

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7338 Carroll Ave., Takoma Park	Meeting Date:	7/12/2023
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	7/5/2023
Applicant:	David Heath & Nadine Langlois Brian McCarthy, Architect	Public Notice:	6/28/2023
Review:	Historic Area Work Permit	Tax Credit:	Partial
Permit No.:	1034991	Staff:	Dan Bruechert
Proposal:	For partial demolition, construction of new rear addition, deck, and screened-in porch, roof and gutter replacement, and fenestration alterations.		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application **with two (2) conditions**:

- 1) The final drawings shall show all dimensions in plans and elevations, including measurements for any details for finished carpentry work in the gable ends; and,
- 2) The fiber cement siding on the addition shall have a smooth profile.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: c.1928

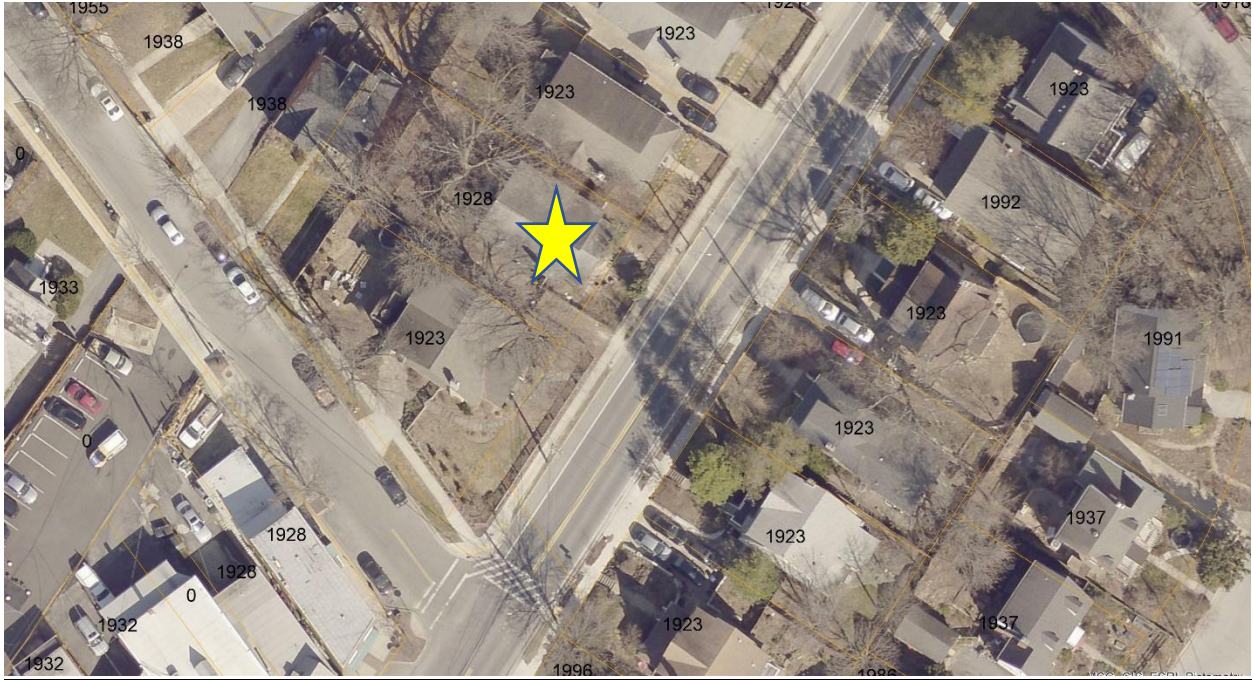


Figure 1: The subject property is located near the Takoma Junction section of the historic district on the west side of Carroll Avenue.

PROPOSAL

The applicant proposes to demolish a rear deck and portions of a rear addition and construct a new two-story addition with a screened-in porch.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the

overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing

Original size and shape of window and door openings should be maintained, where feasible

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic

- resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a one-story, front gable Craftsman bungalow with a walk-out basement. At the rear, there is a small non-historic shed roof addition with a large wooden deck. The house exterior has a parged foundation with rough stucco siding on the first floor. Cedar shingles fill in the gable ends. The applicant proposes to partially demolish the non-historic addition, construct a new two-story addition, and replace the asphalt shingle roof. Staff finds the proposed alterations are in keeping with the requisite guidance and recommends the HPC approve the HAWP.

Partial Demolition

The applicant proposes to demolish the rear (west) and left (south) walls of the non-historic addition and proposes to demolish the existing wood deck to accommodate the proposed addition (discussed below).

Staff finds the proposed work will not impact historic materials or impact the historic house design and will not be visible from the public right-of-way. The *Design Guidelines* state this type of change should be approved as a matter of course. Staff also finds support for the proposed demolition in 24A-8(d).

Building Addition

At the rear of the house, the applicant proposes to construct a two-story addition to accommodate two bedrooms on the basement level and a new bedroom suite on the first floor. The addition also includes construction of a first-floor screened-in porch. The proposed addition utilizes the existing inset created by non-historic addition to separate the new construction from the historic. The addition measures 25' 11 5/8" × 14' 4 1/2" (twenty-five feet, eleven and five-eighths inches wide by fourteen feet four-and-one-half inch deep); with the screened-in porch projecting an additional 10' (ten feet) to the left (south) of the proposed addition extending beyond the historic wall plane. The roof over the addition is a side gable to run perpendicular to the historic front-facing gable. While the elevation drawings lack measurements, they show that the proposed side-gable roof is at least two feet lower than the front-gable ridge. Eaves, rakes, and brackets on the proposed addition will match those found on the historic portion of the house. Staff recommends the HPC include a condition for the final approval of this HAWP that all drawings submitted for permitting will be annotated to include all necessary measurements. Final approval authority to ensure conformance with this condition can be delegated to Staff.

The addition will be sided with a parged CMU block foundation, fiber cement clapboards, and cedar shingles in the gable. Windows for the addition will be Weathershield clad casement and sash windows. Because the windows on the rear elevation are in bedrooms and need to satisfy egress code, the windows on the rear elevation will be casement windows with a six-over-one appearance with a check rail to mimic the appearance of a sash meeting rail. The roof on the addition will be an architectural shingle roof to match the replacement on the historic portion of the house (discussed below). Finally, the applicant proposes to use Aeratis porch decking treads and railing.

Staff finds the overall size of the addition to be modest and that it will not overwhelm the historic house or the surrounding district. Staff finds the form and architectural details of the proposed addition to be compatible with the simple shape of the historic Craftsman bungalow. It also matches many of the details including the parged foundation, eave treatment, and six-over-one windows. Generally, additions in the Takoma Park Historic District are required to be placed to the rear of the historic house so they are less visible from the right-of-way and do not visually detract from the historic house and streetscape. This proposed addition projects approximately 1' (one foot) beyond the historic left (south) wall plane with the screened-in porch projecting an additional 10' (ten feet). In this instance, Staff finds the projections will not negatively impact the character of the house. First, the retained portion of the non-historic addition creates a 7' (seven foot) deep hyphen to separate the historic from the new construction. This separation is a big enough visual division that the two larger sections of construction appear as discrete units. Second, the addition is still inset from the plane created by the projecting bay in the existing dining room. Third, while the side gable roof adds mass to the screened-in porch, the simple wood framing and screening will make the porch appear largely transparent. For these reasons, Staff finds the size, form, placement and architectural details to be appropriate for the subject property under 24A-8(b)(2) and (d), the *Design Guidelines*, and Standard 9.

Staff finds the proposed materials including the fiber cement siding, clad wood windows, and architectural shingle roof are all compatible with the character of the house and are appropriate substitute materials for additions and new construction in the Takoma Park Historic District under the *Design Guidelines* and 24A-8(d). Staff also finds the fiber cement siding will help differentiate the addition from the historic construction per Standard 9, provided the smooth profile of the fiber cement siding is exposed. Because an installation treatment for the fiber cement siding was not included with the application materials, Staff recommends the HPC include a condition to the approval of this HAWP that the smooth side of the fiber cement is exposed. Final approval authority to verify this condition has been satisfied can be delegated to Staff. The Aeratis decking and railing are the only materials proposed that do not have a long-established track record in the Takoma Park Historic District. Staff finds, in this instance, that Aeratis is appropriate because it is connected to the new construction and will not impact historic fabric. Additionally, the new exterior stairs are more than 50' (fifty feet) from the public right-of-way, a distance that will minimize the material's visual impact. Staff finds the Aeratis decking and railing is appropriate under 24A-8(d) and Standard 9.

Roof Replacement

The existing roof is three-tab asphalt and is failing and needs to be replaced. The applicant proposes to install architectural shingles on the roof of the historic house and the building addition. The existing gutters and downspouts are also proposed to be replaced with new half-round gutters and appropriately sized downspouts.

Staff finds replacing a three-tab shingle roof with an architectural shingle roof would generally be approved at the Staff level, however, because the roof replacement is associated with the other work it is included in this Staff Report. Staff recommends the HPC approve the roof replacement under 24A-8(b)(1), (2), and (d), the *Design Guidelines*, and Standard 2. Staff also notes that the roof replacement for

the historic portion of the house is eligible for the County's Historic Preservation Tax Credit. More information about the credit is available here: <https://montgomeryplanning.org/planning/historic/tax-credit-program/>.

Window Replacement

The narrative accompanying the application materials indicates the property owners would like some feedback on the feasibility of replacing the existing historic wood windows. Restoring historic wood windows is always preferable to replacement and Staff notes that the window restoration would be eligible for the County's Historic Preservation Tax Credit as would new storm windows.

Because the condition of the existing windows was not documented in the application materials, Staff can only speak to the HPC's typical requirements for window replacement. Generally, the existing windows need to be documented and evaluated by completing a window survey that demonstrates the windows have deteriorated beyond reasonable repair (Staff can provide an example of the type of survey required). After satisfying the burden of persuasion that the windows are too deteriorated, the HPC will consider a window replacement. Windows are evaluated on a case-by-case basis and are generally required to match the size, configuration, and materials of the historic windows. Staff would be happy to meet with the owners to discuss the windows at the owners' convenience. The replacement of the windows is not technically a part of the HAWP application and would be the subject of a future application.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with two (2) conditions**:

- 1) The final drawings shall show all dimensions in plans and elevations, including measurements for any details for finished carpentry work in the gable ends; and,
- 2) The fiber cement siding on the addition shall have a smooth profile;

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), and the *Takoma Park Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# DATE ASSIGNED

APPLICANT:

Name: DAVID HEATH & NADINE LANGLOIS Address: 7338 Carroll Avenue Daytime Phone: 202-603-7336

E-mail: brian@bfmarch.com City: Takoma Park Zip: 20912 Tax Account No.: 13-01067033

AGENT/CONTACT (if applicable):

Name: Brian McCarthy Address: BENNETT FRANK MCCARTHY ARCHITECTS 1400 SPRING ST., SUITE 320 Daytime Phone: 301-585-2222

E-mail: brian@bfmarch.com City: Silver Spring Zip: 20910 Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property Takoma Park

Is the Property Located within an Historic District? Yes/District Name Takoma Park No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7338 Street: CARROLL AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: LEE AVENUE

Lot: 2 Block: Subdivision: GENERAL SS CARROLL'S ADDITION TO TAKOMA PARK Parcel: 10025

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent (handwritten signature) Date 6/20/2023

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address David Heath and Nadine Langlois 7338 Carroll Avenue Takoma Park, MD 20912</p>	<p>Owner's Agent's mailing address Brian McCarthy BFM Architects Inc. 1400 Spring Street, #320 Silver Spring, MD 20910</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Jay & K B Danner-McDonald 7336 Carroll Avenue Takoma Park, MD 20912</p>	<p>Yudhijit Bhattacharjee & Jennifer Dimascio 7340 Carroll Avenue Takoma Park, MD 20912</p>
<p>Colin & Kristin Treado 7329 Carroll Avenue Takoma Park, MD 20912</p>	<p>Jason & Thaisa Katz 7327 Carroll Avenue Takoma Park, MD 20912</p>
<p>Kevin Perese & Megan Gallagher 7331 Carroll Avenue Takoma Park, MD 20912</p>	<p>Nancy J. Ricks 5 Lee Avenue Takoma Park, MD 20912</p>

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

See Memorandum, addendum a.

Description of Work Proposed: Please give an overview of the work to be undertaken:

See Memorandum, addendum b.

BENNETT FRANK McCARTHY

a r c h i t e c t s , i n c .

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755

Memorandum

19 June 2023

To: Historic Preservation Commission (HPC)
Maryland-National Capital Park & Planning Commission
c/o Department of Permitting Services, Montgomery County

From: Brian McCarthy

Re: Historic Area Work Permit for
7338 Carroll Avenue, Takoma Park Historic District
Written Description of Project

Addendum a.

The property is a 1-story wood frame Bungalow-Craftsman with a partially finished cellar, located at 7338 Carroll Avenue on a modest 5,575 square foot corner lot one property in from the corner of Carroll and Lee Avenues. The house, built circa 1920s, is designated as a contributing resource in the Takoma Park Historic District. The form is a simple rectangle with the short side fronting Carroll Avenue and the long side parallel to Lee. The southeast facing front façade is embellished by a nearly full width covered porch with a low slope gable roof supported on stout wood columns. The main roof, like the porch, is a simple gable with deep eaves and exposed rafter tails but with a more pronounced pitch than the porch.

Each side façade features a modest projected bay; one on the left that extends the dining room and one on the right that accommodates a bathroom. The left side yard is a generous 18 ft wide while the right side is a narrow 5.6 ft off the property line.

The northwest facing rear façade features a shallow shed roof over what appears to be an enclosed former porch that rests on three masonry piers at the level of the walk-out basement. The rear extension is narrower and is offset roughly 2 ft from the main house side walls. The basement level of the rear extension, like the former porch above, has been enclosed with non-historic elements like vinyl windows and T1-11 siding. The site slopes down to the rear so the back façade is fully above grade.

The foundation is finished in smooth stucco and the wood frame walls above are finished in a coarser aggregate stucco. The gables ends are clad in cedar shingles. The roofing material is three-tab fiberglass composition shingles in need of replacement.

Addendum b.

The first floor, consists of the usual complement of living areas (living, dining and kitchen) and two bedrooms and one bath in a modest 1,062 square feet. The basement offers one more bedroom and bathroom but the average ceiling height on that level is an oppressive 6'-6".

The owners want to add more bedrooms so the existing bedroom space can be converted to living space and home offices. The new bedrooms will be located in a two-story addition on the rear, featuring a primary bedroom suite above two bedrooms on the basement level. The addition will connect to the house via the narrower existing rear extension which will be remodeled to accommodate a relocated staircase. The bedroom portion of the addition has a 374 square foot (sf) footprint placed almost entirely between the side planes of the existing house. The exception would be a 144 sf screen porch on the left side of the addition, which would extend 10 ft to the left side yard setback. But the porch portion, like the rest of the proposed addition, would be fully behind the back plane of the existing structure. We designed a similar rear addition with a projecting screen porch for the contributing resource located at 7418 Cedar Avenue, which I offer as a precedent. It was HAWP #714497.

The rear addition, including the screen porch, is capped by a gabled roof with a ridge that runs perpendicular to the main house roof. The intervening shed roof over the narrower connector will be removed and replaced with a shallow gable similar to the roof over the front porch. The new roof eaves, rakes, and timber brackets will match the existing features. New windows in the addition and the connector will be clad wood. Many of the new windows are in bedrooms so they'll be required to meet the emergency egress provisions of the building code. Consequently, they'll be casement style but with faux check rails to mimic double hungs. Roofing will be fiberglass composition shingles. Siding on additions will be cement fiberboard clapboard on the walls and painted cedar shingles in the gables. The owners are also currently researching restoring the original windows but would be interested to know the commission's feelings on window replacement. Damaged/rotting woodwork will be replaced and the entire exterior will be painted.

We feel the proposed expansions are consistent with and sympathetic to the resource, and the historic district at large.

Rear 2-story Addition	
Work Item 1: _____	
Description of Current Condition: Existing deck and steps (to be removed.) Existing rear 1-story extension with basement - remove windows, walls & roof as needed for addition.	Proposed Work: Two-story addition, partially over existing rear extension with basement.

Screen Porch & deck	
Work Item 2: _____	
Description of Current Condition: Existing deck & steps (to be removed.)	Proposed Work: Construct screen porch and deck in rear/side yard.

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912 - Project # 2307

PROJECT DESCRIPTION

BENNETT FRANK MCCARTHY

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755
(301) 585-2222 www.bfmarch.com fax (301) 585-8917

SPECIFICATIONS

ZONING SITE PLAN

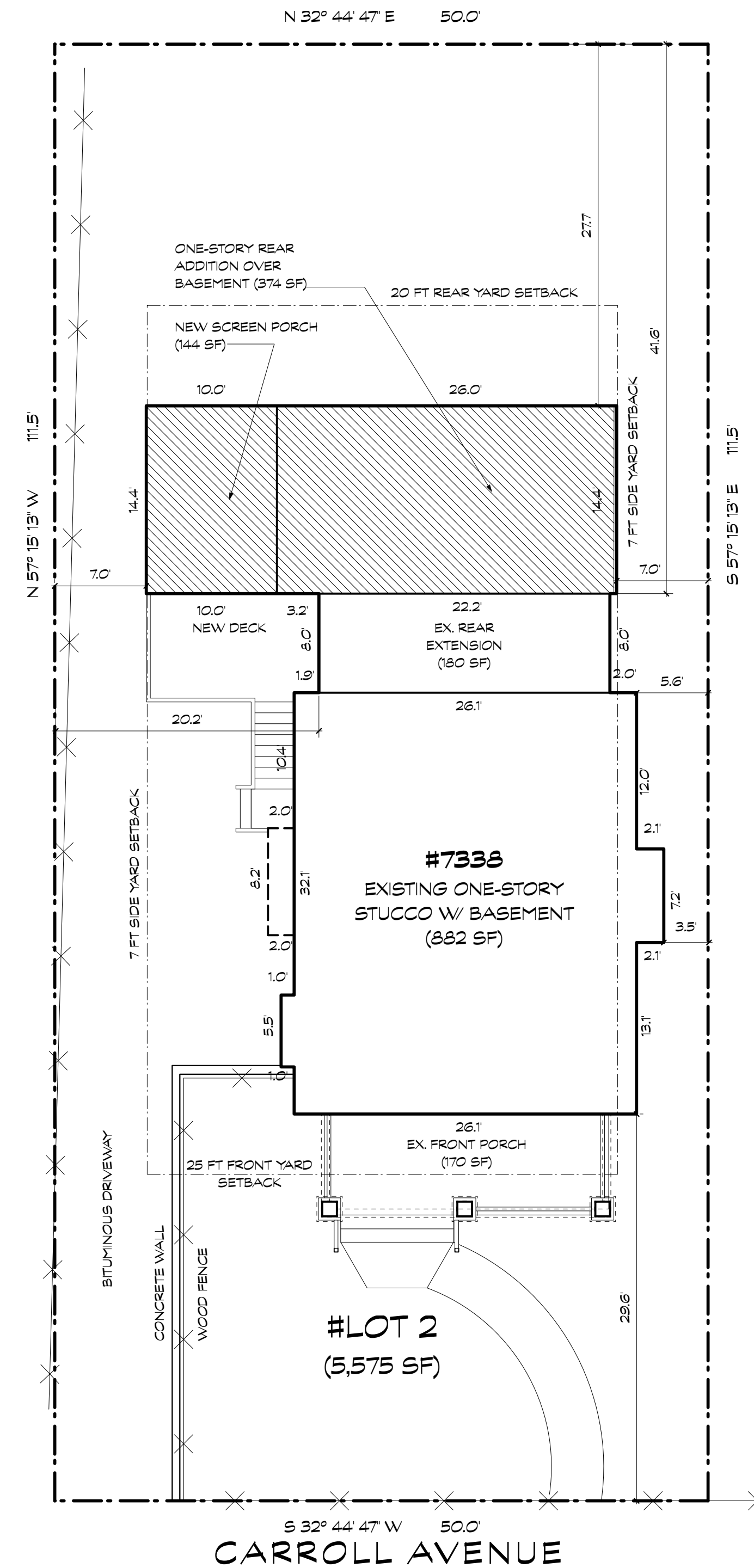
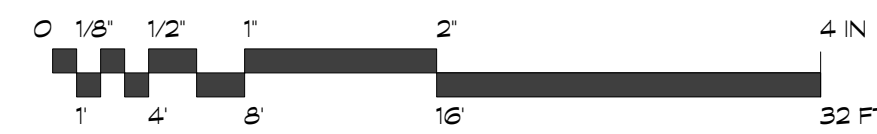
SCALE: 1/8" = 1'-0"

SITE PLAN SUMMARY			
1. LOT COVERAGE			
TOTAL LOT AREA	5575 SF		100.0%
EXISTING LOT COVERAGE	1232 SF		22.1%
PROPOSED LOT COVERAGE	1751 SF		31.4%
PROPOSED INCREASE	519 SF		9.3%
2. BUILDING FLOOR AREA - STORES			
LEVEL	EX. AREA (SF)	NEW AREA	TOTAL AREA
BASEMENT	1045 SF	375 SF	1420 SF
FIRST	1062 SF	519 SF	1581 SF
SECOND	0 SF	0 SF	0 SF
TOTALS	2107 SF	894 SF	3001 SF
3. BUILDING HEIGHT (ABOVE AVE. FRONT GRADE)			
	EXISTING	ADDITION	
EAVE	10'-11 1/4"	17'-7"	
MEAN	14'-11 1/2"	21'-2 1/4"	
ROOF	19'-8 3/4"	24'-8 3/4"	

SITE PLAN BASED ON HOUSE LOCATION SURVEY BY WITMER ASSOCIATES, LLC DATED FEBRUARY, 2023, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT 2
PLAT BOOK 4
PLAT NO. 300
SUBDISTRICT: GENERAL S.S. CARROLL'S
ADDITION TO TAKOMA PARK
MONTGOMERY COUNTY, MD
DISTRICT: 13
ZONE: R-60

LEGEND	
WOOD FENCE	
SETBACK LINE	
PROPERTY LINE	
FIRST FLOOR ADDITION	



OWNER

David Heath & Nicole Langlois
7338 Carroll Ave.
Takoma Park, MD 20912 (xxx) xxx-xxxx

STRUCTURAL ENGINEER

Robert Wixson, APAC Engineering, Inc
8555 16th St, Suite 200
Silver Spring, MD 20910 (301) 565-0543

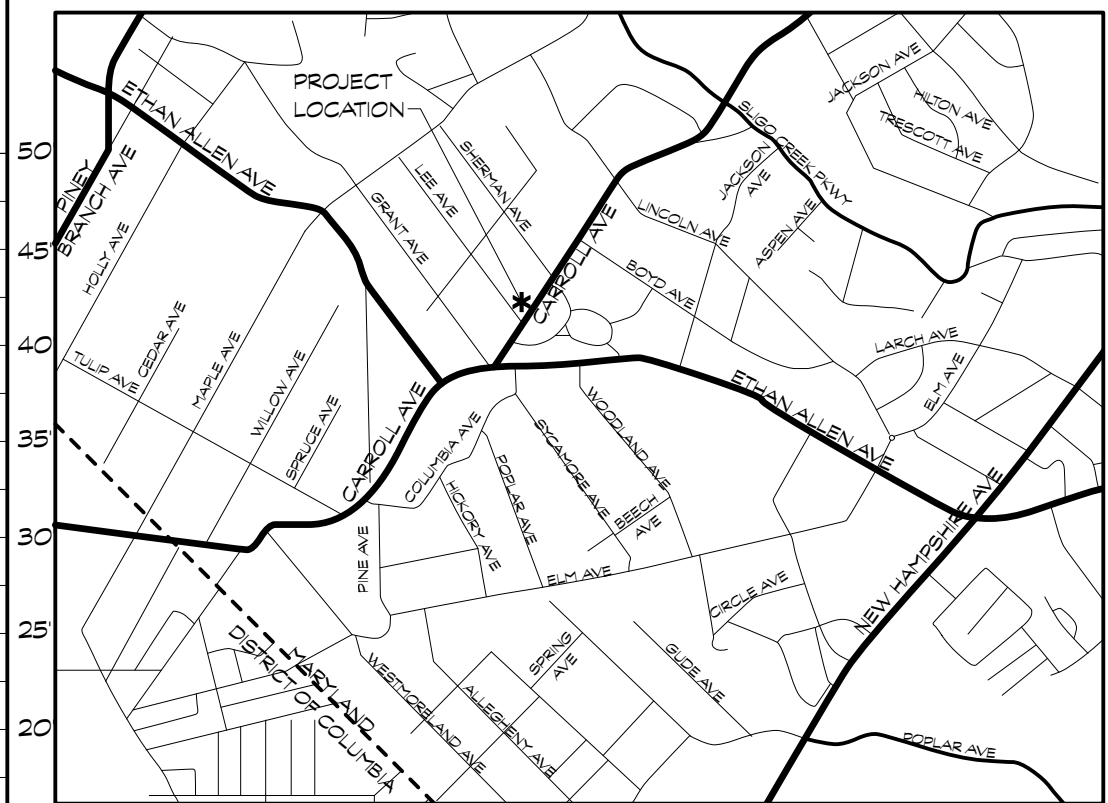
MECHANICAL CONSULTANT

Gallant Mechanical
13001 Cleveland Drive
Rockville, Maryland 20850 (240) 750-4988

DRAWING LIST

REV.	SHEET	TITLE
	0000	COVER SHEET
	SPI00	SPECIFICATIONS
	D100	DEMOLITION FLOOR PLANS
	D200	DEMOLITION ELEVATIONS
	A100	PROPOSED CELLAR & FIRST FLOOR PLANS
	A101	PROPOSED SECOND FLOOR & ROOF PLAN
	A200	ELEVATIONS & SCHEDULES
	A201	ELEVATIONS & SCHEDULES
	A300	BUILDING SECTIONS
	A301	WALL SECTION
	A302	PORCH SECTIONS
	A400	INTERIOR ELEVATIONS
	S100	FOUNDATION & FIRST FLOOR FRAMING PLAN
	M100	MECHANICAL PLANS & SPECIFICATIONS
	E100	ELECTRICAL PLANS & SPECIFICATIONS

VICINITY MAP



DATE	ISSUE
JUNE 19, 2023	PROGRESS

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ABBREVIATIONS

AND	COND	CONCRETE	ELEC	ELECTRICAL	LBW	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
AT	CONC	CONCRETE	EXP	EXPANSION	LVL	LAMINATED VENEER LUMBER	STL	STEEL	STL	STEEL
ABOVE	CONT	CONTINUOUS	EQ	EQUAL	D	DRYER	TBD	TO BE DETERMINED	TBD	TO BE DETERMINED
FINISHED FLOOR	DH	DOUBLE HUNG	ETR	EXISTING TO REMAIN	MARB	MARBLE	T&G	TONGUE AND GROOVE	T&G	TONGUE AND GROOVE
APARTMENT	EX	EXISTING	EX	EXISTING	MATL	MATERIAL	TOS	TOP OF SLAB	TOS	TOP OF SLAB
BUILDING	FF	FINISH FLOOR	FIN	FINISH	MAX	MAXIMUM	TYF	TYPICAL	TYF	TYPICAL
BASMENT	MDO	MEDIUM DENSITY OVERLAY	FLR	FLOOR	R	RISER	UNO	UNLESS NOTED OTHERWISE	UNO	UNLESS NOTED OTHERWISE
CONTROL JOINT	GA	GALVE	REF	REFRIGERATOR	MIN	MINIMUM	RQD	REQUIRED	RQD	REQUIRED
CABINET	GWB	GYPSUM WALL BOARD	REQD	REQUIRED	MANU	MANUFACTURER	R	ROOM	R	ROOM
CENTER LINE	HT	HOLLOW CORE	RM	ROOM	SC	SOLID CORE	SHT	SHEET	SC	SOLID CORE
CEILING	HT	HEIGHT	SHR	SHOWER	SHR	SHOWER	SHR	SHOWER	SHR	SHOWER
CLEAR	HDWR	HARDWARE	SHR	SHOWER	NTS	NOT TO SCALE	SHR	SHOWER	NTS	NOT TO SCALE
CONCRETE	JB	JUNCTION BOX	SHR	SHOWER	OC	ON CENTER	SHR	SHOWER	OC	ON CENTER
MASONRY UNIT	EL	ELEVATION	SHR	SHOWER	OH	OPPOSITE HAND	SHR	SHOWER	OH	OPPOSITE HAND

SYMBOLS

	CENTERLINE		DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE
	DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)		ELEVATION CALL-OUT: VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE
	WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)		SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION
	WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)		SPOT LOCATION
	BENCHMARK		BENCHMARK

ELEVATION MARKER

	XXX-XX X'X"	ELEVATION REFERENCE
	BENCHMARK	LOCATION REFERENCE

PROJECT DATA

JURISDICTION:	MONTGOMERY COUNTY, MD
BUILDING CODE:	2018 IRC & MONTGOMERY COUNTY AMENDMENTS
BUILDING USE GROUP:	SINGLE-FAMILY, DETACHED
CONSTRUCTION TYPE:	5B - COMBUSTIBLE, UNPROTECTED
FIRE SUPPRESSION SYSTEM:	NA

CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____
EXPIRATION DATE: _____

#2307 HEATH-LANGLAIS

DATE	ISSUE - REMARKS

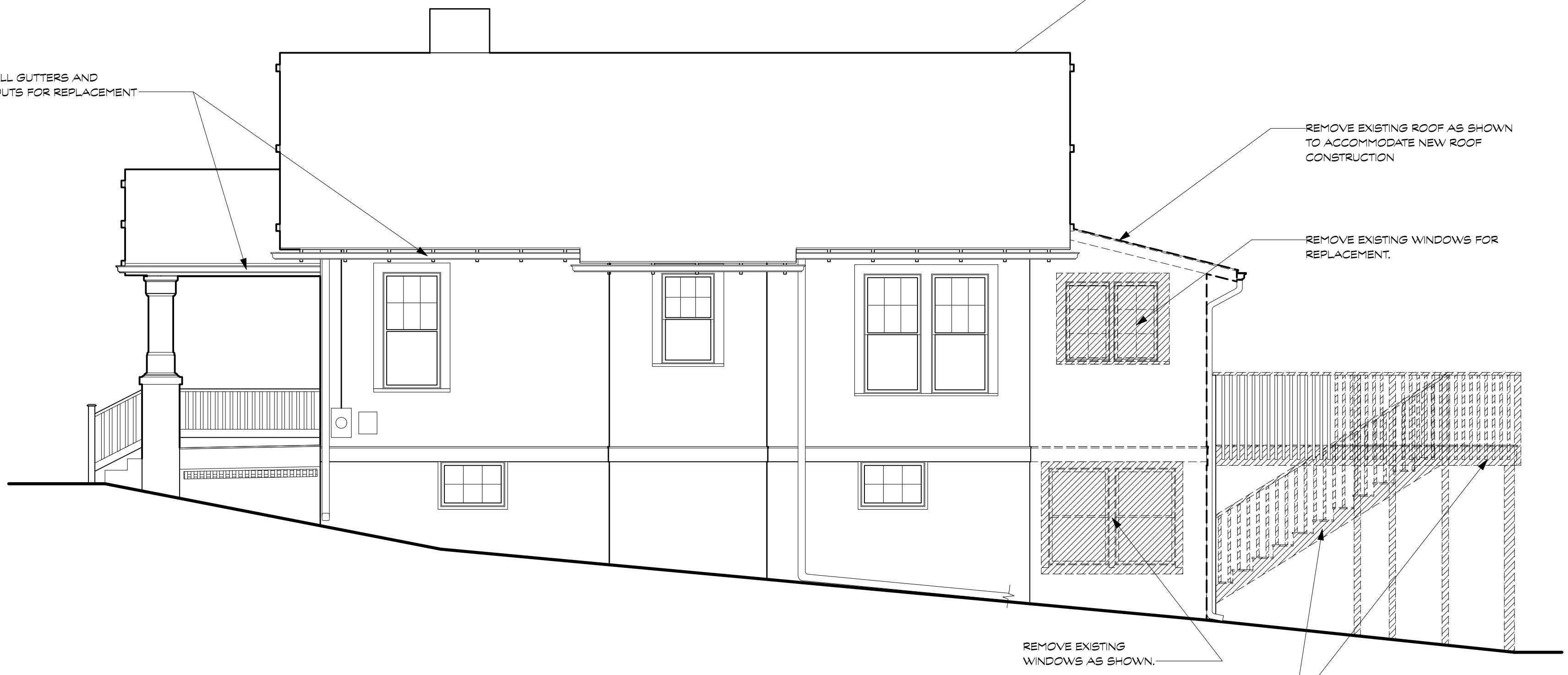
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____ EXPIRATION DATE: _____

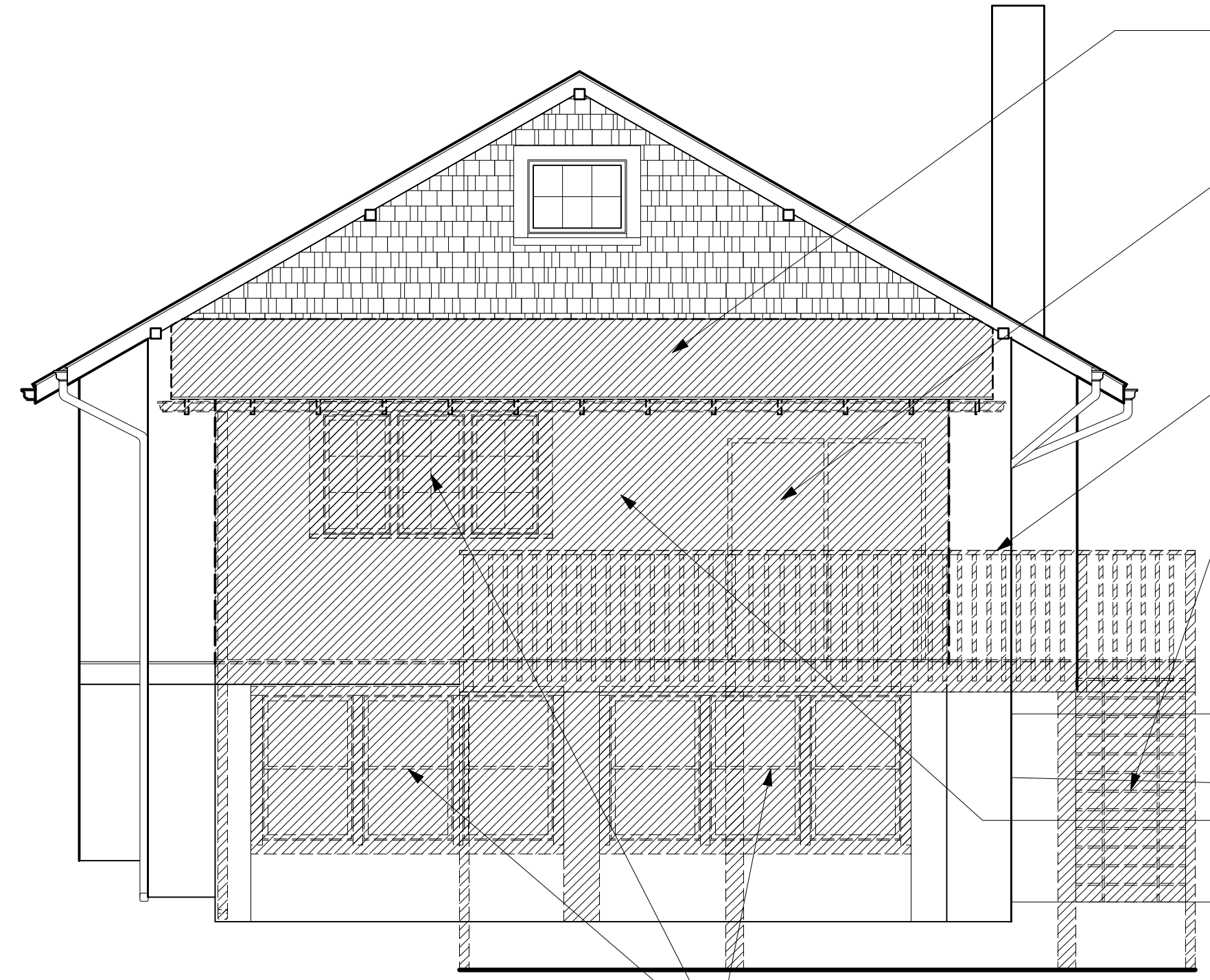
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1 EXISTING FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 SIDE DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"



3 REAR DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"



4 SIDE DEMOLITION ELEVATION
Scale: 1/4" = 1'-0"



HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912
Project # 2307

19 JUNE 2023 - PROGRESS SET

DEMOLITION ELEVATIONS

D200

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____ EXPIRATION DATE: _____

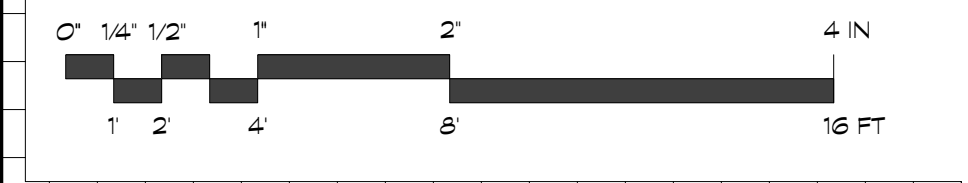
© 2023 Bennett Frank McCarthy Architects, Inc.



1 PROPOSED REAR ELEVATION
Scale: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
Scale: 1/4" = 1'-0"



HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912
Project # 2307

19 JUNE 2023 - PROGRESS SET

ELEVATIONS

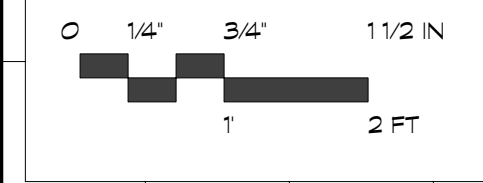
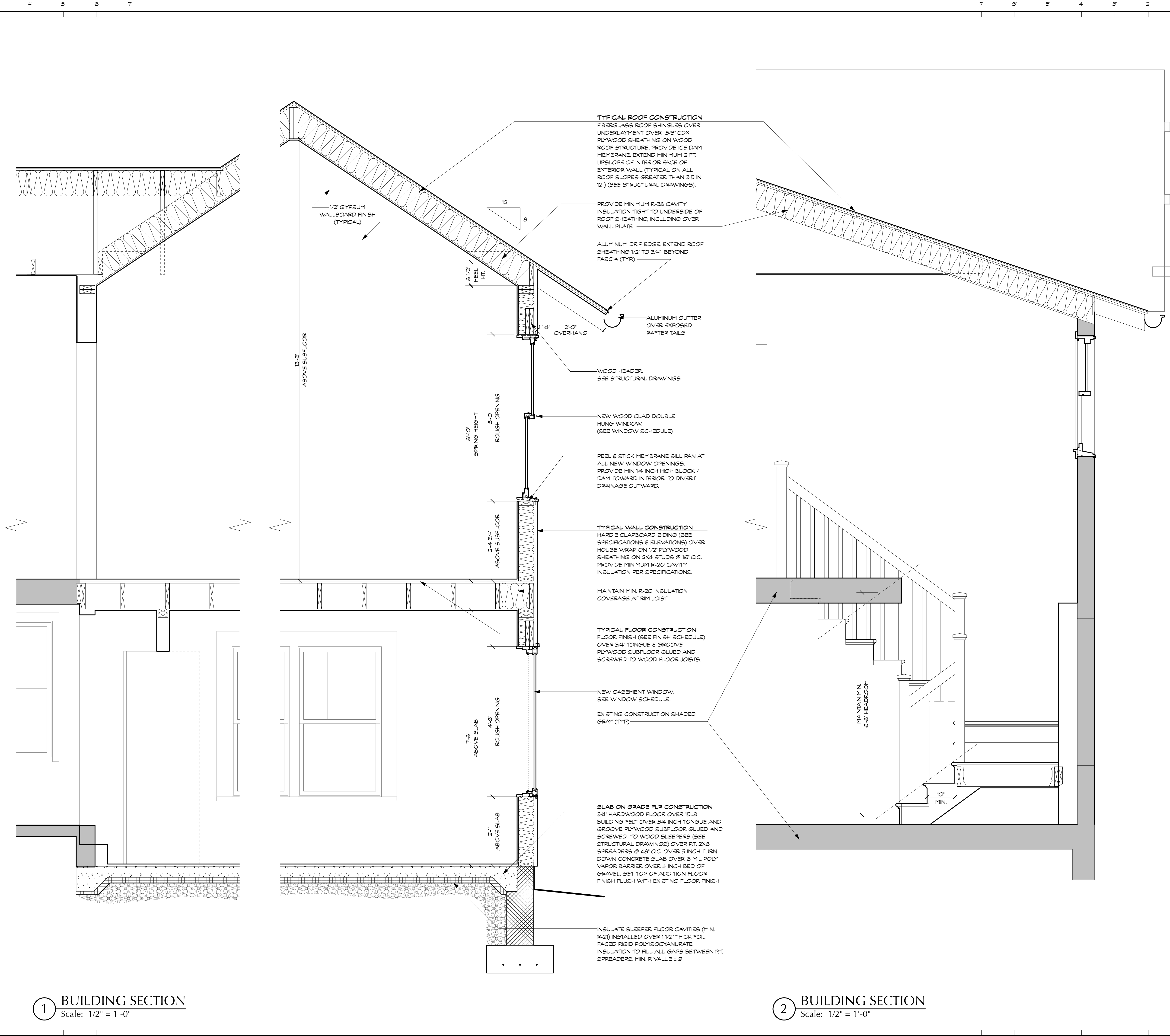
A200

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____ EXPIRATION DATE: _____

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1 BUILDING SECTION
Scale: 1/2" = 1'-0"

2 BUILDING SECTION
Scale: 1/2" = 1'-0"

HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912
Project # 2307

19 JUNE 2023 - PROGRESS SET

WALL SECTIONS

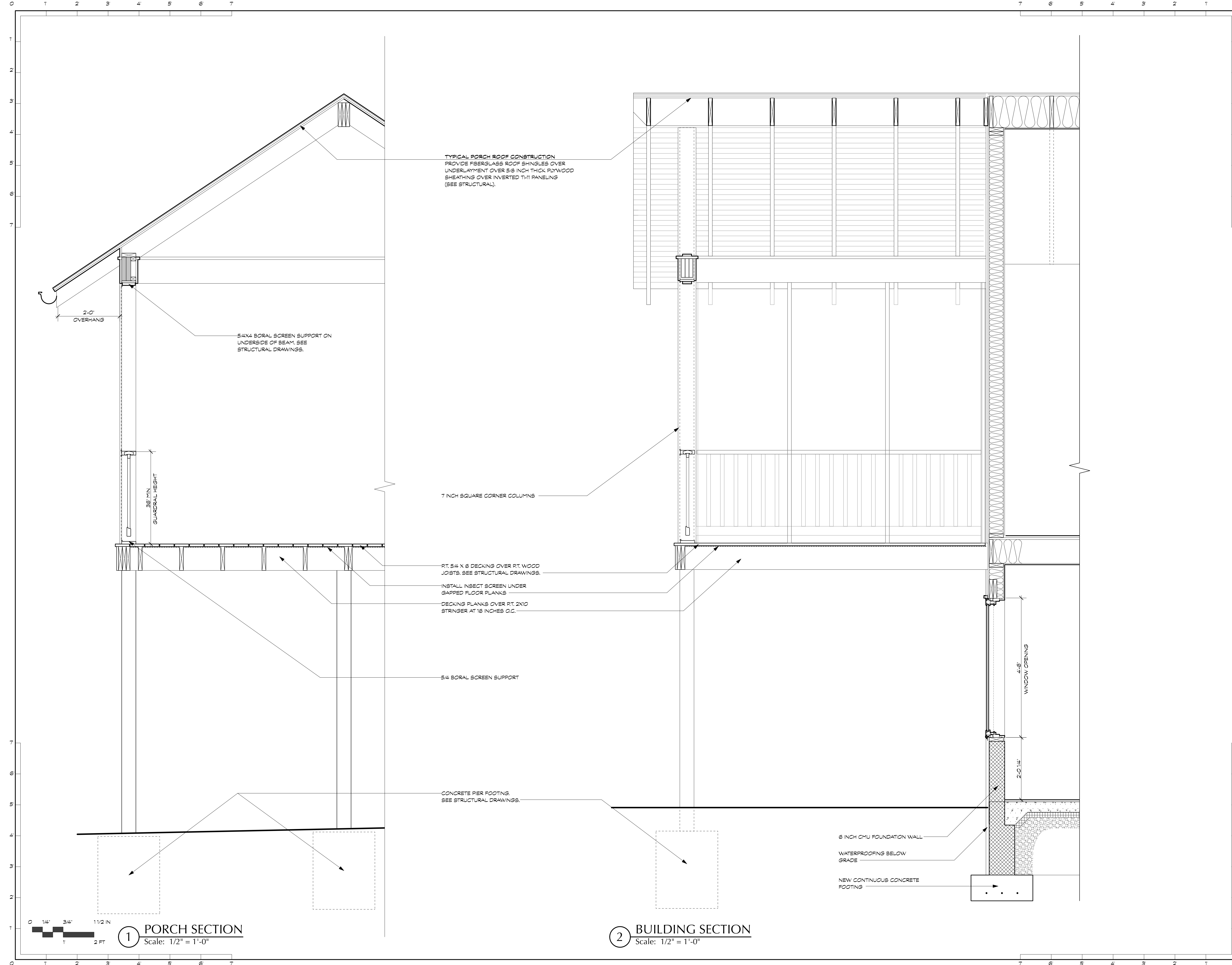
A301

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____ EXPIRATION DATE: _____

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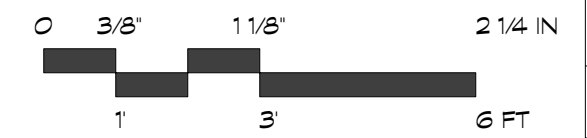
HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912
Project # 2307

19 JUNE 2023 - PROGRESS SET

PORCH SECTIONS

A302

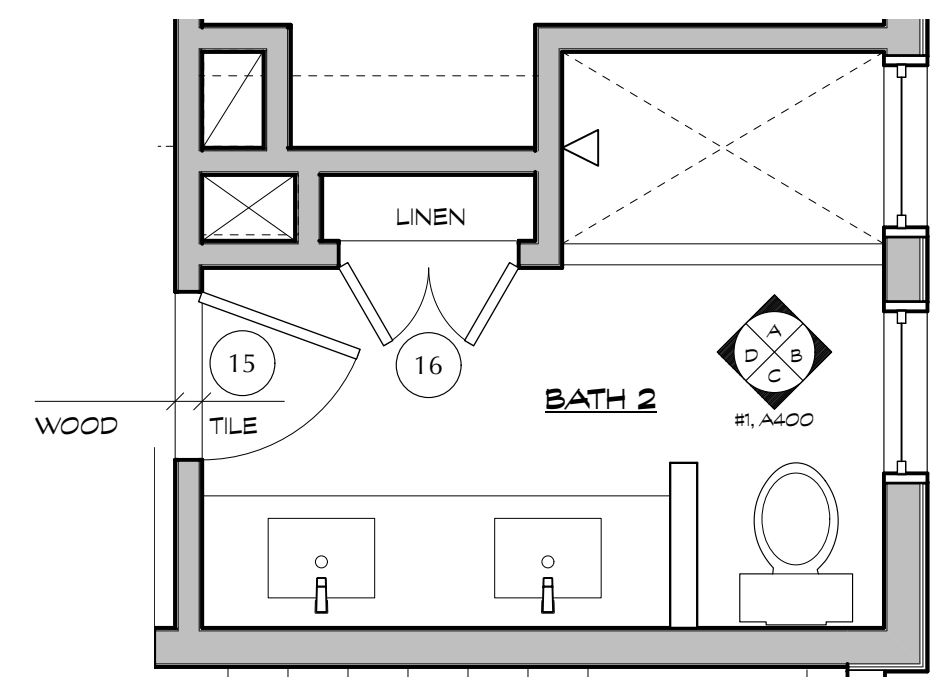


DATE	ISSUE - REMARKS

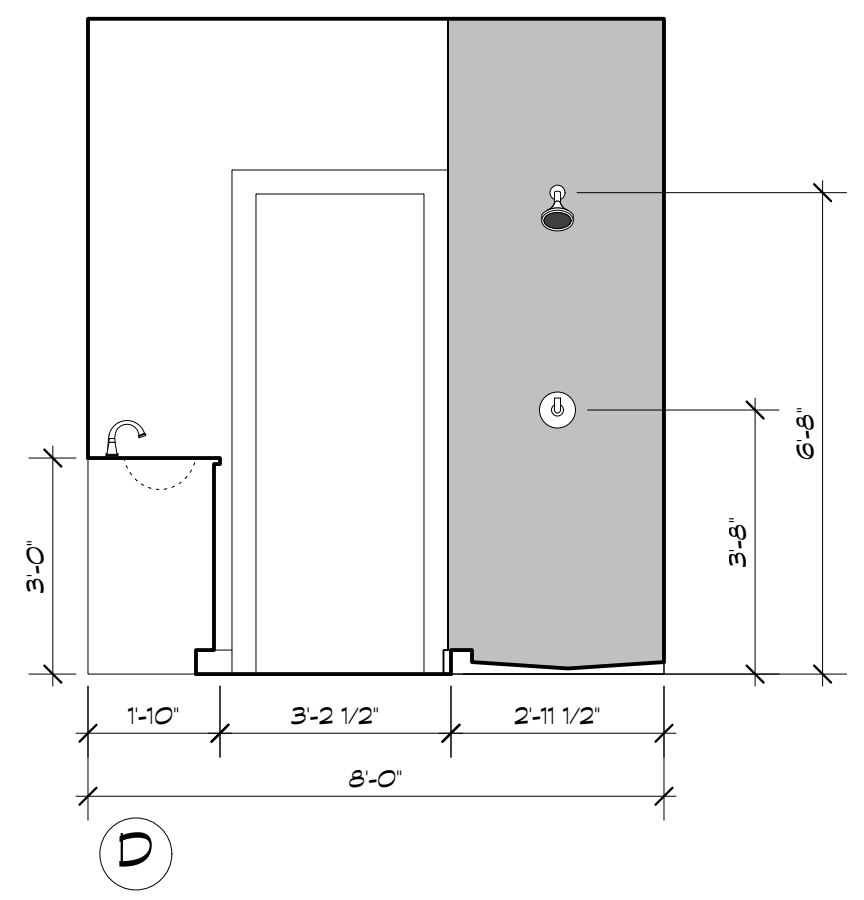
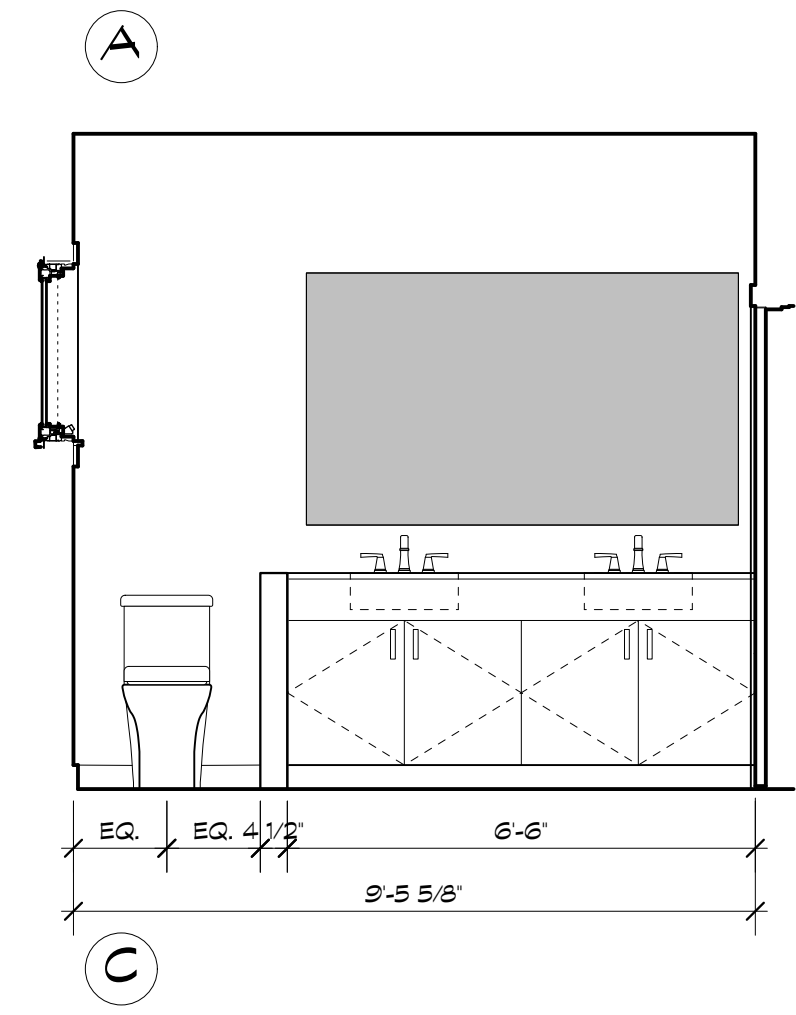
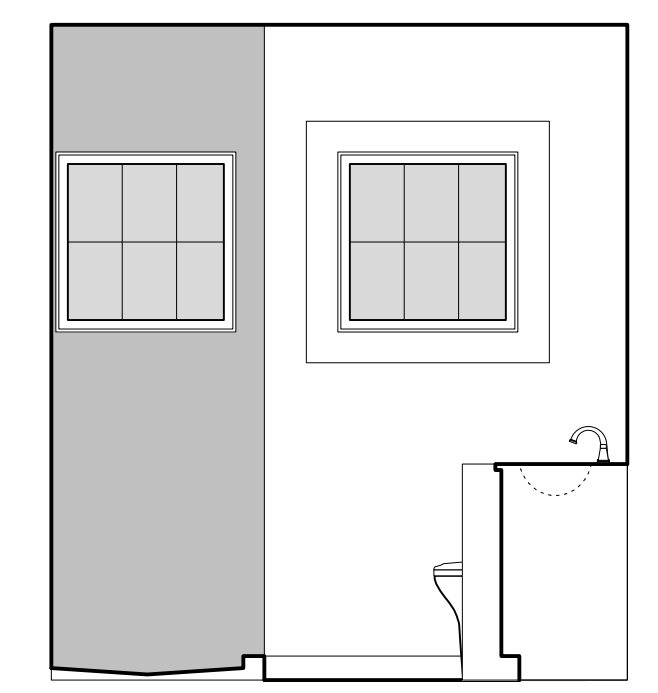
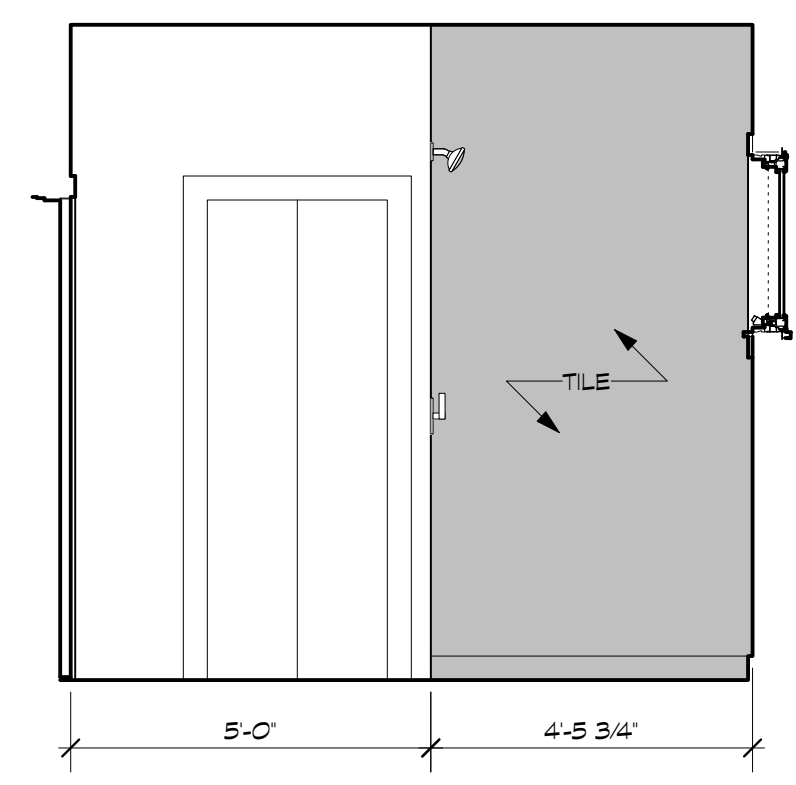
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____ EXPIRATION DATE: _____

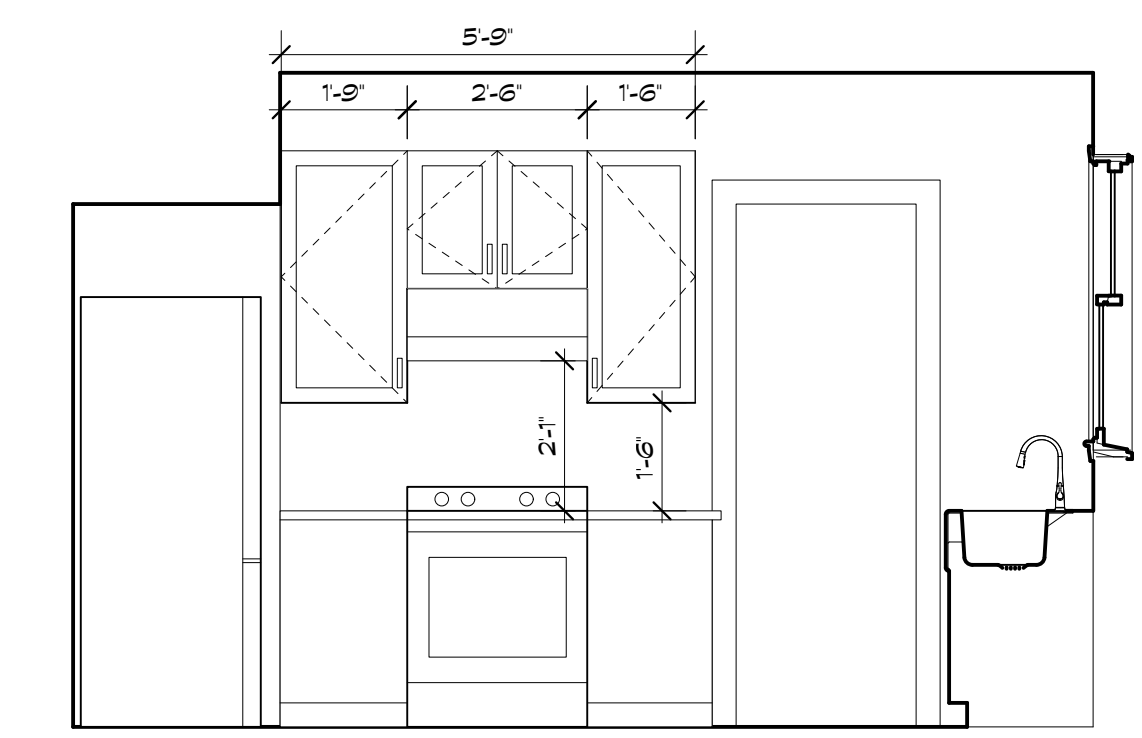
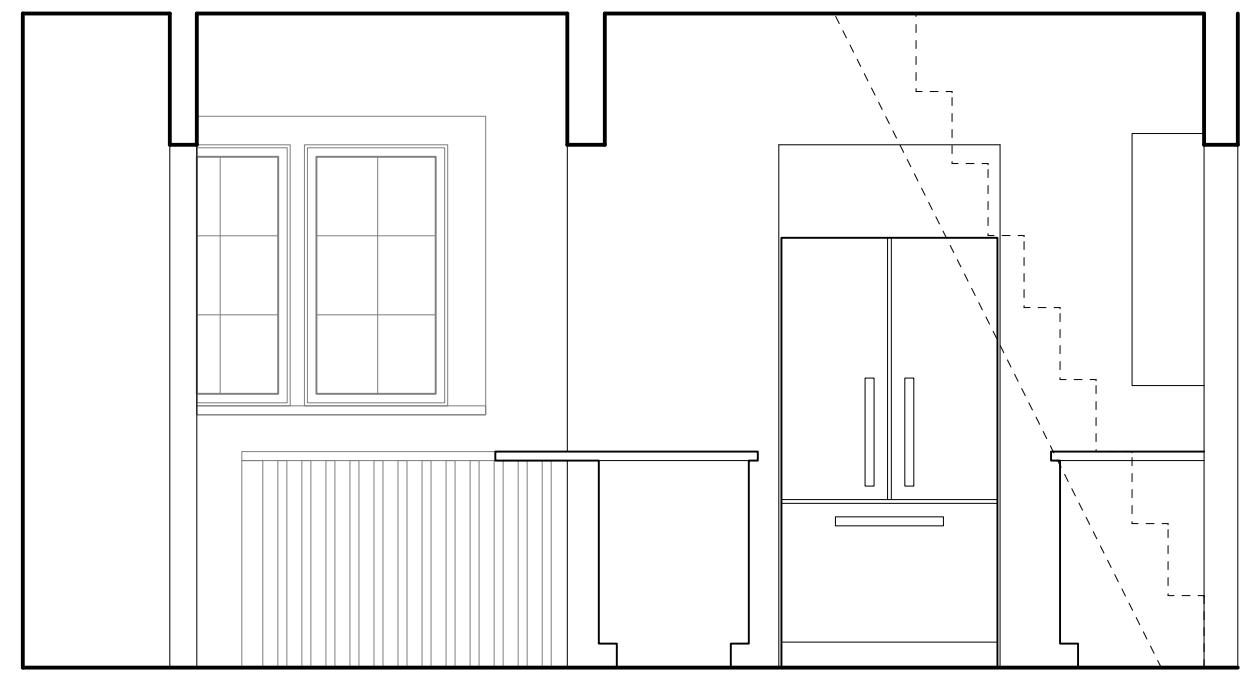
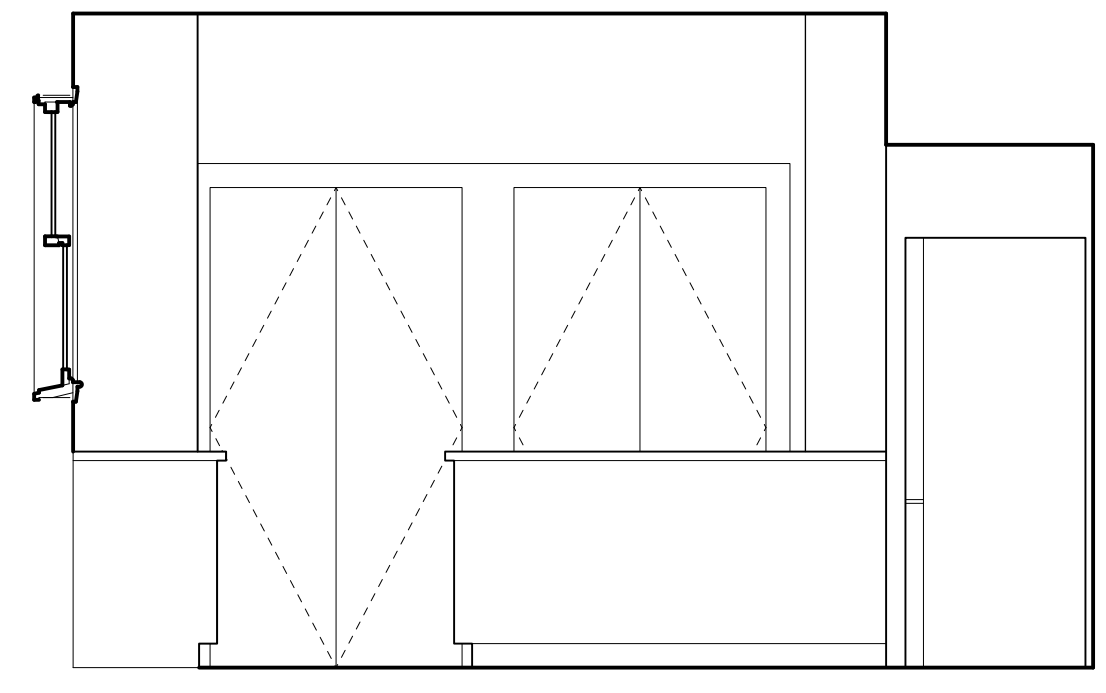
© 2023 Bennett Frank McCarthy Architects, Inc.



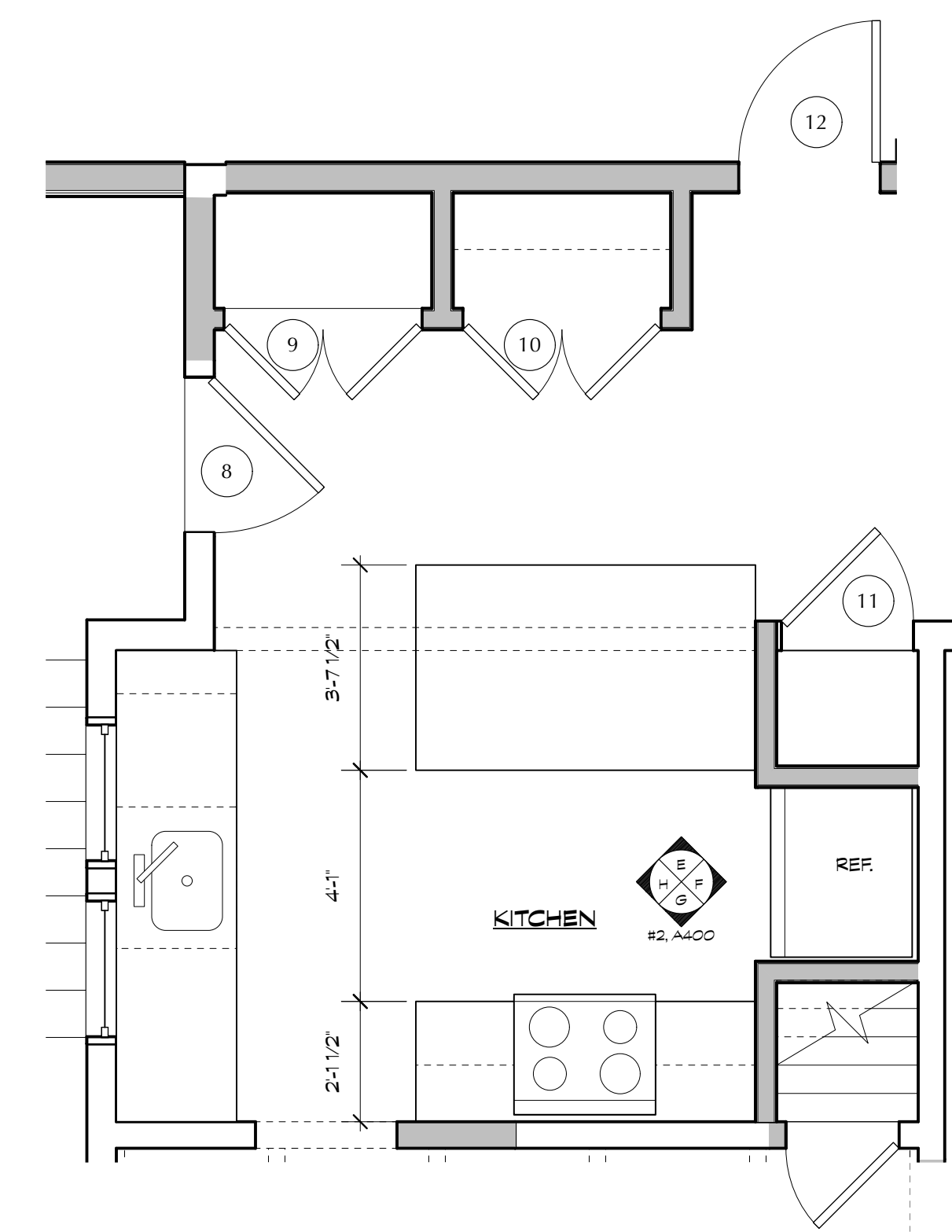
2 BATHROOM PLAN (DIMENSIONS ARE TO FRAMING)
Scale: 3/8" = 1'-0"



1 BATHROOM ELEVATIONS (DIMENSIONS ARE TO FINISHES)
Scale: 3/8" = 1'-0"



3 KITCHEN ELEVATIONS (DIMENSIONS ARE TO FINISHES)
Scale: 3/8" = 1'-0"



4 KITCHEN PLAN (DIMENSIONS ARE TO FRAMING)
Scale: 3/8" = 1'-0"

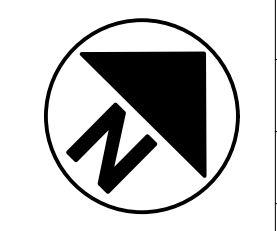
HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912
Project # 2307

19 JUNE 2023 - PROGRESS SET

INTERIOR ELEVATIONS

A400

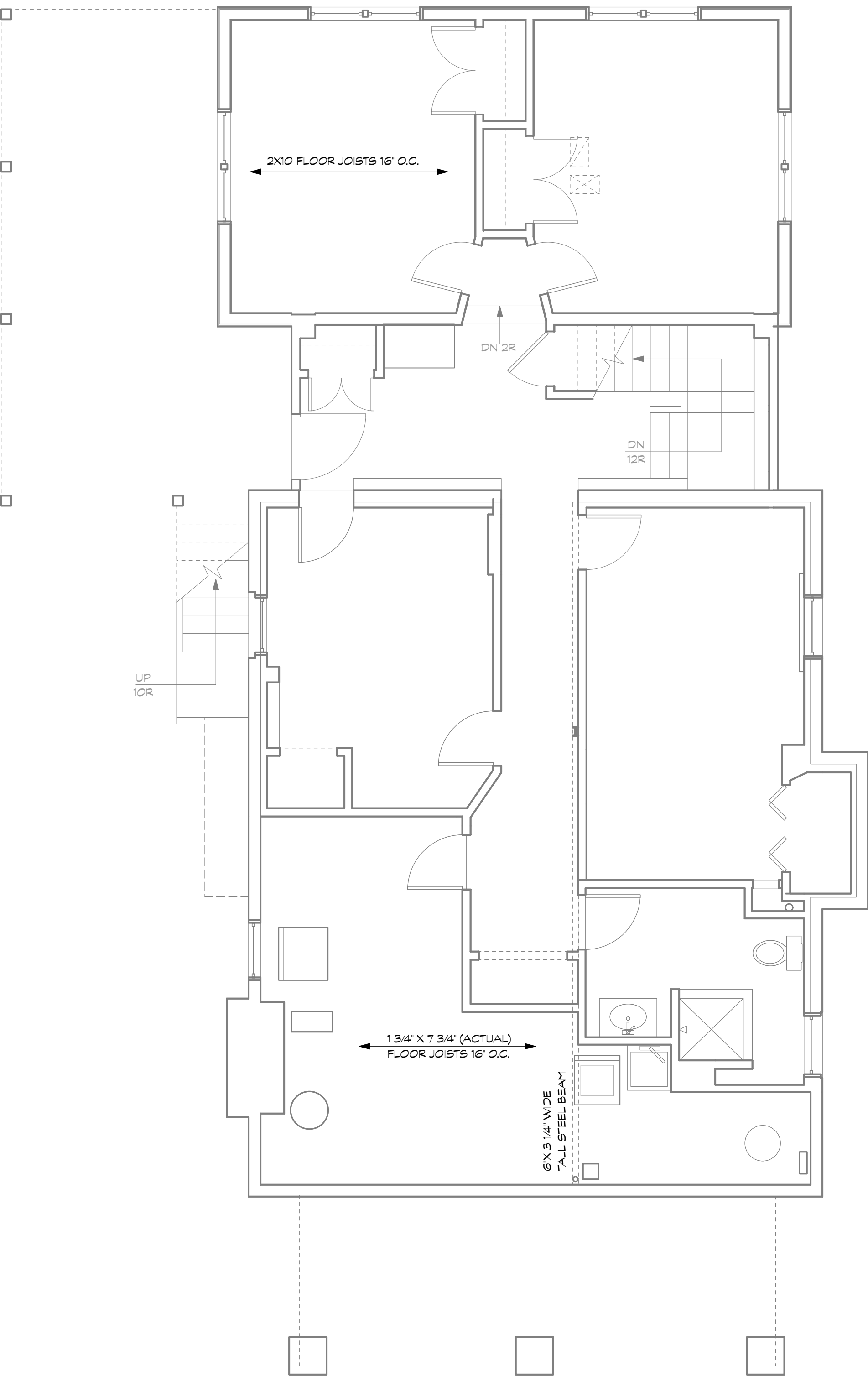


DATE	ISSUE - REMARKS

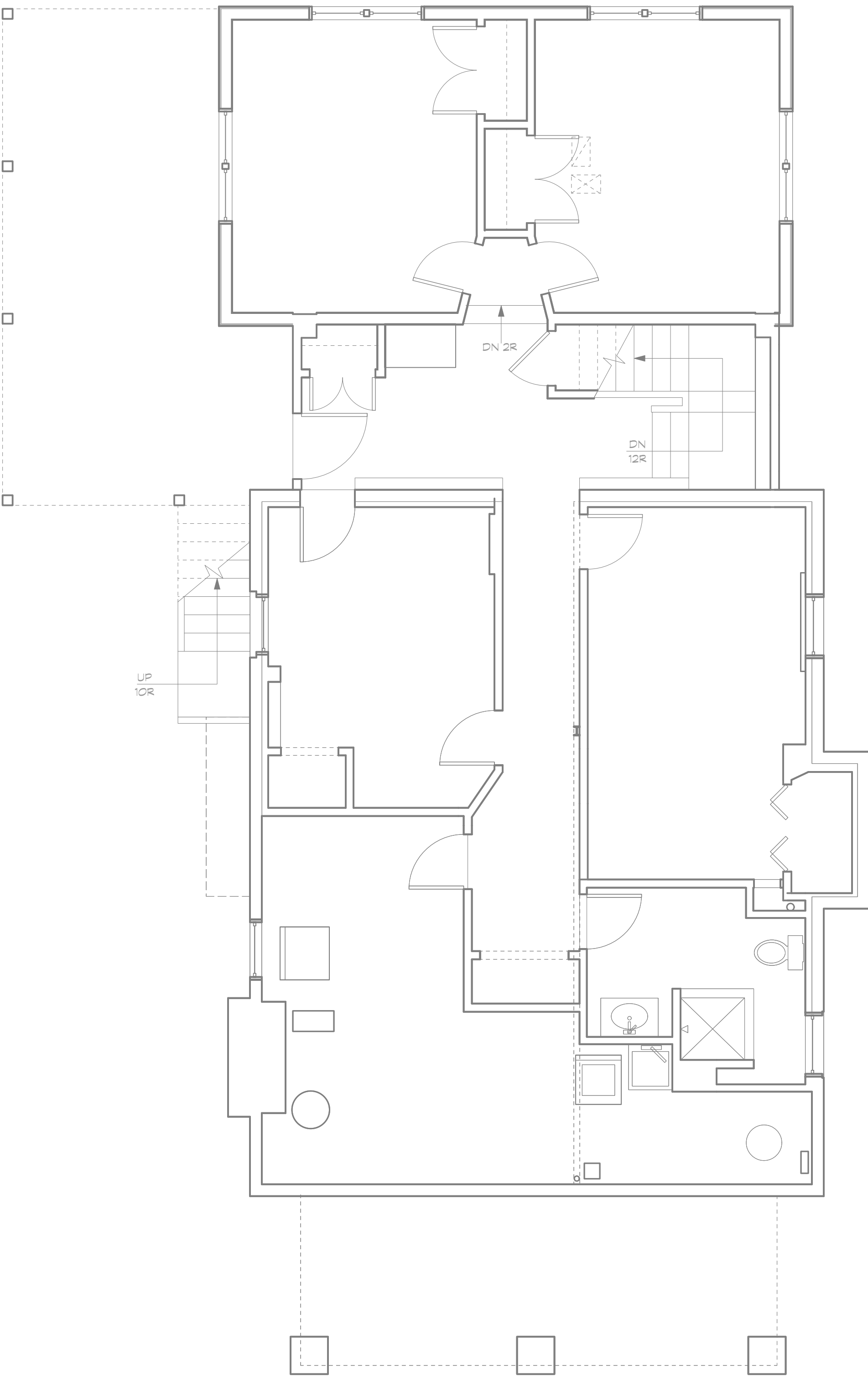
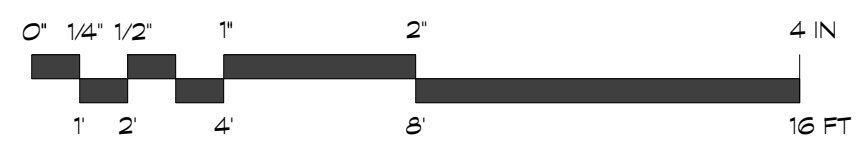
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED STRUCTURAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: _____ EXPIRATION DATE: _____

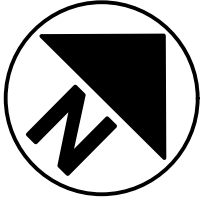
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1 FOUNDATION PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"



HEATH-LANGLAIS ADDITION

7338 Carroll Ave., Takoma Park, MD 20912
Project # 2307

FOUNDATION & FIRST FLOOR FRAMING PLANS

S100

19 JUNE 2023 - PROGRESS SET

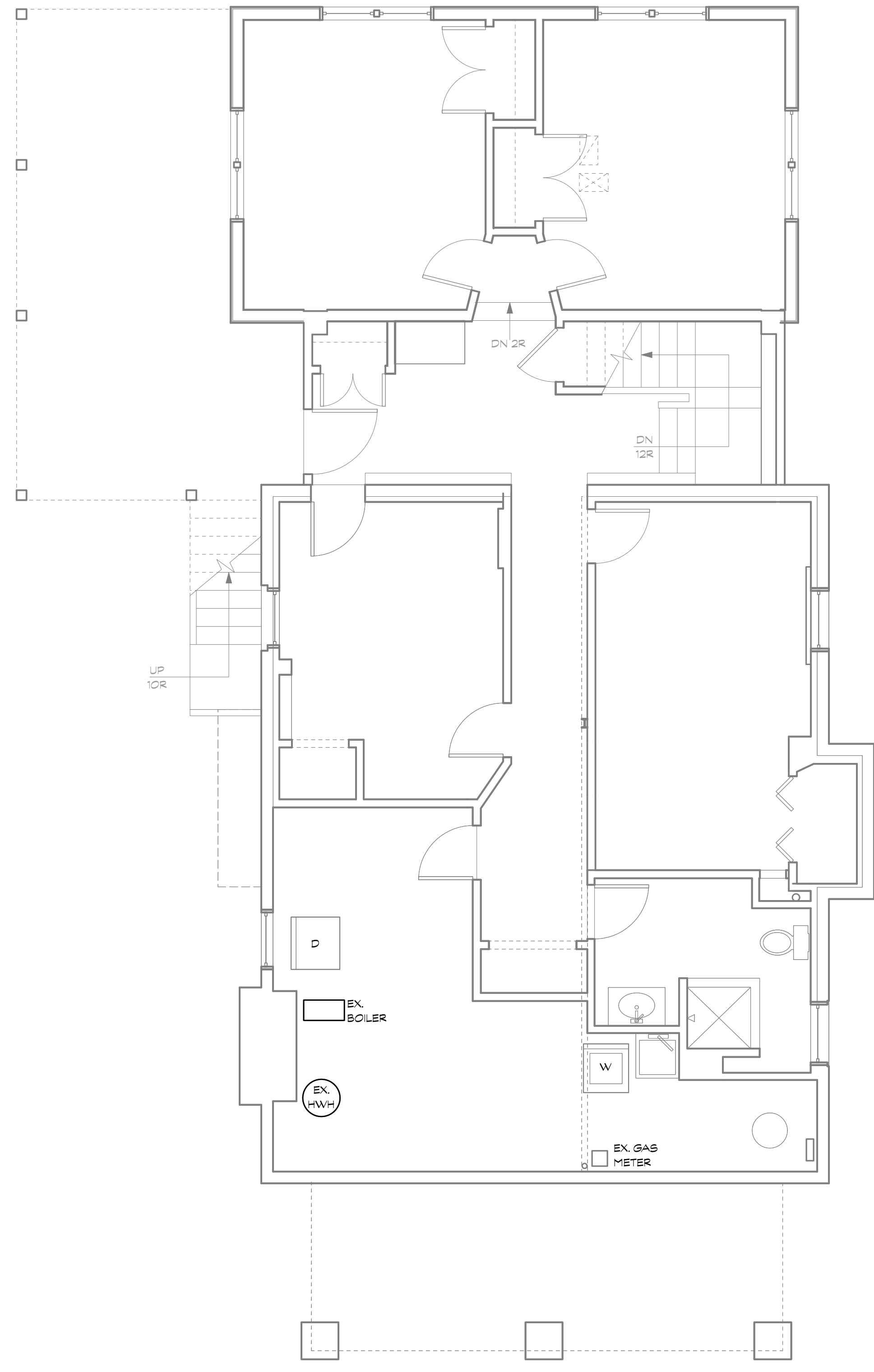
DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

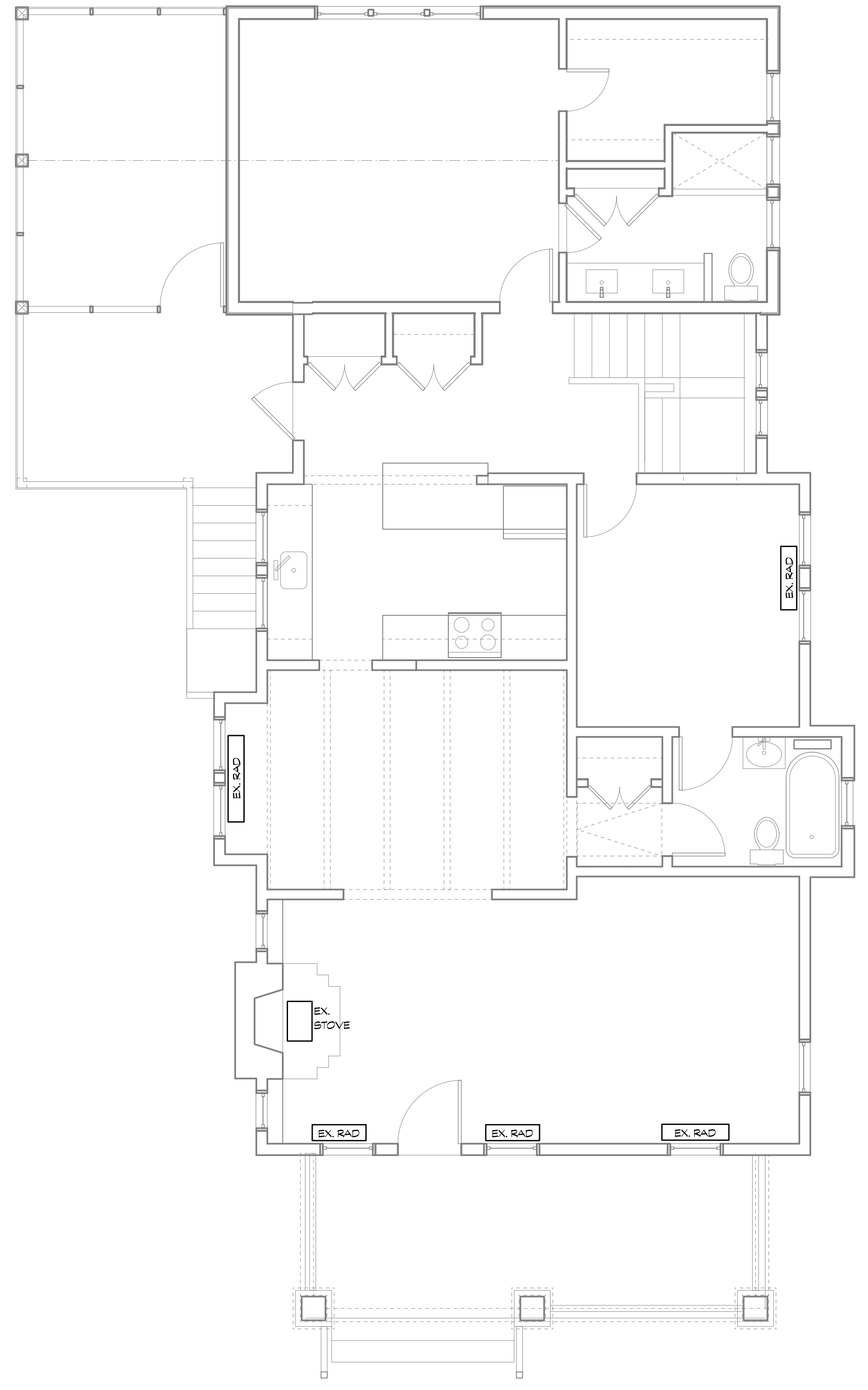
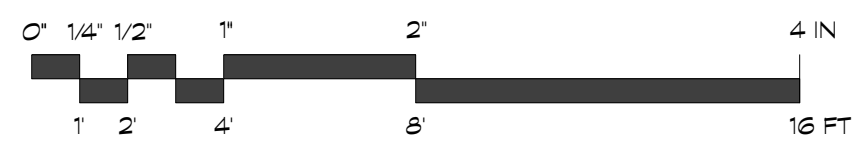
LICENSE #: _____ EXPIRATION DATE: _____

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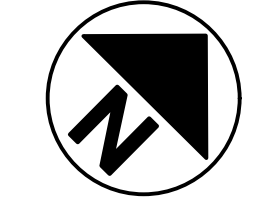
MECHANICAL CONSULTANT
Ron Gallant, Gallant Mechanical
13001 Cleveland Drive
Rockville, Maryland 20850 (240) 750-4988



1 CELLAR MECHANICAL PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR MECHANICAL PLAN
Scale: 1/4" = 1'-0"



HEATH-LANGLAIS ADDITION
7338 Carroll Ave., Takoma Park, MD 20912
Project # 2307

MECHANICAL / PLUMBING
MP100

19 JUNE 2023 - PROGRESS SET

DATE	ISSUE - REMARKS

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LICENSE #: _____ EXPIRATION DATE: _____

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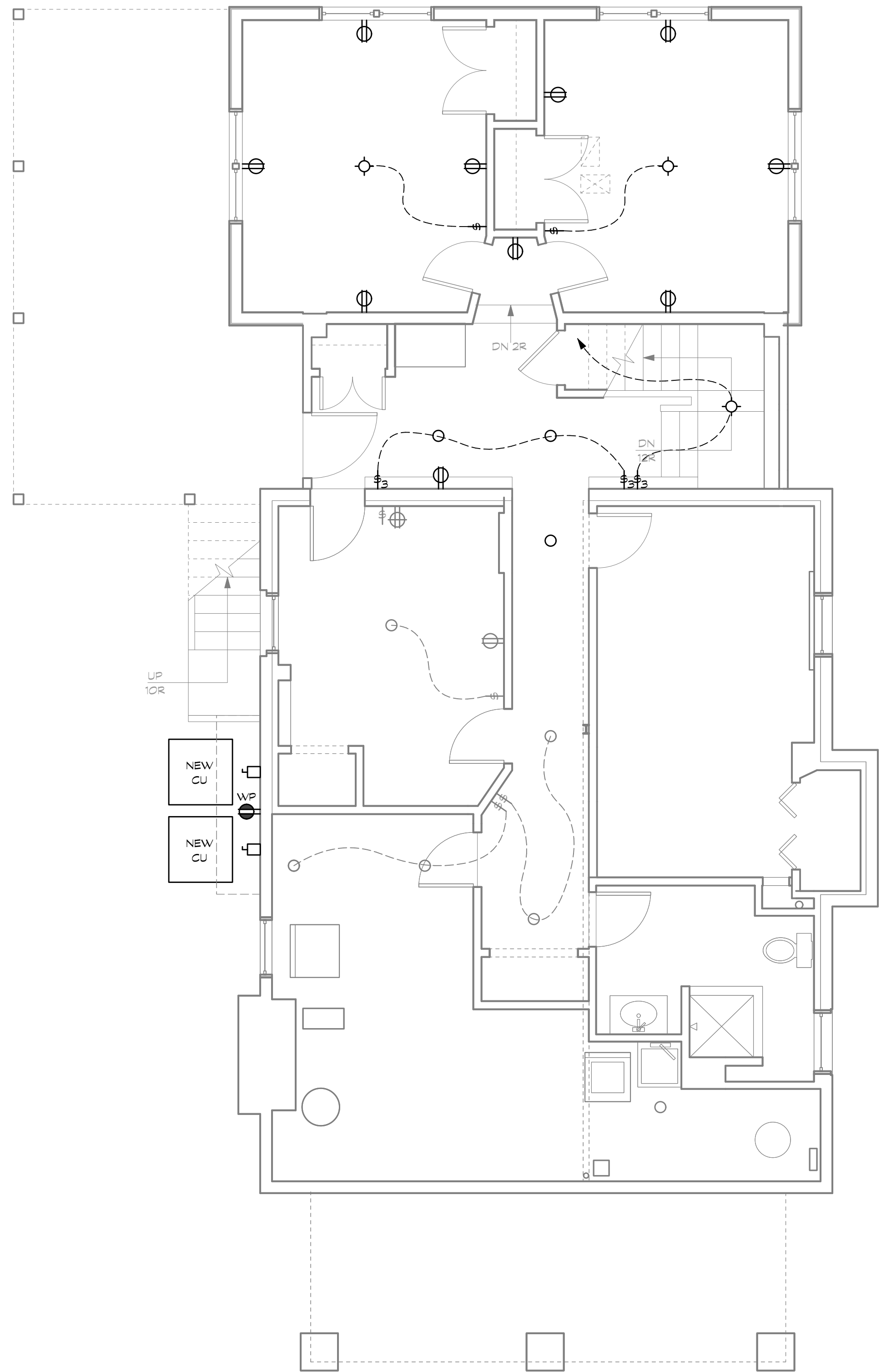
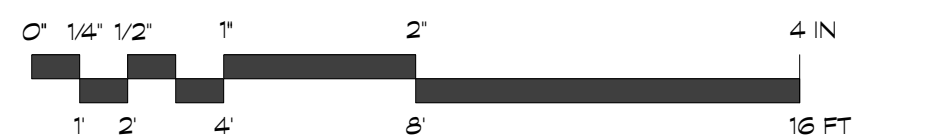
ELECTRICAL SYMBOLS

	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18" A.F.F. COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45° AFF. COORDINATE W/ PANEL & EQUIP.
	GFI OUTLET - 20 AMP @ 18" A.F.F.
	GFI OUTLET - 20 AMP @ 45° A.F.F.
	HALF-SWITCH OUTLET - 20 AMP @ 18" A.F.F.
	QUAD RECEPTACLE 15/20 AMP @ 18" A.F.F. (U.N.O.)
	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
	JUNCTION BOX - SIZE AS REQUIRED
	ELECTRIC DRYER RECEPTACLE
	DATA/TELEPHONE JACK - MOUNT @ 18" A.F.F. (U.N.O.)
	CABLE TV OUTLET
	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
	SMOKE DETECTOR - HARDWIRED INTERCONNECT PER CODE
	EXHAUST FAN-CEILING MOUNTED
	EXHAUST FAN-WALL MOUNTED

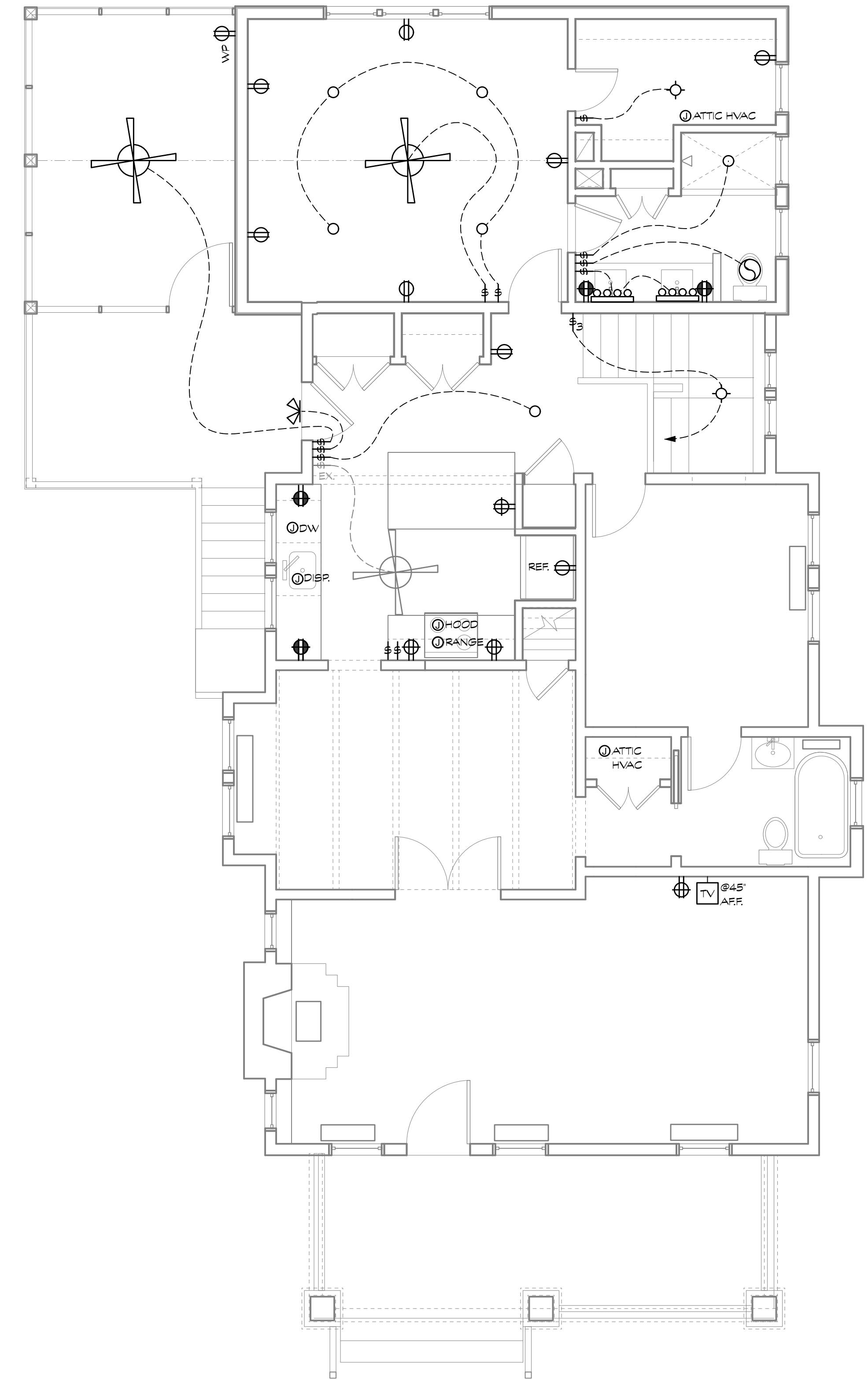
LIGHTING SYMBOLS

	SURFACE MOUNTED CEILING LIGHT FIXTURE
	FULLY RECESSED LED LIGHT
	UNDER CABINET MOUNTED FIXTURE
	SUSPENDED PENDANT FIXTURE
	FULLY RECESSED INCANDESCENT WALL WASH LIGHT - MOUNT 2'-0" FROM WALL U.N.O.
	PENDANT FIXTURE
	VANITY LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	SCONCE FIXTURE
	CEILING FAN/LIGHT
	LED LIGHT FIXTURE
	SWITCH
	THREE WAY SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

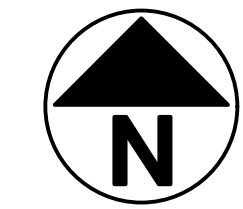
GENERAL: PROVIDE I.C. HOUSING AS NECESSARY IN INSULATED CAVITIES



1 CELLAR ELECTRICAL PLAN
Scale: 1/4" = 1'-0"



2 FIRST FLOOR ELECTRICAL PLAN
Scale: 1/4" = 1'-0"



HEATH-LANGLAIS ADDITION
7338 Carroll Ave., Takoma Park, MD 20912
Project # 2307

CELLAR & FIRST FLOOR ELECTRICAL

E100

19 JUNE 2023 - PROGRESS SET

Existing Property Condition Photographs (duplicate as needed)



Detail: 7338 CARROLL AVE



Detail: 7338 CARROLL AVE

Existing Property Condition Photographs (duplicate as needed)



Detail: 7338 CARROLL AVE - SOUTHWEST SIDE



Detail: 7338 CARROLL AVE - WESTERN REAR CORNER

Existing Property Condition Photographs (duplicate as needed)



Detail: 7338 CARROLL AVE- BASEMENT REAR



Detail: 7338 CARROLL AVE, REAR

Existing Property Condition Photographs (duplicate as needed)



Detail: 7338 CARROLL REAR (TREE HAS BEEN REMOVED)



Detail: 7338 CARROLL NORTHERN REAR CORNER

Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 7340 CARROLL AVE



Detail: CONTEXT: 7342 CARROLL AVE

Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 7327 CARROLL AVE



Detail: CONTEXT: 7329 CARROLL AVE

Existing Property Condition Photographs (duplicate as needed)



Detail: CONTEXT: 7331 CARROLL AVE



Detail: CONTEXT: 7336 CARROLL AVE