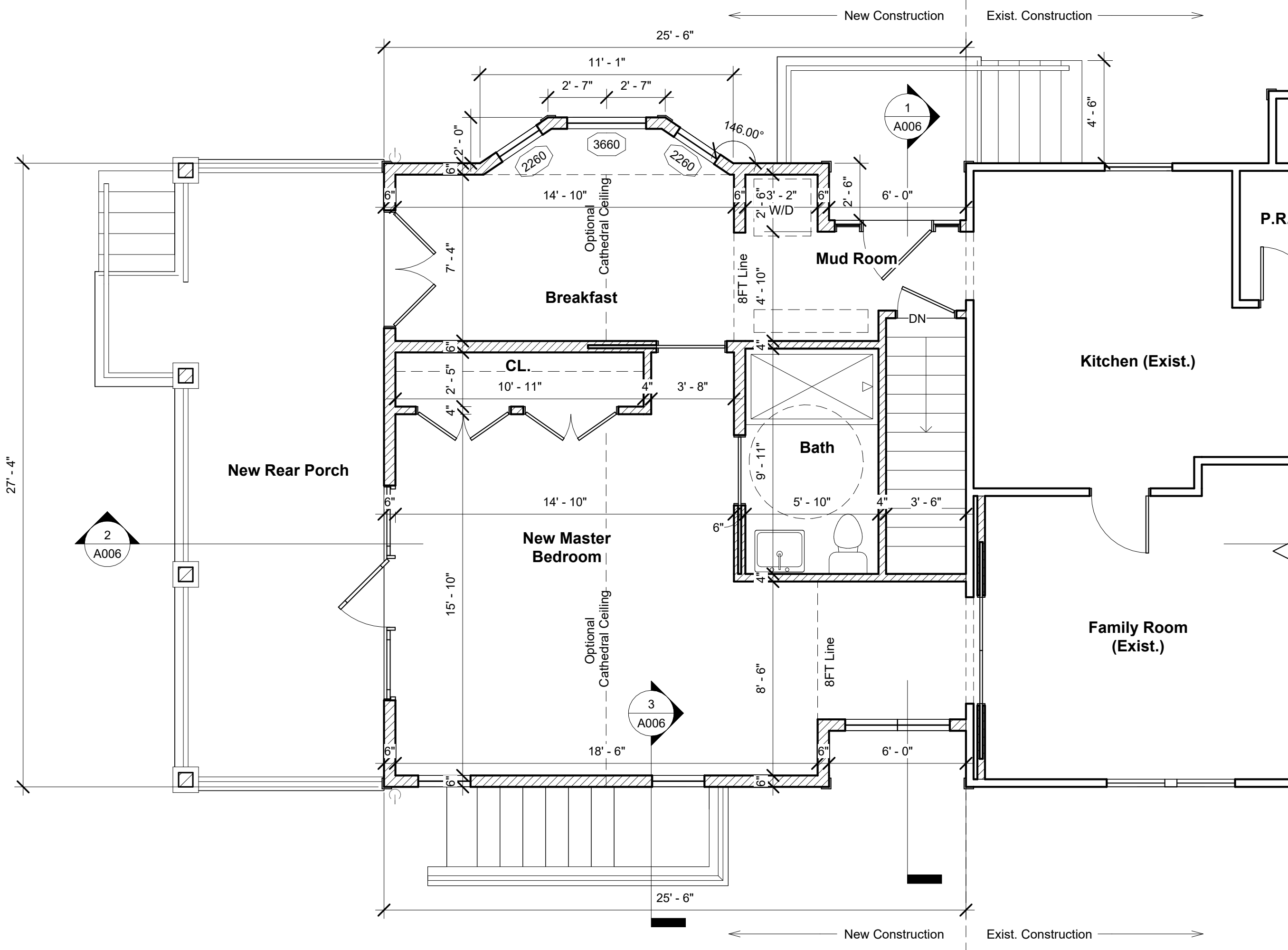
HPC SUBMISISON (06/21/2023)

Drawing No:  
  
A003

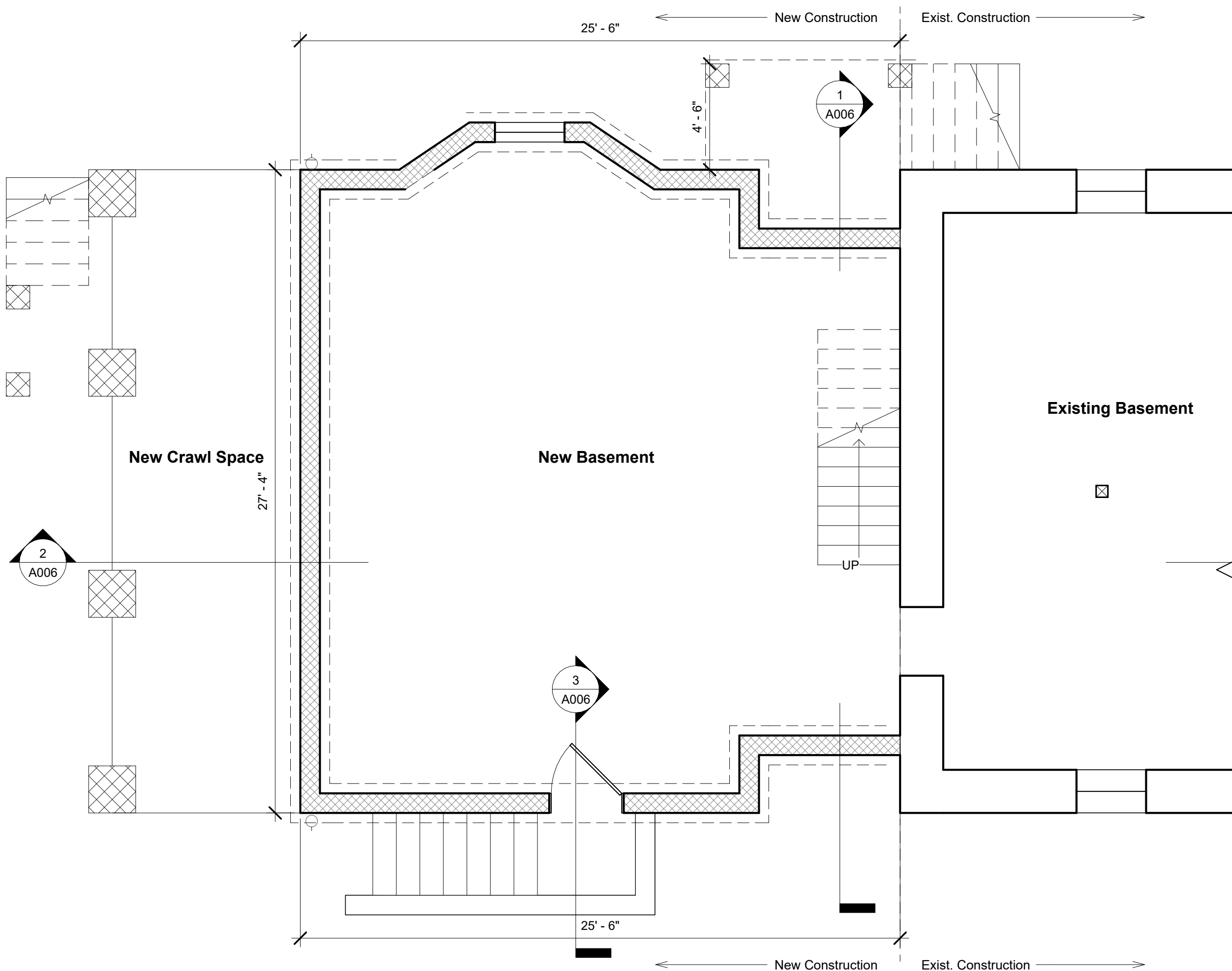




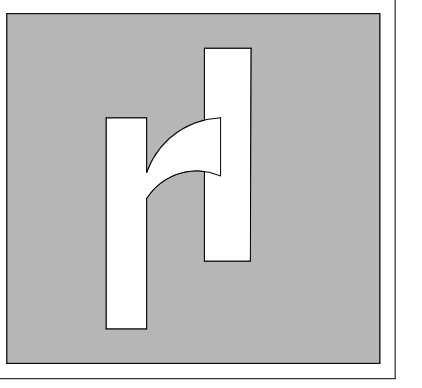
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1/4" = 1'-0"



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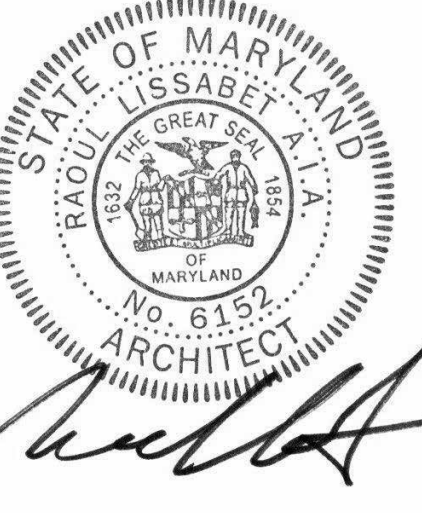


① Basement (Proposed)  
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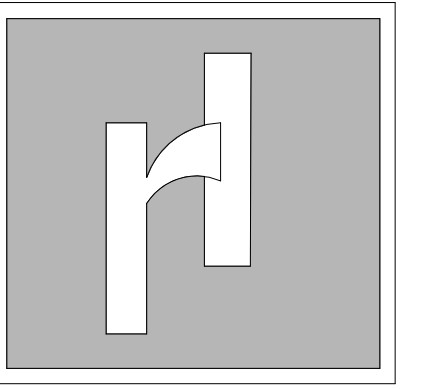
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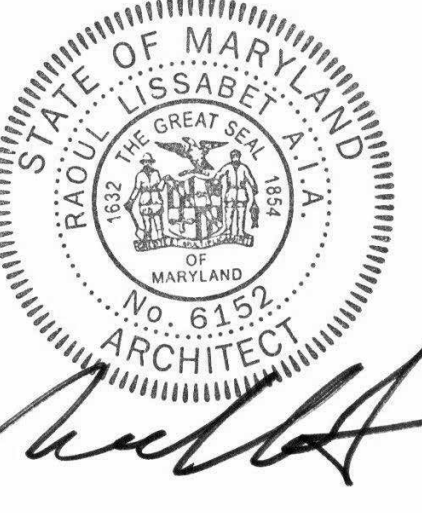
Drawing No.  
A004





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LICENSE No. 6152 - EXP. DATE 09-02-24

Revisions	
#	Date

Client:  
**MR. & MRS. SCHWABE**

Location:  
**3930 WASHINGTON ST  
KENSINGTON, MD 20895**

Project:  
**RESIDENCE ADDITION**

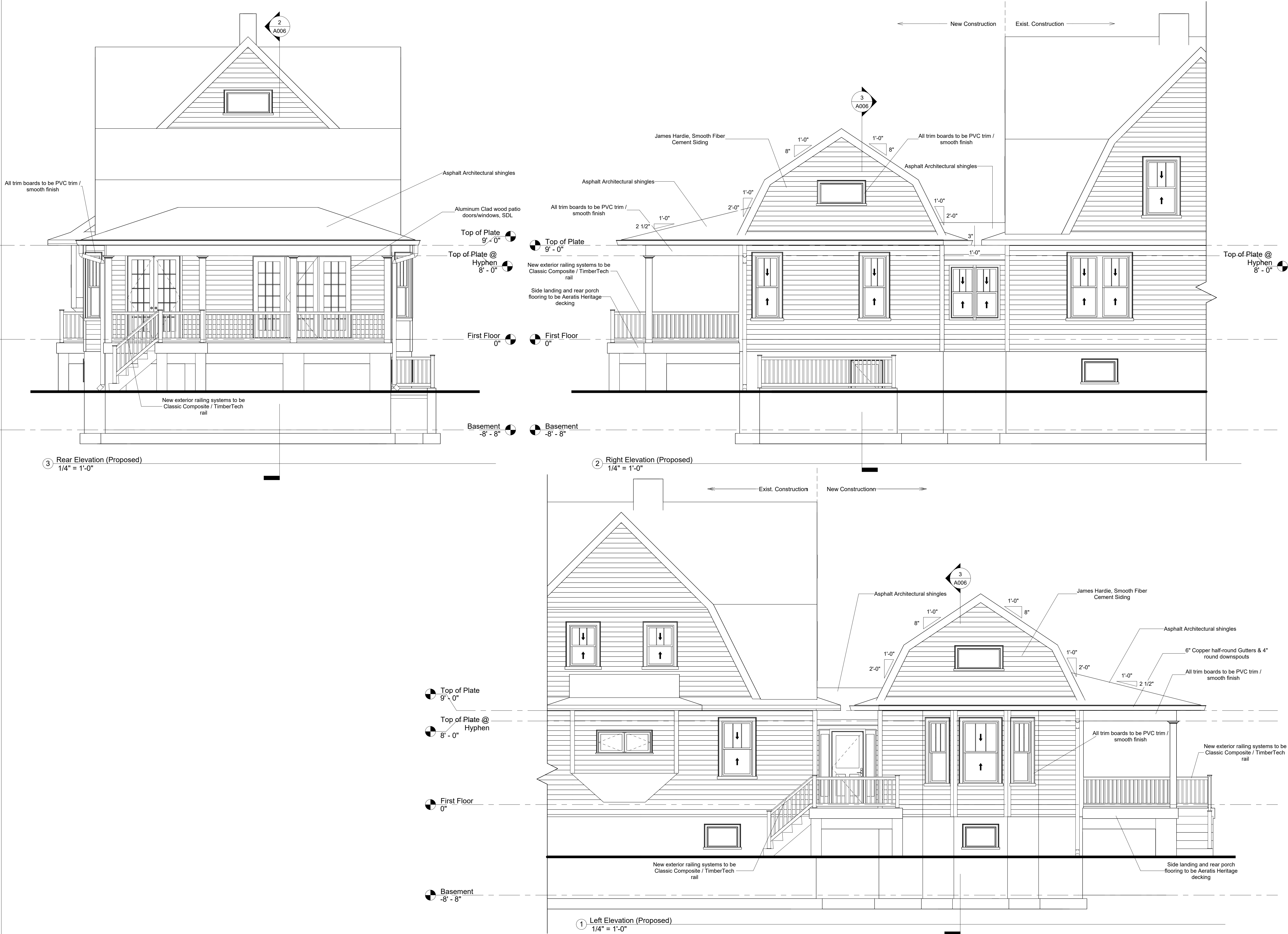
Drawing Title:  
**Elevations (Proposed)**

Drawn by:  
**C.G.**

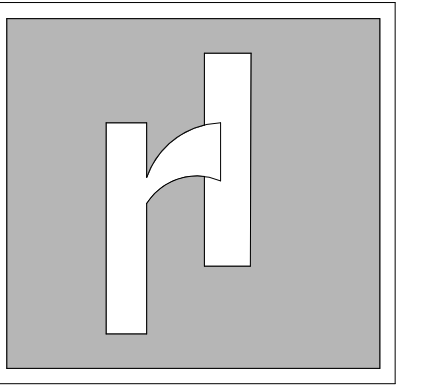
Project No.  
**110522-E2**

HPC SUBMISISON (06/21/2023)

Drawing No:  
**A005**







RAOUL LISSABET, A.I.A.  
ARCHITECTS, LLC

19021 SEDLEY TERRACE  
GAITHERSBURG, MD. 20879  
TEL: (301) 948-3197  
e-mail: rlissabet1@comcast.net



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APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT  
UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE No. 6152 - EXP. DATE 09-02-24

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**RESIDENCE ADDITION**

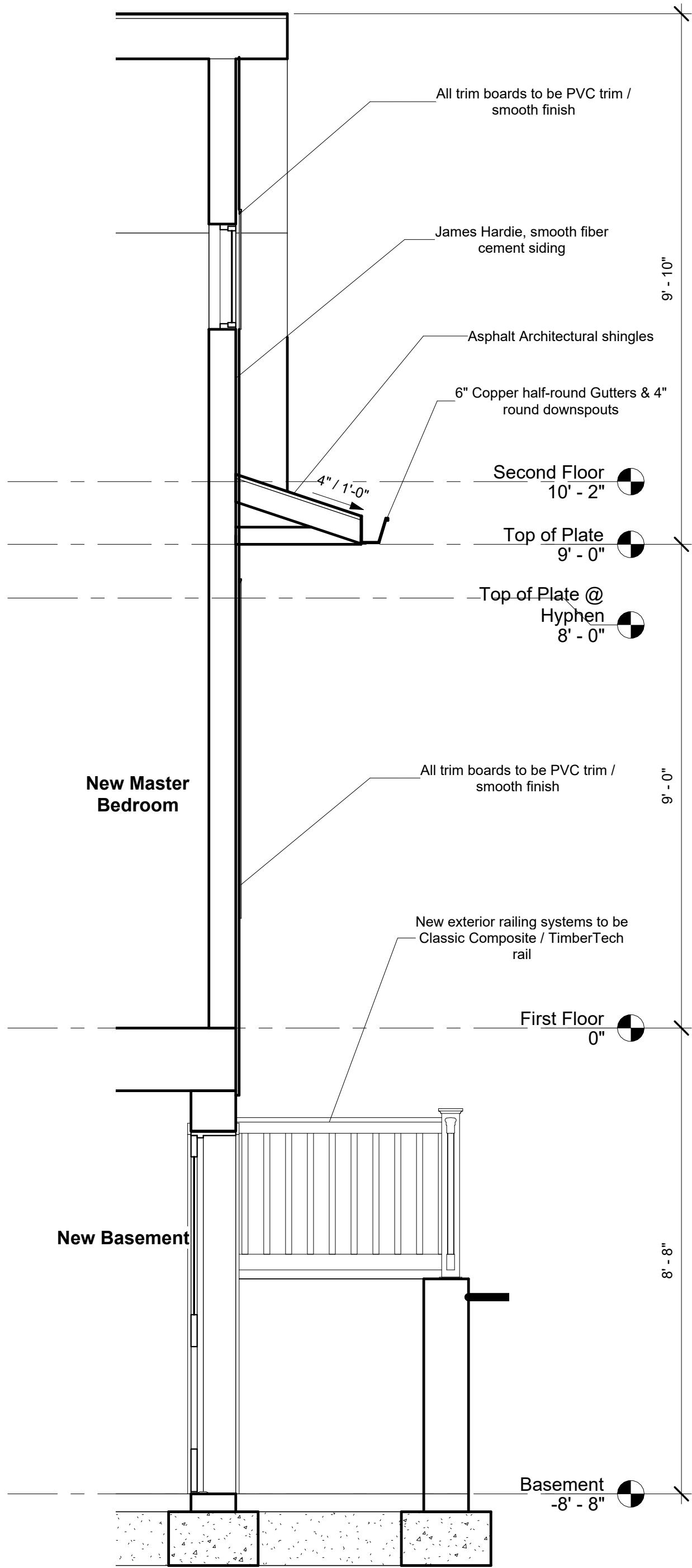
Drawing Title:  
**Sections**

Drawn by:  
**C.G.**

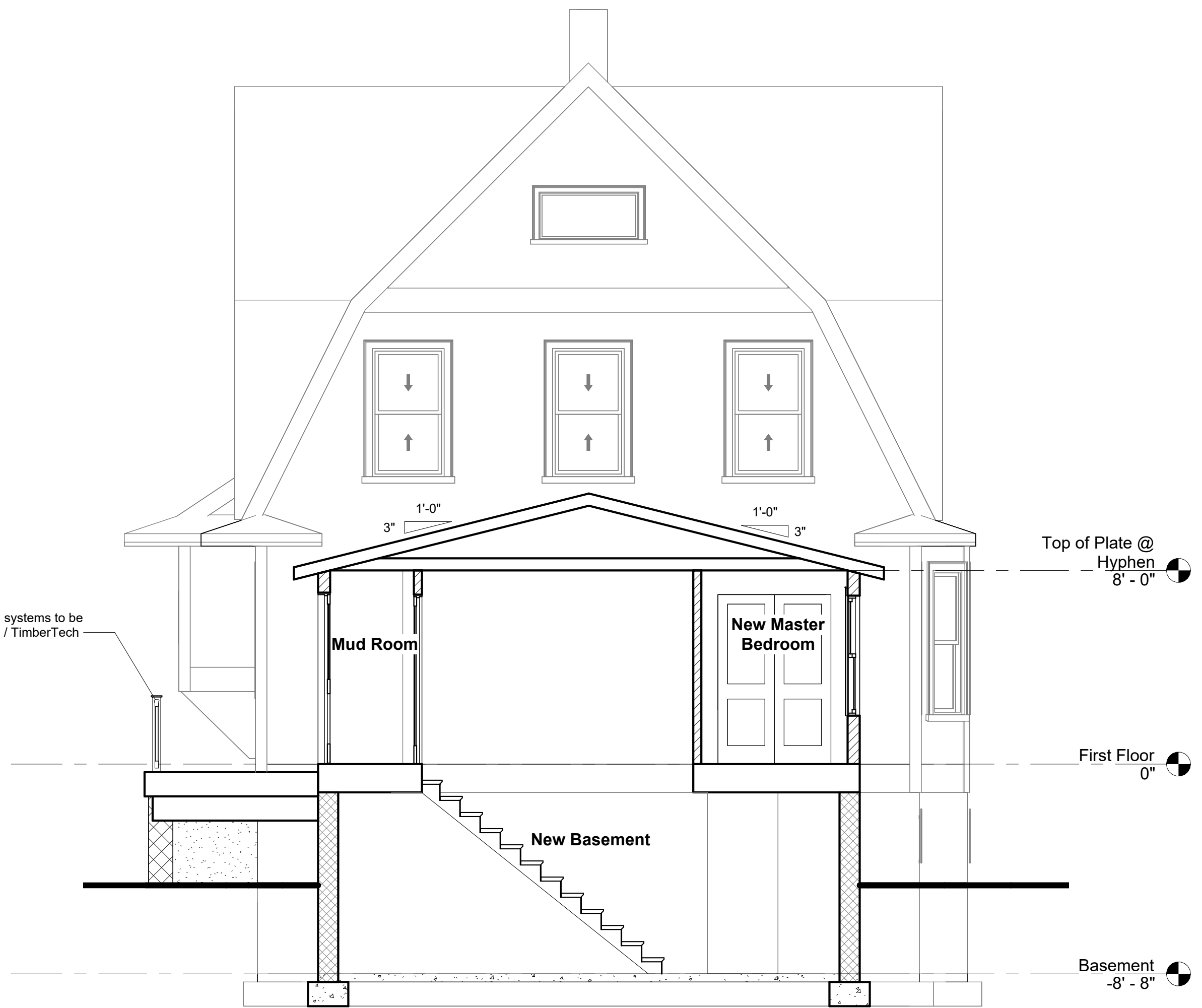
Project No.  
**110522-E2**

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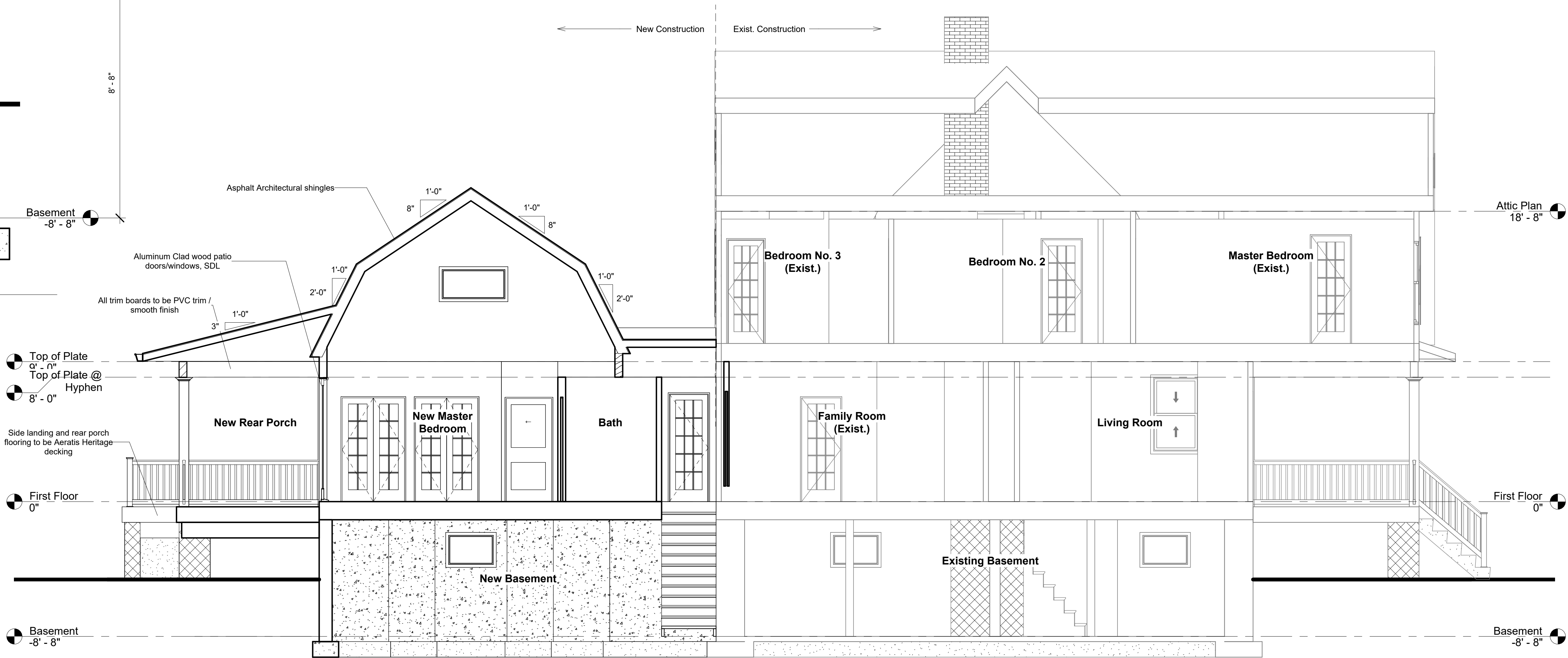
Drawing No.  
**A006**



③ Wall Section  
1/2" = 1'-0"

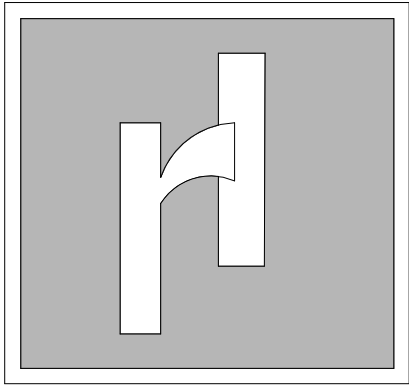
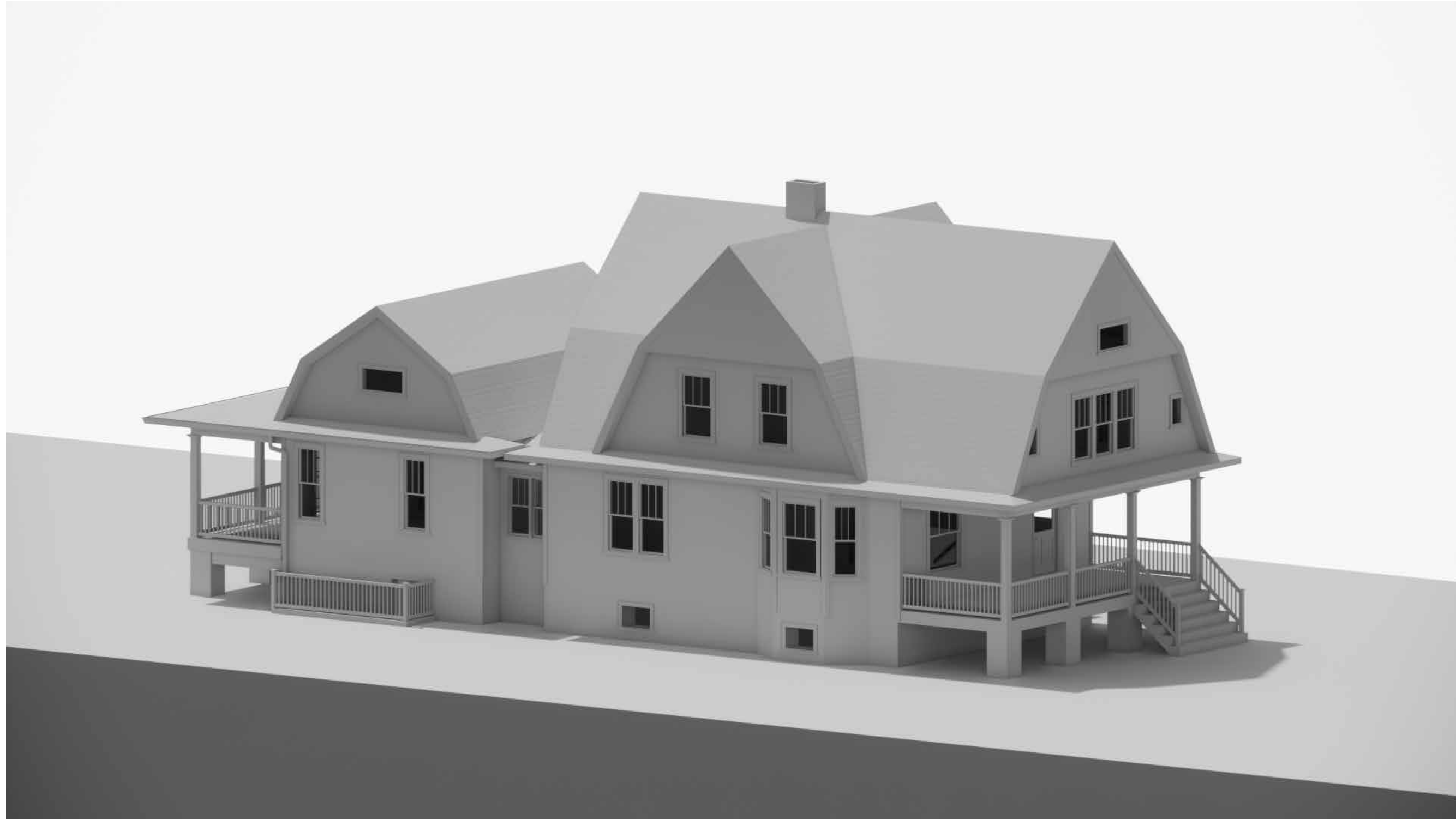
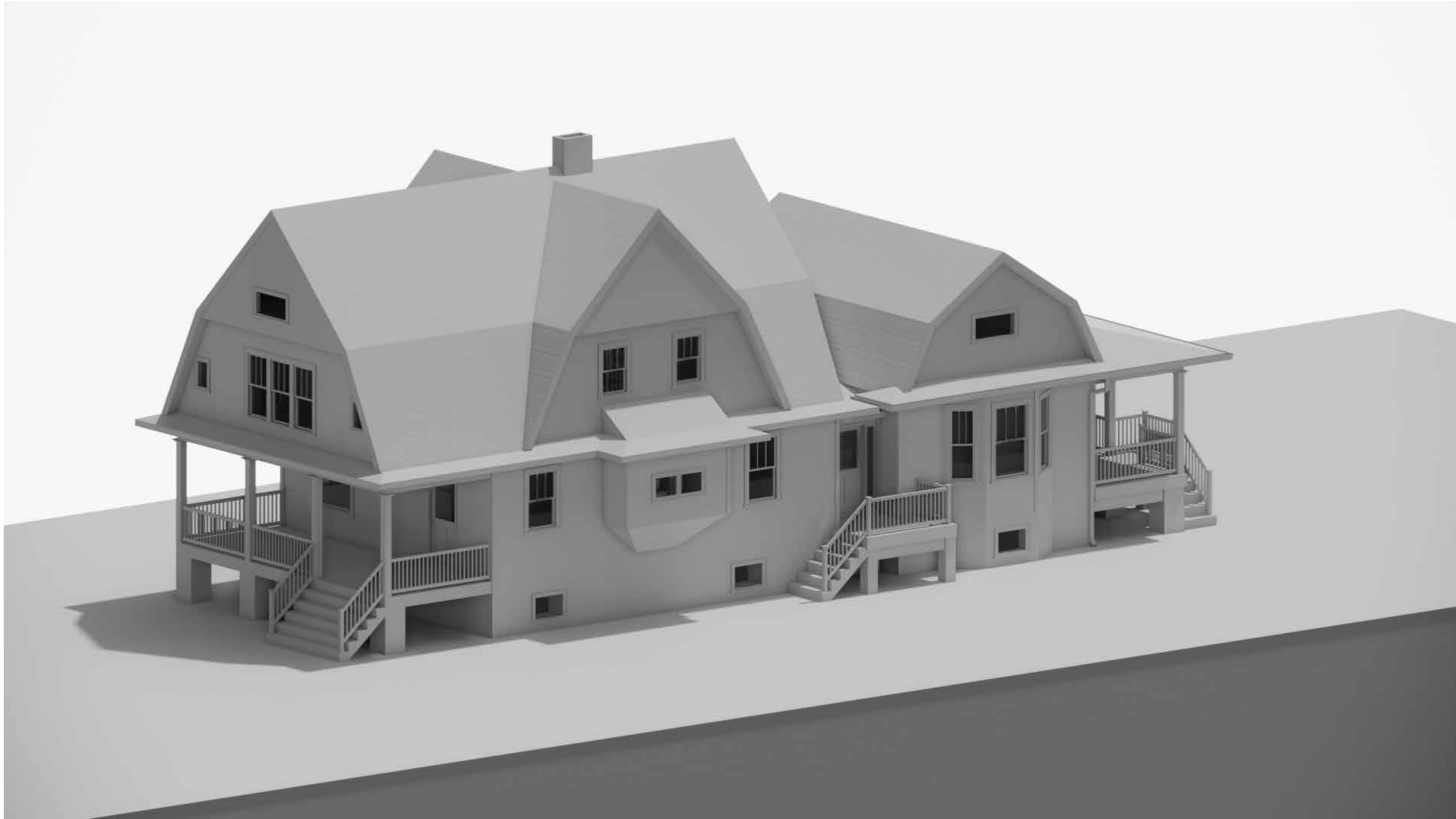
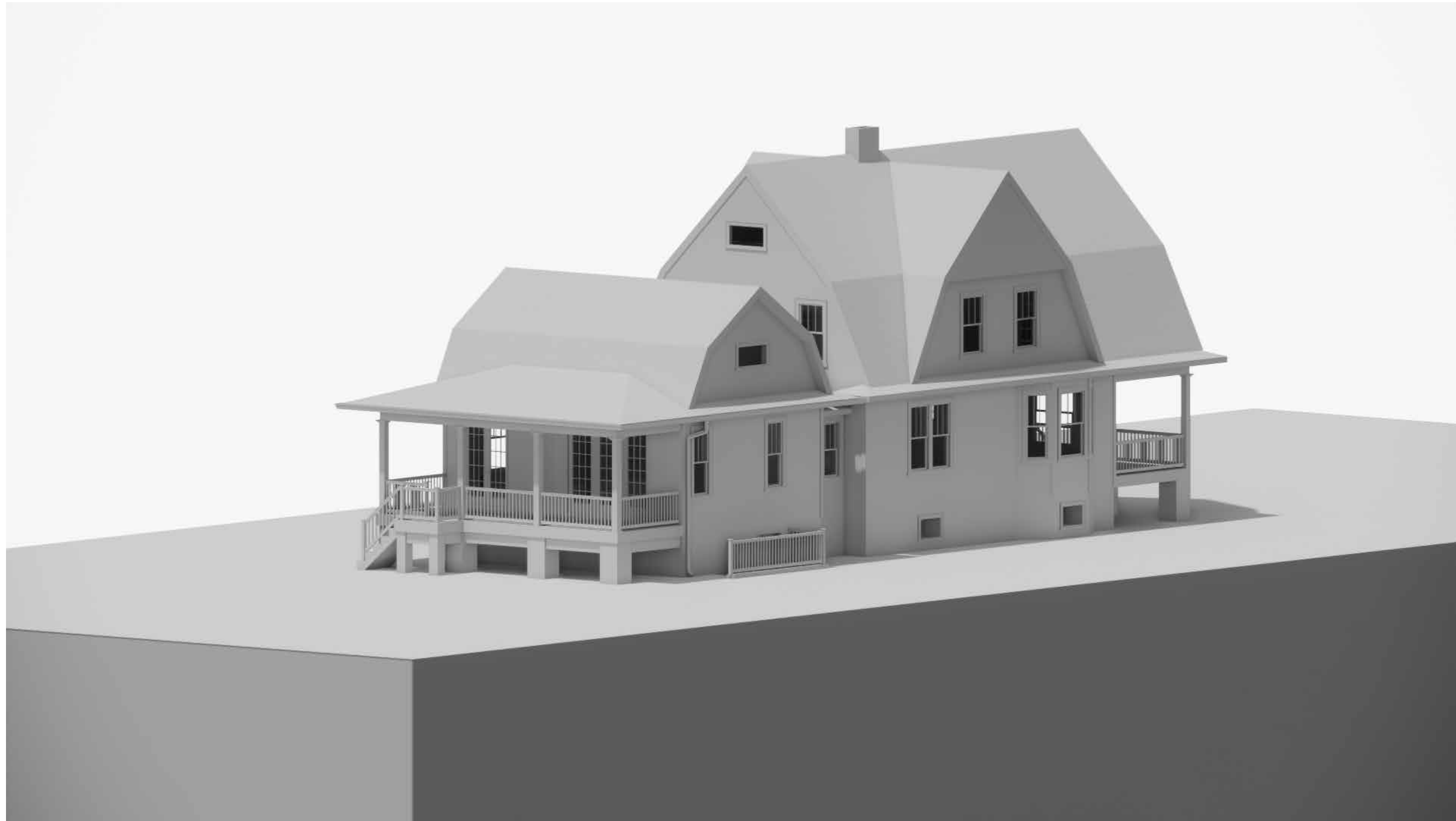


① Section @ Hyphen  
1/4" = 1'-0"



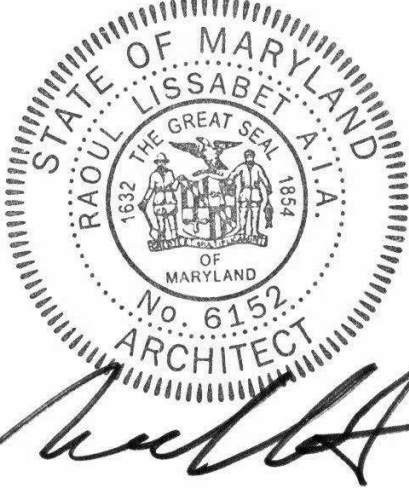
② Section - Longitudinal  
1/4" = 1'-0"





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Revisions		
#	Date	

Client:  
**MR. & MRS. SCHWABE**

Location:  
**3930 WASHINGTON ST  
KENSINGTON, MD 20895**

Project:  
**RESIDENCE ADDITION**

Drawing Title:  
**3D Views**

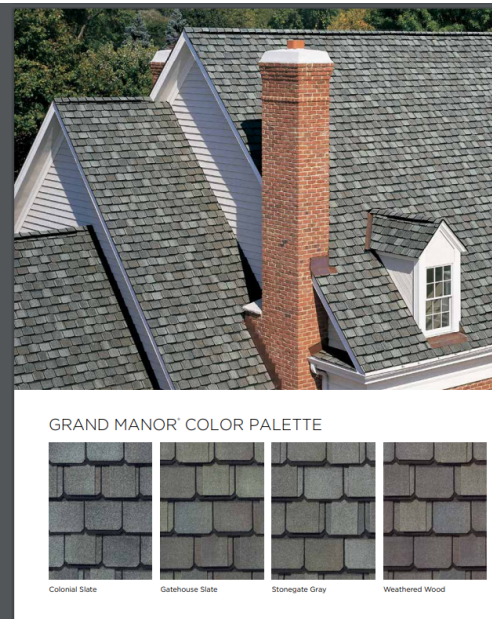
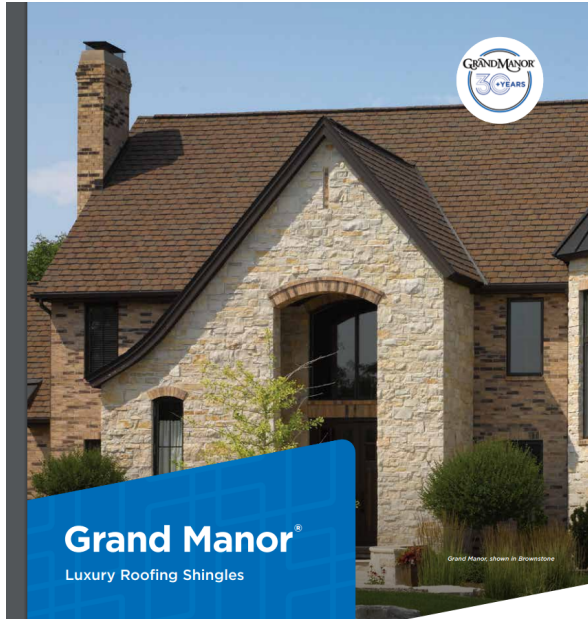
Drawn by  
**C.G.**

Project No.  
**110522-E2**

**HPC SUBMISISON (06/21/2023)**

Drawing No.  
**A007**





## The Peak of Perfection

Some roofs say more. About you. About your style. About the home that uniquely showcases your life.

Grand Manor says it all with a style and grace that is exceptional from every angle. The luxurious multi-layered laminated shingle replicates the look of slate with the confidence backed by a lifetime warranty.

Your home becomes your castle with one of the heaviest shingles we've ever made. CertainTeed developed Grand Manor to endure all types of weather and always look its best, even on the steepest slopes.

### STRIKING LOOKS

Deep shadows and random tabs are the secrets behind the design genius in Grand Manor. The result is a shingle with the incredibly authentic depth and dimension of slate.

### LASTING BEAUTY

Our exclusive Super Shingle® construction design results in a shingle that, once installed, offers virtually five layers of protection. Made of the industry's most durable roofing materials, you'll have a roof with unsurpassed defense against the elements.

### StreakFighter® PROTECTION

The ultimate in stain protection, CertainTeed's StreakFighter technology uses the power of science to repel algae before it can take hold and spread. StreakFighter's granular blend includes naturally algae-resistant copper to combat the ugly black streaking caused by algae and help your roof maintain its beauty for years to come.

With Grand Manor on your home, you'll have the assurance of being protected by one of CertainTeed's finest, most durable luxury shingles—and the confidence of knowing that whenever you look up at your roof, you'll see something beautiful.

## Roofing - Certainteed Grand Manor Architectural asphalt shingles



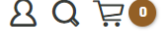
### PROPOSED Exterior railing system



## FIND A CONTRACTOR

## TALK TO AN EXPERT

## FOR PROS



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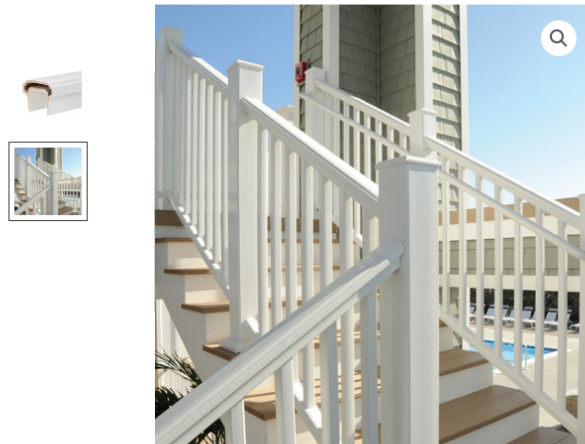
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## COMPOSITE RAILING

## Classic Composite Series

### High Performance & Design Versatility

Made from a mix of recycled wood and plastic fibers, TimberTech composite railing boasts superior durability to wood, while being extremely low maintenance. With the most customization options, from traditional milled-wood-inspired looks to sleek, contemporary designs, mixing and matching components is a breeze.

Choose from multiple top rail design, infill options, and other accessories to customize your railing. [See options.](#)

## TOP RAIL SHAPE Premier Rail



**COLOR** Matte White





# LANDING and REAR PORCH DECKING

ÆRATIS

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## Aeratis Heritage



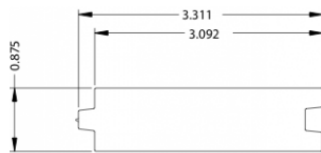
Aeratis T&G Porch Flooring

Aeratis Heritage is a true double-sided tongue and groove porch plank that comes in three pre-finished colors, Battleship Gray, Weathered Wood and Vintage Slate. These colored boards are made with slight color variation along with subtle, random streaking to match the richness and depth of natural wood. Heritage, like all the other Aeratis products, can be painted or stained any color, any time in the future, by following the steps within the Traditions paint instructions.

The Heritage line of products are ADA slip complaint and carry a Class "B" fire rating (more flame resistant than any other competitors' product). This double-sided board offers a finished ceiling look from the underside of a porch floor that is visible from underneath.

Aeratis Heritage T&G porch flooring board dimensions are 3-1/8" x 7/8" and are available in 12', 16' and 20' lengths and come 1" longer than published length. As seen above from left to right: Battleship Gray, Weathered Wood and Vintage Slate. The Aeratis products have the appearance of wood and natural color variation.

### Aeratis Heritage T&G Porch Flooring Dimensions



**Lengths:** 12', 16', or 20'

**Width:** 3-1/8" (3.092)

**Thickness:** 7/8"



Aeratis Battleship Gray, Weathered Wood and Vintage Slate



# PVC - Exterior Trim Boards

VERSATEX®

BUILDING PRODUCTS

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Q

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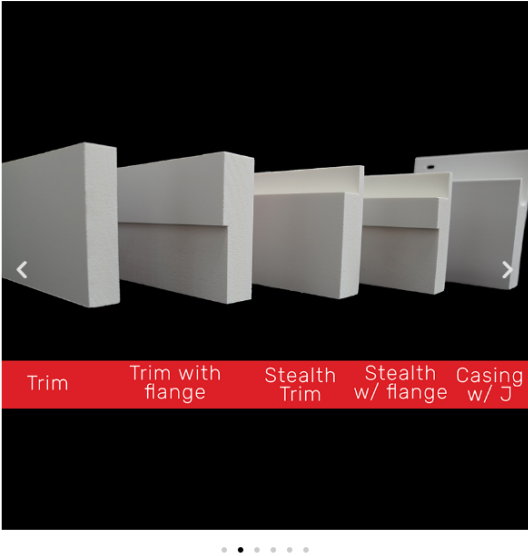
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## Trimboard

PVC Trim – *It's what we do best!*. At VERSATEX, we are dedicated to cellular PVC trim and are leaders in innovation, quality, and technical assistance in the building industry. For you, that translates to thickness tolerances that are half the industry norm and the continued development of revolutionary products. You also receive the best technical assistance available, with on-site engineers, installation information, and a best practices manual. Because PVC trim is what we do best, we offer unrivaled product quality, service, and expertise.

PVC Board profiles include:

- |  |                             |
|--|-----------------------------|
|    | Trimboard                   |
|    | Trim w/ Flange              |
|   | Standard Stealth            |
|  | Stealth w/ Flange           |
|  | Stealth Casing w/ J-Channel |



## WINDOWS - Wood Clad Andersen 200 series



**200 SERIES**  
WINDOWS • DOORS

THE WARMTH OF WOOD AT AN  
**UNCOMMON VALUE.**



**2019-20 PRODUCT GUIDE** FOR PROFESSIONALS



# PRODUCT OVERVIEW



## TILT-WASH DOUBLE-HUNG WINDOWS

200 Series tilt-wash double-hung windows are available in our most popular sizes and feature low-maintenance exteriors and real wood interiors. Their tilt-wash design makes them easy to clean from inside the home.

Half circle windows are available in sizes to match our tilt-wash double-hung windows.



## GLIDING WINDOWS

200 Series gliding windows feature low-maintenance exteriors and real wood interiors. They have a single sash that glides horizontally to allow for full top to bottom ventilation and are an excellent choice for rooms that face walkways, porches or decks because the sash do not open outward.

To learn more about other Andersen® window options, visit [andersenwindows.com/windows](http://andersenwindows.com/windows).



## ENERGY-SAVING GLASS FOR ANY CLIMATE

Andersen makes windows and patio doors with options that make them ENERGY STAR® v. 6.0 certified throughout the United States.

Visit [andersenwindows.com/energystar](http://andersenwindows.com/energystar) for more information and to verify that the product with your glass option is ENERGY STAR certified in your area.



## LOW MAINTENANCE, NEVER NEEDS PAINTING

The Perma-Shield® exteriors on Andersen® 200 Series windows and patio doors offer superior weather resistance and are virtually maintenance free.

## BUILT FOR YEARS TO COME\*

Our products are built strong to last long\*. We use the right materials in the right places, giving our windows and doors superior strength, stability and long-term beauty.

## QUALITY SO SOLID, THE WARRANTY IS TRANSFERABLE\*

Many other window and door warranties end when a home is sold, but our coverage — 20 years on glass, 10 years on non-glass parts — transfers from each owner to the next. And, because it is not prorated, the coverage offers full benefits, year after year, owner after owner. So it can add real value when you decide to sell your home.

**OWNER2OWNER LIMITED WARRANTY**

\* Visit [andersenwindows.com/warranty](http://andersenwindows.com/warranty) for details.



## **Proposed Shed - 10 x 14**





















