

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7310 Maple Avenue, Takoma Park	Meeting Date:	6/14/2023
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	6/7/2023
Applicant:	Justin & Catherine Ramsdell (Richard J. Vitello – Architect)	Public Notice:	5/31/2023
Review:	HAWP	Tax Credit:	N/A
		Staff:	John Liebertz

Permit Number: 1031400

PROPOSAL: New accessory building, fence, and hardscape alterations.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with four (4) conditions** the HAWP application with final approval of all details delegated to staff:

1. The applicant shall submit all material specifications for the accessory building as outlined by staff on page 5 of this report.
2. The applicant shall submit all details and material specifications for the stone patio, concrete stairs, and drain bed as outlined in page 5 of this report.
3. The applicant shall submit all details and material specifications for the wood privacy fence as outlined in page 6 of this report.
4. The applicant shall submit a Tree Impact Assessment to the City of Takoma Park, forward the response to staff, and follow all recommendations and requirements of the urban forester.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Colonial Revival
DATE: ca. 1887-1888

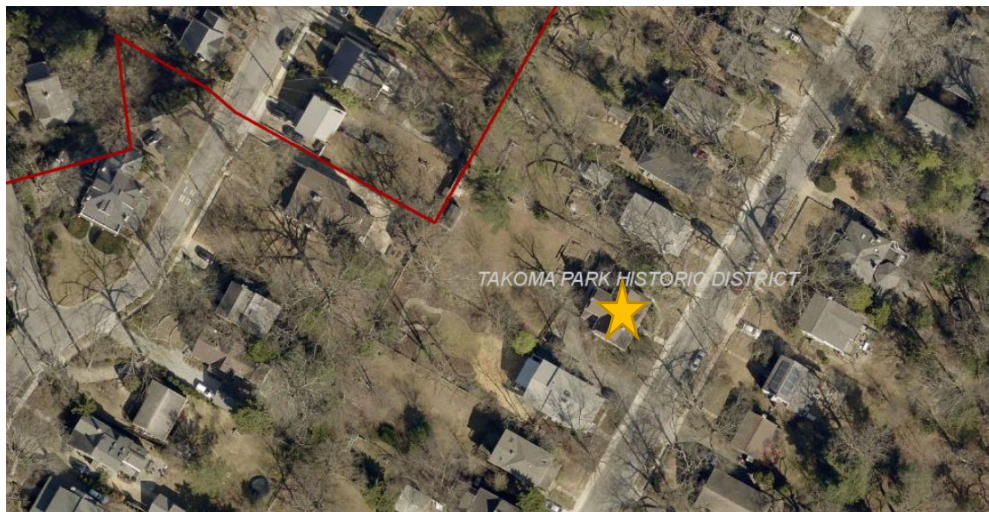


Figure 1: The subject property is located on the west side of Maple Avenue. The house is noted by the yellow star and the red line is the boundary of the Takoma Park Master Plan Historic District.

PROPOSAL

The applicant proposes to: 1) construct a one-and-a-half-story accessory building in the rear yard of the property; 2) demolish the existing brick patio and sections of the wood picket fence to the rear of the house; 3) install a new stone patio that connects the house to the proposed accessory building; and 4) install a new board-on-board privacy fence.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of the buildings in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these buildings may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. They are important to the overall character of the district and the streetscape due to their size, scale, and architectural qualities, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The following guidance which pertains to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Some non-original building materials may be acceptable on a case-by-case basis.

- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a Contributing Resource to the Takoma Park Historic District and features a two-and-a-half-story house constructed ca. 1887-1888. In the mid-twentieth century, the former property owners highly altered the Victorian-era dwelling to its current Colonial Revival appearance (*Figure 2*). When comparing the Sanborn Fire Insurance Map to the building's current form, this alteration likely included the removal of the one-story front porch, extension of the building towards the street, and application of the Colonial Revival elements (*Figure 2*). The Sanborn Fire Insurance Maps, however, depict a no longer extant, one-story, automobile garage (approximately 20' x 20') near the location of the

proposed accessory building (*Figure 3*). It is unknown when this garage was demolished. There are no relevant Historic Area Work Permits (HAWP) approved for the property.¹



Figure 2: View of the façade of 7310 Maple Avenue, ca. 1990 (left) and 2023 (center), and 1927 Sanborn Fire Insurance Map (right). The blue rectangle notes the property boundary and the red arrow points to a no longer extant garage near the location for the proposed accessory building.

Source: Montgomery Planning.

Accessory Building – Scale, Form, and Design

Staff finds the design and form of the proposed accessory building to be consistent with the applicable guidelines and recommends approval. The one-and-a-half-story, front-gable building is designed to mimic the appearance of a garage. The proposed 24' (l) x 18' (w) x 20' (h) building is similar in dimensions to the former garage. The wood-frame building rests on a parged CMU or concrete foundation. The walls are clad with cementitious fiberboard lap siding on the first story and cementitious fiberboard shake siding towards the upper gable end. All trim (corner boards, door and window trim, etc.) is constructed of Boral (bio-based polymers and coal-combustion byproducts). The gable roof is clad in asphalt shingles. Fenestration consists of: 1) carriage-style, fiberglass-clad, wood garage doors on the facade; 2) double-leaf, fiberglass-clad, wood doors with a steel railing in the upper-gable end of the facade; 3) single-leaf, fiberglass-clad, wood door on the side elevation; 4) single and paired, one-over-one, double-hung, aluminum-clad, wood windows on the side elevations; and 5) a fixed or casement, single-light (with four-light simulated divided light), aluminum-clad, wood window in the upper gable end of the rear elevation.

The proposed accessory building is compatible with the historic resource and the historic district. The accessory building respects the existing patterns of the streetscape and would be sited in the location of a no longer extant, early-twentieth-century garage of similar dimensions. The setback of the proposed accessory building paired with its height (20') and sloping topography would avoid any potential adverse effects when viewed from Maple Avenue. Furthermore, the proposed design aptly recalls the appearance of a garage with its front-gable form and carriage-style garage doors. The double-leaf doors with a steel railing in the upper gable end of the façade differentiates the building from historic garages in the district, but the design remains compatible with the house and streetscape. For these reasons, the proposed accessory building would not be determinantal to the character of the resource or district.

¹ For more information on the approval of a rear picket fence, see https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640011/Box092/37-3-01C_Takoma%20Park%20Historic%20District_7310%20Maple%20Ave_02-14-2001.pdf.

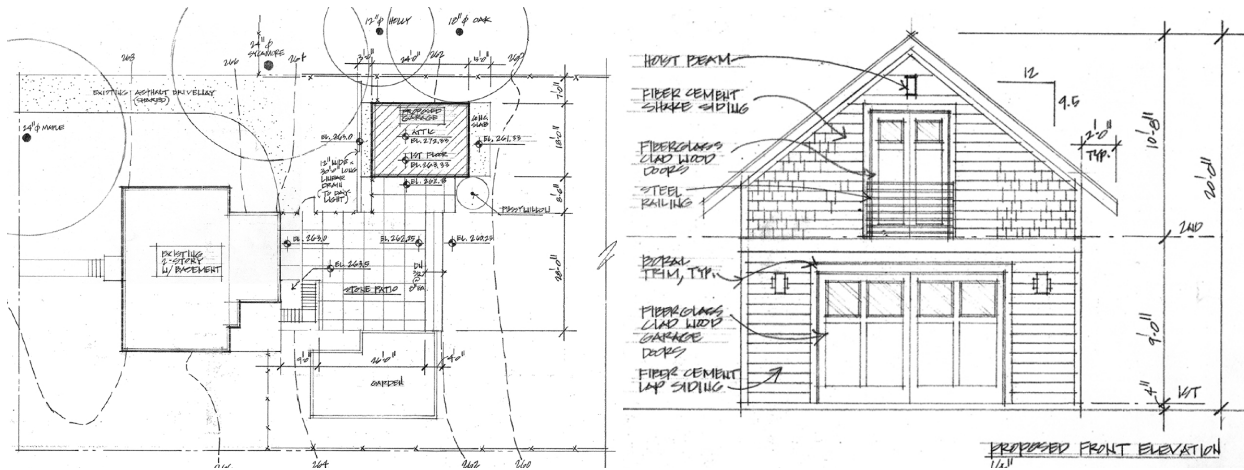


Figure 3: Site plan and front elevation of the proposed accessory building.
 Source: Applicant.

Accessory Building – Materials

Staff finds the materials of the proposed accessory building to be consistent with the applicable guidelines and recommends approval with conditions. The use of substitute materials (such as cementitious fiberboard and Boral trim) and aluminum-clad windows and doors is appropriate on new construction within the Takoma Park Master Plan Historic District. Staff, however, requests that the applicant submit additional details and specifications for the following materials including:

- cementitious fiberboard lap siding (specification sheet, exposure, etc.);
- cementitious fiberboard shake siding (specification sheet and note of the thickness of the shake which should be of sufficient depth—at least 1”-minimum—to provide a shadow line)
- Boral trim (specification sheet, dimensions of all trim elements, and note that the trim will be painted);
- asphalt shingle (specification sheet);
- aluminum-clad carriage doors (specification sheet and dimensions);
- aluminum-clad single leaf and double-leaf doors (specification sheet to supplement submitted information and dimensions);
- aluminum-clad wood windows (specification sheet to supplement submitted information and dimensions);
- steel railing (specification sheet);
- soffit (specification sheet); and
- light fixtures (specification sheets).

Stone Patio and Concrete Stairs, Drain Bed, and Linear Drain

Staff finds that the removal of the brick patio (partially demolished) and installation of a stone patio (approximately 36’ x 36’) and concrete stair, drain bed, and linear drain meets the applicable guidelines and recommends approval with conditions. These elements would have limited visibility from the public rights-of-way due to their location, obfuscation by the proposed board-on-board privacy fence, or the downward slope of the topography from Maple Avenue, and should be approved as a matter of course. Staff, however, requests the applicant submit additional details and specifications for the following items:

- stone pavers (specification sheet);
- dimensions of the concrete stairs (including number of treads/risers); and
- drain bed (specification sheet for the size of the rock).

Privacy Fence

Staff finds that the proposed privacy fence meets the applicable guidelines and recommends approval with conditions. The privacy fence extends from the façade of the proposed accessory building to the south towards the property line and to the north and west towards the dwelling. The fence would obscure the proposed stone patio from the public rights-of-way and separate the area from the driveway. Due to its location to the rear of the dwelling it should be approved as a matter of course. Staff, however, requests the applicant submit additional details and specifications for the following items:

- elevation of the proposed fence (noting height and all materials – the fence shall be constructed of wood with wood or metal post caps);
- design of the proposed privacy gate; and
- notation on the site plan showing the linear amount of proposed fencing.

Trees

Staff finds that the overall proposal would not adversely affect significant trees, meets the applicable guidelines, and recommends approval with conditions. Staff, however, requests that the applicant submit a Tree Impact Assessment to the City of Takoma Park and forward the response to Historic Preservation Staff. The applicant shall follow all recommendations and requirements noted by the urban forester. Staff would determine if additional review by the HPC is warranted.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the condition, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #9*, and *#10*, and *Takoma Park Historic District Guidelines*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve with four (4) conditions** the HAWP application with final approval of all details delegated to staff:

1. The applicant shall submit all material specifications for the accessory building as outlined by staff on page 5 of this report.
2. The applicant shall submit all details and material specifications for the stone patio, concrete stairs, and drain bed as outlined in page 5 of this report.
3. The applicant shall submit all details and material specifications for the wood privacy fence as outlined in page 6 of this report.
4. The applicant shall submit a Tree Impact Assessment to the City of Takoma Park, forward the response to staff, and follow all recommendations and requirements of the urban forester.

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #9* and *#10*.

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or john.liebertz@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Owners:

Catherine & Justin Ramsdell

7310 Maple Ave.

Takoma Park, MD 20912

Adjoining Property Owners

HAWP

Angela Ellis

Thomas Herman

7312 Maple Ave.

Takoma Park, MD 20912

Mark Johnson

7308 Maple Ave.

Takoma Park, MD 20912

Marcy Campos

7309 Maple Ave.

Takoma Park, MD 20912

Taylor Kline

Mark Samburg

7311 Maple Ave.

Takoma Park, MD 20912

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

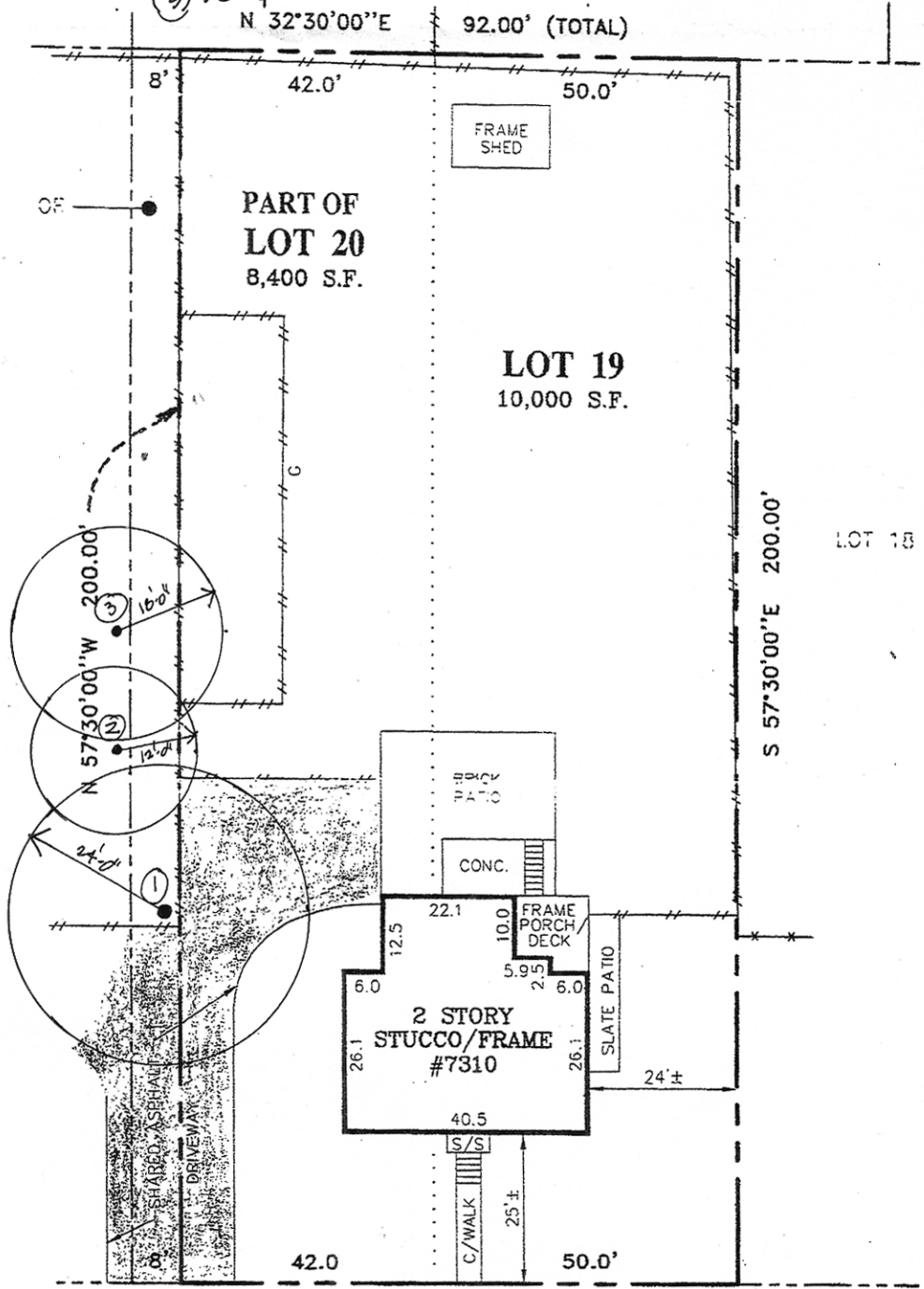
Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

- ① 24" ϕ SYCAMORE
- ② 12" ϕ HAWK
- ③ 18" ϕ OAK



S 32°30'00"W 92.00' (TOTAL)

MAPLE AVENUE

EXISTING SITE PLAN

1/2" = 20' 0"

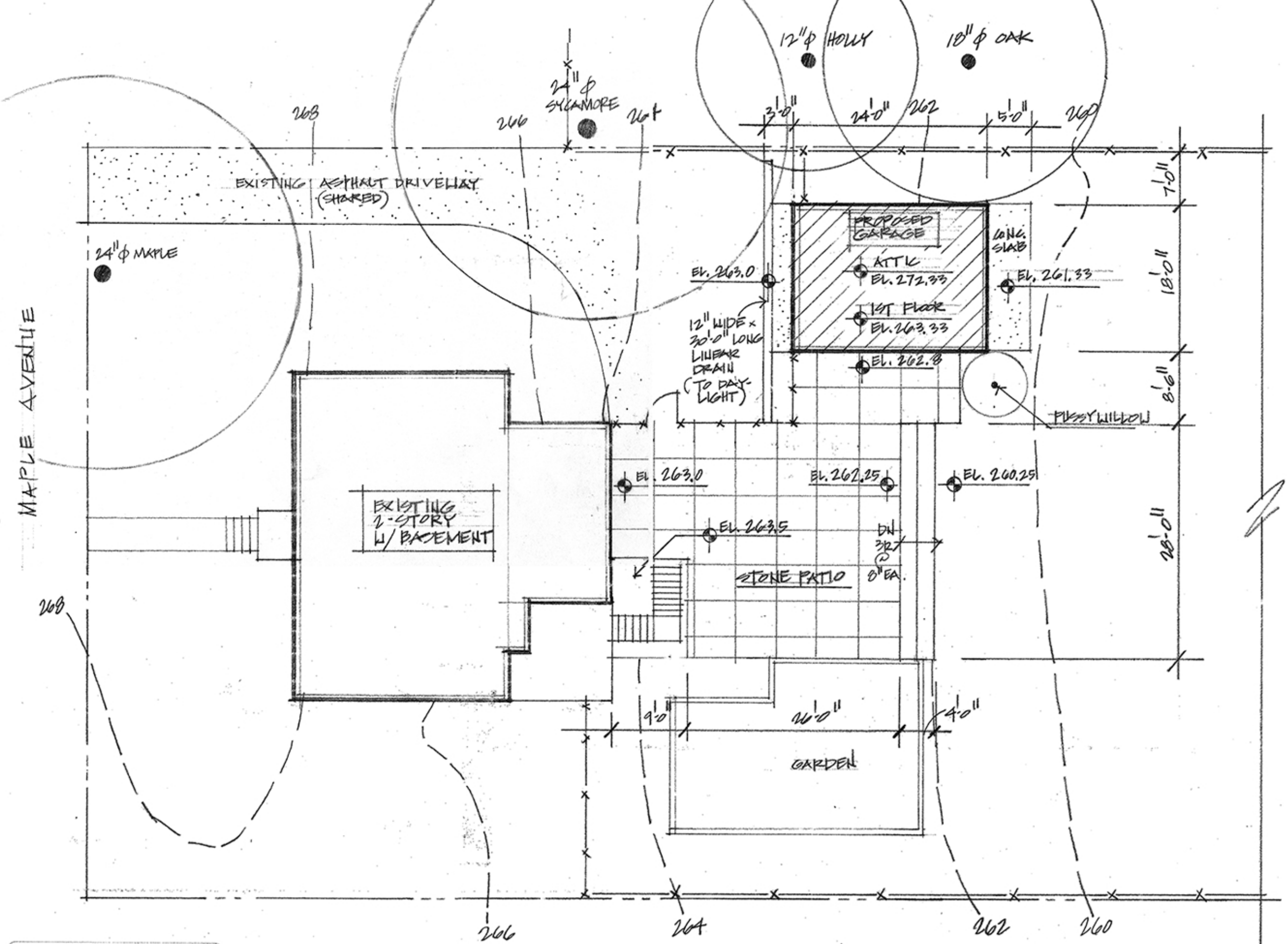


DESCRIPTION OF ***EXISTING*** STRUCTURE,
ENVIRONMENTAL SETTING AND HISTORICAL FEATURES
AT:

7310 Maple Ave., Takoma Park, MD 20912

This is an "Contributing Resource" Colonial Revival house, built in 1888, and it is located in the Takoma Park Historic District. It is a 2 ½ -story gabled house, the main portion is approx. 26' x 40', with a front concrete/stone stoop and a 12.5' x 22' 2-story rear addition. It has a 1347 S.F. footprint, with a full walk-out basement.

- a. Original House Structure:** The main house structure is wood framed and has various gables.*
- b. Exterior Finish:** The exterior finish is 2 to 3" stucco finish over an unknown original finish.*
- c. Windows and Doors:** The existing windows are wood double hung, some with muntins in a 6-over-6 pattern (double-hung), or with a 1-over-1 pattern.*
- d. Foundation:** Painted brick.*
- e. Patio:** There is a large dilapidated brick patio at the rear of house.*



Vitullo Architecture Studio, PC
 7016 Woodland Ave.
 Takoma Park, MD 20912
 (301)806-6447 cell

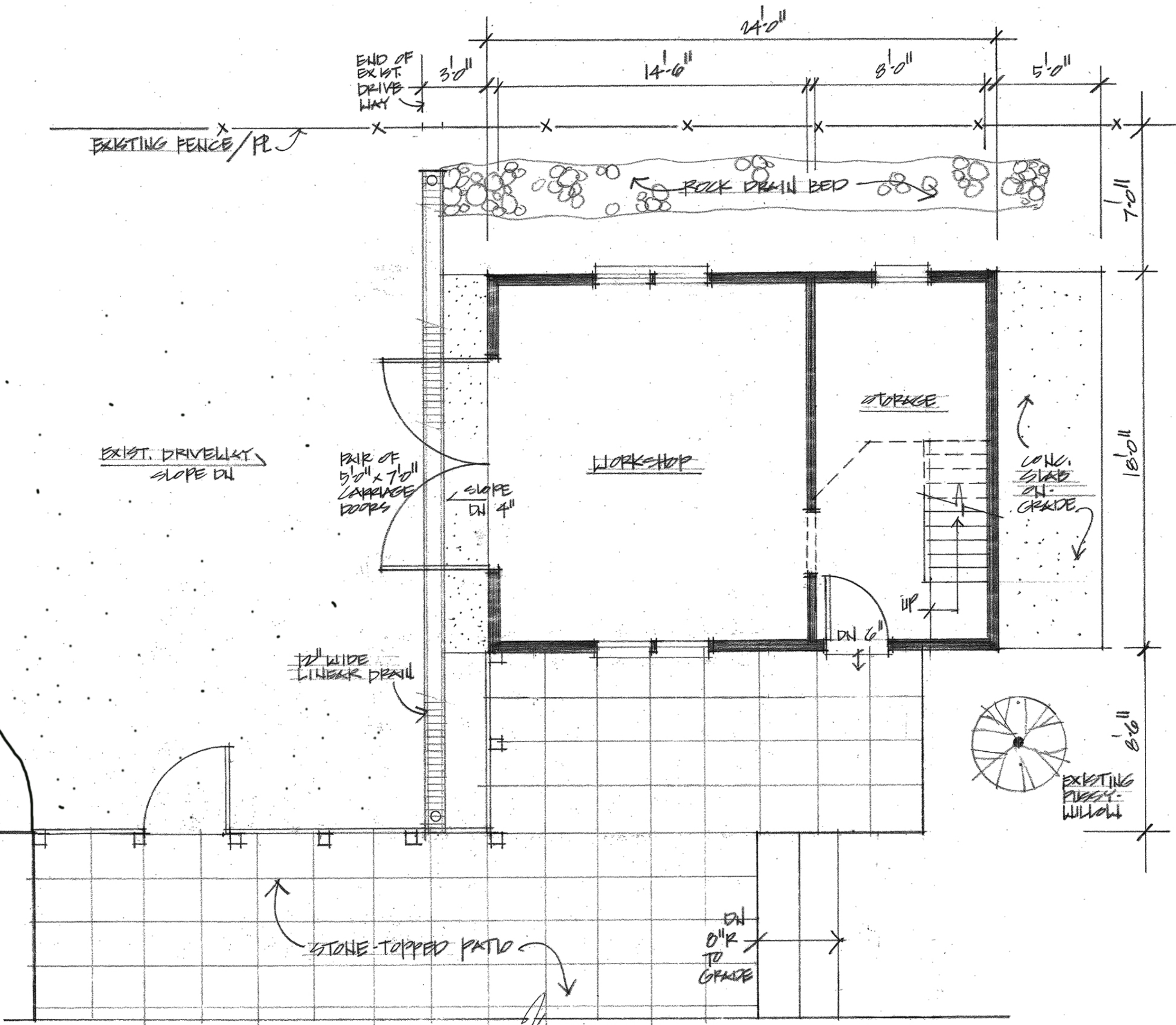
RAMSDELL RESIDENCE
 7310 MAPLE AVE.
 TAKOMA PARK, MD 20912



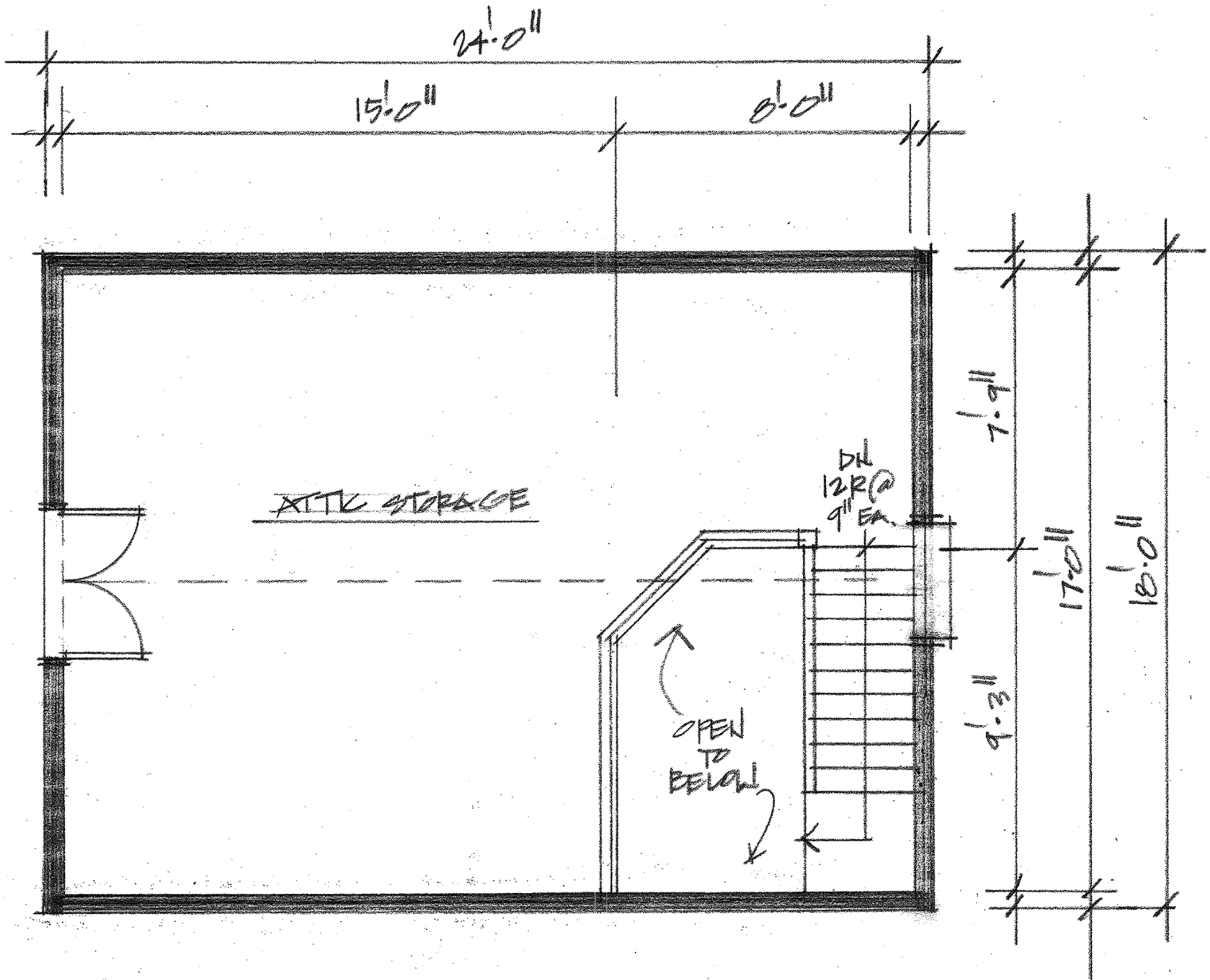
SITE PLAN
 1" = 10'-0"

5.12.23

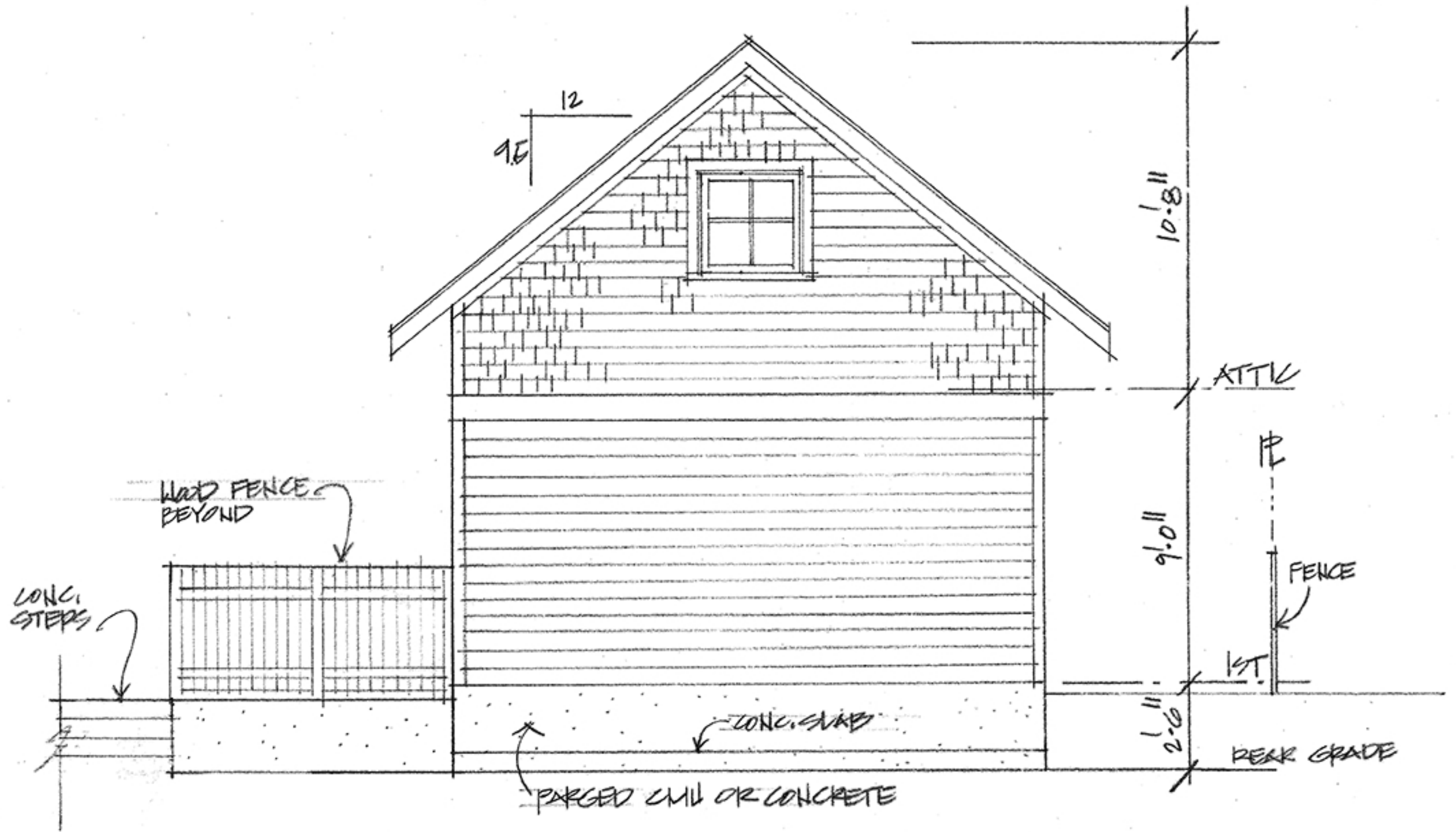
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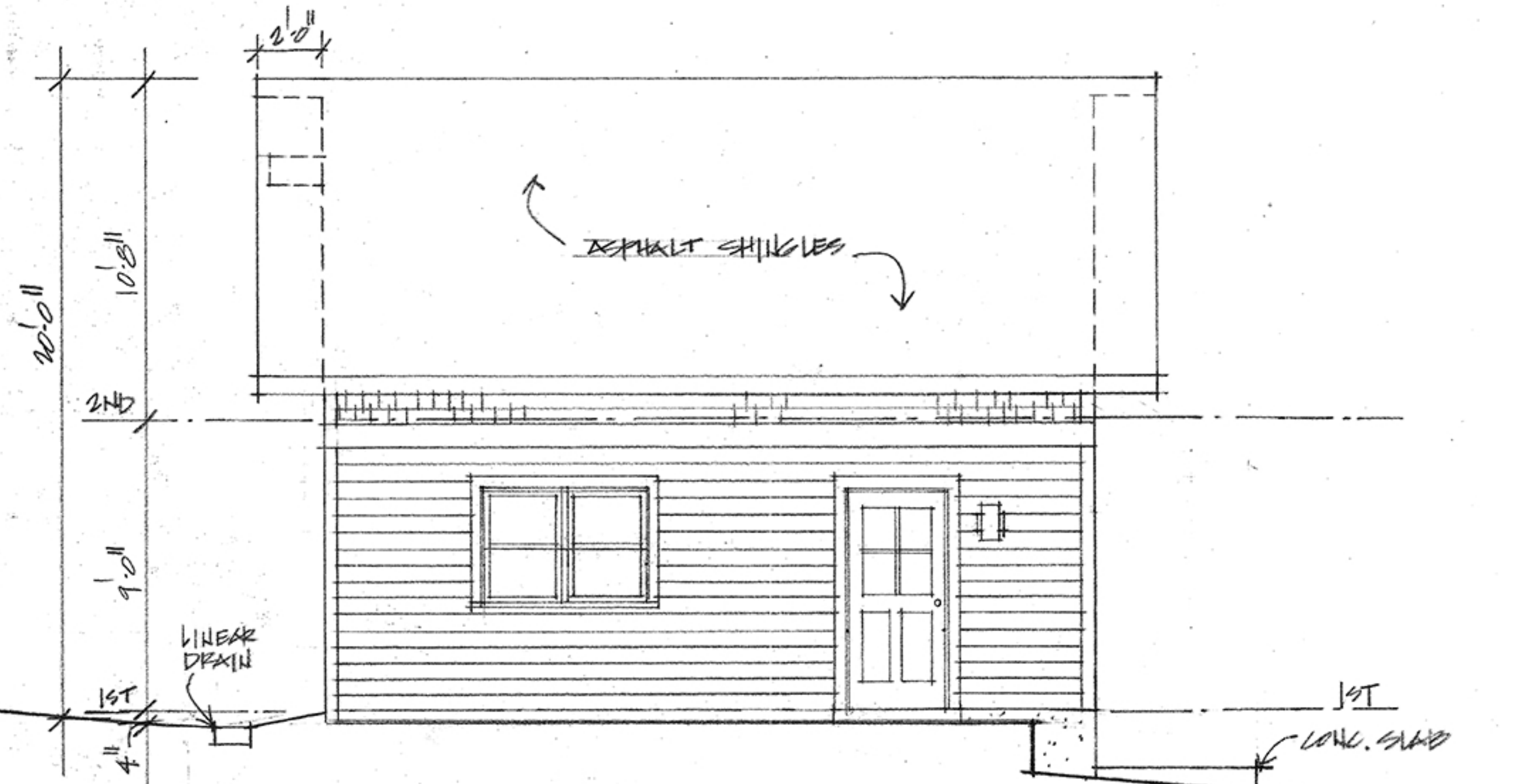
PROPOSED GARAGE 1st FLOOR
 1/4" = 1'-0"



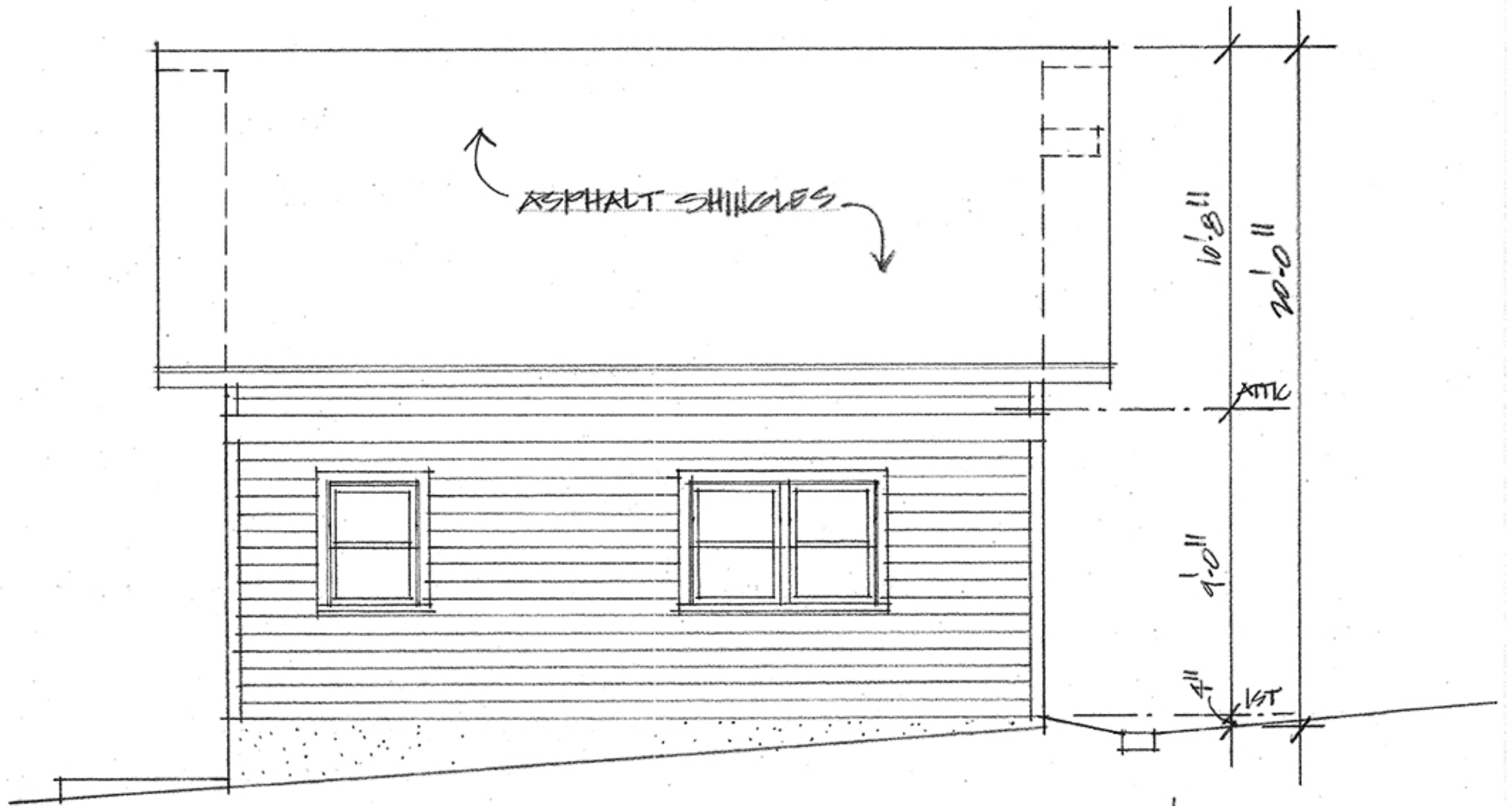
PROPOSED GARAGE ATTIC
 1/4" = 1'-0"



PROPOSED REAR ELEVATION
 1/4"



PROPOSED SIDE ELEV.
1/4"



ASPHALT SHINGLES

11'-8"
10'-8"
20'-0"

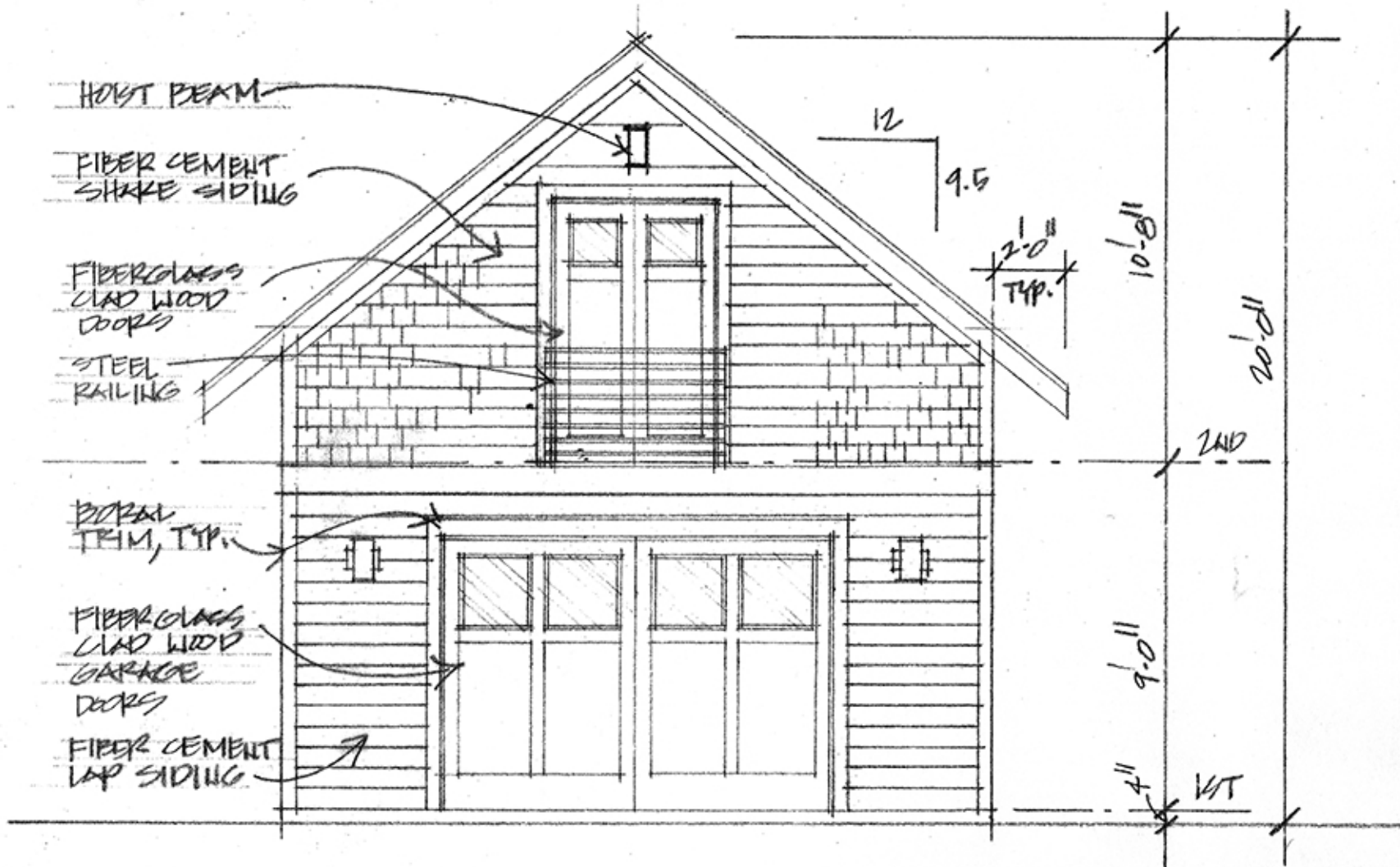
ATTIC

9'-0"

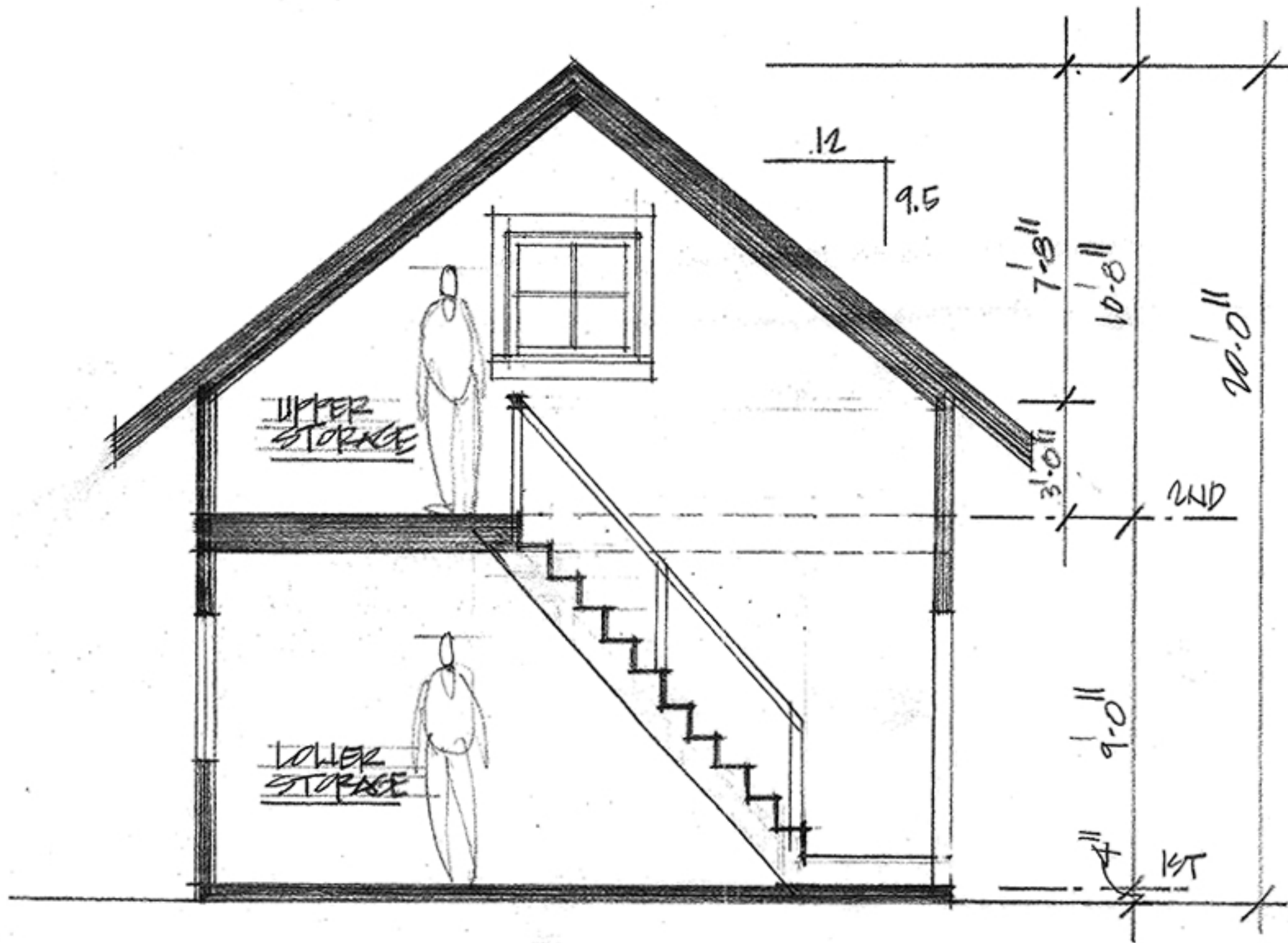
4"
1ST

PROPOSED SIDE ELEVATION
1/4" = 1'-0"

5



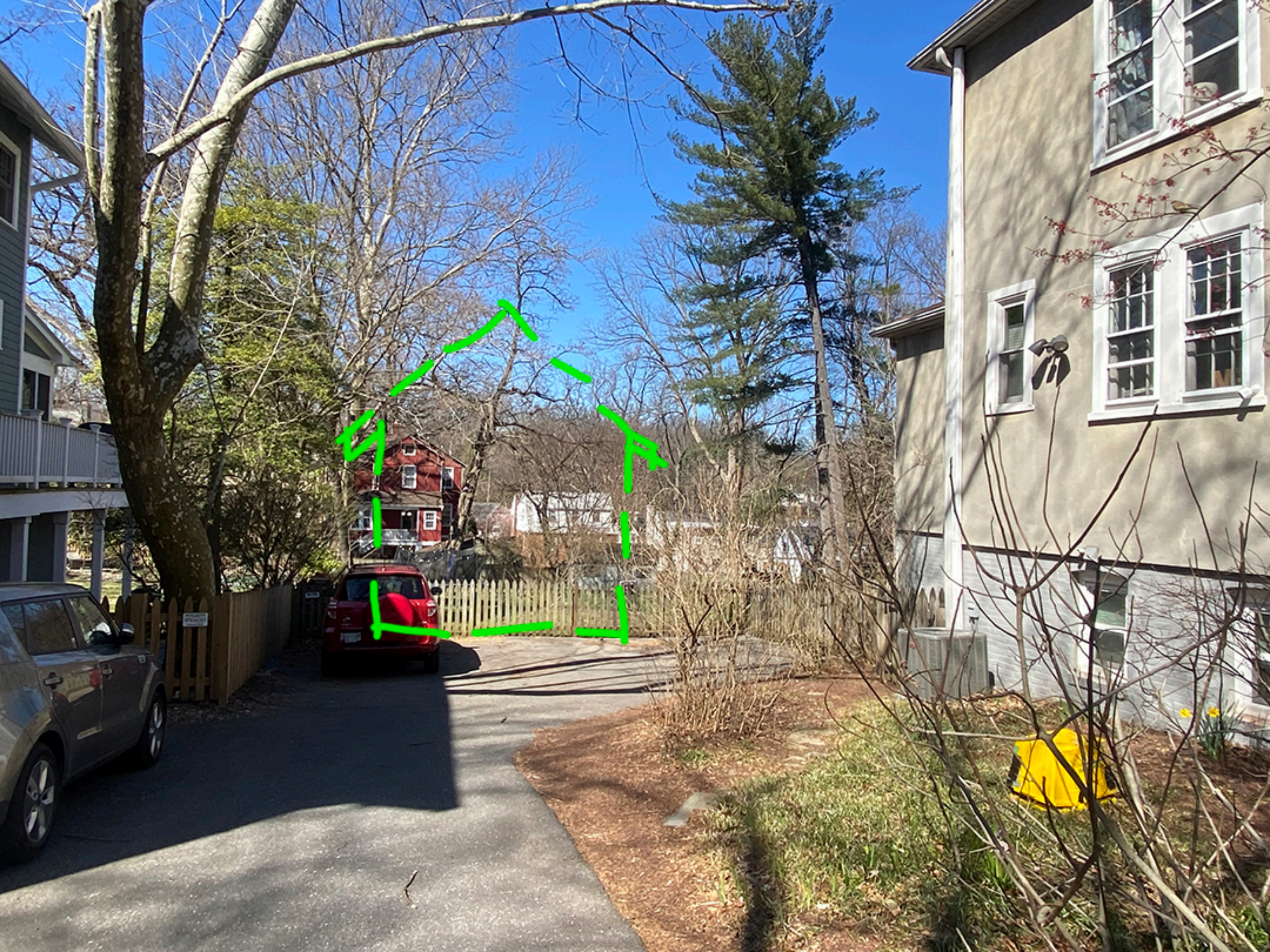
PROPOSED FRONT ELEVATION
 1/4"



SECTION @ STORAGE RM.
1/4"

7

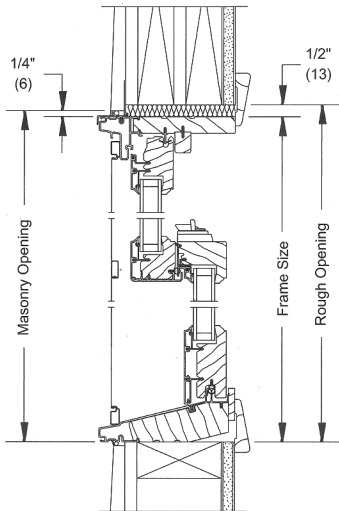






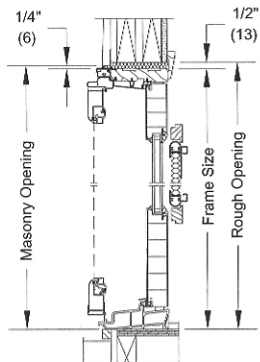


DOUBLE HUNG G2

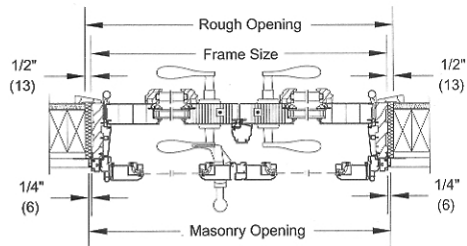


1 3/4" INSWING FRENCH DOOR

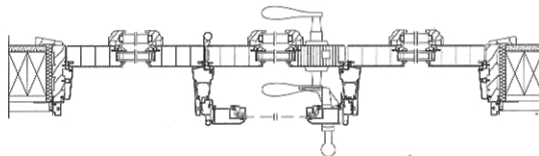
CONSTRUCTION DETAILS



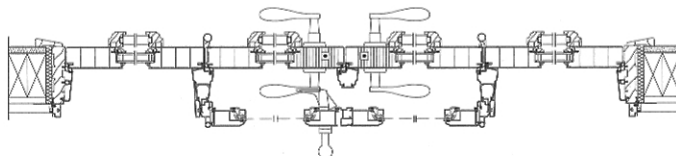
CLAD HEAD JAMB AND SILL
WITH ULTIMATE SWINGING SCREEN -
WITH OPTIONAL INTERIOR SHADES



CLAD 2 PANEL JAMB
XX LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES



CLAD 3 PANEL JAMB
OXO LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES



CLAD 4 PANEL JAMB
OXXO LHI WITH ULTIMATE SWINGING SCREEN -
WITH INTERIOR SHADES

Construction Details

