

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7311 Baltimore Avenue, Takoma Park	<b>Meeting Date:</b>	6/14/2023
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	6/7/2023
<b>Applicant:</b>	Andrew Moore – McHale Landscape Design (Agent)	<b>Public Notice:</b>	5/31/2023
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
		<b>Staff:</b>	John Liebertz

**Permit Number:** 1030519

**PROPOSAL:** Hardscape alterations, driveway replacement, and new fence installation.

**STAFF RECOMMENDATION**

Staff recommends that the Historic Preservation Commission (HPC) **approve with five (5) conditions** the HAWP application.

1. The applicant shall clarify or amend the submit the dimensions of the ribbon driveway and clarify the material adjacent to the historic house (noted in *Figure 3*).
2. The applicant shall note the material of the post caps for the fence and gates. The caps shall be either wood or metal.
3. The applicant shall amend the site plan to specify whether the river gravel extends under the enclosed rear porch.
4. The applicant shall specify the materials shown adjacent to the south elevation of the house (noted in *Figure 7*).
5. The applicant shall clarify or amend the proposed heights of the retaining wall as shown on Sheets SP 1.0 and EL 1.0. The heights of the wall fails to correspond to one another.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Queen Anne  
**DATE:** 1920s



*Figure 1: The subject property at 7311 Baltimore Avenue is located on the east side of the street. The the yellow star is the location of the subject dwelling. Source: Montgomery Planning.*

## **PROPOSAL**

The applicant proposes the following alterations: 1) removal of the existing wood fence and gates that provide access at the north and south (side) yards; 2) installation of the new cedar fence and gates at the north (side) and south (side) yards; 3) demolition of the existing masonry retaining walls, asphalt driveway, stair accessing the front yard from the driveway, and concrete pathway in the south (side) yard; 4) construction of a new masonry retaining wall with a stone cap (maximum height of 3’4 and a minimum height of 4”); 5) construction of two 4’-wide stone steps—one from the sidewalk and one from the driveway—leading to a new flagstone path that accesses the front porch; 6) installation of a flagstone stepping stone path set in river gravel to the south (side) of the house; 7) installation of a pervious concrete driveway that transitions to a ribbon driveway adjacent to the house; and 8) addition of river gravel under the existing rear deck.

## **APPLICABLE GUIDELINES**

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

### ***Takoma Park Historic District Guidelines***

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of the buildings in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these buildings may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. They are important to the overall character of the district and the streetscape due to their size, scale, and architectural qualities, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The following guidance which pertains to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and

features is, however, not required.

- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code, Chapter 24A-8***

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## STAFF DISCUSSION

The subject property is a Contributing Resource to the Takoma Park Historic District and features a two-and-a-half-story, Queen Anne-styled house constructed in ca. 1890-1900. Relevant Historic Area Work Permits (HAWP) approved by the HPC include 37/3-95L (1995) that permitted the installation of the existing brick path accessing the front porch from the sidewalk.<sup>1</sup>



**Figure 2: View of the facade of the house (left), north (side) elevation and façade (middle), and Sanborn Fire Insurance Map (right). The property is outlined in red. Source: Montgomery Planning.**

### *Alterations to the Driveway*

Staff finds that the proposed demolition of the existing driveway and installation of a pervious concrete driveway that transitions to a ribbon driveway (adjacent to the house) to be consistent with the applicable guidelines and recommends approval with conditions. Pervious concrete is a compatible material with respect to the character defining elements of the resource and streetscape. Staff requests that the applicant submit the dimensions of the ribbons and clarifies the material adjacent to the historic house (see *Figure 3*).



**Figure 3: View of the north elevation and façade (west elevation) with driveway (left), and site plan proposed by applicant (right). The red outlined notes are materials requested by staff. Source: Montgomery Planning.**

### *Replacement of the Fences and Gates*

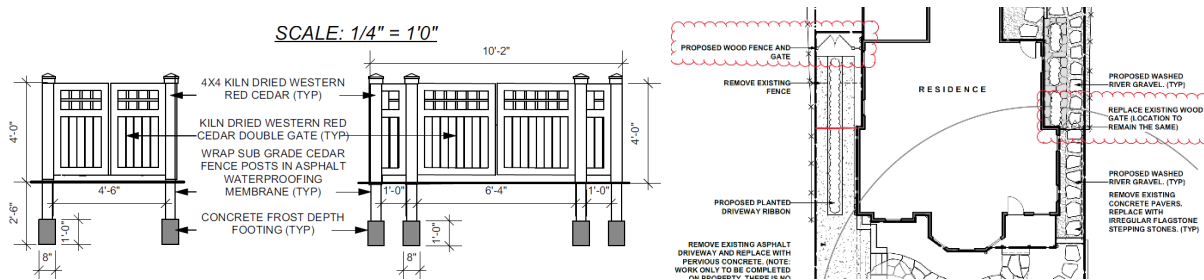
Staff finds that the proposed wood picket fences and gates to be consistent with the applicable guidelines and recommends approval with a condition. The applicant moved the northern fence and gate further to

<sup>1</sup> For more information, see

[https://mcatlas.org/tiles/06\\_HistoricPreservation\\_PhotoArchives/Padlock/HAR60640006/Box041/37-3-95L\\_Takoma%20Park%20Historic%20District\\_7311%20Baltimore%20Avenue\\_04-14-1995.pdf](https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640006/Box041/37-3-95L_Takoma%20Park%20Historic%20District_7311%20Baltimore%20Avenue_04-14-1995.pdf).



the east towards the rear yard perpendicular with the rear elevation. The southern gate remained in its existing location (*Figure 4*). The design of the fence and gate is appropriate with the character of the historic district, but the applicant should clarify the material of the post caps (either wood or metal).



**Figure 4: Proposed fence and gates (left) and site plan proposed by applicant (right). The red line shows the current location of the existing fence and gate. Source: Applicant.**

### *Replacement of the Retaining Wall*

Staff finds that the demolition of the existing retaining wall and construction of the new retaining wall with two stairs, one from the driveway and one from the sidewalk, to be consistent with the applicable guidelines and recommends approval with conditions. The current or former property owners demolished sections of the existing retaining wall along the driveway between 2015 and the present day. At that time, the property owners added the current steps (*Figure 5*).<sup>2</sup> Only the section of the wall fronting the sidewalk remains intact.



**Figure 5: View of the subject house in 2014 (left) and ca. 2022 (right). Source: Google Streetview and Applicant.**

The proposed stone retaining wall with a stone cap and flagstone stair are compatible with the character of the historic house and streetscape. The applicant, however, should clarify discrepancies in the plan and elevations. Sheet SP 1.0 notes that the proposed retaining wall would be 12" to 30" tall and Sheet EL 1.0 states that the proposed wall would be between 4" and 3'4" tall. In addition, Sheet EL 1.0 has the northwest corner of the wall at 2'2" on the "front stone wall elevation" and 2' on the "side stone wall elevation." Therefore, the applicant should clarify or amend the proposal to depict the proposed heights.

### *Demolition of the Brick Path and Installation of a Flagstone Paths*

Staff finds that the proposed demolition of the ca. 1995 brick path and installation of a flagstone path to be consistent with the applicable guidelines and recommends approval (*Figure 6*). The paths would

<sup>2</sup> Historic Preservation staff was unable to find any HAWPs related to this alteration, but the entire wall and stair is proposed for demolition in the current plan, therefore no after-the-fact approval is required.

connect the driveway and sidewalk to the front patio. Flagstone is a typical material utilized in the Takoma Park Master Plan Historic District.

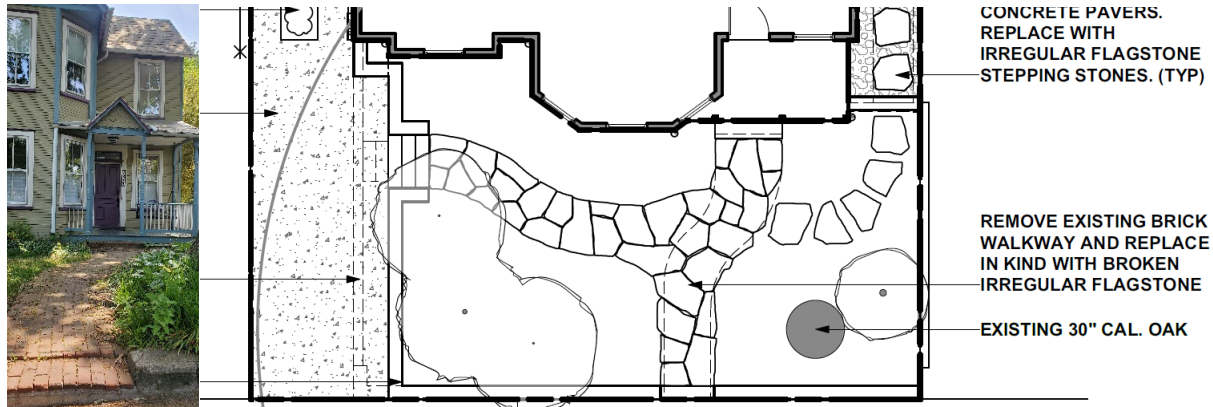


Figure 6: View of the existing non-historic brick path and site plan showing the proposed flagstone path. Source: Montgomery Planning and Applicant.

Installation of a Flagstone Stepping-Stone and River Gravel Paths

Staff finds that the installation of a flagstone stepping-stone path and river gravel to be consistent with the applicable guidelines and recommends approval with conditions. The proposed path would be set in grass in the front yard and then set in river gravel adjacent to the house (Figure 7). Flagstone and river gravel are typical materials utilized in the Takoma Park Master Plan Historic District. The applicant, however, should submit a specification for the river gravel that shows its general dimensions. In addition, the proposal should clarify whether the gravel would continue under the enclosed porch on the rear elevation and note the material along the rear half of the south elevation of the house (Figure 7).

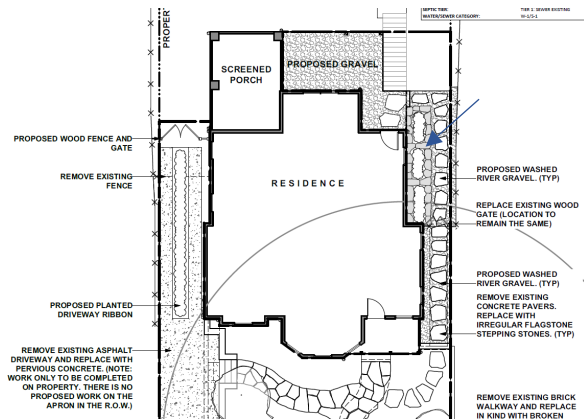


Figure 7: View of the rear elevation (left) and site plan showing the proposed flagstone stepping-stone path set in river gravel (right). The red arrow points to the location under the screened porch and the blue arrow points to an unlabeled material in the site plan.

Source: Applicant.

After full and fair consideration of the applicant’s submission, staff finds the proposal, as modified by the conditions, consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), (c), and (d), having found the proposal is consistent with the Secretary of the Interior’s Standards for Rehabilitation #2, #9, and #10, and Takoma Park Historic District Guidelines outlined above.

**STAFF RECOMMENDATION**

Staff recommends that the Historic Preservation Commission (HPC) **approve with five (5) conditions** the HAWP application with final approval of all details delegated to staff:

1. The applicant shall clarify or amend the submit the dimensions of the ribbon driveway and clarify the material adjacent to the historic house (noted in *Figure 3*).
2. The applicant shall note the material of the post caps for the fence and gates. The caps shall be either wood or metal.
3. The applicant shall amend the site plan to specify whether the river gravel extends under the enclosed rear porch.
4. The applicant shall specify the materials shown adjacent to the south elevation of the house (noted in *Figure 7*).
5. The applicant shall clarify or amend the proposed heights of the retaining wall as shown on Sheets SP 1.0 and EL 1.0. The heights of the wall fails to correspond to one another.

under the Criteria for Issuance in Chapter 24A-8(b), (1) and (2), (c), and (d), having found that the proposal is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [john.liebertz@montgomeryplanning.org](mailto:john.liebertz@montgomeryplanning.org) to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



## SITE INFORMATION

### PROPERTY INFORMATION

OWNERS: BRIAN KARFUNKEL & ELIZA JACOBS  
TAX ACCOUNT: 13-01065034  
PROJECT ADDRESS: 7311 BALTIMORE AVE.  
TAKOMA PARK, MD 20912  
MUNICIPALITY: TAKOMA PARK  
HISTORIC SITE/DISTRICT: TAKOMA PARK HISTORIC DISTRICT  
MAP: JN42  
GRID: 0000  
PARCEL: 0000  
NEIGHBORHOOD: 13052505.16  
SUBDIVISION: 0025  
SECTION: -  
BLOCK: 78  
LOT: 5  
PROPERTY LAND AREA: 7,500 SF  
ZONING: R-60

### PRINCIPAL BUILDING SETBACKS (MIN):

FRONT: 25'  
SIDE STREET SETBACK, ABUTTING LOT FRONTS 25'  
ON THE SIDE STREET AND IS IN A RESIDENTIAL  
DETACHED ZONE:  
SIDE STREET SETBACK, ABUTTING LOT DOES 15'  
NOT FRONT ON THE SIDE STREET OR IS NOT IN  
A RESIDENTIAL DISTRICT:  
SIDE: 8'  
SUM OF SIDE SETBACKS: 18'  
REAR SETBACK: 20'

### ACCESSORY STRUCTURE SETBACKS (MIN):

FRONT: 60'  
SIDE STREET SETBACK, ABUTTING LOT FRONTS 25'  
ON THE SIDE STREET AND IS IN A RESIDENTIAL  
DETACHED ZONE:  
SIDE STREET SETBACK, ABUTTING LOT DOES 15'  
NOT FRONT ON THE SIDE STREET OR IS NOT IN  
A RESIDENTIAL DISTRICT:  
SIDE: 5'  
REAR SETBACK, ON A CORNER LOT WHERE 10'  
ABUTTING LOT FRONTS ON THE SIDE STREET  
AND IS IN RESIDENTIAL DETACHED ZONE:  
REAR SETBACK, IF NOT OTHERWISE 5'  
ADDRESSED:

WSSC GRID: 209NW01  
SEPTIC TIER: TIER 1: SEWER EXISTING  
WATER/SEWER CATEGORY: W-1/S-1

## DESCRIPTION OF PROPERTY

Victorian style house with yellow painted horizontal siding with light blue and maroon trim accents. Front yard is sitting on a slight cross slope from the street with a large Oak tree dominating the space. The front also consists of a failing concrete retaining wall and settling brick walkway. The asphalt driveway is on the front left side of the property and is showing cracking from settling. The front right side of the property is covered with a river gravel with a 2x2 concrete paver walkway. There are two separate wood picket fences that block off the rear of the property. The rear of the property contains a deck and screened in porch that pick up from the house's architecture. The rear yard is an open sloped turf yard that leads into a wooded bamboo section in the rear of the property.

## DESCRIPTION OF WORK PROPOSED

Front concrete failing retaining wall to be removed and replaced in kind with Luna Azul full building stone wall with 2" thick flagstone cap. Wall elevations to remain the same as existing. Settling front brick walkway to be replaced in kind with irregular broken flagstones. The asphalt driveway to be removed and replaced with impervious concrete. Wood side picket fences to be repaired and replaced. Proposed front landscaping to include new plantings to supplement the existing trees including, but not limited to, boxwood, azalea, hydrangea, fern, and astilbe. Side concrete 2x2 pavers to be removed and replaced with flagstone stepping stones.

## CONTRACTOR (AGENT)

### CONTACT INFORMATION

ANDREW MOORE - DESIGNER/PROJECT MANAGER  
EMAIL - ANDREWMOORE@MCHALELANDSCAPE.COM  
CELL - 240-565-4069  
ADDRESS - 6212 LEAPLY ROAD, UPPER MARLBORO,  
MD 20772

MATT RHODERICK - REGISTERED LANDSCAPE  
ARCHITECT  
EMAIL - MATTR@MCHALELANDSCAPE.COM  
CELL - 301-512-8234  
ADDRESS - 6212 LEAPLY ROAD, UPPER MARLBORO,  
MD 20772

## INDEX

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EL 1.0 - ELEVATIONS

MS 1.0 - MATERIAL SELECTIONS

EP 1.0 - EXISTING PHOTOS

TS 1.0 - TREE SURVEY

PA 1.0 - PROPERTY OWNER ADDRESSES

DATE: 05/08/23

Sheet: CL 1.0

Sheet 1 of 7  
Revisions

SCALE: NTS

JACOBS - KARFUNKEL  
RESIDENCE  
7311 BALTIMORE AVE  
TACOMA PARK, MD 20912

COVER LETTER -  
WRITTEN  
DESCRIPTION

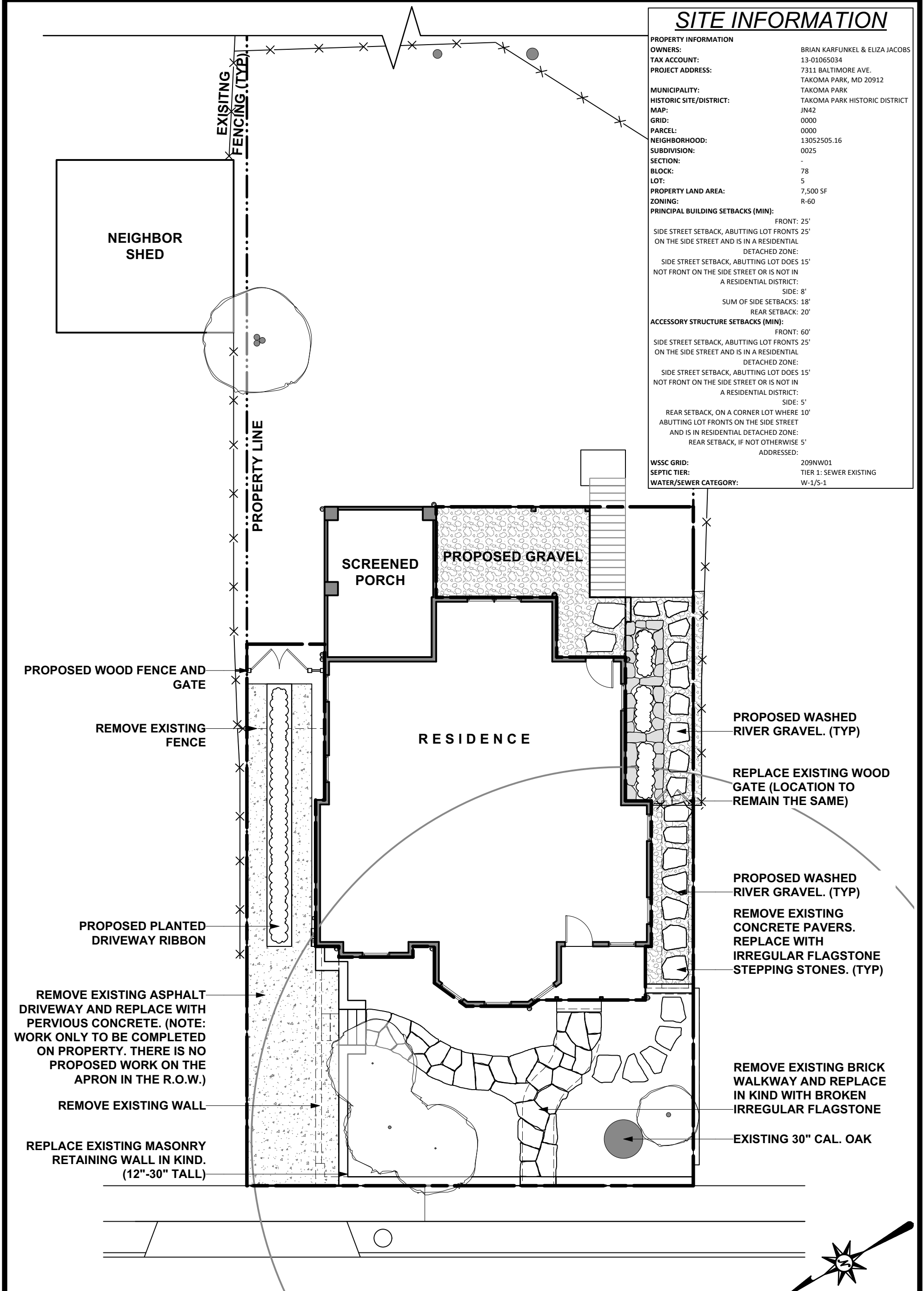


McHALE  
LANDSCAPE  
DESIGN, INC.

911 WEST STREET  
ANNAPOLIS, MD 21401  
(410) 990-0894  
FAX (410) 990-0897  
www.mchalelandscape.com

# SITE INFORMATION

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MUNICIPALITY:	TAKOMA PARK
HISTORIC SITE/DISTRICT:	TAKOMA PARK HISTORIC DISTRICT
MAP:	JN42
GRID:	0000
PARCEL:	0000
NEIGHBORHOOD:	13052505.16
SUBDIVISION:	0025
SECTION:	-
BLOCK:	78
LOT:	5
PROPERTY LAND AREA:	7,500 SF
ZONING:	R-60
<b>PRINCIPAL BUILDING SETBACKS (MIN):</b>	
	FRONT: 25'
SIDE STREET SETBACK, ABUTTING LOT FRONTS 25'	
ON THE SIDE STREET AND IS IN A RESIDENTIAL	
DETACHED ZONE:	
SIDE STREET SETBACK, ABUTTING LOT DOES 15'	
NOT FRONT ON THE SIDE STREET OR IS NOT IN	
A RESIDENTIAL DISTRICT:	
	SIDE: 8'
	SUM OF SIDE SETBACKS: 18'
	REAR SETBACK: 20'
<b>ACCESSORY STRUCTURE SETBACKS (MIN):</b>	
	FRONT: 60'
SIDE STREET SETBACK, ABUTTING LOT FRONTS 25'	
ON THE SIDE STREET AND IS IN A RESIDENTIAL	
DETACHED ZONE:	
SIDE STREET SETBACK, ABUTTING LOT DOES 15'	
NOT FRONT ON THE SIDE STREET OR IS NOT IN	
A RESIDENTIAL DISTRICT:	
	SIDE: 5'
	REAR SETBACK, ON A CORNER LOT WHERE 10'
	ABUTTING LOT FRONTS ON THE SIDE STREET
	AND IS IN RESIDENTIAL DETACHED ZONE:
	REAR SETBACK, IF NOT OTHERWISE 5'
	ADDRESSED:
WSSC GRID:	209NW01
SEPTIC TIER:	TIER 1: SEWER EXISTING
WATER/SEWER CATEGORY:	W-1/S-1

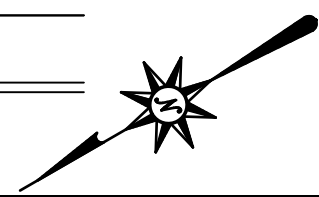


DATE: 05/08/23
Sheet: SP 1.0
Sheet 2 of 7
Revisions
SCALE: 1" = 10'0"

**JACOBS - KARFUNKEL  
RESIDENCE**  
7311 BALTIMORE AVE  
TACOMA PARK, MD 20912

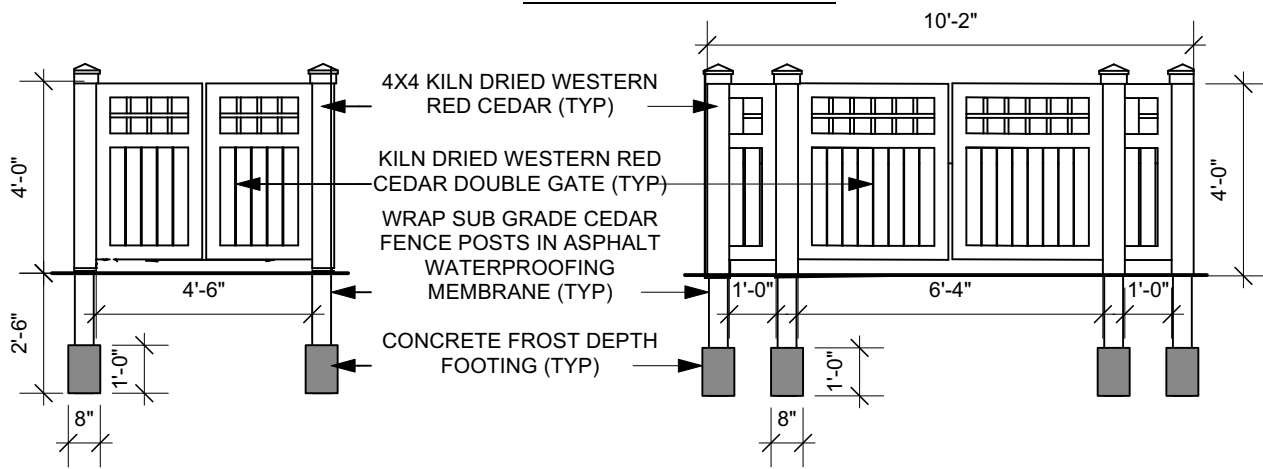
**SITE PLAN**

**McHALE**  
LANDSCAPE  
DESIGN, INC.  
911 WEST STREET  
ANNAPOLIS, MD 21401  
(410) 990-0894  
FAX (410) 990-0897  
www.mchalelandscape.com



# CEDAR FENCE AND GATE DETAIL ELEVATION

SCALE: 1/4" = 1'0"



## CEDAR GATE EXAMPLE PHOTO

SCALE: N.T.S.

# SITE INFORMATION

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OWNERS:	BRIAN KARFUNKEL & ELIZA JACOBS
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MAP:	JN42
GRID:	0000
PARCEL:	0000
NEIGHBORHOOD:	13052505.16
SUBDIVISION:	0025
SECTION:	-
BLOCK:	78
LOT:	5
PROPERTY LAND AREA:	7,500 SF
ZONING:	R-60
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	SIDE: 5'
	REAR SETBACK, ON A CORNER LOT WHERE 10'
	ABUTTING LOT FRONTS ON THE SIDE STREET
	AND IS IN RESIDENTIAL DETACHED ZONE:
	REAR SETBACK, IF NOT OTHERWISE 5'
	ADDRESS:
WSSC GRID:	209NW01
SEPTIC TIER:	TIER 1: SEWER EXISTING
WATER/SEWER CATEGORY:	W-1/S-1

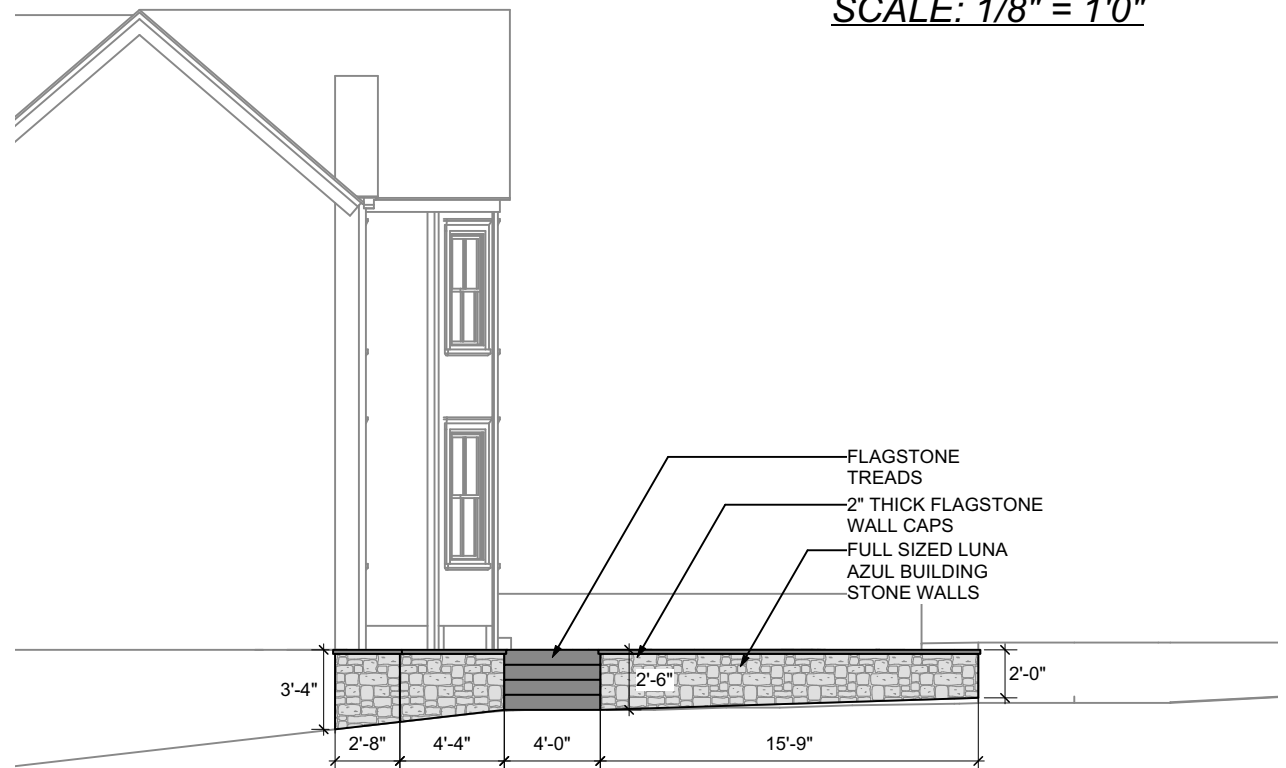
# FRONT STONE WALL ELEVATION

SCALE: 1/8" = 1'0"



# SIDE STONE WALL ELEVATION

SCALE: 1/8" = 1'0"



DATE: 05/08/23

Sheet: EL 1.0

Sheet 3 of 7  
Revisions

SCALE: AS NOTED

**JACOBS - KARFUNKEL  
RESIDENCE**  
7311 BALTIMORE AVE  
TACOMA PARK, MD 20912

**ELEVATIONS**



**McHALE**  
LANDSCAPE  
DESIGN, INC.

911 WEST STREET  
ANNAPOLIS, MD 21401  
(410) 990-0894  
FAX (410) 990-0897  
www.mchalelandscape.com



**CEDAR FENCE AND GATES: WESTERN RED CEDAR**



**BROKEN IRREGULAR FLAGSTONE**



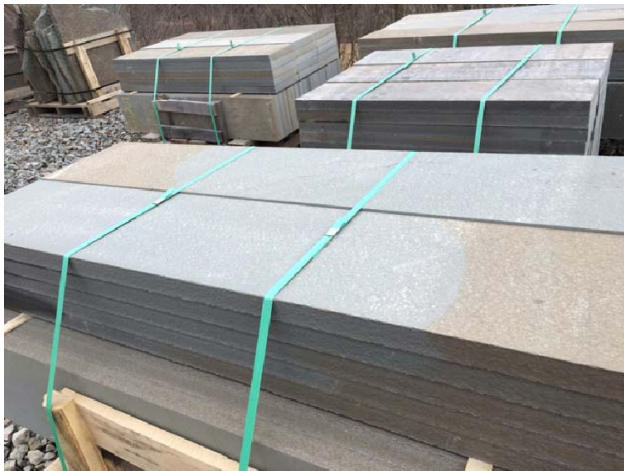
**SITE INFORMATION**

<b>PROPERTY INFORMATION</b>	
<b>OWNERS:</b>	BRIAN KARFUNKEL & ELIZA JACOBS
<b>TAX ACCOUNT:</b>	13-01065034
<b>PROJECT ADDRESS:</b>	7311 BALTIMORE AVE. TAKOMA PARK, MD 20912
<b>MUNICIPALITY:</b>	TAKOMA PARK
<b>HISTORIC SITE/DISTRICT:</b>	TAKOMA PARK HISTORIC DISTRICT
<b>MAP:</b>	JN42
<b>GRID:</b>	0000
<b>PARCEL:</b>	0000
<b>NEIGHBORHOOD:</b>	13052505.16
<b>SUBDIVISION:</b>	0025
<b>SECTION:</b>	-
<b>BLOCK:</b>	78
<b>LOT:</b>	5
<b>PROPERTY LAND AREA:</b>	7,500 SF
<b>ZONING:</b>	R-60
<b>PRINCIPAL BUILDING SETBACKS (MIN):</b>	
	FRONT: 25'
SIDE STREET SETBACK, ABUTTING LOT FRONTS 25' ON THE SIDE STREET AND IS IN A RESIDENTIAL DETACHED ZONE:	
	SIDE STREET SETBACK, ABUTTING LOT DOES 15' NOT FRONT ON THE SIDE STREET OR IS NOT IN A RESIDENTIAL DISTRICT:
	SIDE: 8'
	SUM OF SIDE SETBACKS: 18'
	REAR SETBACK: 20'
<b>ACCESSORY STRUCTURE SETBACKS (MIN):</b>	
	FRONT: 60'
SIDE STREET SETBACK, ABUTTING LOT FRONTS 25' ON THE SIDE STREET AND IS IN A RESIDENTIAL DETACHED ZONE:	
	SIDE STREET SETBACK, ABUTTING LOT DOES 15' NOT FRONT ON THE SIDE STREET OR IS NOT IN A RESIDENTIAL DISTRICT:
	SIDE: 5'
	REAR SETBACK, ON A CORNER LOT WHERE 10' ABUTTING LOT FRONTS ON THE SIDE STREET AND IS IN RESIDENTIAL DETACHED ZONE:
	REAR SETBACK, IF NOT OTHERWISE 5' ADDRESSED:
<b>WSSC GRID:</b>	209NW01
<b>SEPTIC TIER:</b>	TIER 1: SEWER EXISTING
<b>WATER/SEWER CATEGORY:</b>	W-1/S-1

**FRONT RETAINING WALLS: LUNA AZUL BUILDING STONE**



**FRONT RETAINING WALLS: FLAGSTONE STONE CAP AND TREADS**



**PERVIOUS CONCRETE DRIVEWAY**



DATE: 05/08/23

Sheet: MS 1.0

Sheet 4 of 7  
Revisions

SCALE: NTS

**JACOBS - KARFUNKEL  
RESIDENCE**  
7311 BALTIMORE AVE  
TACOMA PARK, MD 20912

**MATERIAL  
SPECIFICATIONS**



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## SITE INFORMATION

### PROPERTY INFORMATION

OWNERS: BRIAN KARFUNKEL & ELIZA JACOBS  
 TAX ACCOUNT: 13-01065034  
 PROJECT ADDRESS: 7311 BALTIMORE AVE.  
 TAKOMA PARK, MD 20912  
 MUNICIPALITY: TAKOMA PARK  
 HISTORIC SITE/DISTRICT: TAKOMA PARK HISTORIC DISTRICT  
 MAP: JN42  
 GRID: 0000  
 PARCEL: 0000  
 NEIGHBORHOOD: 13052505.16  
 SUBDIVISION: 0025  
 SECTION: -  
 BLOCK: 78  
 LOT: 5  
 PROPERTY LAND AREA: 7,500 SF  
 ZONING: R-60

### PRINCIPAL BUILDING SETBACKS (MIN):

FRONT: 25'  
 SIDE STREET SETBACK, ABUTTING LOT FRONTS 25'  
 ON THE SIDE STREET AND IS IN A RESIDENTIAL  
 DETACHED ZONE:  
 SIDE STREET SETBACK, ABUTTING LOT DOES 15'  
 NOT FRONT ON THE SIDE STREET OR IS NOT IN  
 A RESIDENTIAL DISTRICT:  
 SIDE: 8'  
 SUM OF SIDE SETBACKS: 18'  
 REAR SETBACK: 20'

### ACCESSORY STRUCTURE SETBACKS (MIN):

FRONT: 60'  
 SIDE STREET SETBACK, ABUTTING LOT FRONTS 25'  
 ON THE SIDE STREET AND IS IN A RESIDENTIAL  
 DETACHED ZONE:  
 SIDE STREET SETBACK, ABUTTING LOT DOES 15'  
 NOT FRONT ON THE SIDE STREET OR IS NOT IN  
 A RESIDENTIAL DISTRICT:  
 SIDE: 5'  
 REAR SETBACK, ON A CORNER LOT WHERE 10'  
 ABUTTING LOT FRONTS ON THE SIDE STREET  
 AND IS IN RESIDENTIAL DETACHED ZONE:  
 REAR SETBACK, IF NOT OTHERWISE 5'  
 ADDRESSED:

WSSC GRID: 209NW01  
 SEPTIC TIER: TIER 1: SEWER EXISTING  
 WATER/SEWER CATEGORY: W-1/S-1



DATE: 05/08/23

Sheet: EP 1.0

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 Revisions

SCALE: NTS

JACOBS - KARFUNKEL  
 RESIDENCE  
 7311 BALTIMORE AVE  
 TACOMA PARK, MD 20912

EXISTING PHOTOS



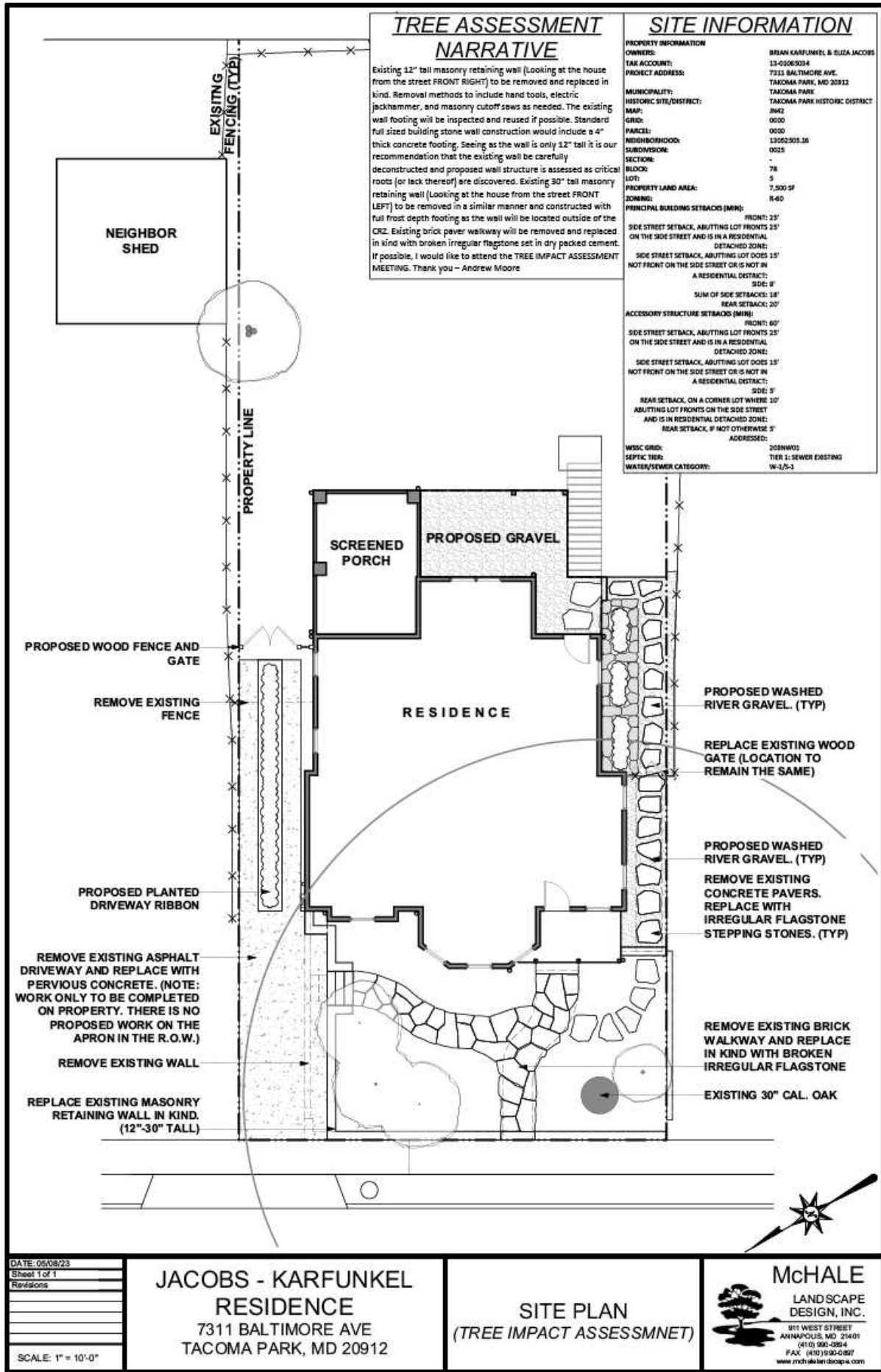
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NOTE: ALL SIGNIFICANT TREES HAVE BEEN ACCOUNTED FOR IN THE SITE PLAN. FURTHER MORE THE URBAN FORESTER FOR TAKOMA PARK HAS BEEN NOTIFIED AND IS COMPLETING A TREE IMPACT ASSESSMENT.



**My TKPK Online**

**Main Menu**

- Home
- Submit a Request
- Report a Violation
- My Request Center

**Online Payment Services**

- Landlord Registration and Licensing Fee
- Parking Fines
- Recreation Programs Fee

**Other Resources**

- City Calendar

Reference No: W010699-050823  
 Contact E-Mail: andrewm@mchalelandscape.com

RE: Tree Impact Assessment Request, Reference # W010699-050823

Dear Andrew Moore,  
 Thank you. Your request has been submitted. An invoice for the \$50 inspection fee is now ready. Your application will not be processed until payment has been received. Please click the link below to navigate to the invoice payment page.

Pay My Invoice  
 You can also send check or money order to:  
 Takoma Park Public Works Department  
 31 Oswego Avenue  
 Takoma Park, MD 20912  
 Please make payment out to: City of Takoma Park

Powered by GovQA

DATE: 05/08/23  
 Sheet: TS 1.0  
 Sheet 6 of 7  
 Revisions  
 SCALE: NTS

**JACOBS - KARFUNKEL RESIDENCE**  
 7311 BALTIMORE AVE  
 TACOMA PARK, MD 20912

**TREE SURVEY**

**McHALE LANDSCAPE DESIGN, INC.**

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**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>                  7311 Baltimore Ave, Takoma Park, MD 20912</p>	<p><b>Owner's Agent's mailing address</b>                  Andrew Moore - McHale Landscape Design -                  6212 Leaply Road, Upper Marlboro, MD 20772</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>Sloss, Edward - 7313 Baltimore Ave,                  Takoma Park, MD 20912</p>	<p>Brown, Ellen - 7310 Baltimore Ave, Takoma Park,                  MD 20912</p>
<p>Sandberg, William &amp; Bernard, Catherine -                  7301 Baltimore Ave, Takoma Park, MD 20912</p>	<p>Augustin, Konrad - 7312 Baltimore Ave, Takoma                  Park, MD 20912</p>
<p>Hagerman, Richard &amp; Spatig,                  Amerikaner - 7308 Baltimore Ave, Takoma                  Park, MD 20912</p>	<p>Soloman, Harvey - 7316 Piney Branch Road,                  Takoma Park, MD 20912</p>

DATE: 05/08/23  
 Sheet: PA 1.0  
 Sheet 7 of 7  
 Revisions  
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 SCALE: NTS

**JACOBS - KARFUNKEL  
 RESIDENCE**  
 7311 BALTIMORE AVE  
 TACOMA PARK, MD 20912

**PROPERTY OWNER  
 ADDRESSES**

**McHALE**  
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