

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7102 Poplar Ave., Takoma Park	Meeting Date:	7/12/2023
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	7/5/2023
Applicant:	William Ince & Mary Henderson Brian McCarthy, Architect	Public Notice:	6/28/2023
Review:	HAWP	Tax Credit:	Partial
Case No.:	1034682	Staff:	Dan Bruechert
Proposal:	Partial demolition, new construction, porch alterations		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application with **three (3) conditions:**

1. Reveal of the fiber cement clapboards needs to be submitted to Staff for review and approval before approval documents are released. The reveal shall not exceed 6” and the clapboards shall have a smooth finish. Final approval authority is delegated to Staff.
2. Detailed drawings of the proposed areaway stairway, including material specifications, information on grading, and the final finished height of the walls above grade, shall to be submitted to Staff for review and final approval before approval documents are released.
3. Final review of the material specifications for the porch repairs is delegated to Staff to ensure appropriate materials and details.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource to the Takoma Park Historic District
STYLE: Colonial Revival
DATE: c.1951



Figure 1: The subject property is located on the west side of Poplar Ave.

PROPOSAL

The applicant proposes to demolish a portion of the roof and a non-historic rear addition and construct two new building additions. Additional repairs are proposed for the front porch.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story, side-gabled house with two gable dormers and a shed-roofed front porch designated as a 'Non-Contributing' resource to the Takoma Park Historic District. The applicant proposes to construct two additions to the subject property: an expansion to the left of the existing wall plane, and a two-story, gable-roofed rear addition. Additional changes are proposed for the front porch. To expand the addition to the left, one of the small gable dormers will be removed. Materials for both additions include fiber cement siding, asphalt shingle roofing, and clad wood windows. No trees will be impacted by the proposed construction. Staff finds the proposed changes will not have a significant impact on the character of the resource or surrounding district and recommends the HPC approve the HAWP.

Side-projecting Addition

On the left (south) side of the front elevation, the applicant proposes to construct a two-story addition. The addition will be 8' (eight feet wide) and will have a large front gable dormer. The addition's front wall plane aligns with the existing front wall plane. The addition's setback to the south will shrink from 16' (sixteen feet) to 8' (eight feet). This addition will provide additional living space on the ground floor and an additional bedroom on the second story. The application materials indicate the large dormer was selected to "give the house a more appealing visual hierarchy." To unify the appearance of the two dormers, the applicant proposes to remove the siding on the right dormer and install fiber cement clapboards in a reveal matching the addition's proposed siding. The dormer roofing will be modified to accommodate a 6" (six inch) overhang.

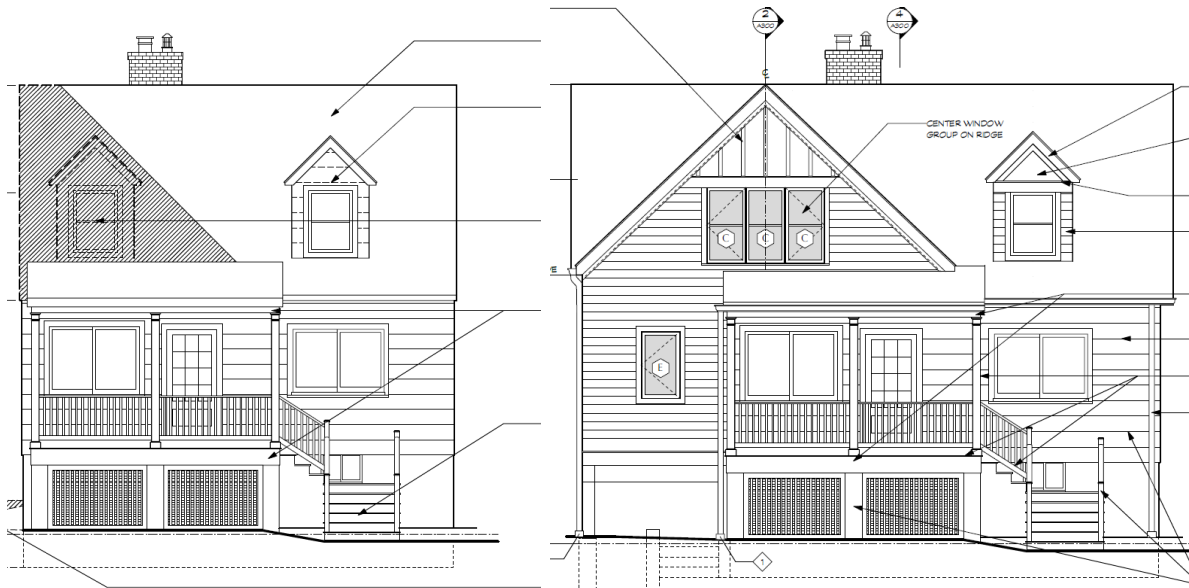


Figure 2: Existing front elevation (left) and proposed front elevation (right).

On the south side of the house, there is an areaway that provides access to the basement. The proposed addition will block the existing access to the areaway. To maintain access to this areaway, the applicant proposes to remove the existing side-loading stairs and install a new set of front-loading concrete stairs to the left of the porch (see Figure 2, above). The new stairs will require minor re-grading, but will not be highly visible from the right-of-way because of the site's rise in grade from the street level. Material specifications were not included with the HAWP application. Staff finds this alteration will not have a significant visual impact on the character of the house or surrounding district and recommends the HPC approve the new exterior stairs under the *Design Guidelines*. The drawings showing the areaway need more detail to show how much of the proposed stairs and new wall will be visible from the public right-of-way. Staff recommends the HPC add a condition to the approval of the HAWP that detailed drawings of the proposed areaway stairway, including material specifications and final finished heights for the walls above grade, need to be submitted to Staff for review and approval before approval documents are released.

Staff finds the proposed fiber cement siding, wood clad casement and sash windows, and asphalt shingles are all compatible materials for additions and new construction in the Takoma Park Historic District. The applicant did not include a reveal for the proposed fiber cement clapboards. Staff recommends the HPC include a condition for approval that the fiber siding reveal needs to be submitted to Staff for final review and approval before the approval documents can be released; with final approval authority delegated to Staff. Staff finds the right dormer is not historically significant and removing and replacing its siding will not significantly impact the character of the house or the surrounding district. Also, as a 'Non-Contributing' resource, Staff finds this alteration will not impact the size or massing of the resource. Staff finds the proposed Staff additionally finds the proposed side addition significantly changes the house design and street front presence. The increased width notwithstanding, the larger dormer brings more of the house mass toward the street front. However, Staff finds the new design will not detract from the character of the district and is an aesthetic improvement from the house's current configuration. Staff recommends the HPC approve the left side addition under 24A-8(d) and the *Design Guidelines*.

Rear Addition

At the rear of the house, the applicant proposes to demolish an existing screened-in porch and construct a two-story rear gable addition above a screened-in porch. The siding will be fiber cement that matches the proposed side addition (discussed above) and will have wood clad casement windows with an asphalt

shingle roof. Additionally, four skylights are proposed on the rear roof slopes that will not be visible from the right-of-way.

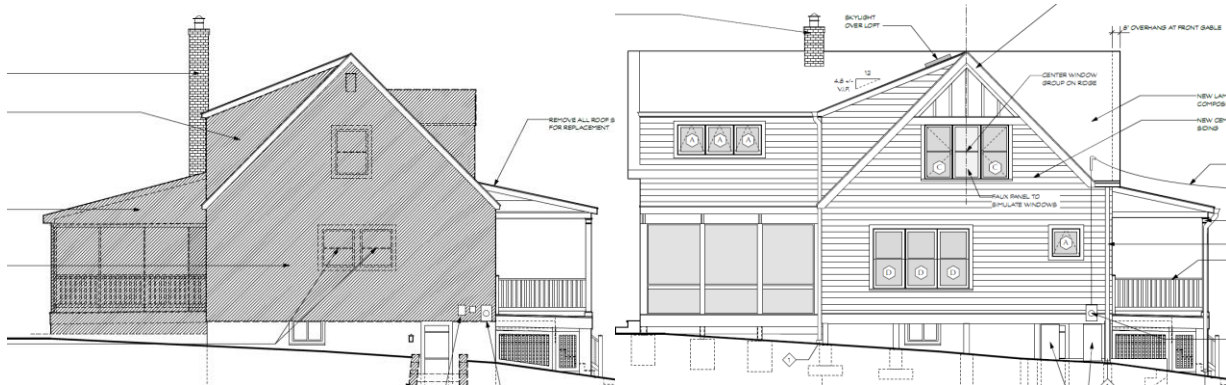


Figure 3: Left side elevation showing the existing screened-in porch (left) and proposed rear addition (right).

Staff finds visibility of the proposed rear addition will be limited by the 8' (eight-foot) insets from each of the wall planes. Staff finds the materials proposed are consistent with approvals for building additions and new construction in the Takoma Park Historic District as discussed above. Staff additionally finds the proposed rear addition is modestly sized and will not overwhelm either the house or the surrounding streetscape. Staff recommends the HPC approve the HAWP under 24A-8(d) and the *Design Guidelines*.

Porch Alterations

The existing front porch has areas of rot and several elements, including selective trim, columns, railings, and porch flooring are proposed for replacement. Material specifications and the extent of the replacement were not included in the application materials. All porch materials that are deteriorated and being replaced with appropriate materials are eligible for the County's Historic Preservation Tax Credit.

Because the subject property is designated as 'Non-Contributing' and the applicant does not propose to expand the porch, Staff recommends the HPC condition the porch approval rather than requiring an amended HAWP application or separate HAWP. Staff recommends the HPC delegate final review and approval authority of the porch repair and material replacement to Staff to determine appropriate materials. With the added condition, Staff recommends the HPC approve the porch alterations under the *Design Guidelines* for 'Non-Contributing Resources.'

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application with three (3) conditions:

1. Reveal of the fiber cement clapboards needs to be submitted to Staff for review and approval before approval documents are released. The reveal shall not exceed 6" and the clapboards shall have a smooth finish. Final approval authority is delegated to Staff.
2. Detailed drawings of the proposed areaway stairway, including material specifications, information on grading, and the final finished height of the walls above grade, shall to be submitted to Staff for review and final approval before approval documents are released.
3. Final review of the material specifications for the porch repairs is delegated to Staff to ensure appropriate materials and details;

under the Criteria for Issuance in Chapter 24A-8b(1), (2), (d), and the *Takoma Park Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and 9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: William Ince & Mary Henderson
Address: 7102 Poplar Ave
301-585-2222
Daytime Phone: _____

E-mail: brian@bfmarch.com
City: Takoma Park Zip: 20912
13-01070691
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: Brian McCarthy
Address: BFM Architects, 1400 Spring St.
301-585-2222
Daytime Phone: _____

E-mail: brian@bfmarch.com
City: Silver Spring Zip: 20910
Contractor Registration No.: _____
7102 Poplar Ave, Takoma Pk

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____
Takoma Park

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7102 Street: POPLAR AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: COLUMBIA AVENUE
Lot: 26 Block: 20 Subdivision: B.F. GILBERT'S ADDITION Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Brian McCarthy

Signature of owner or authorized agent

6/20/2023

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address William Ince & Mary Henderson 7102 Poplar Avenue Takoma Park 20912</p>	<p>Owner's Agent's mailing address Brian McCarthy Bennett Frank McCarthy Architects 1400 Spring Street, #320 Silver Spring, MD 20910</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Neil Goldman & Roberta Valente 7101 Poplar Avenue Takoma Park 20912</p>	<p>William & Sally Kubetin 7103 Poplar Avenue Takoma Park 20912</p>
<p>Thomas Meyer and Pasha Tazeem 7104 Poplar Avenue Takoma Park 20912</p>	<p>Christopher Bernstein & Jon Frederick 7100 Poplar Avenue Takoma Park 20912</p>
<p>Alexander Keltner & Elizabeth Griffin 7105 Poplar Avenue Takoma Park 20912</p>	<p>Michael Desautels & Susan Hearn 18 Hickory Avenue Takoma Park 20912 14 Hickory Avenue Takoma Park 20912</p>

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

See Memorandum, Addendum a.

Description of Work Proposed: Please give an overview of the work to be undertaken:

See Memorandum, Addendum b.

BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755

Memorandum

15 June 2023

To: Historic Preservation Commission (HPC)
Maryland-National Capital Park & Planning Commission
c/o Department of Permitting Services, Montgomery County

From: Brian McCarthy

Re: Historic Area Work Permit for
7102 Poplar Avenue, Takoma Park Historic District
Written Description of Project

Addendum a.

The property is located in the Takoma Park Historic District but is listed as a non-contributing resource. The Cape Code style structure, built in the 1940s, is 1-1/2-stories over a basement. The subject property is flanked by a contributing resource bungalow on the left and a non-contributing Colonial Revival resource on the right.

The subject home is clad in painted, large format asbestos shingles with a three-tab asphalt shingle roof. The exposed foundation walls are parged and painted. The windows are a mix of vinyl replacement sliders and double hungs. The main body of the house has two extensions; a front porch and a rear screen porch. The most noteworthy feature of the property is the unbalanced disposition of the front dormers and the front porch.

Addendum b.

The proposed project expands the house with a pair of two-story additions; one on the side and a second on the rear. The addition visible from the right-of-way will be 8 ft wide and placed in the generous southern sideyard on the left. The addition replicates the steep side gable on the southern side façade and incorporates a similar gable on the front, absorbing the awkward left dormer into the new form. The intent is to give the house a more appealing visual hierarchy. The addition on the rear consists of a new primary bedroom over a screen porch. The new primary bedroom suite will include a bathroom to be built in an extension of an existing rear shed dormer.

The intent is to finish the exterior with painted, cement fiberboard siding, laminated asphalt roof shingles, and use clad wood windows. The owners intend to replace rotting trim elements and paint the asbestos shingle siding to match the new clapboard siding.

We feel the proposed expansions are consistent with and sympathetic to the resource, and the historic district at large.

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We feel the proposed expansions are consistent with and sympathetic to the resource, and the historic district at large.

<p>Two-story addition at side</p> <p>Work Item 1: _____</p>	
<p>Description of Current Condition:</p> <p>Existing area way at site of new addition to be removed.</p>	<p>Proposed Work:</p> <p>Two-story frame addition, 8' x 24' as described in addendum b.</p>

<p>Two story addition at rear</p> <p>Work Item 2: _____</p>	
<p>Description of Current Condition:</p> <p>One-story screen porch, to be demolished.</p>	<p>Proposed Work:</p> <p>Rebuilt screen porch with 2nd story bedroom suite above, as described in addendum b.</p>

<p>Repair to front entry porch</p> <p>Work Item 3: _____</p>	
<p>Description of Current Condition:</p> <p>Rails, floor boards, etc. are in disrepair.</p>	<p>Proposed Work:</p> <p>Replace rails, floor boards and columns, as required.</p>

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

HENDERSON-INCE ADDITION

7102 Poplar Ave, Takoma Park, MD 20912 - Project # 2222

PROJECT DESCRIPTION

THE PROJECT INVOLVES REMODELING AND EXPANDING A 1-1/2 STORY WOOD FRAME CAPE OVER A BASEMENT. THE PROPOSED ADDITIONS INCLUDE A PAIR OF TWO-STORY EXTENSIONS. THE SIDE ADDITION/REMODEL CONSISTS OF TWO BEDROOMS OVER AN EXTENSION OF THE CURRENT LIVING ROOM AS WELL AS A NEW HALF BATH. THE REAR ADDITION CONSISTS OF A NEW PRIMARY BEDROOM SUITE OVER A NEW SCREEN PORCH.

BENNETT FRANK MCCARTHY

architects, inc.
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

SPECIFICATIONS

DIVISION 1: GENERAL REQUIREMENTS

- 1.1.1 General Conditions: The general conditions of the Agreement Between the Owner and Contractor if not addressed here, shall be AIA Document A201 (most current edition).
- 1.1.2 Lien Waivers: At the time of final payment by the Owner, the Contractor shall provide lien waivers from his company as well as all major subcontractors (plumbing, electrical, mechanical, mason, roofer, etc.) and suppliers exceeding \$10,000 in value.
- 1.2.1 Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractor's or Subcontractors' operations under the Contract. The Architect shall be named as an additional insured on the General Contractor's policy.
- 1.2.2 Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.
- 1.2.3 Property Insurance: The Owner shall purchase and maintain property insurance in the amount of the initial Contract Sum (as well as subsequent modifications) on a replacement cost basis. The policy shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and loss or damage including theft, vandalism, malicious mischief, collapse and falsework. The Contractor shall be responsible for paying the deductible for losses attributable to an unsecured job-site.
- 1.3 License: The Contractor and all Subcontractors shall be licensed and/or registered to perform their respective trades in the jurisdiction of the project property.
- 1.4 Permits: Owner shall obtain general building permit. General Contractor shall be responsible for all other permits including, but not limited to trade permits, right-of-way / public space permits, parking and dumpster permits, etc.
- 1.5 Warranty: All workmanship and materials shall be guaranteed for a minimum period of one year from the date of Substantial Completion.
- 1.6 Owners Manuals and Instructions: The General Contractor shall collect, consolidate and convey to the Owner all Owners Manuals, Instructions, Warranty registrations and all other pertinent information for new equipment and fixtures. The General Contractor or designated subcontractor(s) shall review with the Owner the proper operation and maintenance schedule as appropriate for all equipment and controls.
- 1.7 Interpretation: The Architect shall be the interpreter of the requirements of the Contract Documents. If the builder or subcontractor has any question about the meaning of the drawings or specifications for the Work, or should he find any discrepancy or omission therein, the Builder/subcontractor shall immediately so notify the Architect.
- 1.8 Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. Dimensions on interior elevations are to finishes, not framing. Window opening dimensions are to rough openings; add 2 1/2" to swinging interior door sizes for rough openings. Do NOT scale drawings.

- 1.1.1 MISS UTILITY: Prior to any excavation at the site the Contractor shall contact Miss Utility, 1-800-257-7777 to ascertain the location of all underground utilities. Avoid unnecessary disturbance, conflict or interruption of services with underground utilities to the fullest extent possible.
- 1.1.2 Definitions: The Contractor shall understand that the word "provide", as used in these documents, includes the purchase of the item specified, including taxes and any associated shipping and handling charges. Also included shall be the procurement and provision of all materials, equipment and labor associated with the complete installation of the item(s) specified in good working order.
- 1.1.9 Construction by Owner or By Separate Contractors: The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces. The Contractor shall provide the Owner and separate contractors reasonable opportunity for placement and storage of materials and equipment in the performance and completion of other activities. The Contractor shall cooperate and coordinate activities as provided within the agreement between the Owner and the Contractor.
- 1.2.0 Temporary Utilities (unoccupied): During the period the house is unoccupied and under construction, the General Contractor shall reimburse the Owner for gas, electricity and water usage in excess of historical monthly averages. The intent is not to be punitive, merely to ensure utilities are used responsibly (i.e. heat not run with house wide open, etc.) Contractor shall turn the water service off at the main shut-off whenever the house is unoccupied and no work is underway (overnight, weekends, holidays, etc.). As a precaution in anticipation of temperatures below freezing, the Contractor shall thoroughly drain any idle components holding or conveying water (hot water heater, boiler, radiators, distribution system, etc.).
- 1.2.1 Coordination between Drawings and Specifications: Should a conflict exist between the drawings and specifications, the more restrictive or costly shall apply for pricing. The Owner and Architect shall be consulted to determine proper design alternative. If the less restrictive or costly item is selected the Contractor shall apply appropriate credit to the Owner under the contract.
- 1.2.2 Shop Drawings: Shop Drawings are required for, but not limited to, the following items:
 - Windows and exterior doors
 - Prefabricated floor or roof trusses
- 1.2.3 Samples: Provide samples for the following items:
 - Roof shingles
 - Hardwood floor stain and finish options
 - Paint colors, per Division 9
 - Gutter and downspout colors
 - Exterior flashing colors
- 1.2.4 Owner Supplied Items: See individual specification divisions for further information. Install the following Owner provided:
 - Bath accessories - see Division 10
 - Items salvaged for reuse as noted in Division 2 or on demolition drawings

DIVISION 2: SITEWORK AND DEMOLITION

- 2.1 Utilities: Water, sewer, gas, electric, telephone and CATV utilities on site are to remain and be extended as required. Verify size and condition and remove, replace, upgrade as necessary. Locate all underground utilities. See note above regarding contact with Miss Utility.
- 2.2 Protection of Existing Landscaping: Protect from physical damage all paved / landscaped surfaces, existing trees, and vegetation that are to remain. Consult with Owner prior to removing any trees, vegetation or obstructions as indicated or which would interfere with new construction. Feeder root zones below all tree canopies shall be respected such that no heavy equipment storage/parking or grading shall occur without the permission of the Owner. See also section 1.9. Damaged elements shall be replaced or restored as appropriate. Contractor shall coordinate with Owner, Architect and Takoma Park Arborist (Urban Forest Manager) to develop a Tree Protection Plan (TPP) and will comply with this plan during construction. Any fines for failure to comply with the TPP shall be paid by the Contractor. The Takoma Park Arborist can be reached at (301) 891-7612.
- 2.3 Landscape: Landscape work shall be limited to finish grading and seeding of disturbed areas. Redistribute available topsoil. Provide finish grade that slopes approximately 1/4" per foot away from perimeter of the building.
- 2.4 Erosion Control: Provide staked hay bales and/or siltation fence, or other means as necessary to provide erosion control in accordance with requirements of the local jurisdiction.
- 2.5 Demolition: Protect all adjacent finishes to remain. Protect sensitive equipment and surfaces from dust and debris. Provide and secure plastic sheeting to isolate the area of work from occupied portions of the residence. Provide adequate shoring and bracing as necessary before removing any load bearing components. Cap/block HVAC registers in affected areas to avoid the conveyance of dust into any central systems.
- 2.6 Lead Abatement: Lead based paint is potentially present on any painted elements incorporated before 1978. Any disturbance or removal of materials containing lead-based paint shall be in compliance with all federal and state regulations prior to, during, and after such disturbance, and the Contractor shall clean all areas after such disturbance and dispose of all lead-based paint materials in compliance with federal and state regulations.
- 2.7 Salvage:
 - Interior doors and hardware (save for re-use)
 - Light fixtures (save for re-use)
- 2.8 Foundation Drainage: Provide 4" perforated, corrugated PVC foundation drain with filter cloth in gravel bed. Completely cover drains with filtering material to a width of 6" minimum on each side and 12" above top of pipe. Slope drain to daylight or sump crock pumped to daylight. (SPECIFICATIONS CONTINUED ON SP100)

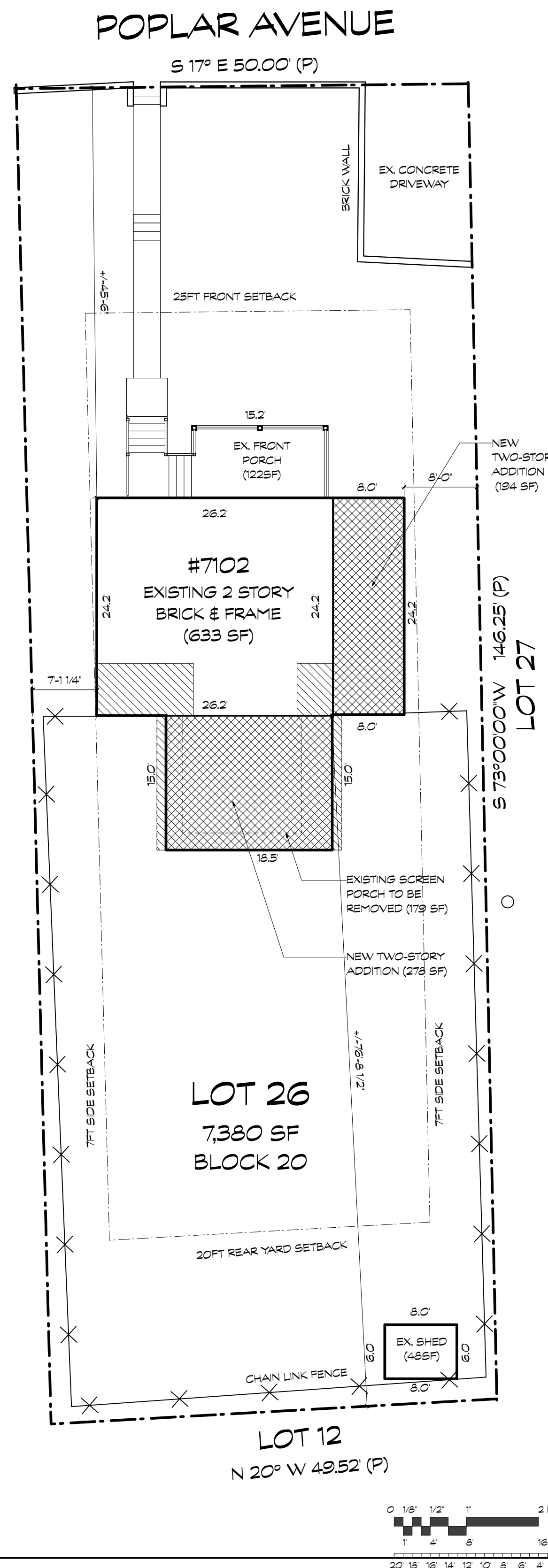
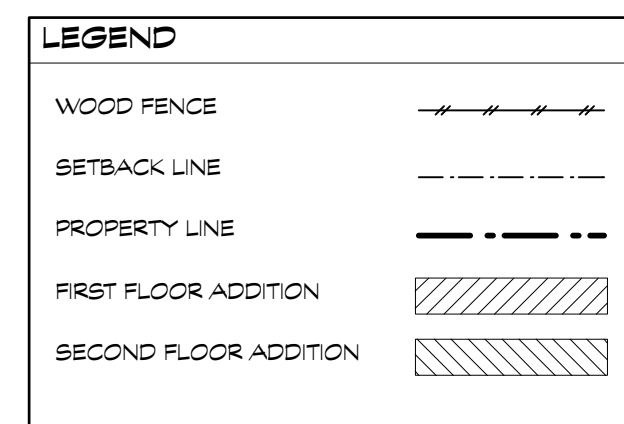
ZONING SITE PLAN

SCALE: 1" = 10'-0"

SITE PLAN BASED ON HOUSE LOCATION SURVEY BY WITMER ASSOCIATES, LLC, DATED JANUARY 2023, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT: 26
BLOCK: 20
SUBDIVISION: B.F. GILBERT'S
ADDITION TO TAKOMA
MONTGOMERY COUNTY, MD
ZONE: R-60

SITE PLAN SUMMARY			
1. LOT COVERAGE			
TOTAL LOT AREA	7380 SF		100.0%
EXISTING LOT COVERAGE	334 SF		4.5%
PROPOSED LOT COVERAGE	1237 SF		16.8%
PROPOSED INCREASE	233 SF		4.0%
2. BUILDING FLOOR AREA - STOREES			
LEVEL	EX. AREA (SF)	NEW AREA	TOTAL AREA
BASEMENT	633 SF		633 SF
FIRST	812 SF	293 SF	1105 SF
SECOND	506 SF	577 SF	1083 SF
TOTALS	1951 SF	870 SF	2821 SF
3. BUILDING HEIGHT (ABOVE AVE. FRONT GRADE)			
	EXISTING	ADDITION	
RIDGE	27'-2 1/2"	27'-2 1/2"	
MEAN	20'-8 1/4"	21'-6 3/4"	
LEAVE	14'-2 1/4"	15'-11"	



OWNER

William Ince & Mary Henderson
7102 Poplar Ave.
Takoma Park, MD 20912 (301) XXX-XXXX

STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc
8555 16th St. Suite 200
Silver Spring, MD 20910 (301) 565-0543

MECHANICAL CONSULTANT

Ron Gallant, Gallant Mechanical
13001 Cleveland Drive
Rockville, Maryland 20850 (240) 750-4988

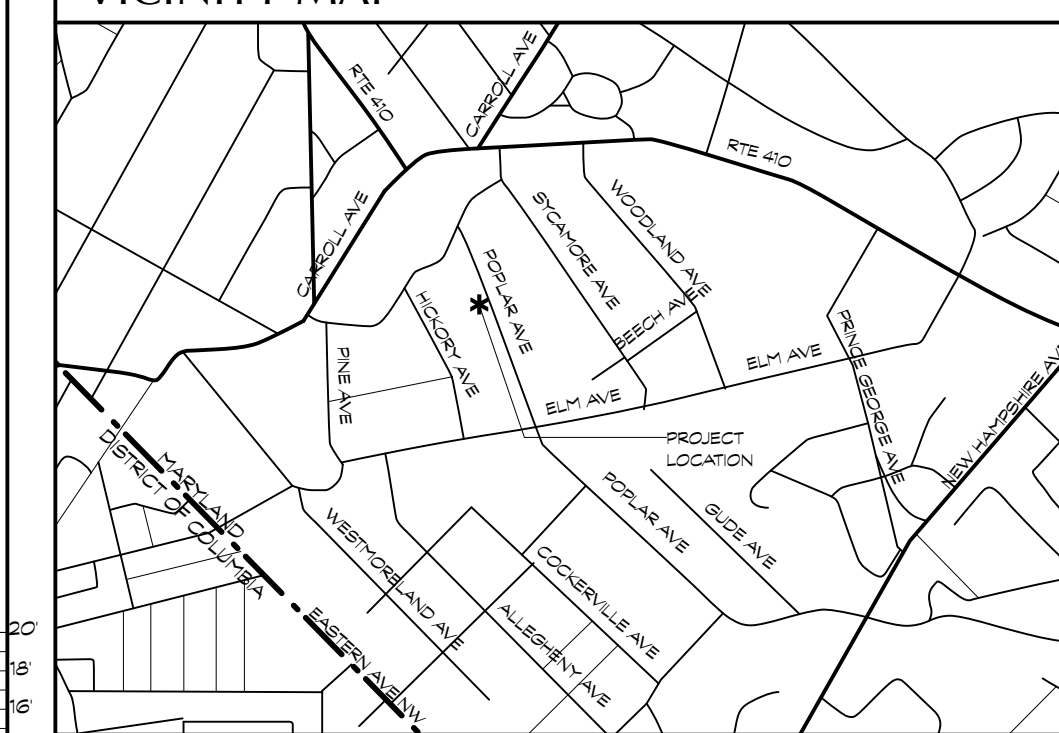
CONTRACTOR

Builder Name
Builder Street Address
City, MD 20912 MHC# XXXX
(301) XXX-XXXX

DRAWING LIST

REV.	SHEET	TITLE
	A000	COVERSHEET
	SP100	SPECIFICATIONS
	D100	DEMOLITION PLANS
	D200	DEMOLITION ELEVATIONS
	A100	PROPOSED CELLAR & FIRST FLOOR PLANS
	A101	PROPOSED SECOND FLOOR PLAN
	A102	PROPOSED ROOF PLAN
	A200	PROPOSED ELEVATIONS
	A300	BUILDING SECTIONS
	A301	WALL SECTIONS
	A302	AREAWAY SECTION DETAIL
	A400	INTERIOR ELEVATIONS
	S100	FOUNDATION & FIRST FLOOR FRAMING PLANS
	S101	SECOND FLOOR FRAMING PLAN
	S102	ROOF FRAMING PLAN
	S200	WIND BRACING PLANS
	S201	STRUCTURAL NOTES & DETAILS
	S201	STRUCTURAL DETAILS
	MP100	CELLAR & FIRST FLOOR MECHANICAL / PLUMBING PLANS
	MP101	SECOND FLOOR MECHANICAL / PLUMBING PLANS
	E100	CELLAR & FIRST FLOOR ELECTRICAL PLANS
	E101	SECOND FLOOR ELECTRICAL PLAN

VICINITY MAP



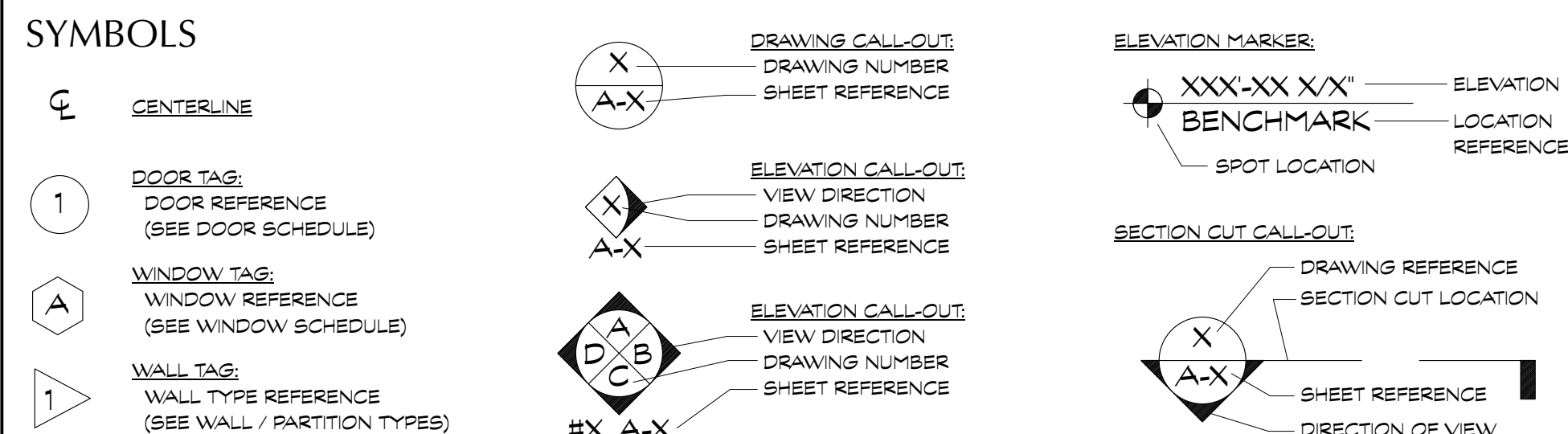
DATE	ISSUE
6/12/2023	PERMIT/BID SET

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ABBREVIATIONS

AND	CONC	CONCRETE	ELEC	ELECTRICAL	LBW	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
AT	CONC	CONTINUOUS	EXP	EXPANSION	LVL	LAMINATED VENEER	PLM	PLASTIC LAMINATE	STL	STEEL
ABOVE FINISHED FLOOR	D	DRYER	EQ	EQUAL	MARB	MARBLE	PLYWD	PLYWOOD	TBD	TO BE DETERMINED
APARTMENT	DX	DOUBLE HUNG	ETR	EXISTING TO REMAIN	MAT	MATERIAL	PT	PRESSURE TREATED	T&G	TONGUE AND GROOVE
BUILDING	DN	DOWN	FF	FINISH FLOOR	MAX	MAXIMUM	PTD	PAINTED	T&G	TOP OF SLAB
BASEMENT	DR	DOOR	FIN	FINISH	MDO	MEDIUM DENSITY OVERLAY	R	RISER	TYP	TYPICAL
CONTROL JOINT	GA	GAUZE	FLR	FLOOR	MIN	MINIMUM	REF	REFRIGERATOR	UNC	UNLESS NOTED OTHERWISE
CABINET	DR	DOWNSPOUT	FLR	FLOOR	MIN	MINIMUM	RO	ROUGH OPENING	VIF	VERIFY IN FIELD
CENTER LINE	DS	DETAIL	GWB	GYPSUM WALL BOARD	MANU	MANUFACTURER	RQD	REQUIRED	W	WASHER
CEILING	DTL	DISHWASHER	HT	HOLLOW CORE	MTL	METAL	RM	ROOM	W	WITH
CL	DWG	DRAWING	HC	HOLLOW CORE	MECH	MECHANICAL	SC	SOLID CORE	WC	WATER CLOSET
CL	HT	HOLLOW CORE	HT	HEIGHT	NIC	NOT IN CONTRACT	SHT	SHEET	WD	WOOD
CMU	INS	INSULATION	HW	HARDWARE	NBS	NOT TO SCALE	SWR	SWITCH	WO	WITHOUT
MASONRY UNIT	EL	ELEVATION	JB	JUNCTION BOX	OC	ON CENTER	SM	SIMILAR	WWM	WELDED WIRE MESH
	EL	ELEVATION	LB	LOAD BEARING WALL	OH	OPPOSITE HAND	SPEC	SPECIFICATION		

SYMBOLS



PROJECT DATA

JURISDICTION: MONTGOMERY COUNTY, MD
BUILDING CODE: 2018 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP: SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE: SB - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM: NA

CERTIFICATION

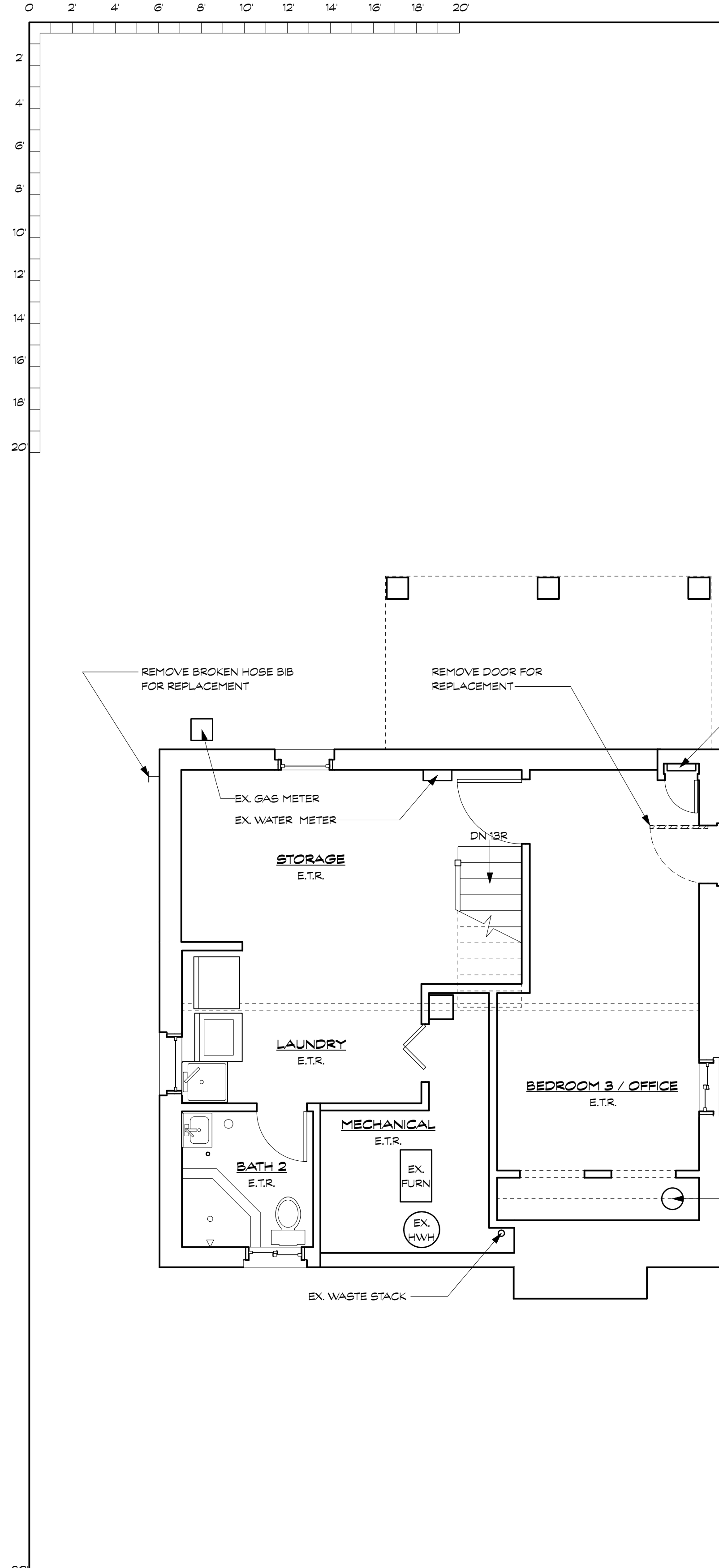
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE #: 7632-A
EXPIRATION DATE: 5-21-25

DATE	ISSUE - REMARKS

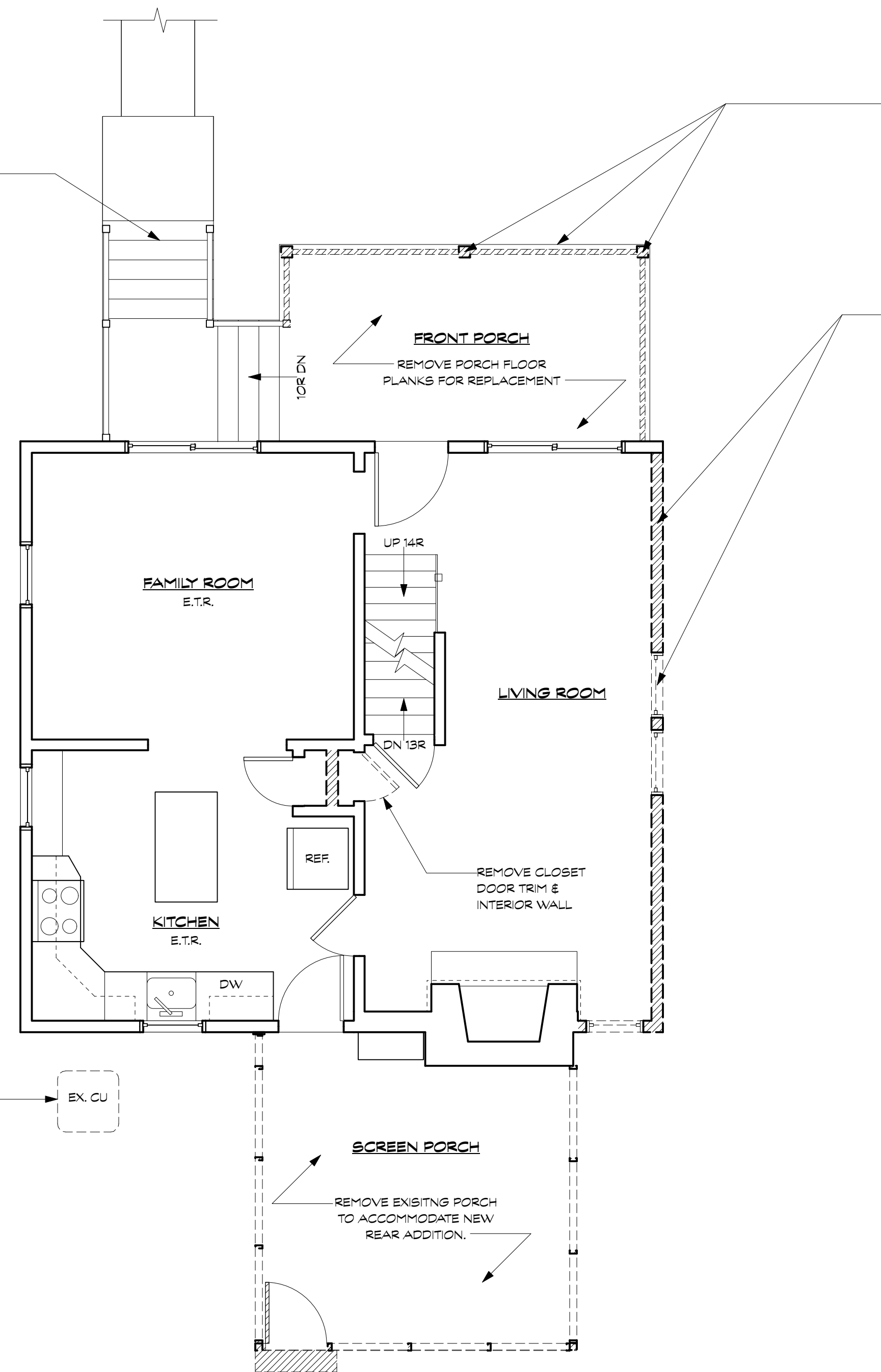
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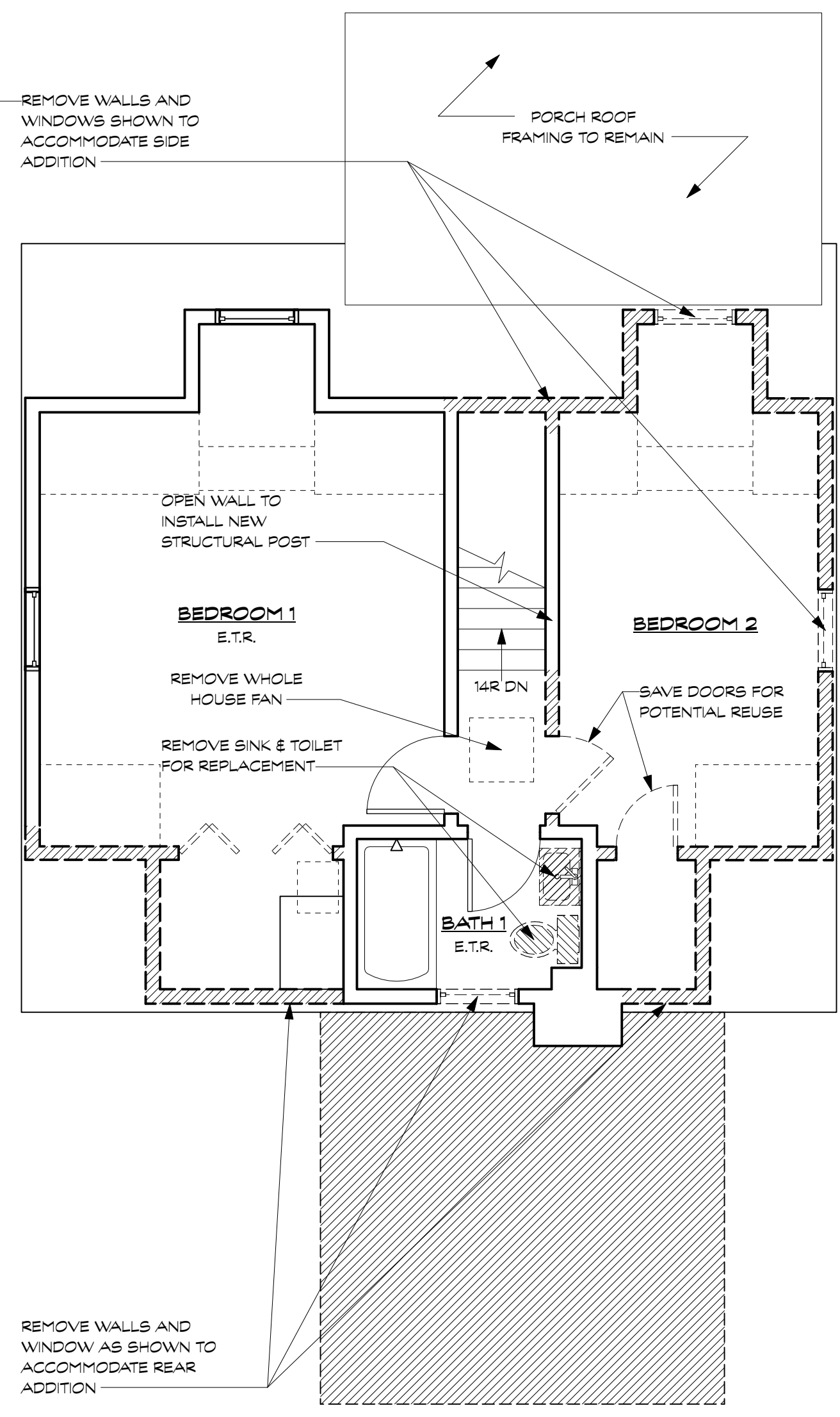
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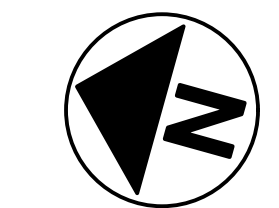
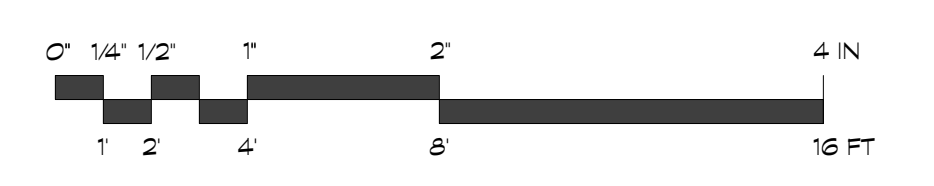
1 CELLAR DEMOLITION PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR DEMOLITION PLAN
Scale: 1/4" = 1'-0"



3 SECOND FLOOR DEMOLITION PLAN
Scale: 1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

GENERAL NOTES:
 1. DO NOT SCALE THE DRAWINGS
 2. NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.O)
 3. EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.O)

HENDERSON-INCE ADDITION

7102 Poplar Ave, Takoma Park, MD 20912
Project # 2222

12 JUNE 2023

DEMOLITION PLANS

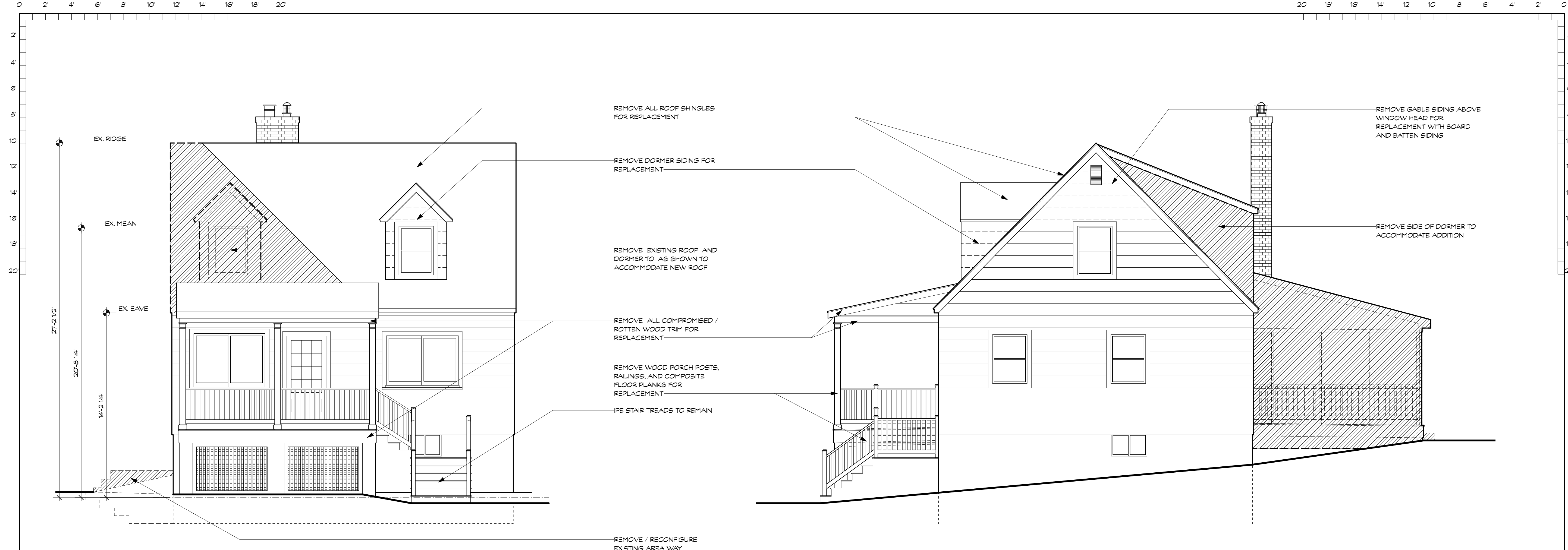
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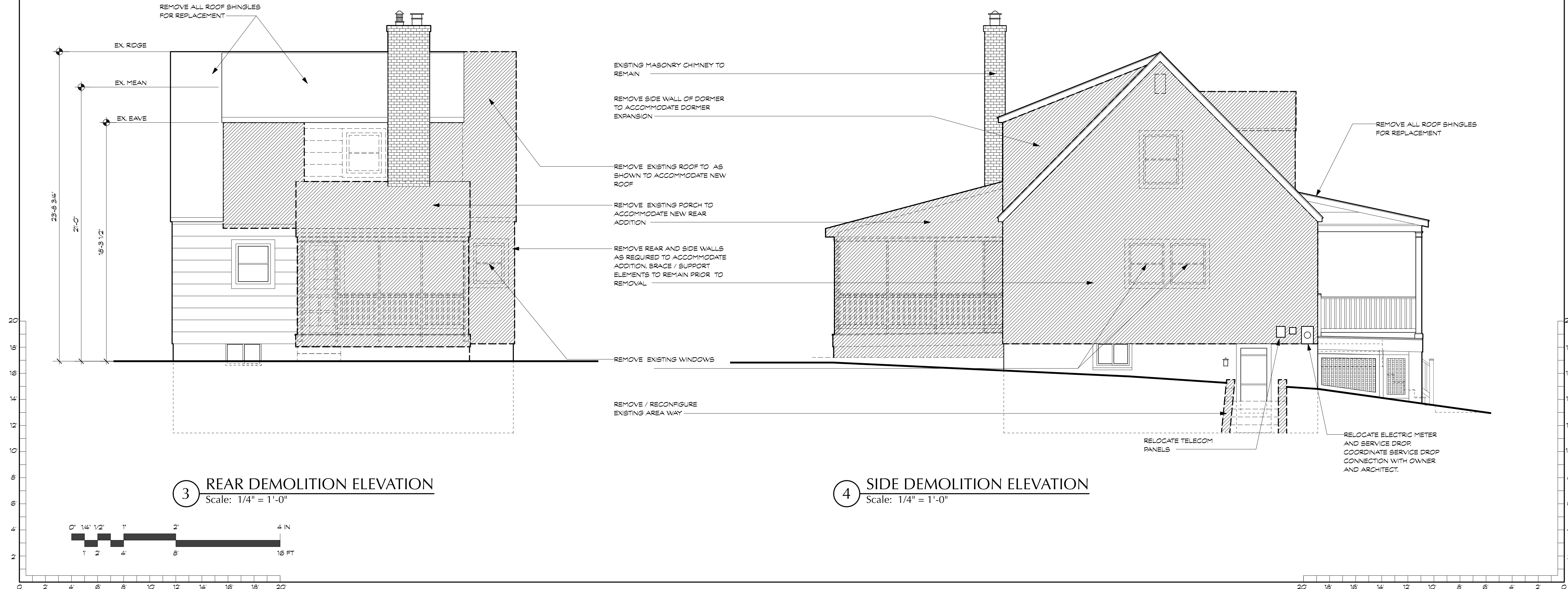
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1 FRONT DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"

2 SIDE DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"



3 REAR DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"

4 SIDE DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"

HENDERSON-INCE ADDITION

7102 Poplar Ave, Takoma Park, MD 20912
Project # 2222

12 JUNE 2023

DEMOLITION ELEVATIONS

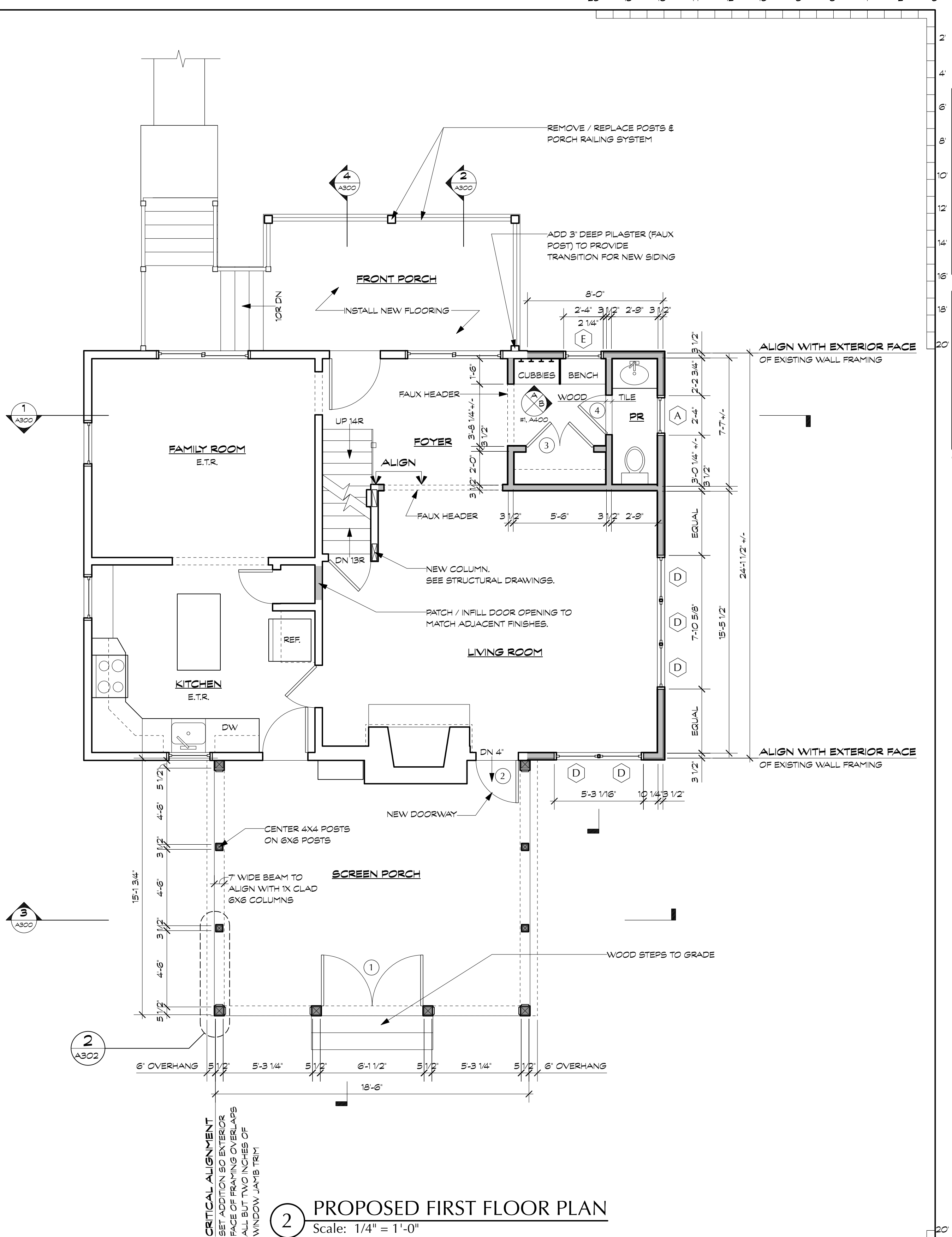
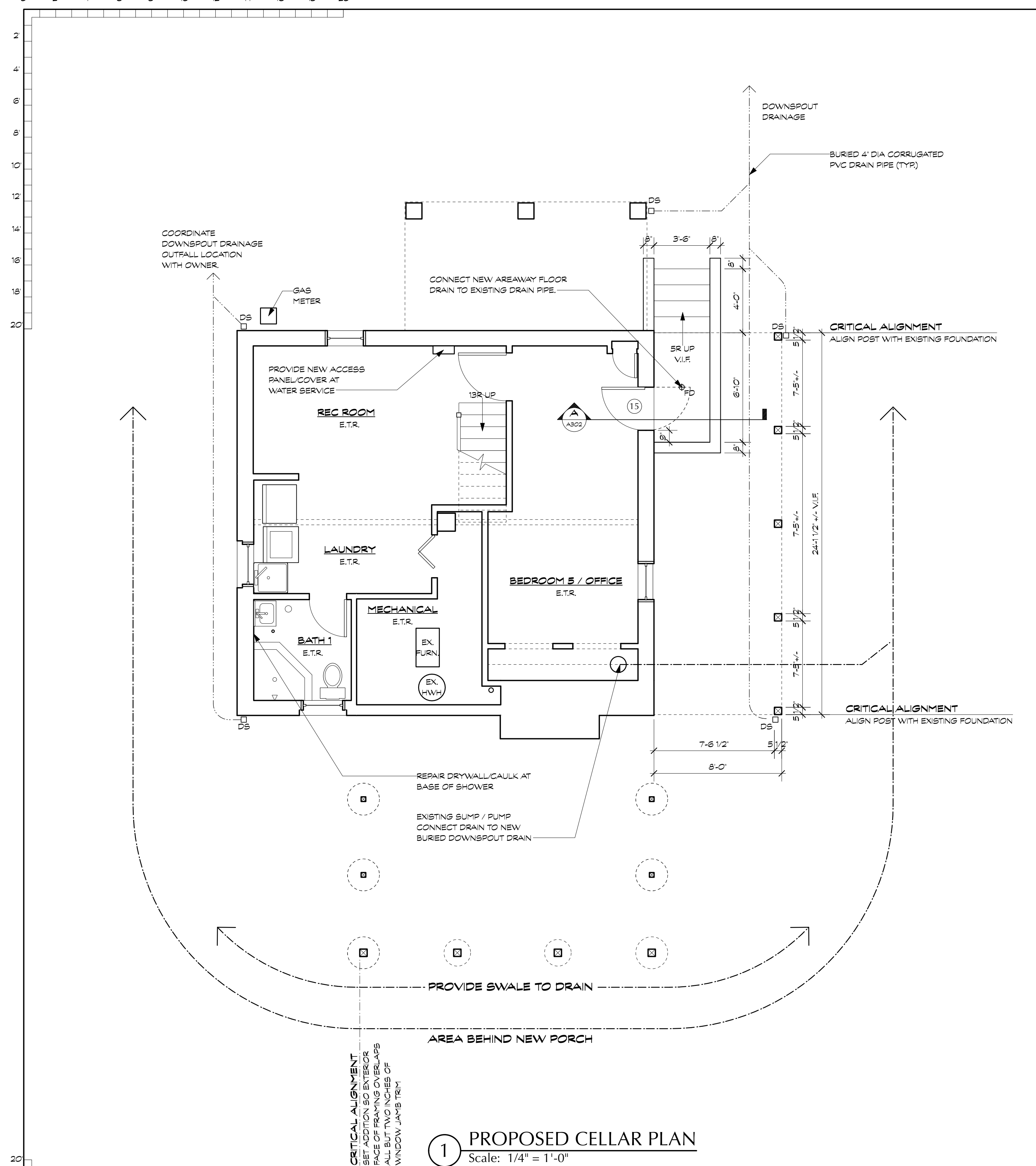
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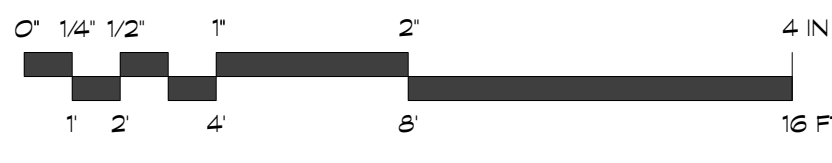
MARK	MANUFACTURER	MODEL NO.	TYPE	UNIT SIZE (W x H)	M.O./R.O. (W x H)	OPER.	EGRESS	GLAZING	U-VALUE	SHGC	REMARKS	MARK
A	WEATHERSHIELD	2426 (8219)	AWNING	2-3 1/2' X 2-5 1/2'	2-4' X 2-6'	Y	N	LOW-E				A
B	WEATHERSHIELD	2426 (8219)	CASEMENT	2-3 1/2' X 2-5 1/2'	2-4' X 2-6'	Y	N	LOW-E				B
C	WEATHERSHIELD	2446 (8219)	CASEMENT	2-3 1/2' X 4-5 1/2'	2-4' X 4-6'	Y	Y	LOW-E			PROVIDE FALSE CHECK RAIL	C
D	WEATHERSHIELD	2850 (8122)	DOUBLE HUNG	2-7 1/2' X 4-11 1/2'	2-8' X 5-0'	Y	N	LOW-E				D
E	WEATHERSHIELD	2440 (8219)	CASEMENT	2-3 1/2' X 3-11 1/2'	2-4' X 4-0'	Y	N	LOW-E			NO FALSE CHECK RAIL	E
F	WEATHERSHIELD	2446 (8219)	CASEMENT	2-3 1/2' X 4-5 1/2'	2-4' X 4-6'	Y	Y	LOW-E			NO FALSE CHECK RAIL	F
G	VELUX	FB-D26	SKYLIGHT	1-11 1/4' X 1-11 7/8'	1-10 1/2' X 1-10 5/16'	N	N	LOW-E			PROVIDE SOLAR SHADE IN BEDROOM LOFT	G
H	VELUX	FB-C04	SKYLIGHT	1-8 1/2' X 3-2 3/8'	1-8' X 3-1 7/8'	N	N	LOW-E				H

NOTES:
 1. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE THE SILLS ARE LESS THAN 18" ABOVE THE FINISH FLOOR.
 2. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS WITHIN 24" OF A DOOR OPENING.
 3. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO BATH/TUB & SHOWER ENCLOSURES.
 4. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD.
 5. BASEMENTS, HABITABLE ATTICS & EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW.
 THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET.
 THE MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES.
 THE MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES.
 THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES ABOVE THE FINISH FLOOR.
 6. PROVIDE LIMITERS ON ALL WINDOWS WITH SILL HEIGHT BELOW 36" TO PREVENT PASSAGE OF A 4" SPHERE THROUGH FULLY OPENED WINDOW.
 7. ALL PENETRATION PRODUCTS SHALL BE NFRC CERTIFIED AND SHALL MEET THE PERFORMANCE CRITERIA LABELED ON THE UNIT INCLUDING U-VALUE, SHGC, AND AIR LEAKAGE RATING.
 8. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.3 SHALL BE LABELED PER IBC 2406.

WALL LEGEND

- EXISTING WALLS AND PARTITIONS TO REMAIN
- EXISTING WALLS AND PARTITIONS TO BE REMOVED
- NEW WOOD FRAMED WALLS AND PARTITIONS
- NEW LOW WALLS
- NEW CMU WALLS

GENERAL NOTES:
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 2. NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O.)
 3. EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O.)



HENDERSON-INCE ADDITION
 7102 Poplar Ave, Takoma Park, MD 20912
 Project # 2222

PROPOSED CELLAR & FIRST FLOOR PLANS
A100

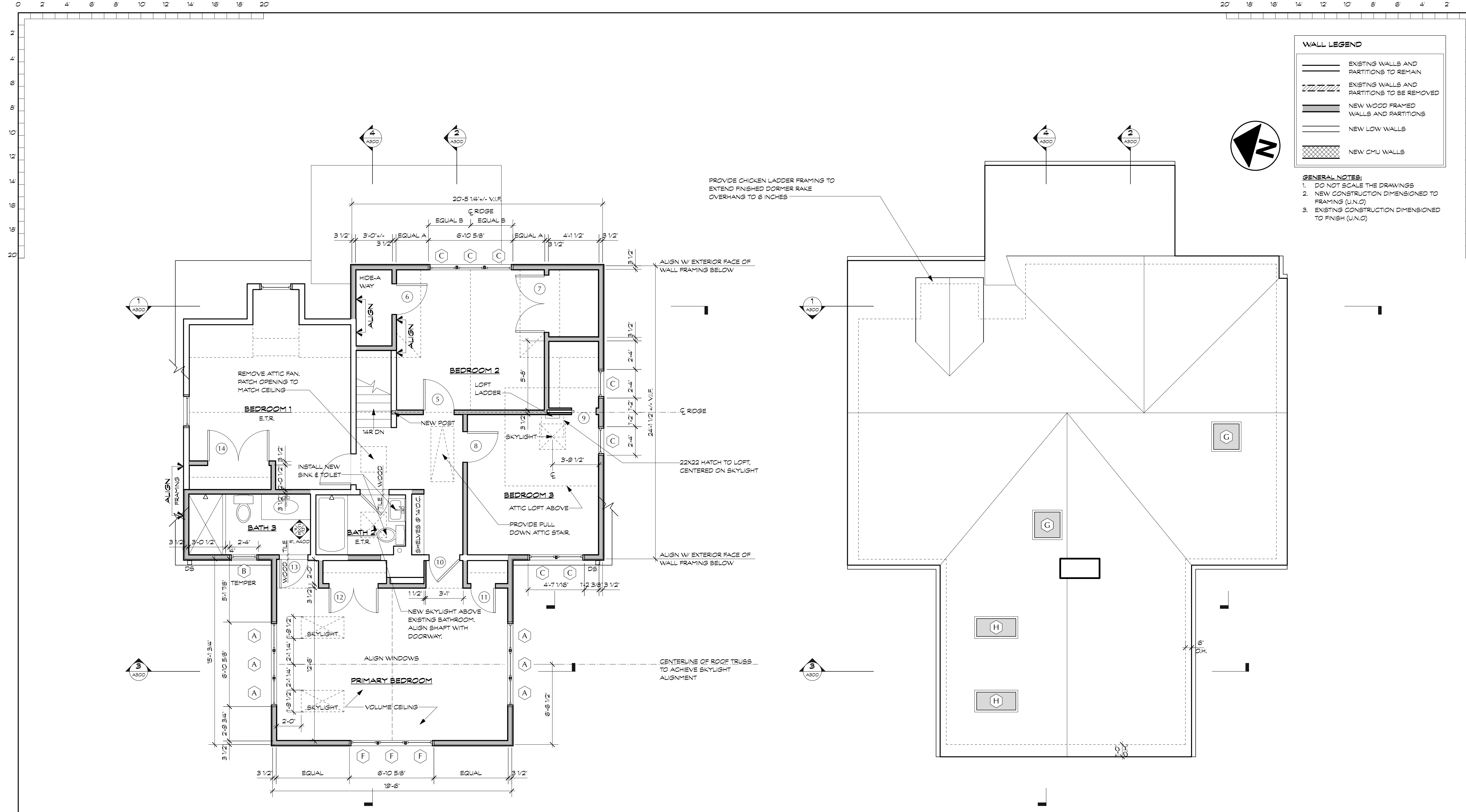
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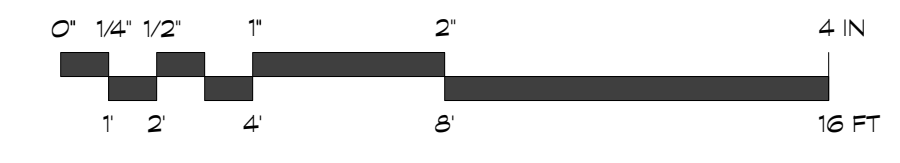
1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

2 PROPOSED ROOF PLAN
Scale: 1/4" = 1'-0"

NO.	LOCATION	SIZE	THICKNESS	MATERIAL	DR	FR	TYPE/STYLE	CONFIG	OPER.	U-VALUE	SHGC	HARDWARE	REMARKS	NO.
1	SCREEN PORCH DOOR	6'-0" X 6'-5"	1 1/4"	WD	WD	SCREEN	DOUBLE	SINGLE	OUT-SWING	0.30		SPRING HINGE & PULL	WEATHERSHIELD 1-2972 (6610)	1
2	LIVING ROOM ENTRY	2'-3 1/8" X 7 2 1/2" R.O.	1 3/4"	WD/GL	WD	FULL-LITE	DOUBLE	SINGLE	OUT-SWING			LOCKSET & DEADBOLT		2
3	FOYER CLOSET	4'-0" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	DOUBLE	SWING				DUMMY PULLS & MAGNETIC CATCH		3
4	POWDER ROOM	2'-4" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING				PRIVACY		4
5	BEDROOM 2 DOOR	2'-6" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING				PRIVACY		5
6	BEDROOM 2 CLOSET	2'-6" X 5'-0"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING				PASSAGE		6
7	BEDROOM 2 CLOSET	4'-8" X 5'-0"	1 3/8"	WD	WD	TWO-PANEL	DOUBLE	SWING				DUMMY PULLS & MAGNETIC CATCH		7
8	BEDROOM 3	2'-6" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING				PRIVACY		8
9	BEDROOM 3 CLOSET	2'-0" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING				JOHNSON HEAVY DUTY TRACK		9
10	PRIMARY BEDROOM	2'-6" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING				PASSAGE		10
11	PRIMARY BEDROOM CLOSET	2'-4" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING				PASSAGE		11
12	PRIMARY BEDROOM CLOSET	4'-0" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	DOUBLE	SWING				DUMMY PULLS & MAGNETIC CATCH		12
13	BATH 3	2'-6" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	SINGLE	SWING				PRIVACY		13
14	BEDROOM 1 CLOSET	5'-0" X 6'-5"	1 3/8"	WD	WD	TWO-PANEL	DOUBLE	SWING				DUMMY PULLS & MAGNETIC CATCH		14
15	BEDROOM 1 CLOSET	2'-8" X 6'-5"	1 3/4"	WD	WD	TWO-PANEL	SINGLE	SWING				LOCKSET & DEADBOLT		15
16	BEDROOM 1 CLOSET	2'-8" X 6'-5"	1 3/4"	WD	WD	TWO-PANEL	SINGLE	SWING				LOCKSET & DEADBOLT		16

NO.	LOCATION	AREA	FLOORING	BASE	WALLS	PAINT	CEILING	PAINT	TRIM	REMARKS
1	SCREEN PORCH	122 SF	AREATIS T&S PLANKS	SEM-GLOSS	ETR	SATIN	ETR	SEM-GLOSS		
2	FOYER	82 SF	NOTE 1	MATCH EXISTING	GYP WALLBOARD	FLAT	ETR, NOTE 4	FLAT	SEM-GLOSS	
3	POWDER ROOM	20 SF	TILE	WOOD	GYP WALLBOARD	EGGSHELL	GYP WALLBOARD	FLAT	SEM-GLOSS	
4	LIVING ROOM	278 SF	HARDWOOD	MATCH EXISTING	GYP WALLBOARD	FLAT	GYP WALLBOARD	FLAT	SEM-GLOSS	
5	SCREEN PORCH	122 SF	AREATIS PLANKS	N/A	SCREEN	SEM-GLOSS	BEADBOARD	SEM-GLOSS		
6	KITCHEN	139 SF	ETR	ETR	ETR	ETR	ETR	ETR		
7	HALL	69 SF	ETR, NOTE 1	ETR, MATCH EX.	ETR, GWB	EGGSHELL	ETR	FLAT	SEM-GLOSS	
8	BEDROOM 1	238 SF	ETR	ETR	ETR, GWB	FLAT	ETR	FLAT	SEM-GLOSS	
9	BATH 2	37 SF	ETR	ETR	ETR	SEM-GLOSS	ETR	SEM-GLOSS		
10	BEDROOM 2	171 SF	HARDWOOD	WOOD	GYP WALLBOARD	FLAT	GYP WALLBOARD	FLAT	SEM-GLOSS	
11	BEDROOM 3	131 SF	HARDWOOD	WOOD	GYP WALLBOARD	FLAT	GYP WALLBOARD	FLAT	SEM-GLOSS	
12	PRIMARY BEDROOM	338 SF	HARDWOOD	WOOD	GYP WALLBOARD	FLAT	GYP WALLBOARD	FLAT	SEM-GLOSS	
13	BATH 3	48 SF	TILE	WOOD	GYP WALLBOARD	SEM-GLOSS	GYP WALLBOARD	SEM-GLOSS		NOTE 2

NOTES:
1. PATCH TO MATCH EXISTING HARDWOOD FLOOR AS NECESSITATED BY NEW WORK, SAND / REFINISH ENTIRE FLOOR TO UNIFORM APPEARANCE
2. TILE SHOWER SURROUND
3. TILE BACKPLASH
4. PATCH / RESTORE EXISTING WHERE DISTURBED BY NEW WORK
5. AREA SHOWN IN TABLE FOR REFERENCE. CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM QUANTITIES.



HENDERSON-INCE ADDITION
7102 Poplar Ave, Takoma Park, MD 20912
Project # 2222

SECOND FLOOR & ROOF PLAN
A101

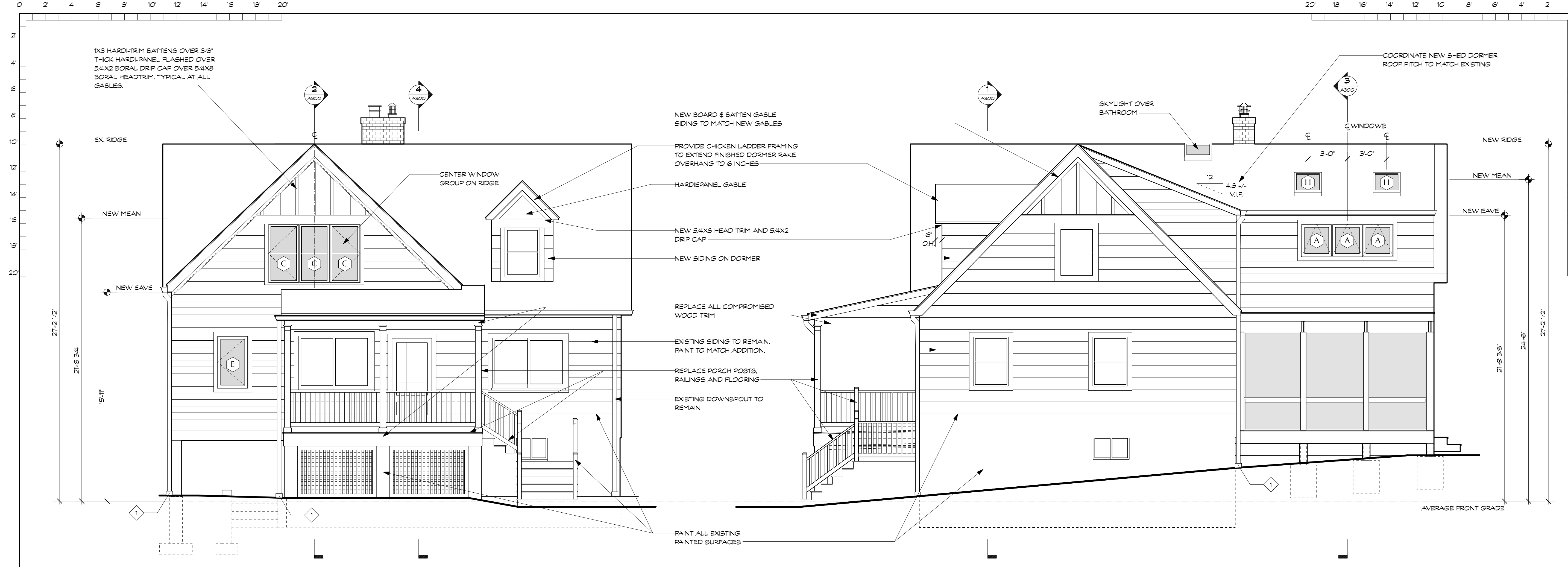
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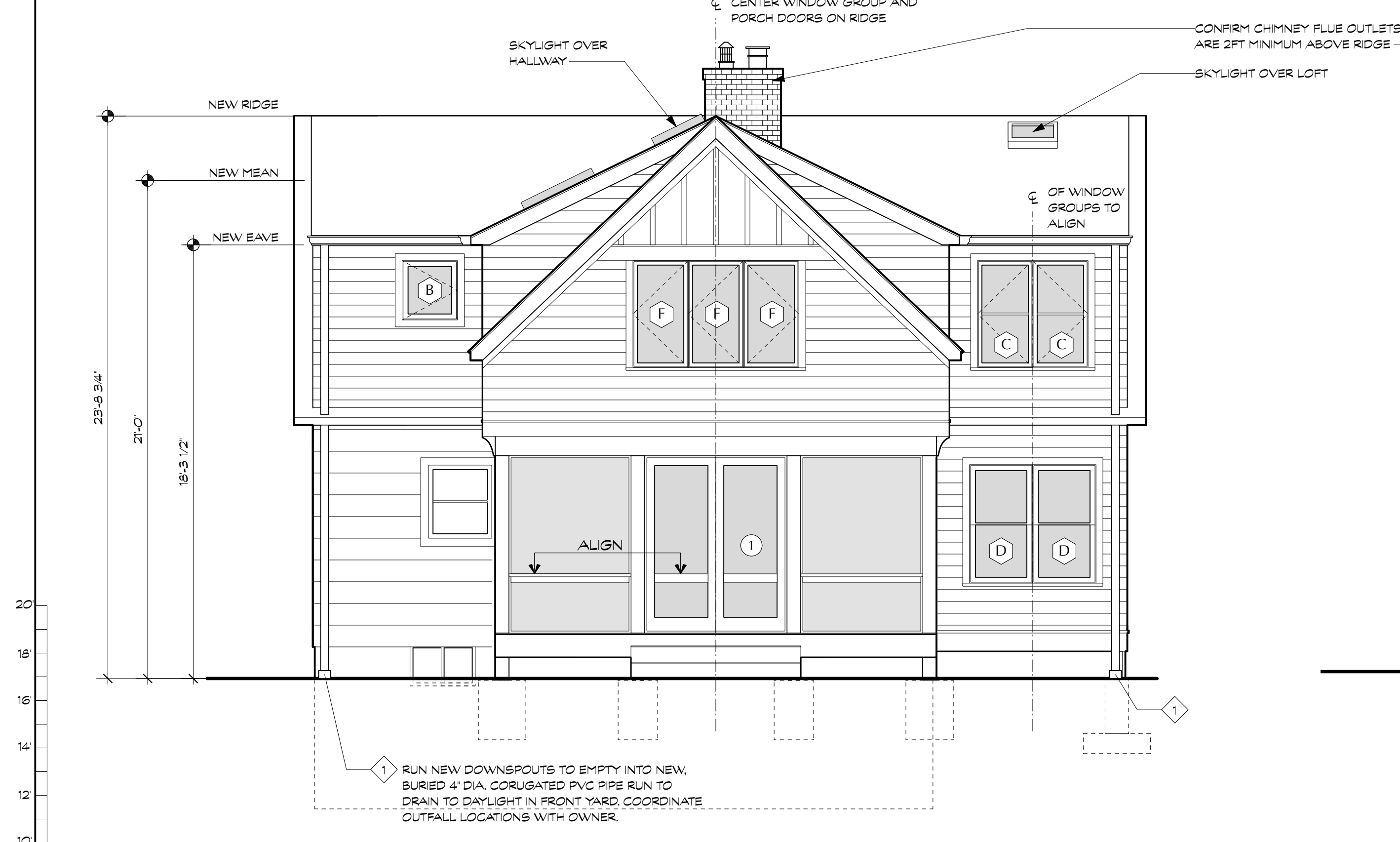
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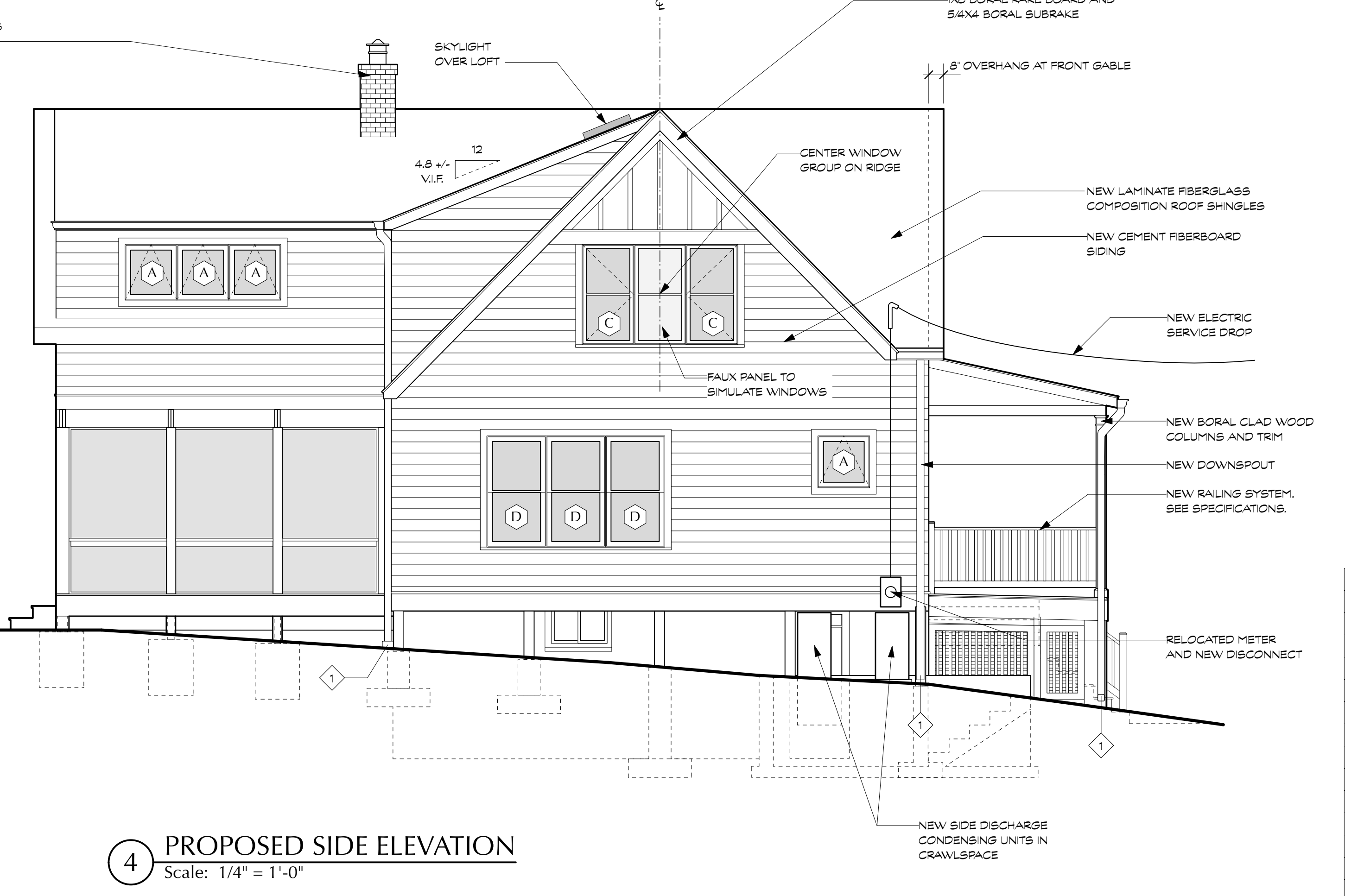


1 PROPOSED FRONT ELEVATION
 Scale: 1/4" = 1'-0"

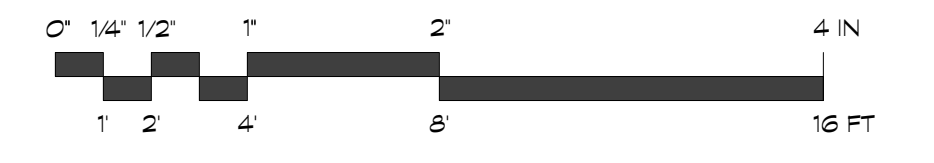
2 PROPOSED SIDE ELEVATION
 Scale: 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
 Scale: 1/4" = 1'-0"



4 PROPOSED SIDE ELEVATION
 Scale: 1/4" = 1'-0"



HENDERSON-INCE ADDITION
 7102 Poplar Ave, Takoma Park, MD 20912
 Project # 2222
 12 JUNE 2023

PROPOSED ELEVATIONS
A200

Existing Property Condition Photographs (duplicate as needed)



Detail: 7102 POPLAR AVE NORTH-WEST APPROACH



Detail: 7102 POPLAR AVE FRONT

Existing Property Condition Photographs (duplicate as needed)



Detail: 7102 POPLAR AVE NORTH-EAST CORNER



Detail: 7102 POPLAR SOUTH-EAST CORNER

Existing Property Condition Photographs (duplicate as needed)



Detail: 7102 POPLAR AVE REAR



Detail: 7102 POPLAR AVE SOUTH-WEST CORNER

Existing Property Condition Photographs (duplicate as needed)



Detail: 7102 POPLAR AVE WEST



Detail: 7100 POPLAR AVE

Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 7104 POPLAR AVE



Detail: CONTEXT: 7101-7105 POPLAR NORTH OF 7102

Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 7105 POPOLAR AVE



Detail: CONTEXT: 7103 POPOLAR AVE

Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 7101 POPOLAR AVE
