

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	3947 Baltimore St., Kensington	<b>Meeting Date:</b>	6/14/2023
<b>Resource:</b>	Primary One Resource <b>Kensington Historic District</b>	<b>Report Date:</b>	6/7/2023
<b>Applicant:</b>	Franco Construction, LLC	<b>Public Notice:</b>	5/31/2023
<b>Review:</b>	HAWP	<b>Staff:</b>	Dan Bruechert
<b>Case No:</b>	1032242	<b>Tax Credit:</b>	n/a
<b>PROPOSAL:</b>	Fenestration Alteration		

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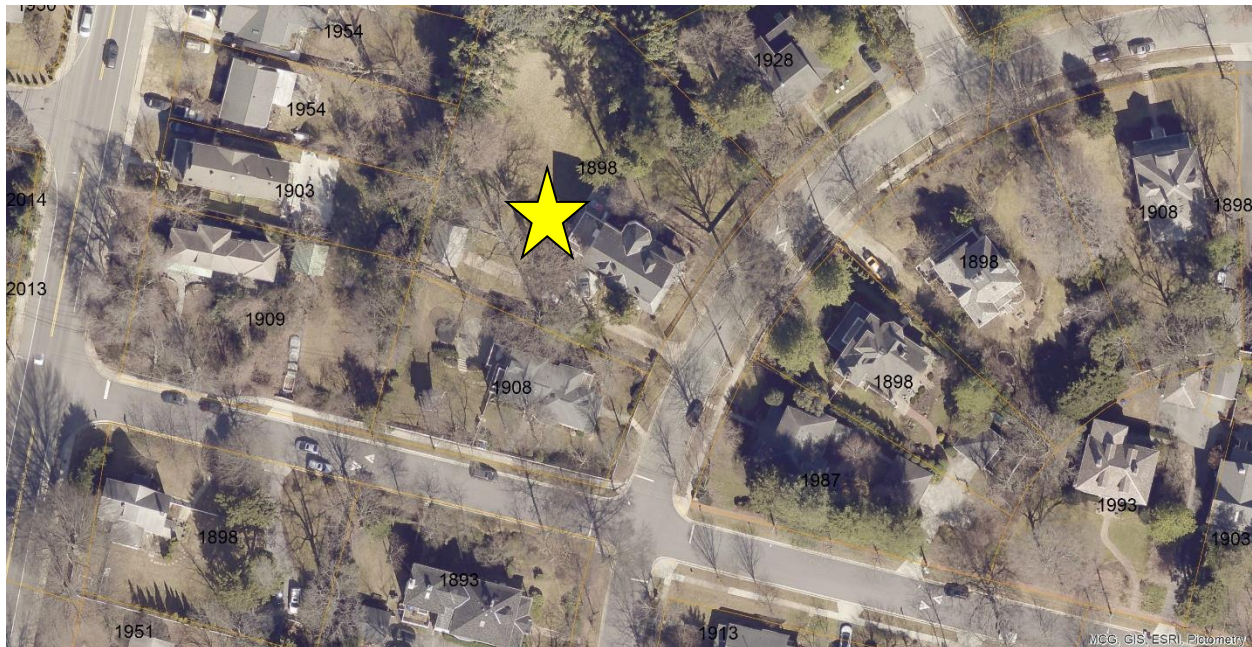
**STAFF RECOMMENDATION**

Staff recommends the HPC **approve** the HAWP application **with one (1) condition:**

1. The proposed windows and doors need to be either Andersen “full divided lights” or an appropriately detailed clad window with permanently affixed exterior and interior grilles and a spacer bar between the glass. Final approval authority to ensure conformance with this condition is delegated to Staff.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Primary One Resource within the Kensington Historic District  
**STYLE:** Colonial Revival/Queen Anne  
**DATE:** 1898



*Figure 1: The subject property is on a wedge-shaped lot at the edge of the historic district.*

**PROPOSAL**

The applicant proposes to revise the fenestration at the rear of the house.

**APPLICABLE GUIDELINES*****Kensington Historic District Guidelines***

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6***

"In regard to the properties identified as secondary resources--that is visually contributing, but non-historic structures or vacant land within the Kensington District--the Ordinance requires the Preservation Commission to be lenient in its judgment of plans for contemporary structures or for plans involving new construction unless such plans would seriously impair the historic or architectural value of surrounding resources or impair the character of the district."

***Vision of Kensington: A Long-Range Preservation Plan***

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

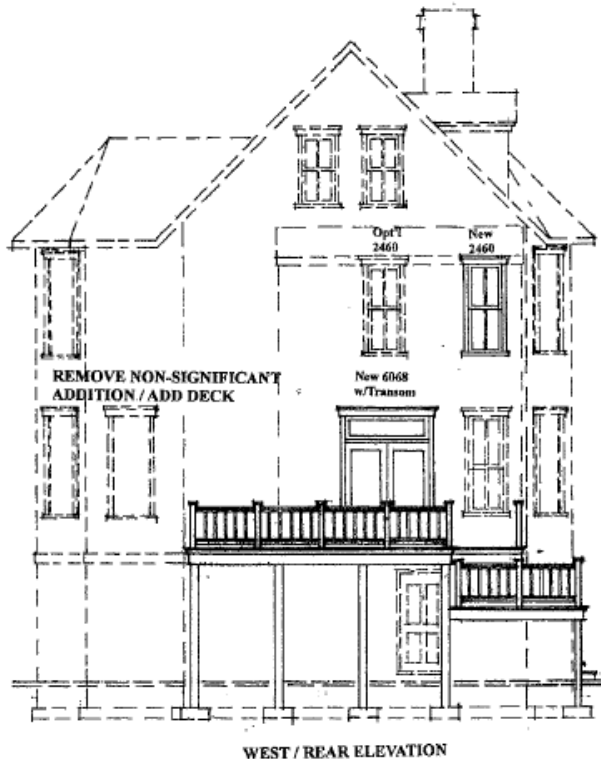
***Secretary of the Interior’s Standards for Rehabilitation:***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject property is a clapboard sided-house with a front gable roof and Queen Anne and Colonial Revival elements. In 2018, the HPC approved a HAWP to demolish the sleeping porch at the rear, construct a deck, and alter the rear fenestration. The porch was removed, but the fenestration was not changed. The 2018 HAWP has not been digitized. The applicant proposes to alter two openings on the rear elevation of the subject property.

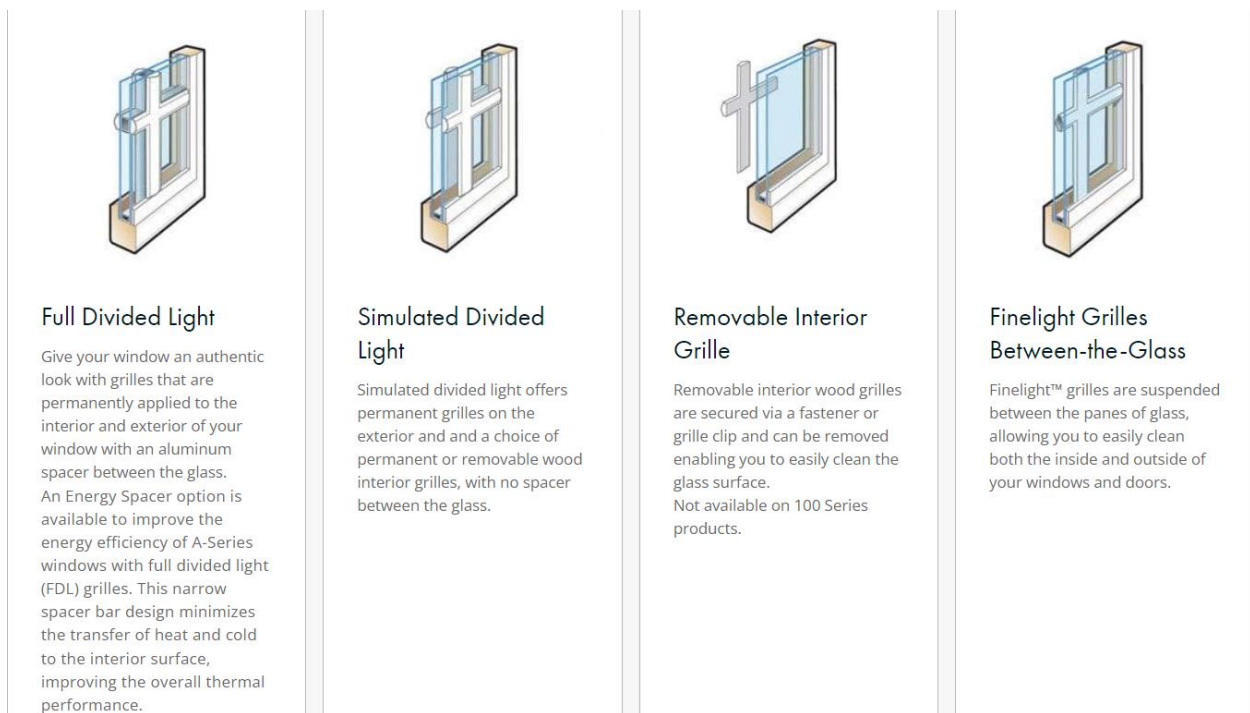


*Figure 2: 2018 approved HAWP to change the rear fenestration and install a deck.*

On the ground floor, the applicant proposes to remove a window and door and install a pair of fifteen-light Andersen 400 Series Woodwright doors with a transom. On the second story, the applicant proposes to remove a door and replace it with a two-over-two Andersen 400 Series Woodwright sash window. The second-story door historically provided access to the sleeping porch. The 400 Series windows and doors

are wood clad with “Fibrex” composite exterior. Fibrex is made with wood fibers and a thermoplastic polymer. All proposed siding and trim will match the existing in materials, dimensions, and appearance.

Staff finds the proposed changes will not have a significant impact on the character of the house or surrounding district. While the openings appear to be historic, removing the sleeping porch and constructing the existing deck (also approved in 2018) have changed how the rear of the house is used. Staff finds the HPC has approved the Andersen 400 Series windows on additions and new construction but has not approved their use in replacing historic windows. In this instance, however, Staff finds they are appropriate. This is primarily because these windows have been obscured by the sleeping porch for virtually all of their history. Additionally, the rear elevation is granted greater leniency because these changes are not visible from the public right-of-way. While Staff supports the Andersen 400 Series window in this application, Staff recommends the HPC add a condition to the approval of this HAWP. The application materials state the proposed windows and doors will be simulated divided light. “Simulated divided Light” has a specific definition for Andersen windows and doors, a permanently affixed exterior grille, and a permanently affixed (or removable) interior grille with no spacer bar. The HPC typically requires all divided light replacement windows to have permanently affixed interior and exterior grilles with a spacer bar between the glass. These features create an appearance closest to a traditionally constructed simulated divided light window. Andersen calls that configuration a “Full Divided Light.” Staff recommends the HPC-approved window is either an Andersen “full divided light” or a window that has permanently affixed exterior and interior grilles and a spacer bar between the glass.



*Figure 3: Andersen grille types – the application is for a “Simulated Divided Light” and Staff recommends the HPC condition the approval for a “Full Divided Light.”.*

### **STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve with one (1) condition** the HAWP application;

1. The proposed windows and doors need to be either Andersen “full divided lights” or an appropriately detailed clad window with permanently affixed exterior and interior grilles and a spacer bar between the glass. Final approval authority to ensure conformance with this condition

is delegated to Staff;  
under the Criteria for Issuance in Chapter 24A-8(b)(2) and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.