Address:	10221 Montgomery Avenue, Kensington	Meeting Date:	6/14/2023
Resource:	Contributing (Primary One) Resource	Report Date:	6/07/2023
	Kensington Historic District	Public Notice:	5/31/2023
Applicant:	Bruce Caswell and Lauren Deichman (Mike Roberson/McFarland Woods, Agent)	Tax Credit:	N/A
Review:	HAWP	Staff:	Rebeccah Ballo
Case Number:	1029631		
PROPOSAL:	After the fact demolition of the garage and const	ruction of a new gara	ıge

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

STAFF RECOMMENDATION

Staff recommends that the HPC <u>approve</u> the HAWP application <u>with six (6) conditions</u>, with final approval authority showing that all conditions have been met delegated to staff:

- 1) The applicant shall submit a corrected copy of the as-built drawings showing the new structure from all four elevations, in plan, and with accurate material notations, noting that this is "New Construction";
- The single hung windows shall be 6/1 to match those from the demolished garage. The windows
 may be wood or aluminum clad wood, with simulated-divided-lite spacers. Final details of the
 windows shall be shown on the revised drawings;
- 3) The siding shall be wood, lap siding, with a reveal no greater than 3"-4";
- 4) The fascia throughout shall be reduced to have a reveal no greater than 6";
- 5) The pool equipment shall be screened with either four-season evergreen plantings or with wood, horizontal panels, or another small structure. Final details of the screening shall be shown on the revised drawings; and,
- 6) The revised drawings shall accurately show all the proposed new hardscape, including specification materials for the pavers and handrails. This item shall be prepared for staff approval under a separate HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE:Primary-One Resource within the Kensington Historic DistrictDATE:c. 1898



Fig. 1: The subject property is located on the east side of Montgomery Avenue, just to the east of the Noyes Children's Library and the Warner Circle Mansion.

PROPOSAL

The applicants propose an after the fact demolition of an existing garage and construction of a new twocar garage.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the Amendment to the Master Plan for Historic Preservation: Kensington Historic District (Amendment), Vision of Kensington: A Long-Range Preservation Plan (Vision), Montgomery County Code Chapter 24A (Chapter 24A), and the Secretary of the Interior's Standards for Rehabilitation (Standards). The pertinent information in these documents is outlined below.

Vision of Kensington

In accordance with Section 1.5 of the Historic Preservation Rules, Guidelines, and Procedures (Regulation No. 27-97), the Commission in developing its decision when reviewing a Historic Area Work Permit application for an undertaking involving a resource within the Kensington Historic District may use the *Vision* to determine the appropriateness of a proposal. The goal of the *Vision* "was to establish a sound database of information from which to produce a document that would serve the HPC, M-NCPPC, their staff, and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century."

In addition, the *Vision* provides a specific physical description of the district as it was at the time of the study, an analysis of character-defining features of the district, a discussion of the challenges facing the district, and a discussion of proposed strategies for maintaining the character of the district, while allowing for appropriate growth and change.

The *Vision* identifies the following, as those features that help define the character of Kensington's built environment:

- Building Setbacks: Residential and Commercial Patterns
- Rhythm and Spacing between Buildings
- Geographic and Landscape Features
- Scale and Building Height
- Directional Expression of Buildings
- Roof Forms and Materials
- Porches
- Dominant Building Material
- Outbuildings
- Integrity of Form, Building Condition, and Threats
- Architectural Style

The Amendment notes that:

The district is architecturally significant as a collection of late 19th and early 20th century houses that exhibit a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake, and Colonial Revival. The houses share a uniformity of scale, setbacks, and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

Administrative Background

The HPC approved Case#31-06-20G (HAWP# 912864) for alterations to the contributing garage constructed between 1911 and 1924—on May 27, 2020.¹ In September 2020, the applicants submitted an amendment to the initial HAWP to request underpinning and installation of a new foundation for the garage. This request was approved by the HPC as a staff item, but the item did not receive final signoff until May 2021 due to required revisions to the drawings.²

In January 2023, Department of Permitting Services (DPS) Inspection staff contacted the HP Office with a service request regarding construction for the garage. Based on pictures from DPS and a site visit, it was determined that the applicant had demolished the garage entirely and rebuilt a new garage instead. A Stop Work Order was issued against the building permit. HP staff determined that a new HAWP and approval from HPC for the demolition of the garage and the new construction was required before additional work could proceed. In response, the applicant submitted this HAWP request.

Description of Original Historic Garage

The one-story, two-car, hipped-roof garage has undergone several alterations prior to the establishment of the Historic District. The original garage doors were removed (though the opening is likely the original size), the siding had been patched and altered in several locations, and a concrete driveway with brick

¹ <u>https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/HAWP/5-27-</u>

^{2020/10221%20}Montgomery%20Avenue,%20Kensington%20-%20912864%20-%20Approval%20Letter.pdf ² The staff item report is available here: <u>https://montgomeryplanning.org/wp-content/uploads/2020/09/10221-</u> <u>Montgomery-Avenue-Kensington-Staff-Item.pdf</u> The approval of this HAWP with revised drawings was not submitted until May 2021 <u>https://mcatlas.org/tiles/06</u> <u>HistoricPreservation</u> <u>PhotoArchives/HAWP/5-12-</u> 2021/10221%20Montgomery%20Avenue,%20Kensington%20-%20951997%20-%20Letter%20to%20DPS.pdf</u>

ribbons and a recessed drain had been installed adjacent to the foundation. The original roof had been removed and replaced with an asphalt shingle roof. The existing garage had measured approximately 372 square feet, and 21' 3" deep by 18'4" wide.





Figure 2: Previous garage from 2020; images taken from previous HAWP application from May 2020 looking at the garage from the front, interior of the lot, and the rear elevation, respectively.

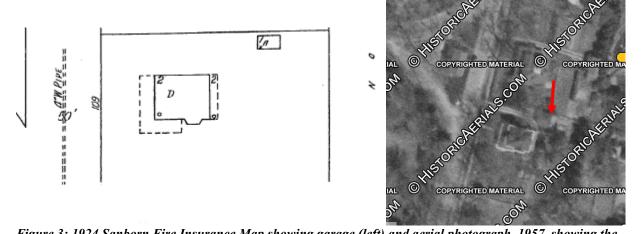


Figure 3: 1924 Sanborn Fire Insurance Map showing garage (left) and aerial photograph, 1957, showing the house and garage (right). The red arrow points to the garage. 1957 Aerial.

5



Figure 4: 1952 real estate ad for the house, noting the 2-car garage (not pictured).

May 2020 and May 2021 HAWP Approvals

For summary purposes, the first approved HAWP# 912864 for alterations to the garage in 2020 including the following work items:

- Replacement of the concrete slab.
- Replacement of the existing sliding garage door with wood bifold carriage-style garage doors.
- Construction of a one new addition at the south (right) side of the garage.
 - 5'-7 ¾" x 10'-7".
 - Painted wood siding to match the existing.
 - Painted wood corners to match the existing.
 - Asphalt shingle roofing to match the existing.
 - An existing window on the south (right) elevation will be reused.
- Construction of a one new addition at the east (rear) of the garage.
 - o 3'-9" x 14'- ½".
 - Painted wood siding to match the existing.
 - Painted wood corners to match the existing.
 - Asphalt shingle roofing to match the existing.
 - An existing window on the east (rear) elevation will be reused.
- Installation of wood lattice on the west (front) and south (right) elevations of the garage.

The Staff Item approval from 2021 included the following work items:

• Increase the height of the garage by 1'-4" by adding a CMU block foundation (two blocks high at 8" high per block). This revision is being proposed to accommodate two car lifts inside the garage.

Current HAWP#1029631 Proposal

According to the general contractor, the project team discovered extensive insect and termite damage to the wood-frame building at the start of construction. Historic Preservation Staff is unable to verify the veracity of this claim since the contractor neither documented the damage nor informed staff. A submitted letter in the packet from the applicant's structural engineer from 2022 seems to demonstrate that the building was structurally sound. However, structural damage due to termites to wood-frame garages from the early twentieth century is not uncommon. The general contractor proceeded to demolish the entire garage and constructed a new two-car garage that is the subject of this application.

The new garage proposed in this HAWP is similar in size, scale, and materials to the previously approved garage alterations. The HPC is being asked to approve the drawing set, which still shows several elements being retained and other details from the original structure being replicated. This does not; however, represent the as-built condition in the field. Staff will describe these inconsistencies in the narrative, and the HPC can discuss and propose conditions to address the differences.

The previously approved HAWPs proposed enlarging the footprint to 24'-deep by 24'-wide with two bumpouts to the original garage—one to the rear (east elevation) and one to the side closest to the house (south elevation). The proposed garage in this HAWP#1029631 would be somewhat smaller, measuring the same depth at 24', but only 20'4" wide. The bumpout bays are smaller on the rear and side elevations as well. The same wood bifold doors are proposed for this project as were approved in the previous HAWP for the renovation.

One change to the footprint is the addition of an exterior stairway with landing and handrail, located to the rear (east elevation) of the building. With the completion of the new sub-basement for automobile storage, this stairway provides access to the basement level from the exterior of the building. The proposed height to the midpoint of the roof from finished grade is 12'3 ¹/₂". This is comparable with the height of the original garage which measured approximately 11' at the midpoint of the roof. Pool equipment located to the rear of the garage is proposed in the drawings to be relocated to the interior of the building.

The proposed building will also have an asphalt-clad hipped roof with a 12/6 pitch to match that of the original garage. The proposed garage will rest on a parged CMU foundation, and be clad in painted wood siding to match the original. All material notes on Sheet A200 of the submittal note that all materials will be wood. Notes on Sheet A200, A300 and A301 note that windows and other historic building materials will be reused.

As-built Garage and Site

As-built conditions in the field (see attached photographs), however, show that the historic windows were not reused and the single windows in the garage now all have a 1/1 configuration as opposed to the proposed 6/1 from the initial submittal. The garage doors appear to be built as proposed. Other inconsistencies are in the width of the siding—which appears to have a 5"-6" reveal as opposed to the narrower 3"-4" reveal from the original that was proposed to be maintained. The pool equipment that was proposed to be located inside the structure remains on the rear; however it is now exposed and unscreened, whereas the equipment was screened previously. The fascia board beneath the soffit is also more substantial than what previously existed and appears to be several inches taller. In essence, the fine-grained and charming details from the original garage that were once proposed to be retained and replicated with (and which are shown in the submitted drawings), have been removed from the garage that was actually built.

Other hardscape alterations have also been constructed between the house and garage that were not previously approved. Those should not be approved as part of this HAWP and staff recommends the applicant submit a revised site plan showing the hardscape, railing details, and other changes for review and approval by staff. Additionally, the pool equipment must be screened in some manner, as this was the

previous condition on the site and was previously proposed. Staff has offered a condition for screening with final details approvable by staff.

For consistency, the permit drawing must be entirely revised prior to approval. The set submitted still contains notes for an "existing garage" and the retention of portions of the building that have been demolished. The final stamped sheets should be revised to note this is entirely new construction with none of the original structure retained.

Ultimately, the question for the HPC is whether the demolition of the garage would have been permissible if it had come in for review with a HAWP. Structural information submitted by the applicant and the previous site photos indicate the building was sound, though the current submittal states there was unverified damage. It is possible the HPC could have found under Section 24A-8.b.4 that the demolition would have been permissible for safety reasons. It is more probable that the HPC would have requested that at a minimum materials from the original garage be retained in new construction and that any new building match the design and character of the original garage as closely as possible. There is no way to undo this demolition of a contributing structure, and therefore staff is offering several conditions meant to replicate design aspects of the original garage in the newly proposed construction.

Specifically, Staff is proposing additional conditions for the fenestration and siding with the goal of restoring some of the details that had been evident before demolition. While the demolition of the garage is regrettable, and the new building a diminished facsimile of the historic garage, Staff supports the proposal with conditions. While the proposal does contravene *Standards #2* and *#9*, staff can find based on the applicants assertion of damage, that the removal was necessary under Chapter 24A-8.b.4: "The proposal is necessary in order that unsafe conditions or health hazards be remedied." Finally, the new building is similar in size, scale, massing, height, location, and materials as the original garage, and is somewhat smaller than the previously approved alterations to that structure from 2020 and 2021. Therefore, the new garage would not adversely affect the character of the house or the surrounding historic district.

After full and fair consideration of the applicant's submission, staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-8(b)(4) & (d), having found the proposal is consistent with the *Amendment to the Master Plan for Historic Preservation: Kensington Historic District*, the *Vision of Kensington: A Long-Range Preservation Plan* as outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission <u>approve</u> the HAWP application <u>with six (6) conditions</u>, with final approval authority showing that all conditions have been met delegated to staff:

- 1) The applicant shall submit a corrected copy of the as-built drawings showing the new structure from all four elevations, in plan, and with accurate material notations, noting that this is "New Construction";
- The single hung windows shall be 6/1 to match those from the demolished garage. The windows
 may be wood or aluminum clad wood, with simulated-divided-lite spacers. Final details of the
 windows shall be shown on the revised drawings;
- 3) The siding shall be wood, lap siding, with a reveal no greater than 3"-4";
- 4) The fascia throughout shall be reduced to have a reveal no greater than 6";
- 5) The pool equipment shall be screened with either four-season evergreen plantings or with wood, horizontal panels, or another small structure. Final details of the screening shall be shown on the revised drawings; and,
- 6) The revised drawings shall accurately show all the proposed new hardscape, including specification materials for the pavers and handrails. This item shall be prepared for staff approval under a separate HAWP application.

under the Criteria for Issuance in Chapter 24A-8(b), (4) & (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the general condition that the applicant shall present **an electronic set of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will <u>contact the staff person</u> assigned to this application at 301-563-3404 or <u>rebeccah.ballo@montgomeryplanning.org</u> to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION

Marc Elrich County Executive Sandra I. Heiler Chairman

Date: June 12, 2020

MEMORANDUM

TO:	Hadi Mansouri
	Department of Permitting Services
FROM:	Michael Kyne
	Historic Preservation Section
	Maryland-National Capital Park & Planning Commission
SUBJECT:	Historic Area Work Permit #912864: Accessory structure alterations and shed construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was <u>Approved</u> at the May 27, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

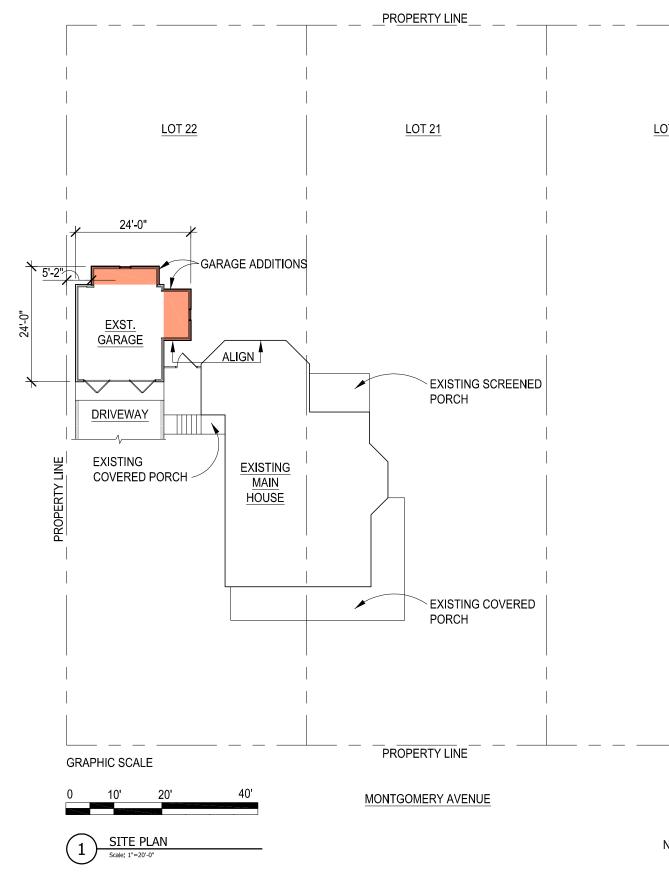
Applicant:Bruce Caswell and Lauren Deichman (Lauren Clark, Agent)Address:10221 Montgomery Avenue, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



LOT COVERAGE

PROPERTY AREA: ZONE:	22,500 SF R-60
MAX LOT COVERAGE ALLOWED:	20% (4,500 SF)
SQUARE FOOTAGE	
EXISTING MAIN HOUSE:	1,957 SF
EXISTING GARAGE:	372 SF
GARAGE ADDITIONS:	113 SF
NEW SHED:	120 SF
TOTAL:	2,562 SF
PROPOSED LOT COVERAGE:	11.4%

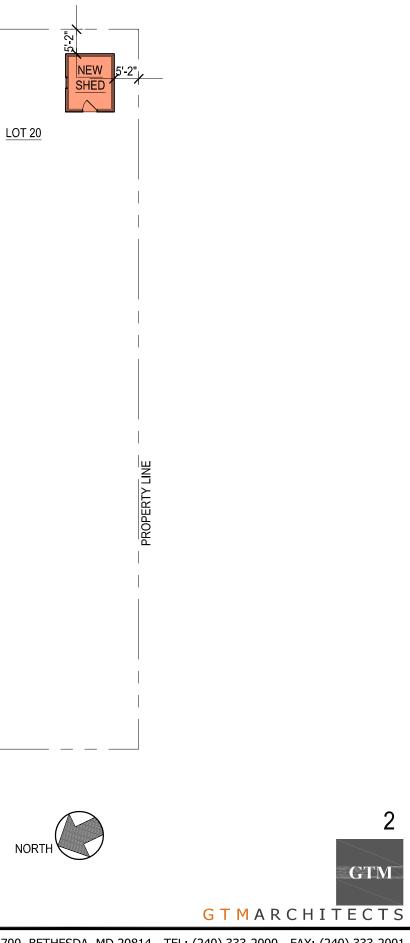


REVIEWED By Michael Kyne at 3:41 pm, Jun 12, 2020

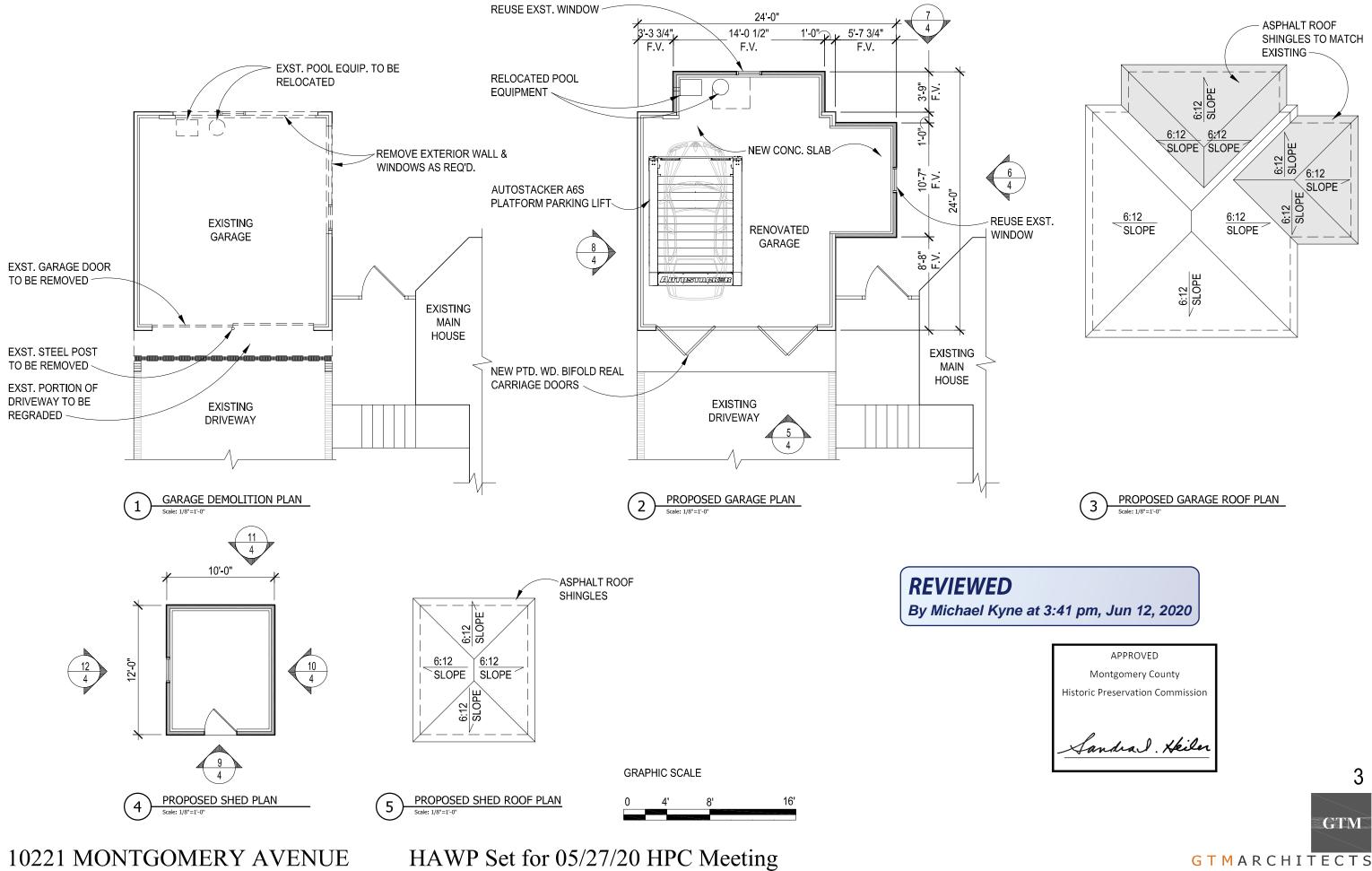


10221 MONTGOMERY AVENUE

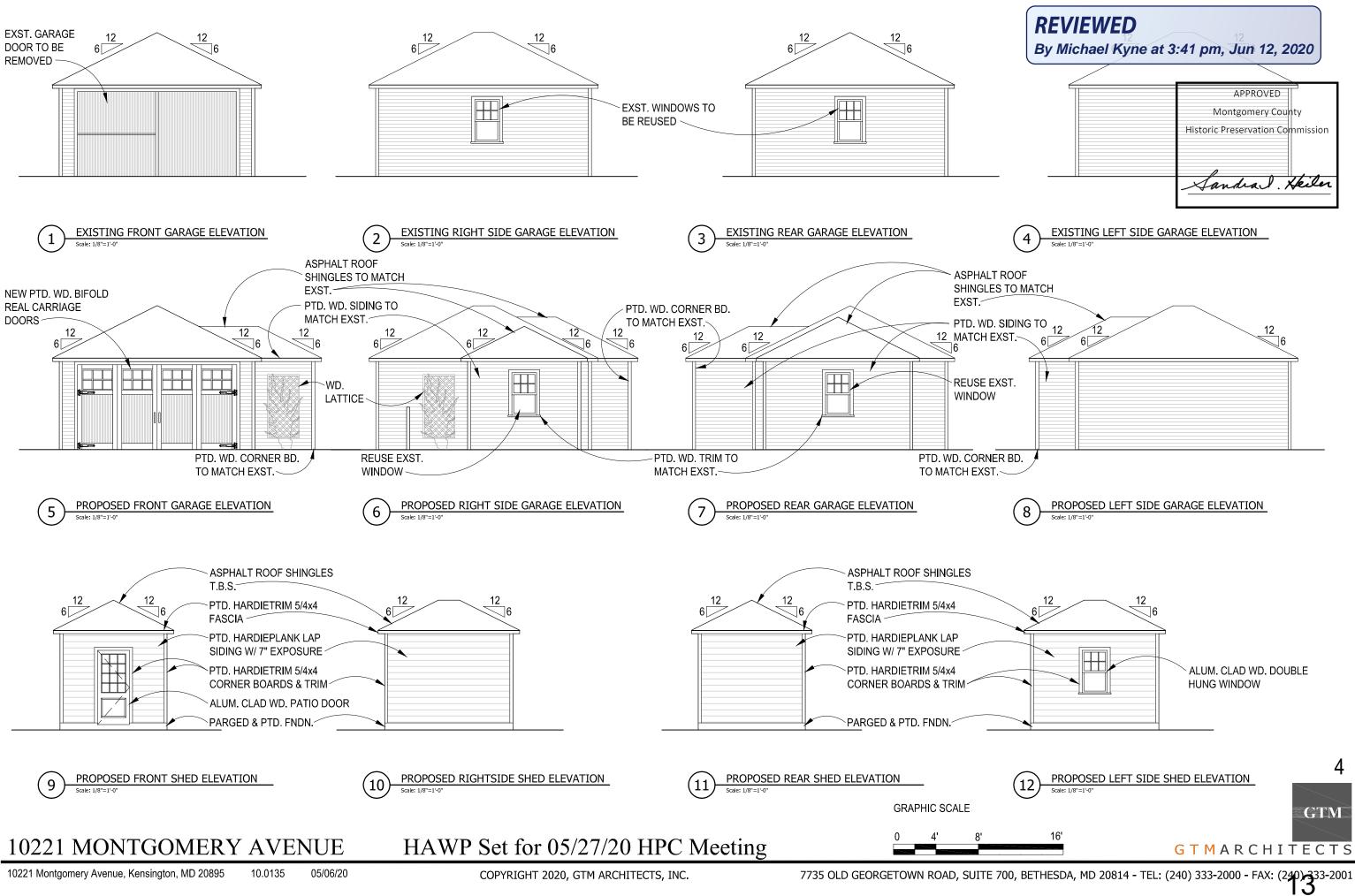
10221 Montgomery Avenue, Kensington, MD 20895 10.0135 05/06/20 HAWP Set for 05/27/20 HPC Meeting COPYRIGHT 2020, GTM ARCHITECTS, INC.



7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001



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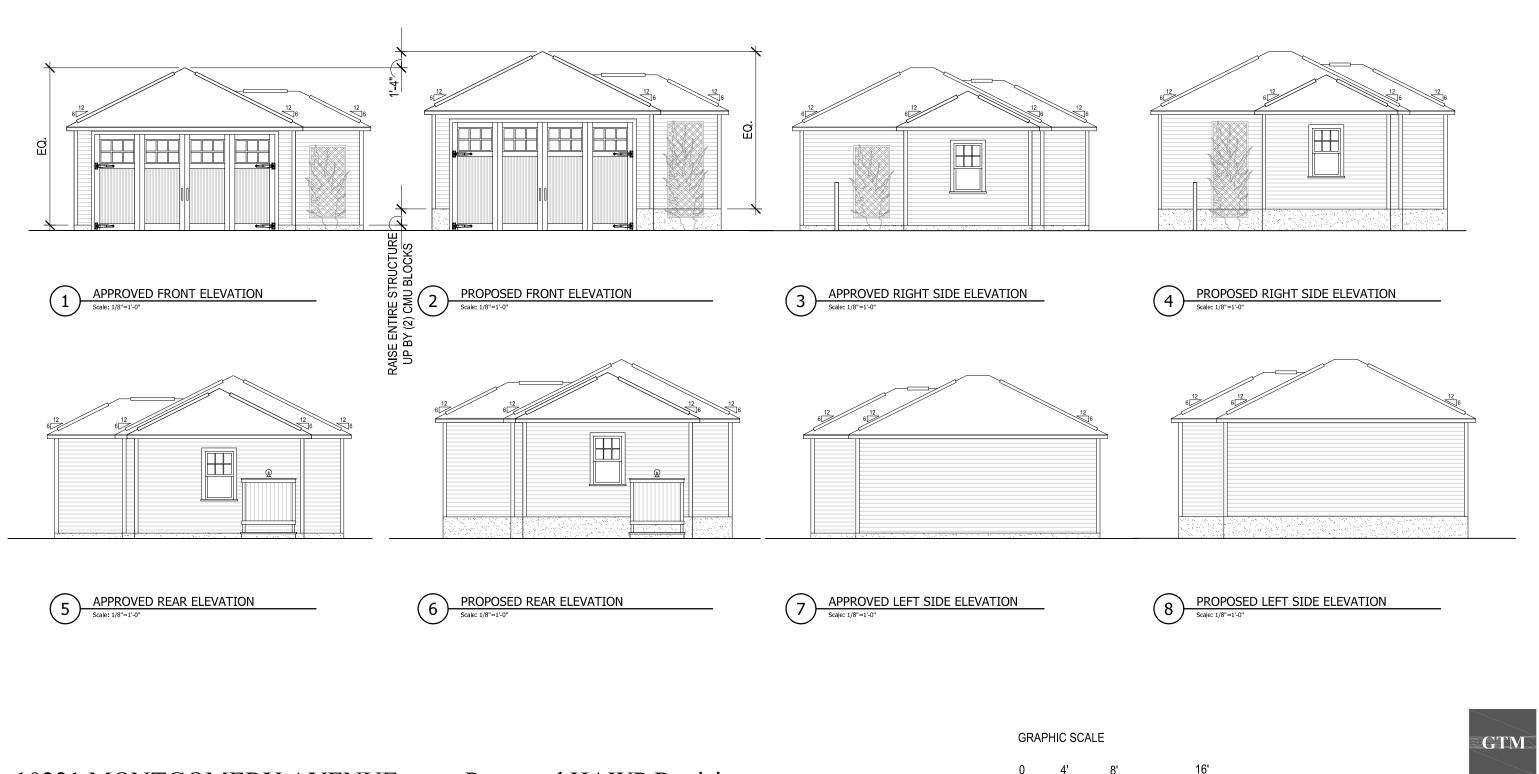


То:	Historic Preservation Commission
From:	Michael Kyne, Planner Coordinator, Historic Preservation
Subject:	Staff Item – Revision to HAWP #31/06-20G for 10221 Montgomery Avenue, Kensington (Contributing (Primary One) Resource, Kensington Historic District)
Date:	September 9, 2020

Background: The application for accessory structure alterations and shed construction was approved at the May 27, 2020 HPC meeting. The approval included the following alterations to the original detached garage at the northeast (rear/left) side of the historic house: • Replacement of the concrete slab. • Replacement of the existing sliding garage door with wood bifold carriage-style garage doors. • Construction of one new addition at the south (right) side of the garage. o 5'-7 ¾" x 10'-7". • Painted wood siding to match the existing. • Painted wood corners to match the existing. • Asphalt shingle roofing to match the existing. • An existing window on the south (right) elevation will be reused. Construction of one new addition at the east (rear) of the garage. o 3'-9" x 14'- ½". • Painted wood siding to match the existing. • Painted wood corners to match the existing. • Asphalt shingle roofing to match the existing. • An existing window on the east (rear) elevation will be reused. • Installation of wood lattice on the west (front) and south (right) elevations of the garage. Proposal: The applicants propose to increase the height of the garage by 1'-4" by adding a CMU block foundation (two blocks high at 8" high per block). This revision is being proposed to accommodate two car lifts inside the garage. Recommendation: Staff recommends approval of this Staff Item.

HPC Decision:

PROPOSED REVISIONS INCLUDE RAISING ENTIRE WOOD STRUCTURE UP BY (2) 8" CMU BLOCKS @ FOUNDATION TO ACHIEVE GREATER HEAD HEIGHT WHILE PRESERVING EXISTING WALL & ROOF STRUCTURE & SIDING



10221 MONTGOMERY AVENUE

Proposed HAWP Revisions

10221 Montgomery Avenue, Kensington, MD 20895 10.0135 09/04/20

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GTMARCHITECTS

From: Sackett, James Ballo, Rebeccah To: Subject: FW: 10221 Montgomery Ave Date: Monday, January 23, 2023 1:00:34 PM Attachments: IMG 2152.jpg IMG 2151.jpg IMG 2146.jpg IMG 2149.jpg IMG 2141.jpg IMG 2150.jpg IMG 2142.jpg IMG 2145.jpg IMG 2143.jpg IMG 2148.jpg

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

From: Virts, Joshua <Joshua.Virts@montgomerycountymd.gov>
Sent: Monday, January 23, 2023 12:41 PM
To: Sackett, James <James.Sackett@montgomerycountymd.gov>
Cc: Burch, David <David.Burch@montgomerycountymd.gov>; Shupp, Jeremy
<Jeremy.Shupp@montgomerycountymd.gov>
Subject: 10221 Montgomery Ave

Attached are photos of new garage at 10221 Montgomery Ave . The garage is reflected on the plans under permit number 964606 as well as a separate permit (936313) for the garage and addition to the garage. The existing Garage was in complete disrepair so the contractor decided to replace the structure.

Joshua Virts Residential Inspector/ Code Compliance Montgomery County DPS 2425 Reedie Drive 7th Floor Cell 202-731-0113

Joshua Virts Residential Inspector/ Code Compliance Montgomery County DPS 2425 Reedie Drive 7th Floor Cell 202-731-0113



For more helpful Cybersecurity Resources, visit: https://www.montgomerycountymd.gov/cybersecurity

From:Mike RobersonTo:Ballo, RebeccahSubject:10221 Montgomery Avenue KensingtonDate:Friday, April 28, 2023 5:12:30 PM

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.









Hi Rebeccah,

Photos of new garage.

Thanks

--

Michael Roberson Project Manager McFarland Woods Inc 240-315-5084

COMERY CO		For Staff only: HAWP# Date assigned
	APPLICATION FOR FORIC AREA WORK PE HISTORIC PRESERVATION COMMISSIO 301.563.3400	
APPLICANT:		
Name:	E-mail:	
Address:	City:	Zip:
Daytime Phone:	Tax Account	No.:
AGENT/CONTACT (if appl	icable):	
Name:	E-mail:	
Address:	City:	Zip:
Daytime Phone:	Contractor R	egistration No.:
LOCATION OF BUILDING/	PREMISE: MIHP # of Historic Property	
Is the Property Located wit	thin an Historic District?Yes/District Na	
	vation/Land Trust/Environmental Easemen I documentation from the Easement Holde	
e ,	Hearing Examiner Approvals / Reviews Re , Record Plat, etc.?) If YES, include informa	
Building Number:	Street:	
Town/City:	Nearest Cross Street:	
Lot: Block	x: Subdivision: Parce	el:
	ED: See the checklist on Page 4 to veri submitted with this application. Incomp	
be accepted for review.		Shed/Garage/Accessory Structure
New Construction	Deck/Porch	Solar
Addition	Fence	Tree removal/planting
Demolition	Hardscape/Landscape	Window/Door
Grading/Excavation	Roof	Other:
I hereby certify that I have	e the authority to make the foregoing appli	cation, that the application is correct
	e construction will comply with plans review	
agencies and hereby ackr	nowledge and accept this to be a condition	for the issuance of this permit.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address						
A diagont and confronting							
	Adjacent and confronting Property Owners mailing addresses						

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1:							
Description of Current Condition:	Proposed Work:						
Work Item 2:							
Description of Current Condition:	Proposed Work:						

Work Item 3:		
Description of Current Condition:	Proposed Work:	

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material 5. Photographs 6. Specifications 6. 6.		6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



255 Rockville Pike, 2nd Floor Rockville, MD 20850-4166 Phone: 311 in Montgomery County or (240)777-0311 Fax: (240)777-6262 http://www.montgomerycountymd.gov/permittingservices

ADDITIONS AND ALTERATIONS

ARCHITECTURAL AND STRUCTURAL REVIEWS

A/P#: 964606 Building Address: 10221 MONTGOMERY AVE KENSINGTON MD 20895 Reviewer: M. STUP Approval Date: 10/06/21
Applicable Code: IRC Edition/Year: 2018
Sprinklers: YES NO IF THE EXISTING HOUSE HAS A SPRINKLER SYSTEM
Stories above grade:
Floor or Roof Trusses: YES NO
Energy Compliance: Prescriptive ResCheck Performance
Mechanical Permit Required: YES NO

Underpin entirety of existing house; create finished space in portion of underpinned cellar; construct addition to house at cellar level only





- 1. The project has been reviewed for code compliance and approved for permit under the 2018 IRC as amended by Montgomery County.
- 2. Issuance of the building permit does not prevent inspectors from requiring corrections when deficiencies are discovered.
- 3. Executive regulation 4-15 AM II requires that the final building inspection be approved before occupancy and the issuance of the Use & Occupancy Permit.
- 4. Separate Electrical and Mechanical trade permits are required. Electrical Work shall be in compliance with the 2017 National Electrical Code as amended.
- Provide the approved 2018 IECC compliance report at the time of framing inspection. 5.
- Smoke alarms shall be installed in accordance with section R314 of the 2018 IRC.
- 6. Radon control methods shall be installed in accordance with Appendix F of the adopted 2018 IRC. 7.
- 9. Basements, habitable attics and every sleeping room shall have at least one opening with a clear opening of 5.7 square feet in accordance with section R310.2 of the 2018 IRC Changes or modifications to these plans may require resubmittal with additional permit fees. No changes shall be made to the approved set of construction plans.

GENERAL COMMENTS

- 8. Carbon Monoxide alarms shall be installed in accordance with section R315 of the 2018 IRC.

D	10221 MONTC	NELL RESIDENCE SOMERY AVE. N, MD 20895	2 SUBDIVISION
	GRAPHIC SYMBOLS	LIST OF DRAWINGS	CA
B	$\begin{array}{c c c c c c c c c c c c c c c c c c c $	01 COVER SHEET 201 CML SITE PLAN 02 SPECIFICATIONS 010 LOWER LEVEL DEMOLITION PLAN A100 PROPOSED LOWER LEVEL PLAN & SCHEDULES A101 GRAAGE DEMOLITION PLAN PROPOSED PLAN & ROOF PLAN A200 GRAAGE DEMOLITION PLAN PROPOSED PLAN & ROOF PLAN A201 GRAAGE DEMOLITION PLAN PROPOSED PLAN & ROOF PLAN A202 GRAAGE COETONS 303 BUILDING SECTIONS 3041 BUILDING SECTIONS 3051 STRUCTURAL NOTES 5100 FOUNDATION PLAN 5101 STRUCTURAL DETALS 5202 STRUCTURAL DETALS 5203 STRUCTURAL DETALS 5204 STRUCTURAL DETALS 5205 STRUCTURAL DETALS 5206 STRUCTURAL DETALS 5207 STRUCTURAL DETALS 5208 STRUCTURAL DETALS 5209 STRUCTURAL DETALS 5200 STRUCTURAL DETALS 5201 STRUCTURAL DETALS 5202 STRUCTURAL DETALS 5300 WALL BRACING PLAN & DETALS COMPANY TO JIM SACKETTO S	SQUARE FOOTAGE MAIN HOUSE EXISTING PROPOSED LOWER LEVEL: 1,055 UNFIN. SF 290 UNFIN. SF (UNDERPINNE) 1,464 SF ADDITION 1,464 SF ADDITION FIRST FLOOR: 1,567 SF NO CHANGE SECOND FLOOR: 1,265 SF NO CHANGE GARAGE 441 SF (PER PERMIT #936313 ISSUED 06/10/21) LOT COVERAGE LOT SIZE = 22,500 SF MAX LOT COV. ALLOWED = 20% (4,500 SF) PROPOSED COVERAGE EXISTING MAIN HOUSE: 1,567 SF EXISTING GARAGE: 441 SF TOTAL: 2,008 SF (8.9% - NO CHANGE) SCOPE OF WORK 9 UNDERPIN ENTIRETY OF EXISTING MAIN HOUSE CREATE FINISHED SPACE IN PORTION OF UNDERPINNED CELLAR CONSTRUCT ADDITION TO MAIN HOUSE AT CELLAR LEVEL ONLY WORK TO EXISTING GARAGE PREVIOUSLY APPROVED UNDER PERM
ľ	MATERIAL SYMBOLS	ABBREVIATIONS	PROJE
LE NAME: V	EARTH CONCRETE STEEL BRICK FINISH CONCRETE WOOD CONCRETE MASONRY UNIT FOUGH SUGAN ELOCKING SYPSUM SLAT SLAT SLAT FOUSTICAL	ADOVE PINEN FLOOR AFT EACH ELEVATION	CLIENTS BRUCE CASWELL & LAUREN DEICHMAN 10221 MONTGOMERY AVENUE KENSINGTON, MD 20895GENERAL CONTRACT MCFARLAND WOODS CONTACT: MATT MC 7370 MACARTHUR B GLEN ECHO, MD 208 (301) 229-3553 matt@mcfarlandwoodsARCHITECT GTM ARCHITECTS CONTACT: LAUREN CLARK 7735 OLD GEORGETOWN ROAD

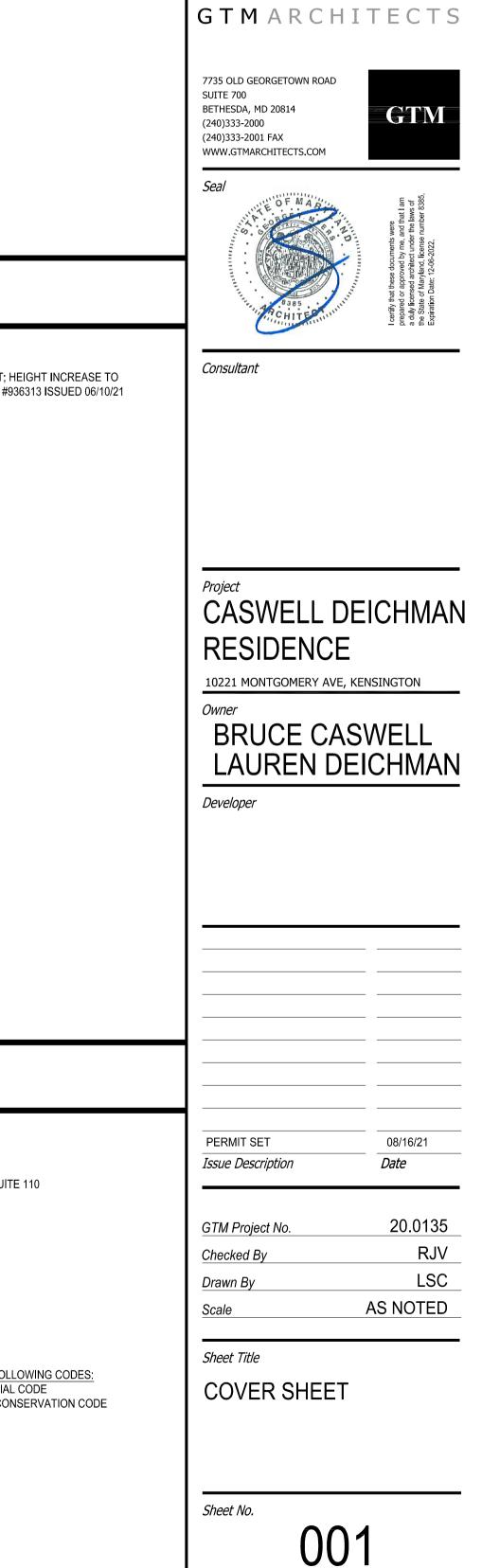
H FLOOR	AFF	EACH	EA	INTERIOR	INT	PLATE	PL	VERTICAL	VERT	CLIENTS	GENER
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ONING	A/C	ELEVATION	EL	JOINT	JT	POLYVINYL CHLORIDE	PVC	VOLTS	V	10221 MONTGOMERY AVENUE	CONTA
G	AH	ELEVATOR	ELEV	JOIST	JST	POUND	LB				
G UNIT	AHU	EMERGENCY POWER	EM	JUNCTION BOX	JB	POUNDS PER SQUARE INCH	PSI	WALLBOARD	WB	KENSINGTON, MD 20895	7370 MA
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		EXPANSION EXPANSION JOINT	EXP EXP JT	LIBRARY LINEAR FEET	LIB LF	RADIUS	RAD, R	WOOD	WD		
	@			LINEAR FEET		REFRIGERATOR	RAD, R REF	YARD	YD		
	AVG	EXTERIOR	EXT					YARD	۲D		
	BM		-	LONG LEG VERTICAL	LLV	REINFORCING REQUIRED	REINF				
		FAHRENHEIT FEET PER MINUTE	FPM	MAINTENANOE	MAINT		REQD				
	BD			MAINTENANCE MANUFACTURER	MAINT	RESILIENT RETURN AIR	RES RA				
	CAB	FEET, FOOT FINISH	FT FIN	MANUFACTURER		REVISION	REV			ARCHITECT	CIVIL E
	CAB CAT		FIN		MAS		REV				
		FIRE EXTINGUISHER CAB.		MASONRY OPENING MAXIMUM	MO	RIGHT HAND	RM			GTM ARCHITECTS	CHARL
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-	CL		FLOUR	MECHANICAL	MECH	ROUGH OPENING	RO				
E	CT CLO	FIRE RATED	FR	MEDIUM	MED MEZZ	SCHEDULE	SCHD			7735 OLD GEORGETOWN ROAD	1751 E
		041105	~	MEZZANINE		SCHEDULE	SECT			BETHESDA, MD 20814	SILVER
	COL	GAUGE	GA	MINIMUM MISCELLANEOUS	MIN	SECTION SERVICE SINK				,	
	CO CONC	GALLON GALLONS PER MINUTE	GAL GPM		MISC MTD	SIMILAR	SS SIM			(240) 333-2028	(301) 4
MASONRY UNITS			GALV	MOUNTED MULLION		SOUND TRANSMISSION	STM			(240) 333-2001 FAX	(301) 4
	CMU CONF	GALVANIZED GENERAL CONTRACTOR		MULLION	MUL	SPECIFICATION	SPEC				(301) 4
	CONF	GROUNDED FAULT INTERUPT.	GC GFI	NOT IN CONTRACT	NIC	SQUARE	SQ			Iclark@gtmarchitects.com	ringram
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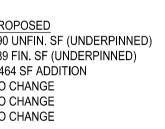
APPROVED Department of Permitting Services Permit # BUILDING-964606 Duet 10/25/21 Starget ip: Apparter Balar

PLAT DATA

BLOCK 3 LOT 20 SUBDIVISION 15: LTS 21 & 22 KENSINGTON PARK ZONED R-60

CALCULATIONS





BUILDING HEIGHT

NO CHANGE TO EXISTING MAIN HOUSE HEIGHT; HEIGHT INCREASE TO EXISTING GARAGE APPROVED UNDER PERMIT #936313 ISSUED 06/10/21

1

JSE JDERPINNED CELLAR CELLAR LEVEL ONLY APPROVED UNDER PERMIT #936313 ISSUED 06/10/21

PROJECT INFORMATION

ENERAL CONTRACTOR CFARLAND WOODS, INC. DNTACT: MATT MCFARLAND 0 MACARTHUR BLVD. EN ECHO, MD 20812 1) 229-3553 t@mcfarlandwoods.com

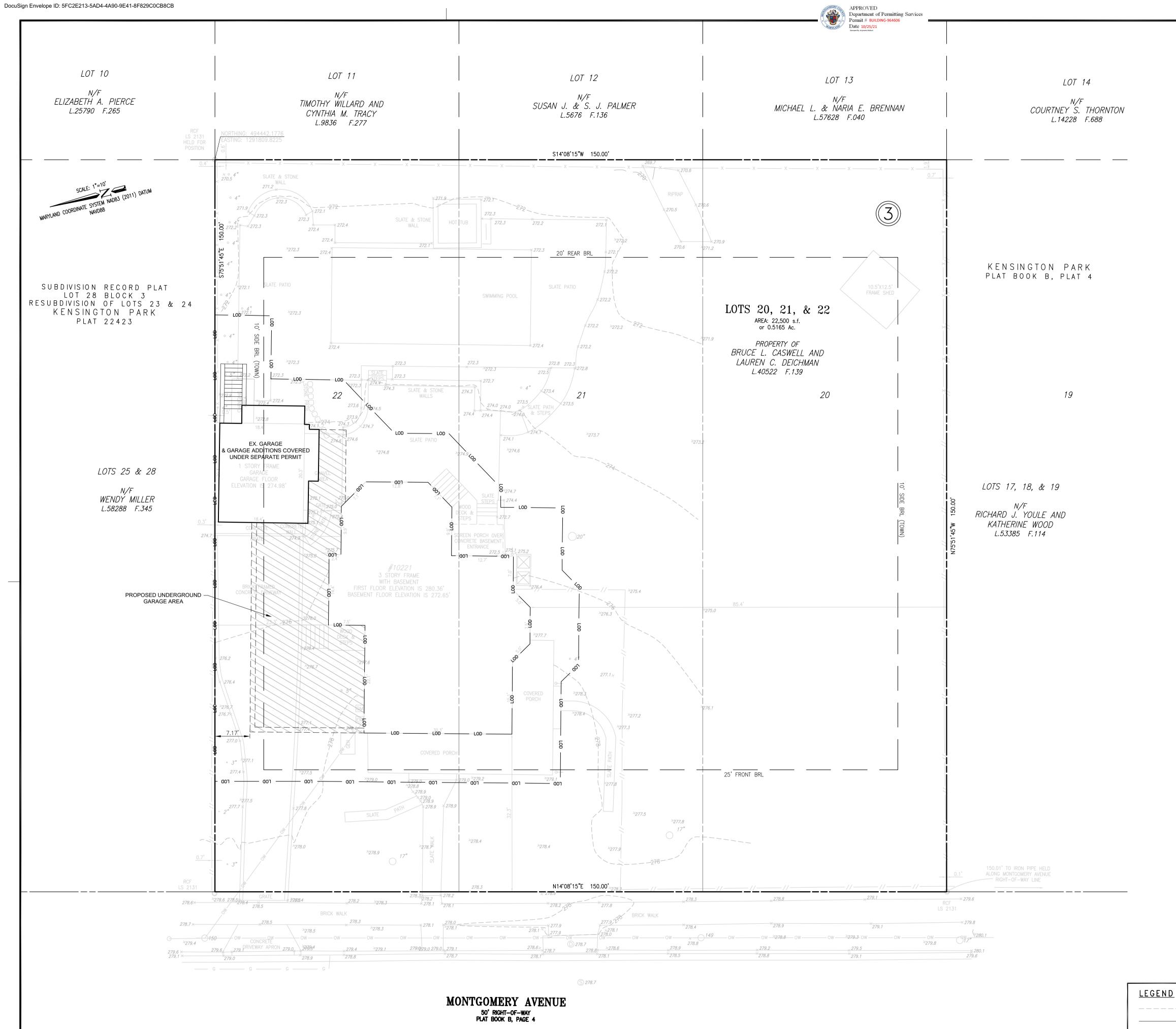
CIVIL ENGINEER CHARLES P. JOHNSON & ASSOCIATES CONTACT: RICH INGRAM I751 ELTON ROAD SILVER SPRING, MD 20903 01) 434-7000 01) 434-9394 FAX gram@cpja.com

STRUCTURAL ENGINEER RADWAN ASSOCIATES CONTACT: GUS RADWAN 8609 WESTWOOD CENTER DRIVE, SUITE 110 VIENNA, VA 22182 (703) 790-8435 radwaninc@aol.com

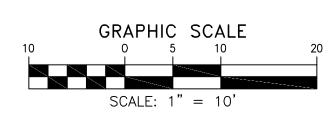
PLANS PREPARED BASED ON THE FOLLOWING CODES: 2018 ICC INTERNATIONAL RESIDENTIAL CODE 2018 ICC INTERNATIONAL ENERGY CONSERVATION CODE

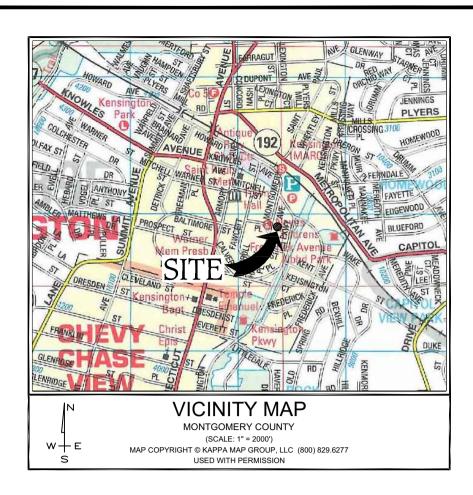
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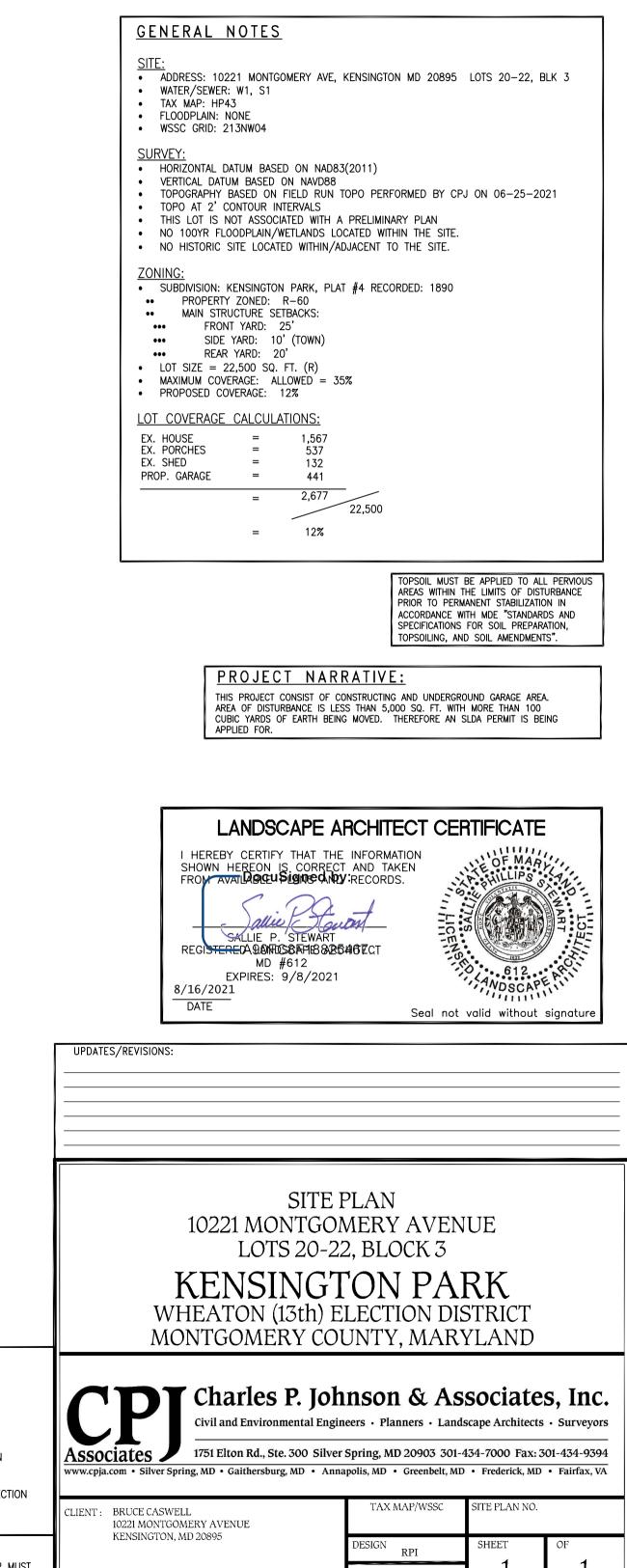




PROPOS FINISHE + 51⁸ SPOT EI EXISTING SPOT EI ----- PROPE







	SHC	APPROXIMATE LOCATION OF SEWER HOUSE CONNECTION
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SED GRADE	WHC	WATER HOUSE CONNECTION
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IG GRADE ELEVATION	——— E ———	APPROXIMATE LOCATION OF PROPOSED ELECTRIC CONNECT
ERTY BOUNDARY		

CERTIFICATION IS REQUIRED FOR UNDERGROUND STORMWATER MANAGEMENT STRUCTURES WHERE POURED CONCRETE

WALLS ARE TO BE UTILIZED, OR ON ANY OTHER STRUCTURE MCDPS DEEMS APPROPRIATE.

MISS UTILITY CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE. CERTIFICATIONS ON THIS SHEET ARE REQUIRED ON ANY PLAN INVOLVING STORMWATER MANAGEMENT. THE STRUCTURAL

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RPI

JULY 2021

AS NOTED

FILE NO :

2021-1284-21

	5	4	3
	SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION The purpose of the following specifications is to establish the level of quality required for both materials and workmanship. These notes are intended as a general outline; specific and additional requirements are indicated on the drawings. The contractor should also note that not all of the		
	items mentioned below may apply to the project. GENERAL REQUIREMENTS	 All poured in place concrete exposed to weather conditions, including the garage floor, shall be air entrained by 6% of concrete volume. No calcium chloride or other admixtures shall be used except as approved in writing by the Owner. Slabs on grade: except where otherwise noted, shall be min. 4" thick, reinforced with 6x6 W1.4xW1.4 WWF Lap mesh 6" in each 	
	 All work shall conform to the International Residential Code (IRC), 2018 edition and all applicable sections of the Montgomery County code for single family construction and applicable building codes including (but not limited to) IECC 2018. The General Contractor shall stake off area of new construction and designate trees and shrubs for removal as required. Protect all landscaping beyond the areas of construction. 	 direction. Slab shall be placed on a layer of 6 mil polyethylene over a 4" layer of washed gravel. Refer to drawings for location of thermal insulation. 5. Concrete finish: Exposed exterior steps, stoops and slabs shall first have a steel trowel finish and then a very light broom finish. Exposed interior and garage shall receive a steel trowel finish. 	A. Cement board shall be non-asbestos fiber-cement material cor
	 The General Contractor shall coordinate phasing and time limits for new construction with the Owner, so as to establish an acceptable payment schedule related to the status of the project. Any permits required for the project shall be obtained by the General Contractor, unless informed otherwise by the Architect that the permit has been obtained. 	 Expansion joints: Non-organic, Owner approved, expansion joint material shall be cast in place where slabs abut masonry or concrete walls to prevent bonding between the two materials. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound within one hour of the final troweling. Curing compound label shall state that its use will not interfere with adhesion of subsequent floor finishes. 	Materials shall be equal to those manufactured by James Harc B. Wood siding and sidewall Shingles shall be kiln dried Western finishes, and "A Clear" grade for semi-transparent stain or opa applied in strict accordance to manufacturer's recommendation
D	 The General Contractor shall store materials and equipment in a safe and suitable place during the construction process. The Owner is not responsible for any losses of material. All debris shall be periodically removed from the site so as to not create a physical or visual hazard to the Owner. The General Contractor shall be licensed in Montgomery County, Maryland, and shall guarantee the project labor and materials for a period of one year after the Architect determines the work to be substantially complete, as per county laws. 		primer/sealer application to all wood surfaces (6-sides). Faster 316 for coastal applications. Install wood siding and shingle pro- felts in accordance with manufacturer's instructions. 21. Coordinate all floor and wall framing with ductwork. Refer to mechanical no 22. Folding Attic Access Ladder shall be 22 ½" x 44" with self-trimming flange,
	 The General Contractor shall provide competent daily supervision of the project. The General Contractor shall notify the related authorities for inspection of the work as related to the specific areas required by the county. The General Contractor shall Carry Workmen's Compensation Insurance for every person employed by him on the premises and shall maintain such insurance in full force during the entire time of this contract. The General Contractor shall carry Comprehensive General and 	 Horizontal footing and walls: reinforcement shall be continuous and shall have 90 degree bends and extensions, or corner bars of equivalent size lapped 36 bar diameters, at corners and intersections. Footings: A. Bottom of footings shall extend a minimum of 2'-6" below any surface subject to freezing: footings shall extend at least 12" into undisturbed soil or set on controlled compacted fill. Depth of footing subject to change if soil conditions are other than assumed. 	22. Folding Attic Access Ladder shall be 22 /2 x 44 with sen-timining hange, panel shall have continuous integral weatherstripping, R-10 insulation, and shall be pine, doweled to pine stringers. Contact Resource Conservation 1 provided to meet required insulation value per IECC R402.2.4.
	 Automotive Liability Insurance of \$25,000 to \$50,000 minimum. These requirements can be amended by the Owner if specified by the contract. All drawings, specifications, and copies furnished by the Architect are the documents for the construction of this project only and shall not be used in any other circumstance. 	 Bearing value of soil is assumed to be 1,500 PSF with no water condition present. Minimum bearing value of controlled fill shall be certified by a licensed geotechnical engineer. 12. Anchor bolts: set anchor bolts or approved straps as shown. Bolts for wood sill plates shall be ½" in diameter and project 8" into concrete; set straps or bolts 12" max from end of any plate and 6'-0" max O.C. spacing, unless shown otherwise. 	RADON DETECTION AND TREATMENT The Contractor shall provide a venting system consisting of a minimum of inserted into the sub-slab gravel base (at all new concrete slabs). A 'T' fittle opening remains with the sub-slab permeable material. The pipe shall term
	 The General Contractor shall carefully study the contract documents and report to the Architect any error, omission, or inconsistency they may discover. The General Contractor shall provide and pay for all labor, materials, equipment, tools, machinery and other facilities and services necessary for proper execution and completion of the work, and shall guarantee no mechanic liens against the project at completion. 	 MASONRY 1. Brick shall conform to ASTM C-62. Mortar shall conform to federal specifications SS-C-18IE-type II. Lay brick only when outside temperature is 45° F and rising. Protect all work from cold and frost and ensure that mortar will cure without freezing. Calcium chloride and 	 Contractor shall coordinate location of pipe with Architect prior to installing Install, per IRC, 2018 edition, Appendix F 'Radon Control Methods.' The Contractor shall provide any other measures as required by local code
-	 The Contract Sum is stated in the agreement and is the total amount payable by the Owner, which designates the addition, deletion, or revision to the contract. The Change Order must also designate the change in the original contract sum. At least seven days before the date of each progress payment established by the agreement, the General Contractor shall submit to the Architect and Owner an itemized application designating which portion of the work has been completed. 		VENTILATION 1. Where attics are indicated to be ventilated, they are to be vented in one of A. Continuous ridge venting and continuous soffit venting. Ridge ventily soffit vents shall be a minimum of 2" wide. Circular louver vents
	 The Contractor shall verify dimensions prior to construction, and all discrepancies shall be brought to the attention of the Architect so that clarifications can be made. The Contractor shall field verify all dimensions related to existing conditions. Written dimensions take precedence over scaled sizes. Do not scale drawings to determine missing dimensions. The Contractor shall be responsible to have new utility line services (gas, electric, telephone) installed to the house connection/meter location. 	 masonry. Set bolts or straps 12" max. from end of any plate. CMU walls shall have horizontal wire joints reinforcement at 16" O.C. vertically, or as indicated. Provide 4" solid masonry on all sides of joists or beams entering masonry party walls. 	drawings. B. Screen louvers or vents with an open area equal to one square 2. Provide foundation vents for all crawl spaces. Refer to drawings for locatio 3. Venting for appliances and exhaust fans:
	 DEMOLITION NOTES Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members. 	 A. Secure brick veneer with 16 GA hot-dipped zinc coated wall ties at 16" O.C. horizontally and vertically. B. Provide flashing at first course above grade, at lintels, sills and elsewhere as shown. Provide ³/₁₆" diameter tube weeps or cellular plastic head joint-type weeps at 24" O.C. C. Provide through-wall flashing above all unsheltered openings. Flashing shall be end-dammed at all terminations. 	 A. Provide venting to the exterior as per manufacturer's recomme exterior shall be approved by Architect prior to installation. B. Provide exhaust fans for bathrooms, etc., as shown on drawing Architect prior to installation. Ducts within unconditioned space
	 Temporary walls and dust barriers shall be installed as necessary to prevent circulation of dirt and dust into portions of the house that are not part of the work. All dashed walls, fixtures, windows, etc., are to be removed. See Demolition Sheets for additional information. Conduct all demolition operations in compliance with applicable codes and ordinances. 	D. Install high-density polyethylene or polyester cavity drainage material, equal to "mortar net," above all flashing. Material shall be sized to fill the width of the cavity.	 Provide Whole-House ventilation system to comply with IECC R403.5 MOISTURE PROTECTION Appropriate sealants shall be selected for each substrate depending upon
С	 Coordinate demolition with work of subcontractors. Maintain the existing structure in a watertight condition at all times. Provide the necessary enclosures to allow the owner to maintain comfortable temperatures within the occupied portions of the home during construction. 	 Basis of design is FortifiberΦ / two-ply super jumbo texΦ 60 minute Reference standard; federal specification W-B-790A, Type I, Grade D, Style 2 Moisture vapor transmission: 35 grams minimum; ASTM E 96 Water resistance: 150 minutes (Professional), ASTM D 779 	 traffic conditions. Use primers as required. Color of caulking shall be coordinated with adjacent materials and must be Joint fillers shall be used: A. To control the depth of sealants in joints.
	 GENERAL STRUCTURAL NOTES 1. Work shall be done in accordance with the International Residential Code (IRC), 2018 Edition. 2. The design gravity live loads are as follows: 	 C.M.U.'s to have water repellent block admixture; 'Dry-Block' by W.R. Grace recommended. Exterior mortar to have water repellent admixture. Unless noted otherwise, tool all joints concave. Fully bed in mortar face shells and webs of first course of CMU. 	 B. To meet the requirements for resilient separations in horizonta areas. 4. Bond breakers shall be used to prevent adhesion to more than two surfaces 5. Masonry foundations shall be parged to a thickness of ³/₄" minimum.
	Roof load (snow): 30 LL + 15 DL = 45 PSF Living Spaces: (1st Floor) 40 LL + 15 DL = 55 PSF Sleeping Spaces: (2nd Floor) 30 LL + 15 DL = 45 PSF Exterior Decks: 60 LL + 15 DL = 75 PSF	 All masonry joints shall be fully filled with mortar, including head joints. STEEL Structural steel shall conform to ASTM A36 	6. Waterproof all below grade foundation walls with a polymer-modified asph thickness shall be minimum 60 mil. Installation and substrate preparation s and concrete cold joints by embedding fiberglass fabric around corners an recommendations. Install subsurface drainage composite similar to CETC
	Live Load Deflection Limitation for floors and stairs shall be L/360 Live Load Deflection Limitation for roofs shall be L/240 FOUNDATIONS	 Steel beams shall conform to ASTM A572 Grade 50. All steel angles, lintels, beams, columns, etc. are to be shop primed with red lead or red oxide primer or approved equal. Structural steel at or below grade shall be painted with two coats on an asphaltic base paint and protected with a minimum of 2" solid masonry or concrete. For all openings or recesses in brick or brick-faced masonry walls not specifically detailed, provide one steel angle for each 4" of wall 	 Footing drains shall be min. 4" in diameter and installed on the exterior of a All flashing shall be installed according to the building code. An eave flash membrane shall be applied to extend from the edge of the roof to a point 2 valleys.
-	 The foundation for the structure has been designed for the assumed bearing pressure of 1,500 PSF. This is to be verified by the contractor prior to the footings being poured. It is also assumed that there is no water condition present. Basement walls have been designed for an assumed equivalent fluid pressure of 55 PSF. Excavations for spread footings and continuous footings shall be cleaned and hand tamped to a uniform surface. 	L 3-1/2 X 3-1/2 X 5/16 3'-1" to 4'-0" 6"	 All membrane roofing to be approved by Architect prior to installation. All roof shingles to be approved by Architect prior to installation. Asphalt shingle roofs with slopes from 2 in 12 to 4 in 12 shall have two lay International Residential Code.
	 Slabs on grade shall be underlaid by a minimum of 4" of granular material having a maximum aggregate size of 1.5 inches and no more than 2% fines. Prior to placing the granular material, the floor subgrade shall be properly compacted, proofrolled, free of standing water, mud, and frozen soil. Before placement of concrete, a vapor barrier shall be placed on top of the granular fill. Bottoms of all exterior footings shall be 2'-6" minimum below finished grade. Footings shall project a minimum of 12" into undisturbed existing network expression and barrier shall be of features and barrier to advant the aggregate size of 1.5 inches and no more than 1.5 minimum below finished grade. 	L 4 X 3-1/2 X 5/16 5'-1" to 6'-0" 6" L 5 X 3-1/2 X 5/16 6'-1" to 7'-0" 8" L 6 X 4 X 3/8 7'-1" to 8'-0" 8"	 12. Flashing" A. Through-wall and other concealed flashing shall be a composit Copper Fabric. B. Exposed flashing shall be 16 oz. copper. 12. Painted eluminum drip other chall be installed at the case and rake addrese
	natural ground having allowable bearing capacity stated. Depths of footings subject to change if soil conditions are other than assumed. ENERGY CONSERVATION 1. The following provisions for thermal resistance meet or exceed the requirements stipulated by the 2018 International Energy Conservation		 Painted aluminum drip strips shall be installed at the eave and rake edges trim where indicated. Exterior Insulation and Finish Systems (EIFS) shall be equal to Dryvit, Res secondary weather barrier and the insulation board.
	Code (IECC), climate zone 4A. These values are the minimum acceptable. See drawings for specific values required for the project. Insulation IECC A. Ceiling (of uppermost story) R-49, or R-38 continuous B. Vaulted Ceiling R-49 w/lesser of 500 sf or 20% of total insulated ceiling area R-30	stresses: Extreme fiber stress in bending 1,200 PSI	 Cedar roof shingles shall be No. 1, Blue Label, red cedar. Install over "Ced with manufacturer's instructions. Standing seam roofing shall be 16 ounce copper with water-tight standing underlayment on solid sheathing. For slopes 3 in 12 or less provide self-ad
В	allowance C. Frame walls (with storm window R-20 or 13+5 (exterior) or double glazing) D. Rim Joists Equal to wall below	Modulus of Elasticity Shear Stress 1,500,000 PSI 2. Manufactured joists and trusses (if shown on drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building department for approval.	to receive standing seam roofing. ze FINISHES
	E. Floors over unheated spaces R-38 (including floor overhangs) F. Masonry walls (enclosed heated R-13 or R-10 continuous living areas)		Gypsum Wallboard: 1. Gypsum wallboard shall be ASTM C-36 as follows: A. Regular (1/2"): except where noted. B. Water resistant (1/2"): at bathroom ceilings and walls that are noted.
	G. Slab on grade (heated space) 24" Perimeter Insulation H. Windows I. Doors See section R402.3.4	 All joists and rafters shall be rigidly braced at intervals not exceeding 8'-0". Double studs at header bearing, double joists and rafters at all openings according to schedule below (unless noted otherwise on drawings): Double 2 x 4 Up to 3'-0" Double 2 x 6 Up to 4'-0" 	 C. Durock interior tile backer board (½"): at all surfaces that have Gypsum boards shall have tapered edges to accommodate joint reinforcer Provide edge corner beads, trim, taping, and joint compounds as required Gypsum or approved equal.
	 3. Air Infiltration A. Provide ¼" x 5.5" compressible sill sealer between foundation wall and all sill plates. B. Windows: Not exceeding three tenths (0.3) CFM of sash crack C. Sliding glass doors: not exceeding three tenths (0.3) CFM per square foot of door area 	Double 2 x 8 Up to 5'-0" Double 2 x 10 Up to 7'-0" Double 2 x 12 Up to 8'-0"	 4. Finishing requirements: A. For typical walls and ceilings provide a Level 4 Finish as define B. For surfaces noted to receive semi-gloss or gloss paint provide Hardwood Flooring:
	 D. Swinging doors: Not exceeding five tenths (0.5) CFM per square foot of door area. Provide 1" compressible sill sealer between foundation wall and all sill plates. E. Building thermal envelopes shall be tested per IECC R402.4.1.2 and verified as having air leakage not to exceed 3 air changes per hour. 	 Provide blocking, banding, crush blocks, stiffeners, or rim joists, as required, at joist ends. Floor joists shall have a minimum bearing of 2" on framed walls. All beams shall have minimum bearing of 4" bearing on all supports. Provide moisture protection to end of beams pocketed into masonry walls. Wood joists, studs, and beams shall not be cut or notched unless authorized by the Architect. Drilled holes shall be centered at mid-depth 	 Unless noted otherwise, provide wood strip flooring where shown on the d Wood strip flooring to be oak. Where abutting existing floor, new floor shal grade, in accordance with the national Oak Flooring Manufacturer's Assoc Install flooring in strict accordance with the recommendation of the National
	 F. Recessed lighting in the thermal envelope shall comply with IECC R402.4.4 G. Systems duct and piping installation shall comply with IECC R403 including Whole-House Mechanical Ventilation system installation. 	of the member and the hole diameter shall not exceed $\frac{1}{3}$ the actual depth of the member. No holes shall be drilled within 2' from the ends or within the middle $\frac{1}{3}$ of the span. Provide 4" clear between holes.	 After the floors have been sanded, the flooring contractor shall apply a min areas on the floor for the owner to review. The owner shall have a minimu <u>Ceramic Tile:</u> Provide ceramic tile and accessories in accordance with the Tile Council of
	 TERMITE CONTROL SOIL TREATMENT Treat soil with Bayer Corporation, Premise 75, in strict accordance with manufacturer's recommendations. Remove all extraneous sources of wood cellulose and other edible materials such as wood debris, tree stumps and roots, stakes, formwork, and construction waste wood from soil within and around foundations. Loosen, rake, and level soil to be treated except previously compacted 	 Contractor shall be responsible for providing necessary bracing and shoring of existing members and walls while altering the structure. Provide 2x4 intermediate blocking at all bearing and non-bearing partitions. All plywood shall be APA span rated. Use exterior grade plywood wherever edge of face will be exposed to weather. Interior plywood exposed to weather during construction shall be Exposure I min. 	 specified by the owner. Setting materials: comply with pertinent recommendations contained in the Installation: comply with ANSI A108.1, ANSI A108.2, and the "Handbook f A. Extend tile into recesses and under equipment and fixtures to f
	 areas under slabs and footings. A. Slabs-on-Grade and Basement Slabs: Under ground-supported slab construction, including footings, building, slabs, and attached slabs as an overall treatment. Treat soil materials before concrete footings and slabs are placed. B. Foundations: Adjacent soil including soil along the entire inside perimeter of foundation walls, along both sides of interior partition 	A. Exterior wall sheathing shall be $\frac{1}{2}$ " plywood unless noted otherwise.	 B. Terminate tile neatly at obstruction, edges, and corners, without C. Align joints when adjoining tiles on floor, base, trim, and walls a D. Layout tile work and center the tile fields in both directions in ea 4. Replacement reserve: Contractor shall furnish to the Owner one unopened
	 walls, around plumbing pipes and electric conduit penetrating the slab, and around interior column footers, piers, and chimney bases; also along the entire outside perimeter, from grade to bottom of footing. Avoid soil washout around footings. C. Crawlspaces: Soil under and adjacent to foundations as previously indicated. Treat adjacent areas including around entrance platform, porches, and equipment bases. Apply overall treatment only where attached concrete platform and porches are on fill or 	clips at butt joints of roof sheathing. 14. MICRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by Trus Joist MacMillan or approved equal. Beams shall be installed according to manufacturer's recommendations. When fastening two or more beams together, provide a minimum of two rows of 16 d nails 12" on center.	Carpet: 1. Provide carpeting as indicated on the drawings. Refer to allowances on sc <u>Vinyl Tile:</u> 1. Installation of all vinyl composition tile (VCT) shall be done in a manner wh
A	 ground.Crawlspaces used as plenum spaces strictly follow manufacturer's recommendedations. D. Along driplines of roof overhangs without gutters. E. Where condensate lines from mechanical equipment drip or drain to soil. F. At plumbing penetrations through ground-supported slabs. 	 15. TJI Floor Joists are to be manufactured by Trus Joist MacMillan or approved equal. Install per manufacturer's recommendations. 16. The following wood elements are to be pressure treated with preservative: A. Sill plates resting on concrete or masonry walls. B. Sill plates resting on concrete slabs on grade. 	ASTM E 648, ASTM E 84, AND ASTM E 662. 2. Replacement reserve: Contractor shall furnish Owner with one unopened
	 G. Other sites and locations as determined by licensed installer. WARRANTY Special Warranty: Manufacturer's standard form, signed by Applicator and Contractor certifying that termite control work, consisting of applied 	 C. Joists which enter concrete or masonry walls and have less than ¹/₂" clearance on tops, sides, and ends. D. Sleepers resting directly on concrete slabs. E. Exterior porch and deck framing, decking, and stairs. 17. Fasteners, hangers, and metal accessories used in pressure treated wood construction shall be type 304 or 316 stainless steel. Treated 	Paint: 1. All paint and primers to be Benjamin Moore or approved equal. Refer to so 2. All surfaces to be painted shall receive one primer coat and two finish coa 3. All paint shall be applied according to manufacturer's recommendations.
	termiticide treatment, will prevent infestation of subterranean termites. If subterranean termite activity or damage is discovered during warranty period of five (5) years from Substantial Completion, re-treat soil and repair or replace damage caused by termite infestation.	Iumber shall not be placed in contact with aluminum flashing or other aluminum components. 18. Exterior Wood Trim: A. All exterior wood trim shall be clear pine or redwood. B. All trim shall be primed on both sides prior to installation.	Architectural Woodwork and Trim: 1. All millwork trim and molding shall be installed accordingly to the quality of 2. All interior trim and millwork shall conform to AWI "custom standards." 3. Flat trim shall be clear pine or approved equal.
JAME:	 All concrete construction shall conform to the latest A.C.I. code 332. Concrete shall have natural sand fine aggregates and normal weight coarse aggregates conforming to ASTM C33, Type 1 Portland Cement conforming to ASTM 150, and shall have a minimum 28-day compressive strength (F/C) as follows: 	 C. All outside corners shall be mitered. No butt joints will be accepted 19. Exterior Synthetic Trim shall be "AZEK," with traditional smooth surface. Fasteners, joint cement, and installation procedures shall be in accordance with manufacturer's recommendations. 	 All corners of trim and siding are to be mitered, except inside corners of in not be accepted. All millwork and trim shall be installed by craftsmen with experience in wor consistent with the best practices of the trade.

conforming to ASTM 150, and shall have a minimum 28-day compressive strength (F/C) as follows: • F/C = 2,500 PSI for footings, interior slabs on grade (except garages) and fill in concrete blocks Footing drains shall be min. 4" in diameter and installed on the exterior of all foundations.

1 Stairs $7\frac{3}{4}$ " max rise 10" min tread 6'-8" min head room more risers.

- 5. system with battery backup. 22. Folding Attic Access Ladder shall be 22 ½" x 44" with self-trimming flange, pre-finished door panel, and gas-piston counterbalance. The door 7. shall be pine, doweled to pine stringers. Contact Resource Conservation Technology at 410-366-1146. Additional insulation hood shall be 9.
 - ELECTRICAL AND LIGHTING NOTES
 - upgraded as required.

 - Continuous ridge venting and continuous soffit venting. Ridge vent shall be by Cor-A-Vent or approved equal. Continuous screen 7.
 - Provide venting to the exterior as per manufacturer's recommendations for all appliances. Location of ductwork and vent on
 - MECHANICAL NOTES

 - 5. Equipment will be Carrier or approved equal.

- PLUMBING NOTES thickness shall be minimum 60 mil. Installation and substrate preparation shall be per manufacturer's recommendations. Reinforce corners 2.

STEAM SHOWER

- Through-wall and other concealed flashing shall be a composite of fiberglass fabric, 5 oz. copper and asphalt, equal to York board over 2x4 studs.

 - wall and ceiling
- trim where indicated. 14. Exterior Insulation and Finish Systems (EIFS) shall be equal to Dryvit, Residential MD System, with Dryvit drainage mat installed between the 5. Steam Unit: "Mr. Steam model #MS-150, 6kw or approved equal. Provide the following connections: water inlet 3/8" NPT, steam outlet NPT, secondary weather barrier and the insulation board.

Cement board shall be non-asbestos fiber-cement material complying with ASTM Standard Specification C1186 Grade II, Type A.

Wood siding and sidewall Shingles shall be kiln dried Western Red Cedar, "Clear V.G. Heart" grade for clear and transparent stain

finishes, and "A Clear" grade for semi-transparent stain or opaque finishes. Semi-transparent stain or opaque finish shall be

primer/sealer application to all wood surfaces (6-sides). Fasteners shall generally be type 304 stainless steel, but shall be type

applied in strict accordance to manufacturer's recommendations; including, but not limited to, substrate preparation and

The Contractor shall provide a venting system consisting of a minimum of 3" diameter ABS, PVC or equivalent gas-tight plumbing pipe inserted into the sub-slab gravel base (at all new concrete slabs). A 'T' fitting or equivalent method shall be used to ensure that the pipe

Where attics are indicated to be ventilated, they are to be vented in one of the following ways (refer to drawings for specifics):

Screen louvers or vents with an open area equal to one square foot for every 300 square feet of attic space.

Architect prior to installation. Ducts within unconditioned spaces shall be insulated to prevent condensation.

1. Appropriate sealants shall be selected for each substrate depending upon location (interior or exterior), humidity, moisture conditions, and

Color of caulking shall be coordinated with adjacent materials and must be approved by Architect prior to application.

and concrete cold joints by embedding fiberglass fabric around corners and across joints in accordance with manufacturer's

All flashing shall be installed according to the building code. An eave flashing strip of 40 mil. self-adhering rubberized asphalt sheet

11. Asphalt shingle roofs with slopes from 2 in 12 to 4 in 12 shall have two layers of #15 roofing felt applied in accordance with with the

membrane shall be applied to extend from the edge of the roof to a point 24" min. inside the interior wall line of the structure, and at all

recommendations. Install subsurface drainage composite similar to CETCO "Aquadrain IOX" over the cured membrane.

opening remains with the sub-slab permeable material. The pipe shall terminate at least 12" above the high side of the roof penetration.

soffit vents shall be a minimum of 2" wide. Circular louver vents between each rafter may be used at the soffit if shown on the

Provide exhaust fans for bathrooms, etc., as shown on drawings. Location of ductwork and vent on exterior shall be approved by

Materials shall be equal to those manufactured by James Hardie Building Products.

21. Coordinate all floor and wall framing with ductwork. Refer to mechanical notes.

Contractor shall coordinate location of pipe with Architect prior to installing the pipe.

Cedar roof shingles shall be No. 1, Blue Label, red cedar. Install over "Cedar Breather" by Benjamin Obdyke Inc. and 30# felts in accordance with manufacturer's instructions.

13. Painted aluminum drip strips shall be installed at the eave and rake edges of the roof sheathing for shingle roofs, and above window and door 3.

16. Standing seam roofing shall be 16 ounce copper with water-tight standing seams. For slopes greater than 3 in 12 provide #30 roofing felt underlayment on solid sheathing. For slopes 3 in 12 or less provide self-adhering 40 mil ice and water guard membrane over the entire area to receive standing seam roofing.

- Gypsum wallboard shall be ASTM C-36 as follows:
- Regular $(\frac{1}{2}")$: except where noted.
- Water resistant $(\frac{1}{2})$: at bathroom ceilings and walls that are not tiled. Durock interior tile backer board $(\frac{1}{2})$: at all surfaces that have tile.
- Gypsum boards shall have tapered edges to accommodate joint reinforcement.
- Provide edge corner beads, trim, taping, and joint compounds as required for the proper completion of the job. Materials shall be by U.S.
- Gypsum or approved equal. 4. Finishing requirements:
- For typical walls and ceilings provide a Level 4 Finish as defined by the Gypsum Association. For surfaces noted to receive semi-gloss or gloss paint provide a Level 5 Finish as defined by the Gypsum Association.
- Hardwood Flooring: Unless noted otherwise, provide wood strip flooring where shown on the drawings.
- Wood strip flooring to be oak. Where abutting existing floor, new floor shall match existing in size and grain. Elsewhere, oak shall be "clear" grade, in accordance with the national Oak Flooring Manufacturer's Association.
- Install flooring in strict accordance with the recommendation of the National Oak Flooring Manufacturer's Association. After the floors have been sanded, the flooring contractor shall apply a minimum of four stain and urethane samples in two foot by two foot
- areas on the floor for the owner to review. The owner shall have a minimum of two days to make a selection. Ceramic Tile: Provide ceramic tile and accessories in accordance with the Tile Council of American Specifications 137.1, in colors and patterns to be
- specified by the owner. Setting materials: comply with pertinent recommendations contained in the Tile Council of America "Handbook for Ceramic Tile Installation."
- Installation: comply with ANSI A108.1, ANSI A108.2, and the "Handbook for Ceramic Tile Installation" of the Tile Council of America. Extend tile into recesses and under equipment and fixtures to form a complete covering without interruptions.
- Terminate tile neatly at obstruction, edges, and corners, without disruption of pattern or joint alignment.
- Align joints when adjoining tiles on floor, base, trim, and walls are the same size.
- Layout tile work and center the tile fields in both directions in each space or on each wall area. Replacement reserve: Contractor shall furnish to the Owner one unopened box of additional tiles for future repairs and maintenance work.
- Provide carpeting as indicated on the drawings. Refer to allowances on schedule sheet.

Installation of all vinyl composition tile (VCT) shall be done in a manner which conforms with:

- ASTM E 648, ASTM E 84, AND
- ASTM E 662.

Replacement reserve: Contractor shall furnish Owner with one unopened box of additional tile for future repairs and maintenance.

All paint and primers to be Benjamin Moore or approved equal. Refer to schedule for colors and types.

- All surfaces to be painted shall receive one primer coat and two finish coats. All paint shall be applied according to manufacturer's recommendations.
- Architectural Woodwork and Trim:
- All millwork trim and molding shall be installed accordingly to the quality of standards of the Architectural Woodwork Institute (AWI).
- All interior trim and millwork shall conform to AWI "custom standards."
- Flat trim shall be clear pine or approved equal.
- All corners of trim and siding are to be mitered, except inside corners of interior running trim which shall be coped. Exposed end grains will not be accepted
- All millwork and trim shall be installed by craftsmen with experience in work of this type. All work shall be first class in every regard and consistent with the best practices of the trade.

- t be designed and certified by a licensed engineer and submitted to the
- I be connected with one prefabricated joist hanger. Each anchor shall be 18 GA Gypsum Wallboard:
- t support headers, and at headers that support joists. Use joist hangers where
- Il openings according to schedule below (unless noted otherwise on drawings): 2.
- of two rows of 16 d nails 12" on center.
- ists, as required, at joist ends. alls. All beams shall have minimum bearing of 4" bearing on all supports.
- nless authorized by the Architect. Drilled holes shall be centered at mid-depth depth of the member. No holes shall be drilled within 2' from the ends or within
- xisting damaged wood members shall be identified and replaced by the ing and shoring of existing members and walls while altering the structure.
- ring partitions. wood wherever edge of face will be exposed to weather. Interior plywood
- noted otherwise.
- ood, glued and screwed to the floor joists as per APA recommendations. D.C., roof sheathing shall be $\frac{1}{2}$ " plywood ($\frac{3}{4}$ " where roofing is slate or tile). Where
- pof sheathing shall be $\frac{5}{8}$ " plywood ($\frac{3}{4}$ " where roofing is slate or tile). Provide "H" 4 be manufactured by Trus Joist MacMillan or approved equal. Beams shall be
- stening two or more beams together, provide a minimum of two rows of 16 d nails Vinyl Tile: llan or approved equal. Install per manufacturer's recommendations.
- preservative:
- I have less than $\frac{1}{2}$ " clearance on tops, sides, and ends.
- treated wood construction shall be type 304 or 316 stainless steel. Treated ner aluminum components.

20. Siding: Refer to drawings for type specified.

- allation will be accepted oth surface. Fasteners, joint cement, and installation procedures shall be in

- ng point with one prefab-90 PSI galvanized rafter tie (hurricane clip) by

- ceeding 8'-0".

Height of handrails shall be continuous, 34" (min) to 38" (max) above finished stair treads. Handrails required at stairs with 3 or

Guardrails shall be 36" (min) to 42" (max) above finished floor.

2. Provide a clear window opening of 5.7 square feet with no less than 20" clear wide and 24" clear high for sleeping area. The sill of this windows shall be no more than 44" above the finished floor.

Provide safety glass in all exterior doors, storm doors, sliding glass doors, shower doors, and tub enclosures above and adjacent to spas and tubs and where the glass is closer than 18" to the floor and exceeds 9 square feet in area. Ground metal siding.

Smoke detectors shall be provided on every floor, in each bedroom and in each hall outside of bedrooms, and integrated with the electrical 316 for coastal applications. Install wood siding and shingle products over "Cedar Breather" by Benjamin Obdyke Inc. and 30# 6. If a fuel-burning appliance, fireplace, or attached garage is present, an interconnected battery back up carbon monoxide alarm or detector must be installed outside all sleeping areas and on all floors. If fuel-buring appliance or fireplace is present in any sleeping area, an

interconnected carbon monoxide alarm or detector must also be installed in that room as required per local jurisdiction. Flues shall be class B except solid fuel flues, which shall be class A.

panel shall have continuous integral weatherstripping, R-10 insulation, and two key operated locking pins to draw the door tight. Ladder steps 8. Top of flue shall be 2'-0" above any part of structure within 10'-0" of flue.

Interior finish of walls and ceiling shall have a flame spread rating not greater than Class III.

10. Carpeting shall meet federal regulation DOC FF-1. 11. Prefab fireplaces shall be (U.L.) rated and installed according to manufacturer's specifications.

12. Provide outside air for combustion in all prefab and masonry fireplaces.

1. Electrical contractor shall size and arrange all circuits in accordance with the National Electric Code as well as all local codes. Service to be

Wall outlets are to be mounted 1'-6" above finished floor unless noted otherwise.

Switches are to be mounted 4'-0" above finished floor unless noted otherwise. Mounting heights are to the vertical center of the equipment to the finished elevation of the floor.

All new switch and outlet styles are to be approved by Owner prior to installation

Provide hardwired smoke detectors on all floors, located as per Montgomery County Code.

Electrician shall locate all fixtures, switches, outlets, etc. prior to running wiring. Owner, Architect, and Electrician to meet at a mutually agreed upon time to review locations. The purpose of which is to allow for possible relocation prior to wiring. 8. Owner is allowed to add an additional ten (10) items (switches, cable, phone, outlet, etc., or any combination) at no additional charge to the

9. Contractor shall determine, based on an on-site review of existing and proposed electrical systems, whether an electrical service heavy-up will be required, and shall include the costs of all required upgrades in their Contract Amount.

Provide door bell, transformer, and chime for front door and where indicated. In lieu of Owner's selection otherwise, price shall be based on the following: Illuminated Button - Destination Lighting product number 15921; Transformer - 16V; Chimes - Teiber Model CTSB-or STPW-, in Owner's choice of finish. Verify all selections and mounting locations with Owner prior to purchasing.

1. All work shall be done in accordance with the International Residential Code (IRC), 2018 Edition, as well as IECC 2018 and other local codes. 2. Contractor shall submit all duct layouts and air handler locations (and thermostat locations) to the Owner and the Architect for approval prior to the commencement of framing. No extras will be given for any modification required to the framing due to ductwork.

All exterior unit locations to be coordinated with Owner and Architect. 4. Air conditioners shall be Energy Star rated and shall have a minimum 13 SEER rating with two zones each. Gas furnaces shall have a

minimum Annual Fuel Utilization Efficiency rating of 90%.

To meet the requirements for resilient separations in horizontal joints in floor, pavements, patios, sidewalks, and other light traffic 6. Ductwork will be galvanized sheet metal and flex.

7. Registers and return grilles are Hart & Cooley or equal.

Waterproof all below grade foundation walls with a polymer-modified asphalt emulsion similar to CETCO "Strataseal." Dry/ cured membrane 1. All work shall be done in accordance with the International Residential Code (IRC), 2018 Edition, as well as IECC 2018 and other local codes. Contractor shall provide riser diagrams as required for permit, and shall submit to the Architect proposed locations of all waste and supply lines prior to the commencement of framing. No extras will be given for any modification required to the framing due to plumbing lines. Provide cast iron at vertical waste lines.

Install water heater and reserve tank per requirements of the house with recirculate system.

Provide drain pans under all water heaters and washing machines, and pipe the pan to the sanitary drain upstream of a trap. Contractor shall make a count of existing and proposed fixtures to determine whether a water or sewer upgrade will be required, and shall include the costs of all required upgrades in his Contract Amount. The count of existing fixtures shall be based on an on-site inspection. 6. Provide cast iron at vertical waste lines.

7. Locate plumbing clean out plugs in bottom $\frac{1}{3}$ " of wall, typical.

Wall construction: Provide ceramic tile over dryset or latex Portland cement mortar bond coat over tile backer board over Dow insulation

Ceiling construction: Same as walls, provide continuous sloped ceiling $t/2^{"}$ per foot), and provide rounded inside corner tile at joint between

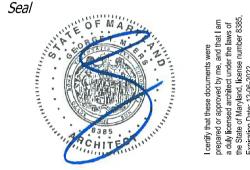
Insulate all walls, ceiling, and floor adjacent to steam shower.

Steam shower to be watertight, including a watertight shower door. drain ³/₈" NPT. Follow all manufacturer's specifications.

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD SUITE 700 BETHESDA, MD 20814 (240)333-2000 (240)333-2001 FAX WWW.GTMARCHITECTS.COM





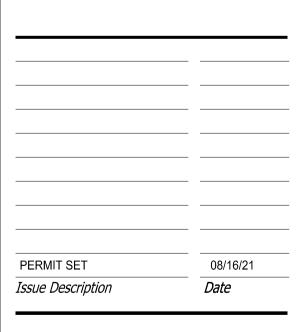
Consultant

CASWELL DEICHMAN RESIDENCE

L0221 MONTGOMERY AVE, KENSINGTON

Owner BRUCE CASWELL LAUREN DEICHMAN

Developer



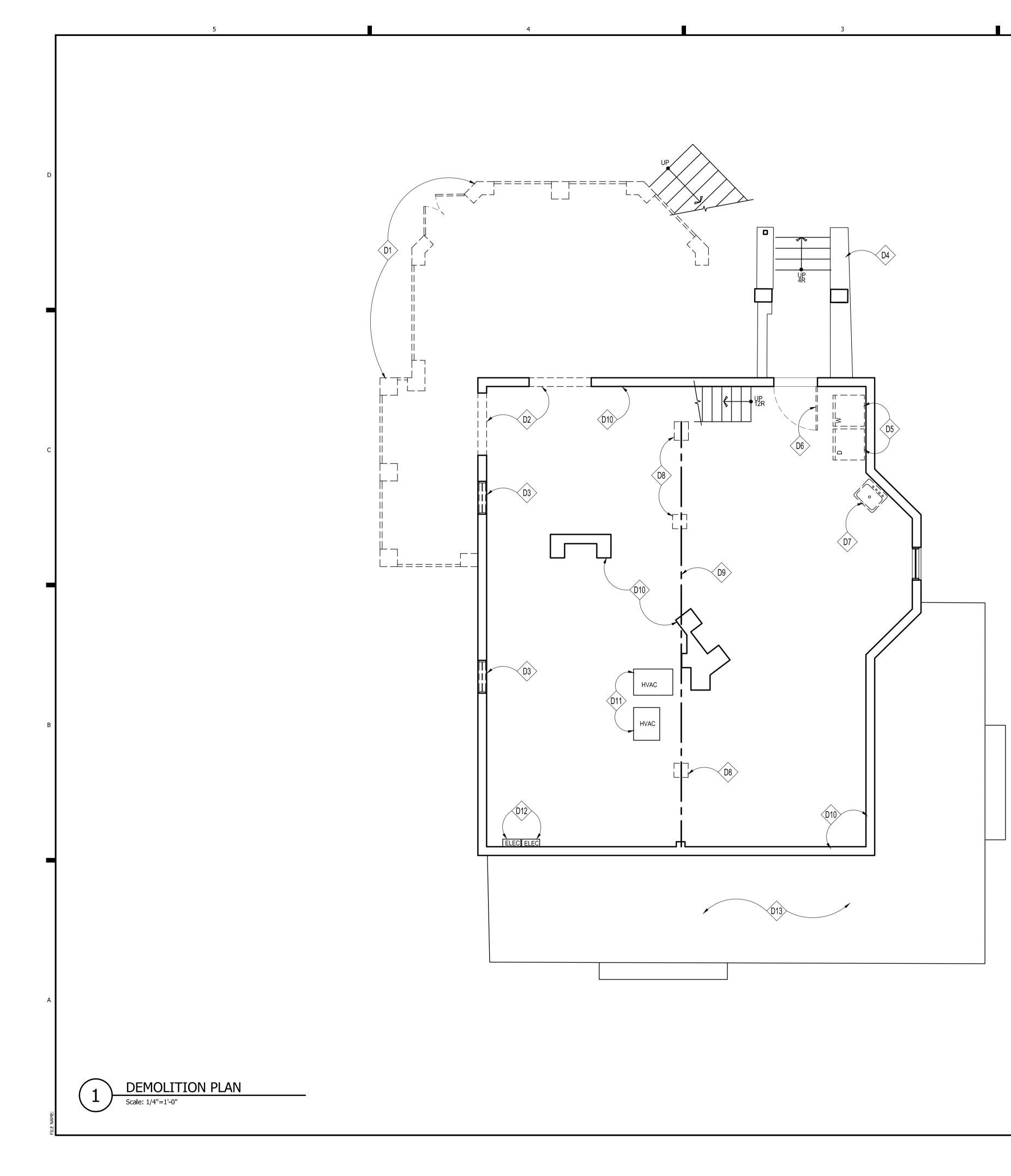
GTM Project No.	20.0135
Checked By	RJV
Drawn By	LSC
Scale	AS NOTED

Sheet Title

SPECIFICATIONS

Sheet No.

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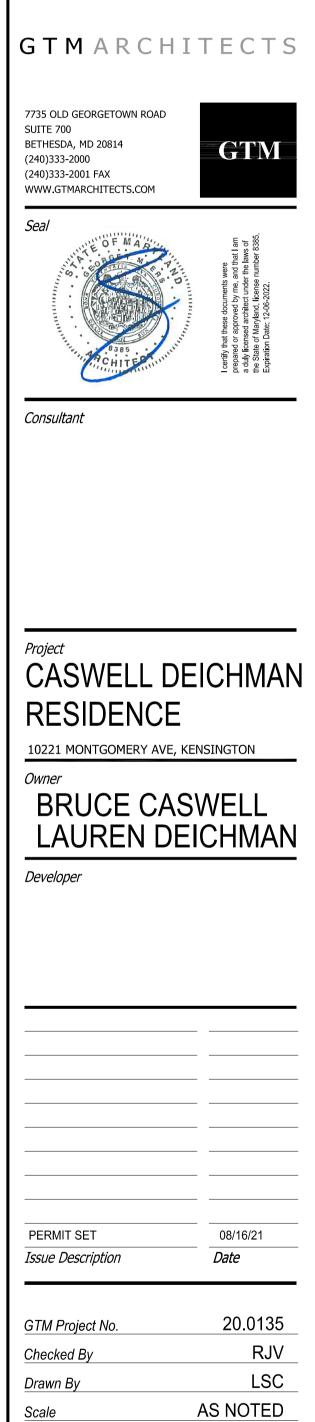






DEMOLITION NOTES

- D1 REMOVE EXISTING MASONRY PIERS & WOOD LATTICE IN THEIR ENTIRETY; PROVIDE TEMPORARY SHORING AS REQUIRED (D2) REMOVE EXISTING FOUNDATION WALL IN CONFLICT W/ NEW WORK; PROVIDE TEMPORARY SHORING AS REQUIRED
- **CD3** REMOVE EXISTING WINDOW
- **(D4)** EXISTING AREAWAY TO REMAIN
- $\langle D5 \rangle$ EXISTING WASHER & DRYER TO BE REMOVED & RETAINED FOR RE-USE
- **CD6** REMOVE EXISTING DOOR
- $\langle D7 \rangle$ REMOVE EXISTING SINK
- **D8** REMOVE EXISTING MASONRY PIER; PROVIDE TEMPORARY SHORING AS REQUIRED
- $\langle D9 \rangle$ EXISTING BEAM TO REMAIN
- $\langle D10 \rangle$ EXISTING FOUNDATION TO REMAIN, TYP.
- (D11) EXISTING HVAC TO REMAIN
- (D12) EXISTING ELECTRICAL PANELS TO REMAIN
- D13 EXISTING COVERED PORCH TO REMAIN



GENERAL DEMOLITION NOTES

1. EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.

- 2. ALL DASHED WALLS, FIXTURES, WINDOWS, ETC., ARE TO BE REMOVED.
- 3. CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES. 4. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
- 5. MAINTAIN THE EXISTING STRUCTURE IN A WATERTIGHT CONDITION AT ALL TIMES.
- 6. RELOCATE/ REMOVE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT WITH NEW WORK. 7. RE-ROUTE VENTS FLUES, EXHAUST, ETC. AS REQD.

Sheet No.

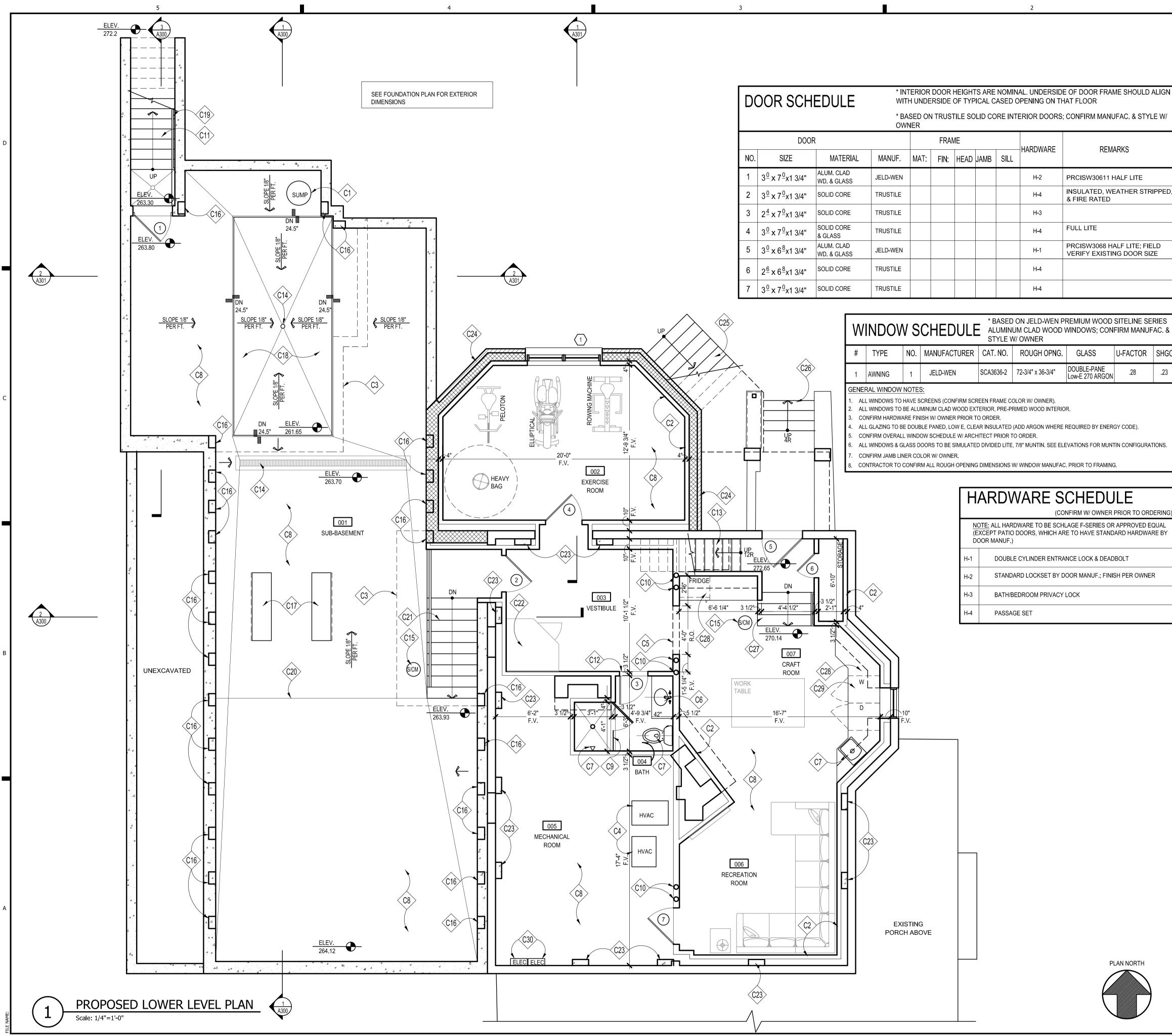
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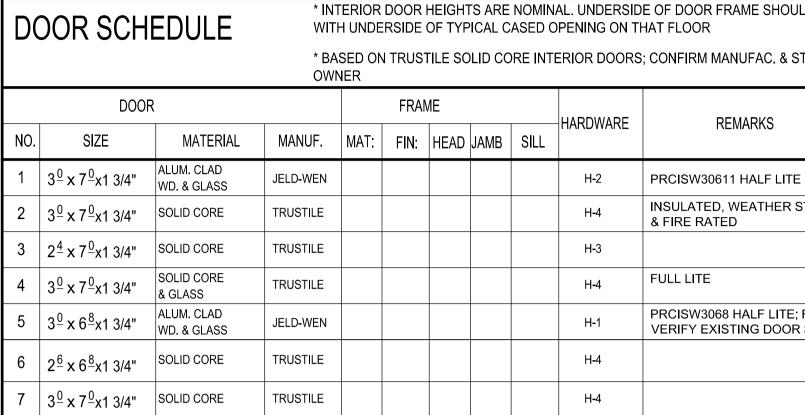
LOWER LEVEL

DEMOLITION PLAN

D100

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APPROVED APPROVED Department of Permitting Services Permit # BUILDING-964606 Permit # BUILDING-964606

Date 10/25/21

CONSTRUCTION NOTES

\wedge	
	SUMP PUMP WITH BATTERY BACKUP & RADON PIPE TO ROOF; FINAL LOCATION T.B.D.
C2	FUR OUT WALLS W/ FULL 2x4's & R-13 BATT INSULATION, TYP.; PROVIDE P.T. SILL; HOLD 1/2" OFF EXISTING FOOTING OR MASONRY WALL; FIELD VERIFY
	DASHED LINES INDICATE EXTERIOR WALLS ABOVE; SEE STRUCTURAL PLANS
C4	EXISTING HVAC TO REMAIN; FIELD VERIFY
C5	CASED OPENING @ +/- 7'-0" FINISHED; HEAD TO MATCH INT. DOORS
<u>C6</u>	VANITY W/ SINK, FAUCET & COUNTERTOP T.B.S.
C7	PLUMBING FIXTURES & ACCESSORIES T.B.S.
C8	REINF. CONC. SLAB ON GRADE; SEE FOUNDATION PLAN
C 9	FRAME-LESS SAFETY GLASS SHOWER DOOR & ENCLOSURE T.B.S.
C10	STEEL COLUMN; SEE FOUNDATION AND FRAMING PLANS
(C11)	CONC. & FLAGSTONE STEPS TO GRADE PER IRC; FIELD VERIFY RISE & RUN
C12>	MARBLE THRESHOLD T.B.S.
C13	REBUILD EXISTING WOOD STAIRS
C14	FLOOR DRAIN; RUN TO SUMP PUMP
C15	COMBINATION SMOKE/CARBON MONOXIDE ALARM PER IRC SECTION R315
C16	BEAM POCKET; SEE STRUCTURAL DRAWINGS
C17>	DEPRESS SLAB FOR BENDPAK MDS-6LPF MID-RISE FLUSH MOUNT SCISSOR LIFT; SEE STRUCTURAL DRAWINGS; INSTALL PER MANUFAC.; CONFIRM SPECIFICATION & LOCATION W/ OWNER
C18	DEPRESS SLAB FOR PHANTOMPARK SUBTERRANEAN CAR LIFT; SEE STRUCTURAL DRAWINGS; INSTALL PER MANUFAC.; CONFIRM SPECIFICATION W/ OWNER
C19	PTD. MTL. HANDRAIL @ 34" ABOVE NOSINGS PER IRC
<u>(C20)</u>	EXPANSION CONTROL JOINT; SEE SPECIFICATIONS & STRUCTURAL DRAWINGS
C21>	CONC. STEPS & PTD. MTL. GUARD RAIL PER IRC; FIELD VERIFY RISE & RUN
C22	RADIANT HEALTH EC-3H 3-PERSON CORNER ELITE SAUNA; INSTALL PER MANUFAC.; CONFIRM SPECIFICATION W/ OWNER
C23	CONC. PIER; SEE STRUCTURAL DRAWINGS
C24	BRICK VENEER ABOVE GRADE TO MATCH EXISTING
C25	EXISTING DECK STEPS TO REMAIN; REPAIR/REPLACE AS REQ'D.
C26	EXISTING AREAWAY STEPS TO REMAIN
C27	WD. STEPS & HAND RAIL PER IRC; FIELD VERIFY RISE & RUN
C28	CABINETS, COUNTERTOPS, & APPLIANCES T.B.S.
C29	PROVIDE OVERFLOW PAN & FLOOR DRAIN BENEATH WASHING MACHINE
C30	EXISTING ELECTRIC PANELS TO REMAIN
Ŷ	
WA	LL TYPES
0	TYPICAL EXTERIOR WALL: REINF. CONC. WALL W/ BRICK VENEER WHERE SHOWN; SEE FOUNDATION PLAN; FUR WHERE SHOWN WITH 2x4 STUDS @ 16" O.C., R-13 BATT
	NSULATION, & 1/2" GYP. BD.; SEE SPECIFICATIONS FOR ADD'L INFORMATION

TYPICAL NON-BEARING INTERIOR PARTITION: 2x4 WD. STUDS @ 16" O.C. W/ $\frac{1}{2}$ " GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN; SEE SPECIFICATIONS FOR ADD'L INFORMATION

NOTE:

.23

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING

- 2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
- 3. FILL CAVITIES OF WALLS, CEILINGS, & FLOORS W/ MINERAL WOOL SOUND INSULATION IN THE FOLLOWING ROOMS (U.N.O.): '004' BATH
- 4. COORDINATE BEAM POCKETS AS REQUIRED WITH STRUCTURAL DWG'S 5. SEE STRUCTURAL DWG'S FOR MORE INFORMATION

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Sea/	I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 8385, Expiration Date: 12-06-2022.

Consultant

Project CASWELL DEICHMAN RESIDENCE

10221 MONTGOMERY AVE, KENSINGTON

Owner BRUCE CASWELL LAUREN DEICHMAN

Developer

PERMIT SET	08/16/21
Issue Description	Date

GTM Project No.	20.0135
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Scale	AS NOTED

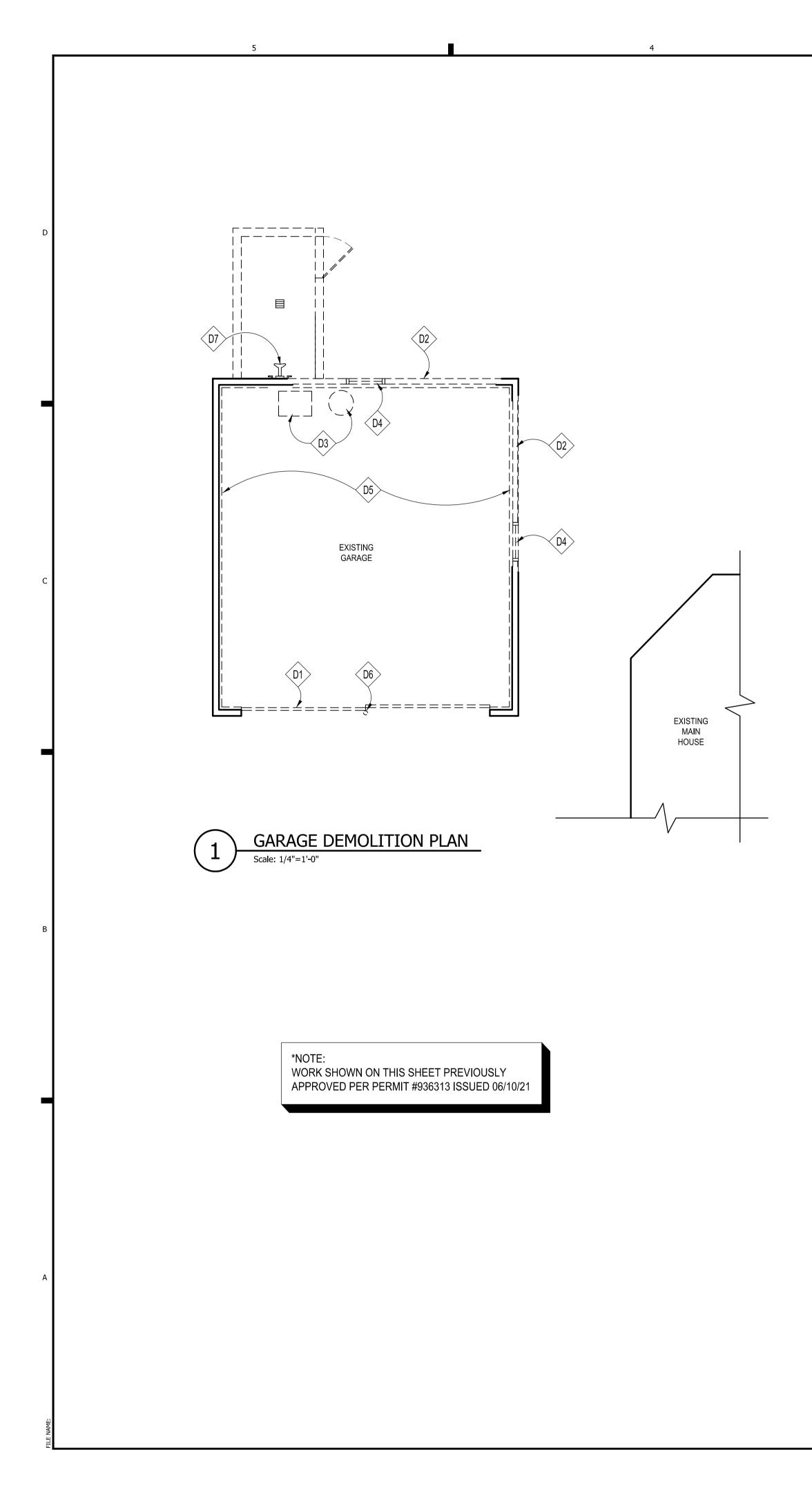
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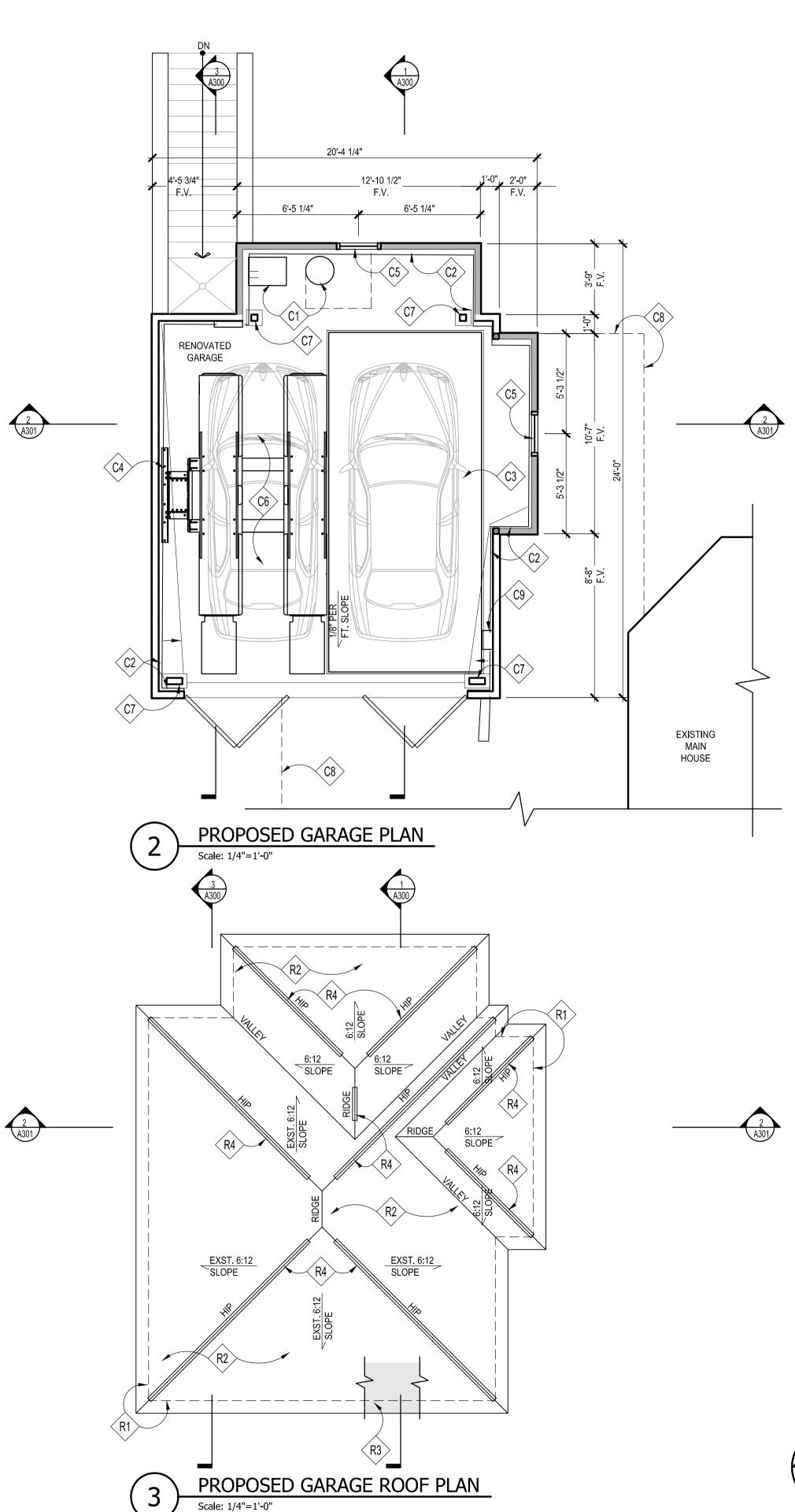
PROPOSED LOWER LEVEL PLAN & SCHEDULES

Sheet No.

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PLAN NORTH

DEMOLITION NOTES

D1 D2 D3 D4 D5 D6

D1 REMOVE EXISTING GARAGE DOOR IN ITS ENTIRETY

D2 REMOVE EXISTING EXTERIOR WALLS AS SHOWN; PROVIDE TEMPORARY SHORING IF REQUIRED

D3 EXISTING POOL EQUIPMENT TO BE RELOCATED

D4 REMOVE EXISTING WINDOW & RETAIN FOR REUSE; REPAIR AS REQ'D., SCRAPE, & REPAINT

D5 REMOVE EXISTING CONC. SLAB IN ITS ENTIRETY

D6 REMOVE EXISTING STEEL POST IN ITS ENTIRETY

D7 EXISTING OUTDOOR SHOWER & ENCLOSURE TO BE REMOVED IN ITS ENTIRETY

GENERAL DEMOLITION NOTES

1. EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND

- REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
- ALL DASHED WALLS, FIXTURES, WINDOWS, ETC., ARE TO BE REMOVED.
 CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
- 4. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
- 5. MAINTAIN THE EXISTING STRUCTURE IN A WATERTIGHT CONDITION AT ALL TIMES.
- 6. RELOCATE/ REMOVE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT WITH NEW WORK. 7. RE-ROUTE VENTS FLUES, EXHAUST, ETC. AS REQD.

CONSTRUCTION NOTES

C1 RELOCATED POOL EQUIPMENT

C2 CONC. STEM WALL BELOW, TYP.; SEE STRUCTURAL PLANS

C3 PHANTOMPARK SUBTERRANEAN CAR LIFT; SEE STRUCTURAL DRAWINGS; INSTALL PER

MANUFAC.; CONFIRM SPECIFICATION W/ OWNER C4 AMERICAN CUSTOM LIFTS M1-4.5 SINGLE POST CAR LIFT; INSTALL PER MANUFAC.

C5> REUSE WINDOW FROM EXISTING GARAGE

C6 REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE NEOGARD AUTO-GUARD ELASTOMERIC COATING ON TOP OF SLAB & MIN. 4" VERT.; INSTALL PER MANUFAC.

C8 DASHED LINES INDICATE EXTENT OF ADDITION BELOW

C9 GARAGE DOOR CONTROL UNIT HOUSING; INSTALL PER MANUFAC.

NOTE:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING 2. REPAINT EXISTING WALLS AS REQUIRED TO CLOSETS INSIDE CORNER

KEY

WALL TYPES

TYPICAL EXTERIOR WALL: 2x4 STUDS @ 16" O.C. W/ 1/2" PLYWD. SHEATHING, TYVEK BLDG. WRAP, & PTD. WD. SIDING TO MATCH EXISTING; PROVIDE PTD. 1/2" GYP. BD. @ ENTIRE INTERIOR

ROOFING NOTES

R1	DASHED LINE INDICATES FRAME WALL BELOW, TYP.
R2	ARCHITECTURAL ASPHALT ROOF SHINGLES, TYP.; COLOR TO MATCH EXISTING
R 3	SEE NOTE #1 UNDER GENERAL ROOFING NOTES, TYP.
R4	HIP/RIDGE VENTS BY COR-A-VENT OR APPROVED EQ., TYP.; INSTALL PER MANUFAC.
~	

GENERAL ROOFING NOTES

 PROVIDE SELF-ADHERING, 40 MIL ICE AND WATER GUARD UNDERLAYMENT UNDER SHINGLES AT ALL VALLEYS AND FROM LOWEST EDGE OF ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE, AND ON ALL AREAS WITH A SLOPE LESS THAN 4:12.

2. DOTTED LINE INDICATES LINE OF BUILDING BELOW

3. SEE FRAMING PLAN FOR OVERBUILD AREAS

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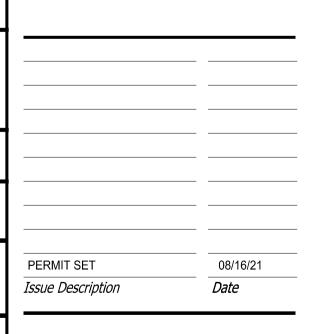
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10221 MONTGOMERY AVE, KENSINGTON

Owner BRUCE CASWELL LAUREN DEICHMAN





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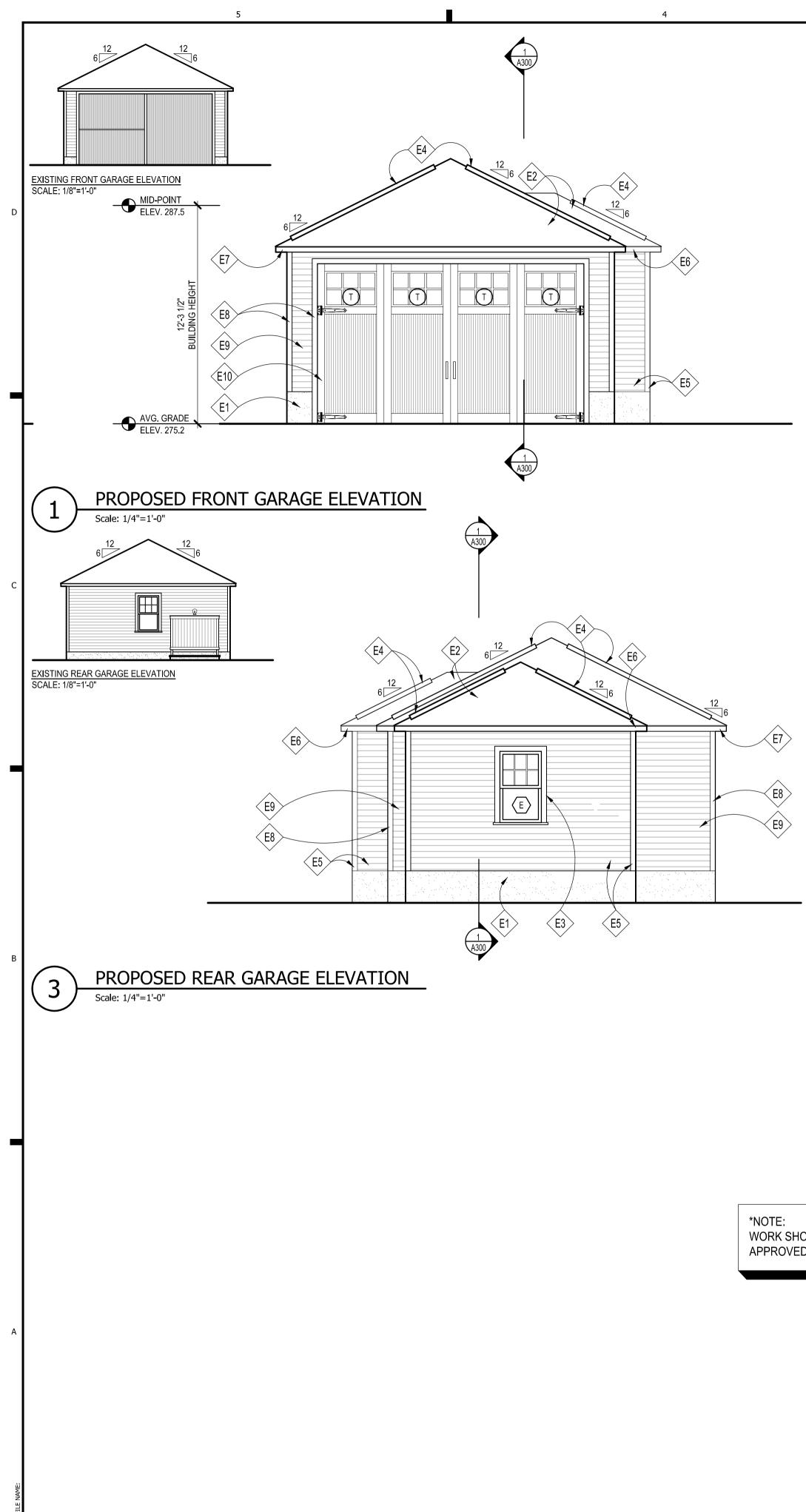
GARAGE DEMOLITION PLAN, PROPOSED PLAN, & ROOF PLAN

Sheet No.

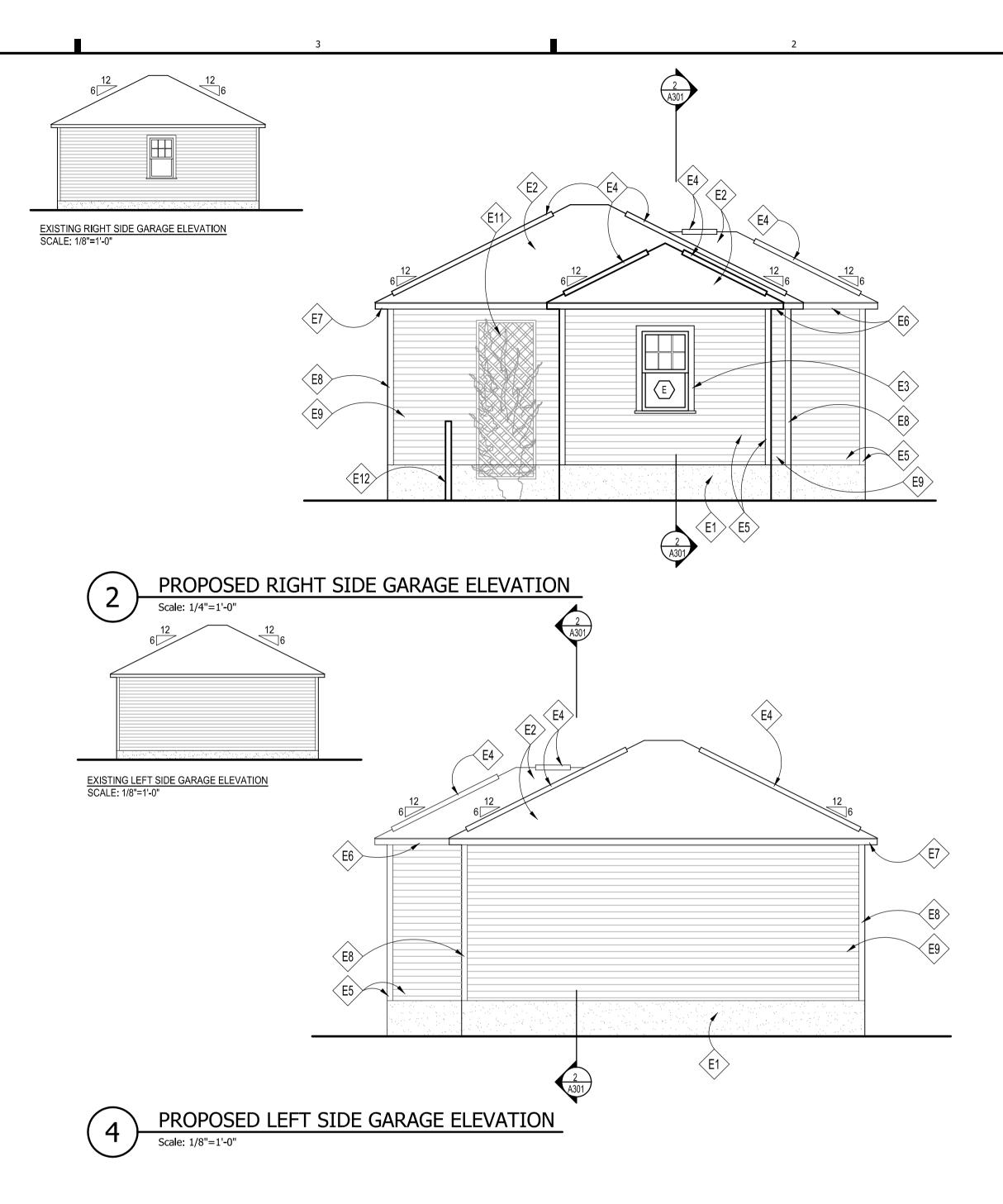
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WORK SHOWN ON THIS SHEET PREVIOUSLY APPROVED PER PERMIT #936313 ISSUED 06/10/21

ELEVATION NOTES

E1 PARGED & PTD. FOUNDATION WALL, TYP.

(E2)

(E5)

 $\langle E6 \rangle$

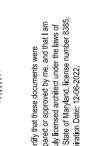
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 $\langle E9 \rangle$

- ARCHITECTURAL ASPHALT ROOFING SHINGLES T.B.S., TYP.
- PTD. WD. WINDOW/DOOR TRIM TO MATCH EXISTING, TYP. (E3 >
- HIP/RIDGE VENT BY COR-A-VENT OR APPROVED EQUAL, TYP. (E4 >
- PTD. WD. SIDING & CORNER BOARDS TO MATCH EXISTING, TYP.
- PTD. WD. FASCIA TO MATCH EXISTING, TYP.
- EXISTING WD. FASCIA TO REMAIN; REPAIR AS REQ'D., SCRAPE, & PAINT
- EXISTING WD. TRIM TO REMAIN; REPAIR AS REQ'D., SCRAPE, & PAINT (E8 >
- EXISTING WD. SIDING TO REMAIN; REPAIR AS REQ'D. & REPAINT
- (E10) PTD. WD. BIFOLD CARRIAGE DOORS; SEE DOOR SCHEDULE
- E11 WD. LATTICE PANEL
- E12 EXISTING WD. FENCE & GAIT TO REMAIN

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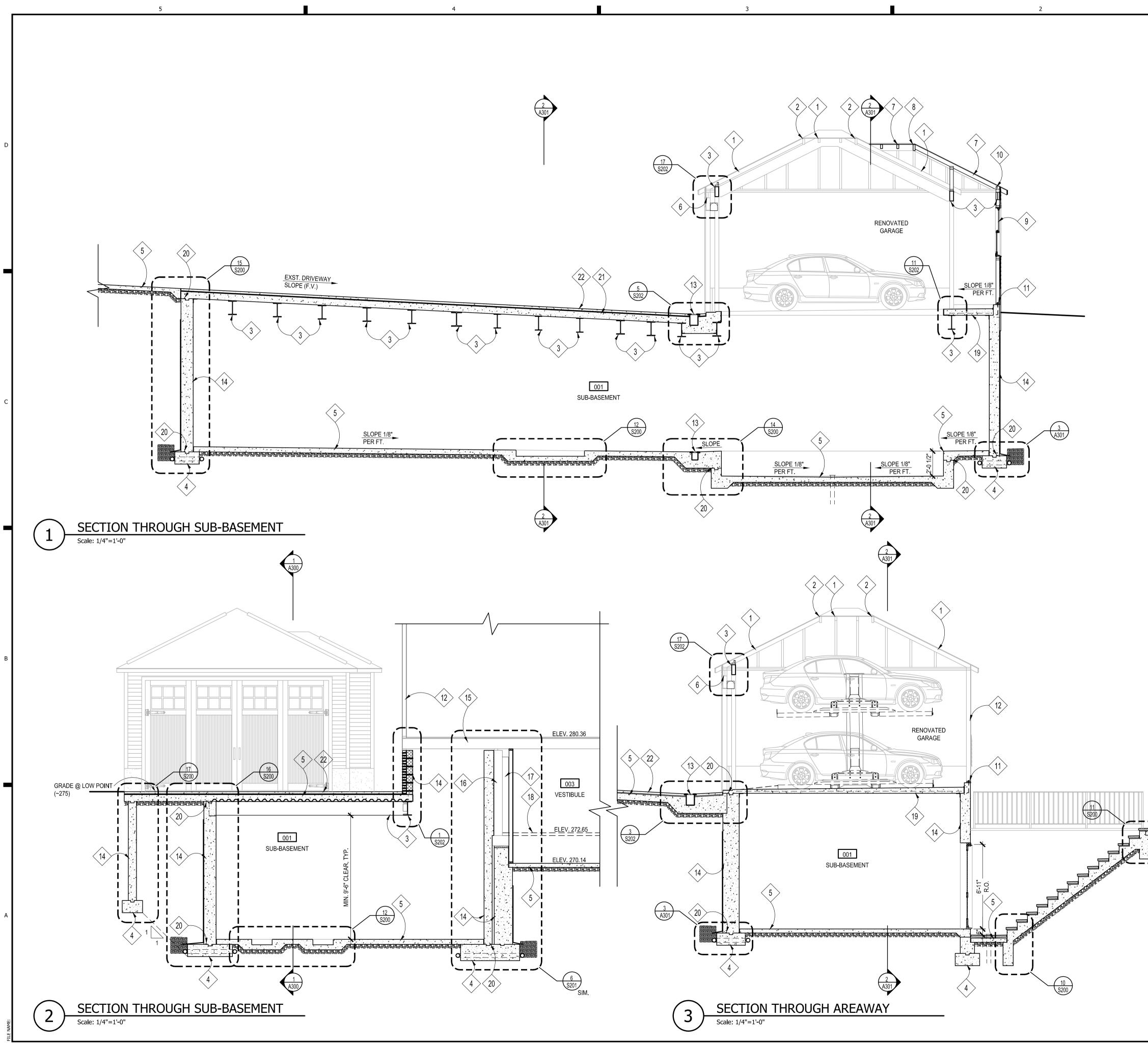
GARAGE ELEVATIONS

Sheet No.

NOTE: 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD

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SECTION NOTES

- EXISTING RAFTERS TO REMAIN, TYP.; SEE FRAMING PLANS
- EXISTING HIP RAFTERS TO REMAIN, TYP.; SEE FRAMING PLANS
- BEAM/HEADER; SEE FRAMING PLANS
- FOOTING; SEE FOUNDATION PLAN
- REINF. CONC. SLAB; SEE STRUCTURAL PLANS
- MIN. 7 1/4"D x 7 1/2"H CLEARANCE FOR GARAGE DOOR MOTORS
- RAFTERS, TYP.; SEE FRAMING PLANS
- HIP RAFTERS, TYP.; SEE FRAMING PLANS
- REUSE EXISTING GARAGE WINDOW IN NEW OPENING
- (10) MTL. UPLIFT STRAP, TYP.; SEE FRAMING PLANS
- 11 P.T. SILL PLATE W/ ANCHOR BOLTS, TYP.; SEE FRAMING PLANS
- (12) EXISTING EXTERIOR WALL TO REMAIN; SEE FRAMING PLANS
- TRENCH DRAIN W/ CAST IRON GRATE (13 >
- (14) REINF. CONC. FOUNDATION WALL; SEE FOUNDATION PLAN
- 15 EXISTING FLOOR STRUCTURE TO REMAIN

16 EXISTING FOUNDATION WALL TO BE UNDERPINNED; SEE STRUCTURAL DRAWINGS

- REINF. CONC. PIER BEYOND; SEE FOUNDATION PLAN
- (18) EXISTING CONC. SLAB TO BE REMOVED

19 >

20 >

REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE NEOGARD AUTO-GUARD ELASTOMERIC COATING ON TOP OF SLAB & MIN. 4" VERT.; INSTALL PER MANUFAC. BENTONITE CLAY STOP

REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE HENRY BLUESKIN MODIFIEDPLUS SBS MODIFIED WATERPROOFING MEMBRANE LAMINATED TO A POLYETHYLENE FACE & HENRY DB350 PROTECTION/DRAINAGE BOARD; INSTALL PER MANUFAC.

22 CONC. DRIVEWAY TOPPING SLAB

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BUILDING SECTIONS

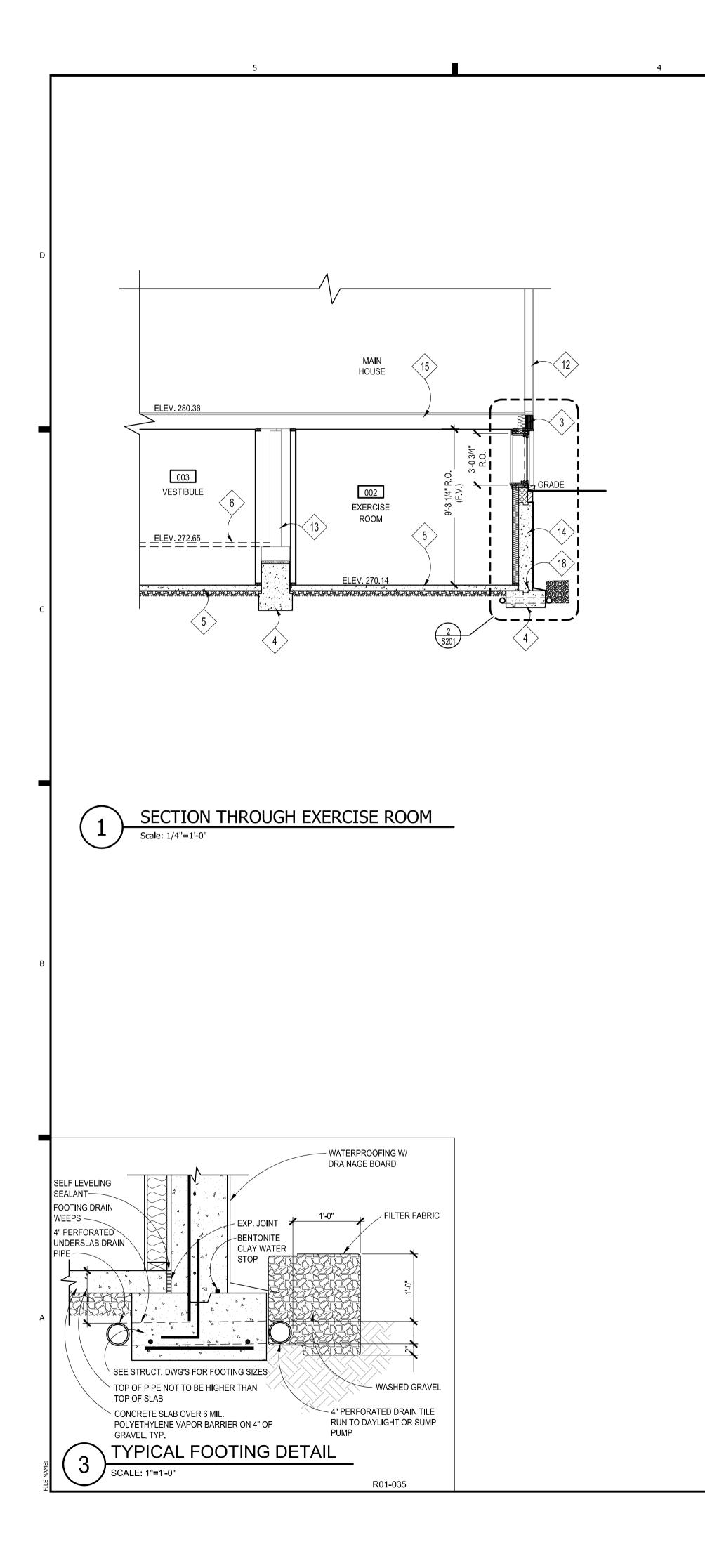
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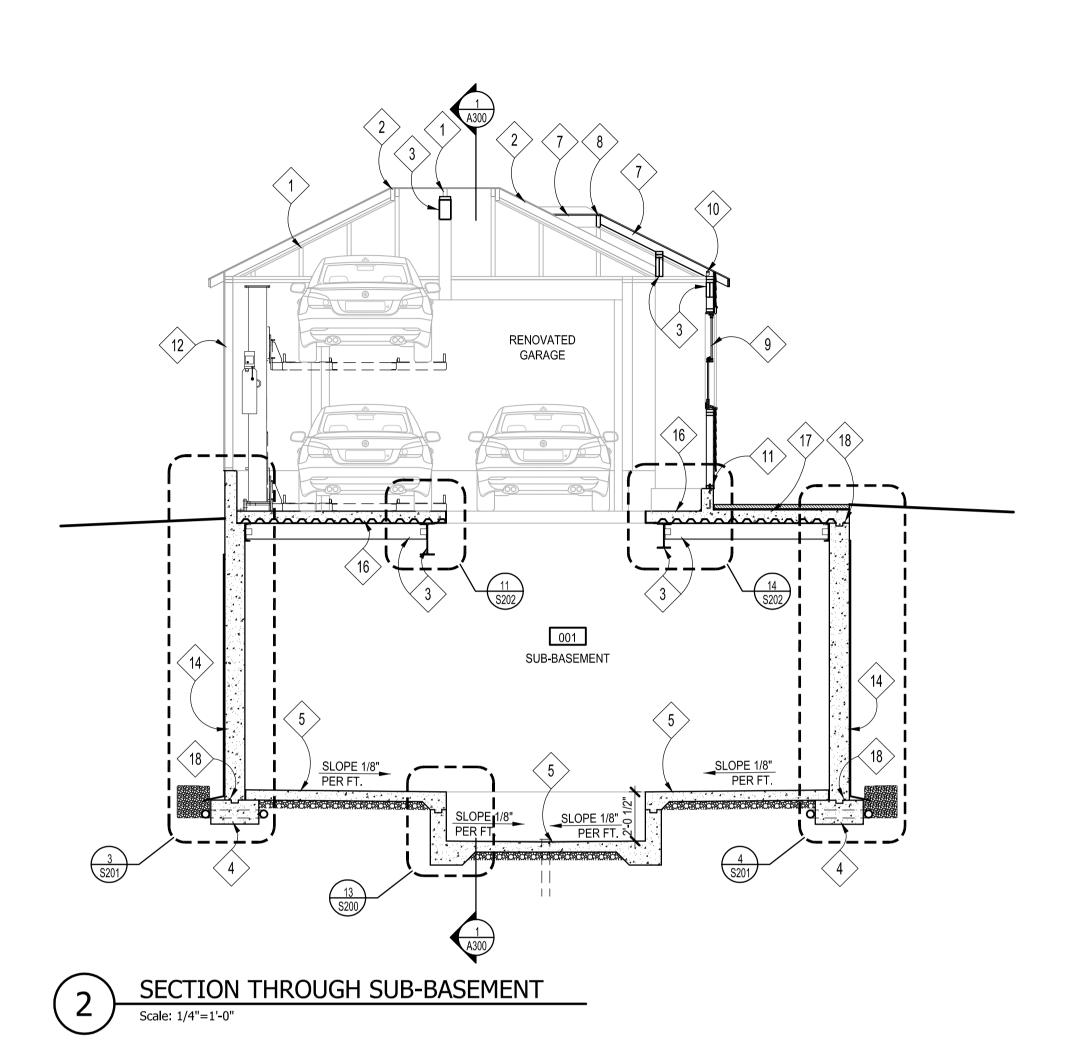
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD

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Date 10/25/21

SECTION NOTES

- EXISTING RAFTERS TO REMAIN, TYP.; SEE FRAMING PLANS
- EXISTING HIP RAFTERS TO REMAIN, TYP.; SEE FRAMING PLANS
- BEAM/HEADER; SEE FRAMING PLANS
- FOOTING; SEE FOUNDATION PLAN
- REINF. CONC. SLAB; SEE STRUCTURAL PLANS
- EXISTING CONC. SLAB TO BE REMOVED
- RAFTERS, TYP.; SEE FRAMING PLANS
- HIP RAFTERS, TYP.; SEE FRAMING PLANS
- REUSE EXISTING GARAGE WINDOW IN NEW OPENING
- 10 MTL. UPLIFT STRAP, TYP.; SEE FRAMING PLANS
- (11) P.T. SILL PLATE W/ ANCHOR BOLTS, TYP.; SEE FRAMING PLANS
- 12 EXISTING EXTERIOR WALL TO REMAIN; SEE FRAMING PLANS
- EXISTING FOUNDATION WALL TO BE UNDERPINNED; SEE STRUCTURAL DRAWINGS
- (14) REINF. CONC. FOUNDATION WALL; SEE FOUNDATION PLAN
- (15) EXISTING FLOOR STRUCTURE TO REMAIN

REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE NEOGARD AUTO-GUARD ELASTOMERIC COATING ON TOP OF SLAB & MIN. 4" VERT.; INSTALL PER MANUFAC. REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE HENRY BLUESKIN WP 100, 60 MIL. SELF-ADHERING SBS MODIFIED RUBBERIZED ASPHALT WATERPROOFING MEMBRANE LAMINATED TO A POLYETHYLENE FACE & HENRY DB 220 PROTECTION/DRAINAGE BOARD (.25" THICK); INSTALL PER MANUFAC.

(18) BENTONITE CLAY STOP

[13 >

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BUILDING SECTIONS

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A301

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NOTE:

1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD

Ghassan Radwan, Radwan, cn=Ghassan Radwan,

. ትን1 10 06 12·26·27 -04'0

_	Date: 2021.10.06 12:26:27 -04'00'	
	STRUCTURAL NOTES	
	A. GENERAL 1. THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE IRC 2018 CODE FOR ONE AND TWO FAMILY DWELLINGS. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE IRC 2018 CODE.	2. GROUT SHALL BE N TO ASTM C827, AND S STRENGTH AT 28 DAYS WILL NOT BE PERMITTED
D	2. THE DESIGN GRAVITY LIVE LOADS ARE AS FOLLOWS: ROOF SNOW LOAD: 30 PSF RESIDENTIAL FLRS: 40 PSF SLEEPING ROOMS: 30 PSF BALCONIES: 60 PSF GARAGE FLR: 50 PSF	3. DETAILING OF CONC SHALL CONFORM TO TH DETAILING OF CONCRETE "DETAILING MANUAL". I CONFORM TO THE RECO ENGINEERING AND PLAC
	SLAB ON GRADE: 125 PSF DRIVEWAY DECK: 250 PSF & 8000 LBS WHEEL LOAD 3. WIND LOADS:	STRUCTURES" AND CRSI 4. MIXING, TRANSPOR CONFORM TO ACI 301.
	BASIC WIND SPEED (3 SEC GUST): 115 MPH WIND EXPOSURE FACTOR: "B" WIND PRESSURE MAIN BUILDING: 20 PSF WIND PRESSURE COMPONENTS/CLADDING: 18 PSF	5. MINIMUM CONCRETE SHALL BE AS FOLLOWS: FOOTINGS:
	NET WIND UPLIFT ON ROOF: 12 PSF 4. EARTHQUAKE DESIGN DATA:	SLAB ON GRADE (PROVIDE STANDARD BAF
	SEISMIC DESIGN CATEGORY: "B" 5. METHODS, PROCEDURES, AND SEQUENCE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF THE CONSTRUCTION. 6. INDIVIDUAL STRUCTURAL COMPONENTS ARE DESIGNED TO SUPPORT LOADS IN THEIR FINALLY ERECTED POSITION AS PART OF THE TOTAL COMPLETED STRUCTURE. PROVIDE TEMPORARY GUYING AND BRACING	6. CONCRETE REINFORG GRADE 60. REINFORCEI WELDED, HEATED OR C ENGINEER. ALL REINFOR AND DRIVEWAY STRUCTU ASTM A775. ALL DAMAG ASTM A775. BAR SUPPO NON-CONDUCTIVE MATE
С	AS REQUIRED UNTIL ALL CONSTRUCTION, FLOOR, ROOF AND WALL SHEATHING AFFECTING LATERAL STABILITY IS COMPLETED. 7. THE STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. REFERENCE MUST BE MADE TO ALL BID DOCUMENTS AS WELL AS THE GEOTECHNICAL REPORT. DISCREPANCIES SHALL BE RESOLVED BEFORE PROCEEDING WITH THE CONSTRUCTION AND SHOP FABRICATION. CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES AND MAKE NECESSARY FIELD MEASUREMENTS.	 WELDED WIRE FABRI SHALL BE SUPPLIED IN TWO MESH AT SPLICES. WELDING OF REINFO STRUCTURAL ENGINEER, SOCIETY STANDARD D1.4 WELDING OF REINFORCEN CLASS E90XX.
	 B. FOUNDATIONS 1. THE CONTRACTOR SHALL PERFORM SITE STRIPPING, EXCAVATIONS, FOOTING CONSTRUCTION, PREPARATION OF THE SUBGRADE FOR THE SLAB ON GRADE, AND PLACEMENT OF BACKFILL MATERIALS IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT, AND UNDER DIRECT SUPERVISION OF A REGISTERED GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL INCLUDE THE SOILS REPORT AS PART OF THE BID DOCUMENTS. 2. THE FOUNDATION FOR THE STRUCTURE HAS BEEN DESIGNED FOR 	 9. REINFORCEMENT DES BAR DIAMETERS AT SPL BARS SHALL LAP 46 B/ OTHERWISE. 10. HORIZONTAL WALL AND SHALL HAVE 90-D BARS OF EQUIVALENT S AND INTERSECTIONS. 11. PROVIDE 1 #4 x 3' CORNERS AND AROUND
	AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 2500 PSF TO BE FIELD VERIFIED BY THE GEOTECHNICAL ENGINEER. 3. BASEMENT WALLS HAVE BEEN DESIGNED FOR AN ASSUMED ALLOWABLE EQUIVALENT FLUID PRESSURE OF 60 PCF TO BE FIELD VERIFIED. RETAINING WALLS HAVE BEEN DESIGNED FOR AN ASSUMED ALLOWABLE EQUIVALENT FLUID PRESSURE OF 45 PCF. A GRAVITY DRAINAGE SYSTEM IS REQUIRED TO PREVENT THE BUILD-UP OF HYDROSTATIC PRESSURE ON THE BASEMENT WALLS. THIS SYSTEM SHALL CONSIST OF A DRAIN BOARD, SAND BACKFILL, AND AN INTERCEPTOR - COLLECTOR SYSTEM AT THE TOP OF THE WALL FOOTING COLLECTED INTO SUMPS FOR DISCHARGE.	OTHERWISE . PLACE BA TO THE CORNER WITH 1 D. STEEL 1. STRUCTURAL STEEL ASTM A572 GRADE 50 SHALL CONFORM TO AS CONFORM TO ASTM A53 STRUCTURAL STEEL TUE (FY = 46 KSI). ANCHO UNLESS NOTED OTHERW
В	 4. BOTTOM OF ALL FOOTINGS SHALL BE 2'-6" BELOW FROST LINE PER LOCAL REQUIREMENTS. FOOTINGS SHALL BE FURTHER LOWERED TO APPROVED BEARING ELEVATIONS AS REQUIRED BY THE FIELD GEOTECHNICAL ENGINEER. STEP DOWN FOOTINGS AS REQUIRED TO CLEAR UTILITY LINES AND FIED CONDITIONS. 5. EXCAVATIONS FOR SPREAD FOOTINGS AND CONTINUOUS WALL FOOTINGS SHALL BE CLEANED AND HAND TAMPED TO A UNIFORM SURFACE. FOOTING EXCAVATIONS SHALL HAVE THE SIDES AND BOTTOMS TEMPORARILY LINED WITH 6 MIL VISQUEEN IF PLACEMENT OF CONCRETE DOES NOT OCCUR WITHIN 24 HOURS OF THE FOOTING 	 CONNECTION BOLTS STRENGTH BOLTS WHICH A325, TYPE N,X, OR F. TYPE BOLTS. BOLTS SH "SNUG TIGHT" CONDITION STRUCTURAL JOINTS US SHALL HAVE A HARDEN TIGHTENED. STRUCTURAL STEEL SHALL CONFORM TO TH
_	EXCAVATION. 6. FOUNDATION CONDITIONS NOTED DURING CONSTRUCTION, WHICH DIFFER FROM THOSE DESCRIBED IN THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT, STRUCTURAL ENGINEER AND GEOTECHNICAL ENGINEER BEFORE FURTHER CONSTRUCTION IS ATTEMPTED.	4. THE FABRICATOR IS AND DETAILING OF ALL CONTRACT DRAWINGS. DETAILED IN ACCORDAN CONSTRUCTION"
	7. SLAB ON GRADE SHALL BE UNDERLAID BY A MINIMUM OF 4 INCHES OF GRANULAR MATERIAL HAVING A MAXIMUM AGGREGATE SIZE OF 1.5 INCHES AND NO MORE THAN 2% FINES. PRIOR TO PLACING THE GRANULAR MATERIAL, THE FLOOR SUBGRADE SHALL BE PROPERLY COMPACTED, PROOFROLLED, FREE OF STANDING WATER, MUD AND FROZEN SOIL. BEFORE PLACEMENT OF CONCRETE, A VAPOR BARRIER SHALL BE PLACED ON TOP OF THE GRANULAR MATERIAL.	5. WELDING SHALL CON STANDARD D1.1. ELECT CONFORM TO AWS A5.1 HYDROGEN. WELDING E GALVANIZED STEEL SHA GALVANIZED PAINT TO
A	C. CONCRETE 1. CONCRETE SHALL HAVE NATURAL SAND FINE AGGREGATES AND NORMAL WEIGHT COARSE AGGREGATES CONFORMING TO ASTM C33, TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150, AND SHALL HAVE THE FOLLOWING MINIMUM 28 DAY COMPRESSIVE STRENGTH (Fc'):	 PENETRATION, MODIL WHERE NOT DETAILED O WITHOUT THE PRIOR AP PROVIDE STRUCTURA PREVENTIVE SHOP PRIMI ERECTION PROCEDURE D
	WALLS & FOOTINGS: 3000 PSI SLAB ON GRADE: 3500 PSI SLAB ON METAL FORMS: 4500 PSI DRIVEWAY STRUCTURAL SLAB: 4500 PSI	8. ALL WEATHER EXPO PRECAST CONCRETE SH WEATHER EXPOSED STR PAINTED WITH A WEATH OWNER OR ARCHITECT.
	ALL EXTERIOR CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED 6% OF CONCRETE VOLUME. MAXIMUM CONCRETE SLUMP SHALL BE 4 INCHES.	9. ALL ARCHITECTURAL TOLERANCES, ALIGNMEN REQUIREMENTS FOR ARC
LE NAME		

LL BE NONSHRINKABLE, NON-METALLIC CONFORMING AND SHALL HAVE A SPECIFIED COMPRESSIVE 28 DAYS OF 5000 PSI. PREGROUTING OF BASE PLATES RMITTED.

OF CONCRETE REINFORCEMENT BARS AND ACCESSORIES TO THE RECOMMENDATIONS OF ACI 315 "DETAILS AND ONCRETE REINFORCEMENT" AND ACI SP-66 UAL". PLACING OF REINFORCING BARS SHALL E RECOMMENDATIONS OF ACI 315R "MANUAL OF ID PLACING DRAWINGS FOR REINFORCED CONCRETE

ND CRSI "MANUAL OF STANDARD PRACTICE". ANSPORTING, AND PLACING OF CONCRETE SHALL

NCRETE COVER PROTECTION FOR REINFORCEMENT BARS OLLOWS:

2" GRADE (TOP):

ARD BAR CHAIRS AND SPACERS AS REQUIRED TO RETE PROTECTION SPECIFIED.

REINFORCEMENT BARS SHALL CONFORM TO ASTM A615. NFORCEMENT BARS SHALL NOT BE TACK WELDED, ED OR CUT UNLESS REVIEWED BY THE STRUCTURAL REINFORCEMENT BARS IN CONCRETE OVER FORM DECK STRUCTURAL SLAB SHALL BE EPOXY COATED PER DAMAGED EPOXY COATING SHALL BE REPAIRED PER R SUPPORTS & TIE WIRE SHALL BE COATED WITH VE MATERIAL.

RE FABRIC SHALL CONFORM TO ASTM A185. FABRIC LIED IN FLAT SHEETS. FABRIC SHALL BE LAPPED SPLICES.

REINFORCEMENT BARS, WHEN ACCEPTED BY THE GINEER, SHALL CONFORM TO THE AMERICAN WELDING ARD D1.4. ELECTRODES FOR SHOP AND FIELD NFORCEMENT BARS SHALL CONFORM TO ASTM A233,

 \frown ENT DESIGNATED AS "CONTINUOUS" SHALL LAP 40 AT SPLICES UNLESS NOTED OTHERWISE. EPOXY COATED AP 46 BAR DIAMETERS AT LAP SPLICES UNLESS NOTED _____

WALL & FTG REINFORCEMENT SHALL BE CONTINUOUS /E 90-DEGREE BENDS AND EXTENSION, OR CORNER ALENT SIZE LAPPED 36 BAR DIAMETERS. AT CORNERS ONS.

#4 x 3'-0" DIAGONAL BAR AT ALL RE-ENTRANT AROUND RECTANGULAR HOLES IN SLABS UNLESS NOTED LACE BAR AT MID DEPTH OF THE SLAB AND DIAGONAL WITH 1" CLEARANCE FROM THE CORNER.

STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ADE 50 (FY = 50 KSI). STEEL PLATES & ANGLES TO ASTM A36. STRUCTURAL STEEL PIPE SHALL STM A53. TYPE E OR S GRADE B. OR ASTM A501. FEEL TUBING SHALL CONFORM TO ASTM A500 GRADE B ANCHOR BOLTS SHALL CONFORM TO ASTM A307, OTHERWISE.

BOLTS FOR STRUCTURAL STEEL SHALL BE HIGH S WHICH MEET OR EXCEED THE REQUIREMENTS OF ASTM OR F. BOLTS SHALL BE DESIGNED AS BEARING BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH THE ONDITION AS OUTLINED IN THE "SPECIFICATION FOR INTS USING ASTM A325 OR A490 BOLTS". BOLTS HARDENED WASHER PLACED UNDER THE ELEMENT TO BE

STEEL DETAILING, FABRICATION AND ERECTION TO THE AISC "SPECIFICATION FOR THE DESIGN. ID ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".

ATOR IS RESPONSIBLE FOR THE SELECTION, DESIGN OF ALL CONNECTIONS NOT FULLY DETAILED ON THE WINGS. CONNECTIONS SHALL BE DESIGNED AND CORDANCE WITH THE AISC "MANUAL OF STEEL

ALL CONFORM TO THE AMERICAN WELDING SOCIETY ELECTRODES FOR SHOP AND FIELD WELDS SHALL WS A5.1 OR AWS A5.5, CLASS E70XX, LOW LDING ELECTRODES TO BE USED FOR WELDING EEL SHALL BE E7014. AFTER WELDING, APPLY INT TO THE AFFECTED AREAS.

N. MODIFICATION. & SPLICING OF STRUCTURAL STEEL AILED ON THE CONTRACT DOCUMENTS IS PROHIBITED RIOR APPROVAL OF THE STRUCTURAL ENGINEER.

RUCTURAL STEEL WITH ONE COAT OF RUST OP PRIMER. TOUCH UP PAINT WHERE WELDING OR EDURE DAMAGE PAINT.

R EXPOSED STEEL SUPPORTING MASONRY, STONE, OR RETE SHALL BE HOT DIPPED GALVANIZED. ALL ED STRUCTURAL STEEL SHALL BE BLASTED CLEAN, AND WEATHER RESISTANT PAINT AS SELECTED BY THE HITECT.

ECTURALLY EXPOSED STRUCTURAL STEEL SHALL HAVE LIGNMENT, AND LEVELNESS CONFORMING TO THE AISC FOR ARCHITECTURALLY EXPOSED STRUCTURAL STEEL.

E. MASONRY

APPROVED

Department of Permitting Services Permit # BUILDING-96460

> 1. MASONRY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ACI 530 "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES" AND ACI 530.1 "SPECIFICATIONS FOR MASONRY STRUCTURES".

2. CONCRETE MASONRY CONSTRUCTION SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F'm) OF 1500 PSI ON THE NET CROSS SECTIONAL AREA AT 28 DAYS.

3. MASONRY UNITS SHALL BE GRADE N, TYPE I MEDIUM WEIGHT HOLLOW CONCRETE UNITS CONFORMING TO THE REQUIREMENTS OF ASTM C90. MASONRY UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI ON THE NET AREA AT 28 DAYS.

4. FACING BRICK SHALL CONFORM TO THE REQUIREMENTS OF ASTM C216 GRADE SW. FACING BRICK SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AS DETERMINED BY ASTM C67.

5. MORTAR SHALL CONFORM TO THE REQUIREMENTS OF ASTM C270, TYPE M OR S. TYPE M MORTAR SHALL BE USED IN BELOW GRADE APPLICATIONS AND SHALL OBTAIN AN AVERAGE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. TYPE S MORTAR MAY BE USED IN ABOVE GRADE APPLICATIONS AND SHALL OBTAIN AN AVERAGE COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS.

6. GROUT SHALL CONFORM TO ASTM C476 AND SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI ON THE NET AREA AT 28 DAYS.

7. REINFORCEMENT SHALL CONFORM TO THE STANDARDS SPECIFIED IN THE CONCRETE NOTES. REINFORCEMENT SHALL BE LAP SPLICED A MINIMUM OF 36 BAR DIAMETER UNLESS NOTED OTHERWISE.

8. HORIZONTAL JOINT REINFORCEMENT SHALL BE USED IN THE MASONRY CONSTRUCTION. SUCH JOINT REINFORCEMENT SHALL BE PLACED AT 8 INCHES ON CENTER VERTICALLY IN WALLS BELOW GRADE AND AT 16 INCHES ON CENTER VERTICALLY IN WALLS THAT ARE ABOVE GRADE. MASONRY JOINT REINFORCING SHALL BE TRUSS TYPE ZINC COATED, COLD DRAWN STEEL WIRE CONFORMING TO ASTM A82.

9. UNLESS NOTED OTHERWISE ON PLAN. PROVIDE LOOSE ANGLE LINTELS FOR EACH 4 INCHES OF WALL THICKNESS WITH 6 INCHES MINIMUM BEARING AT EACH END.

UP TO 4'-0"	L3 1/2x3 1/2x1/4
UP TO 6'-0"	L5x3 1/2x5/16 (LLV)
UP TO 8'-0"	L6x3 1/2x5/16 (LLV)
0F 10 8 -0	10x3 1/2x3/10 (LLV)

F. WOOD

1. ALL LUMBER AND ITS FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, LATEST EDITION, BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.

2. ALL FRAMING LUMBER EXCEPT SILL PLATES AND TOP & BOT BEARING WALL PLATES SHALL BE HEM-FIR. GRADE #2 OR SPRUCE-PINE-FIR. GRADE #2 OR BETTER, HAVING THE FOLLOWING MIN VALUES:

BENDING STRESS "Fb": 850 PSI (SINGLE MEMB USE) HORIZONTAL SHEAR "Fv": 135 PSI COMP PERPENDICULAR TO GRAIN "Fc⊥": 405 PSI COMP PARALLEL TO GRAIN "Fc11": 1100 PSI MODULUS OF ELASTICITY "E": 1.300.000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NLGA

3. ALL STRUCTURAL POSTS, SILL PLATES. TOP & BOT BEARING WALL PLATES.AND EXTERIOR FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, GRADE #2 OR BETTER, WITH THE FOLLOWING MINIMUM VALUES (BASED ON 2x12 LUMBER):

BENDING STRESS "Fb": 975 PSI (SINGLE MEMB USE) HORIZONTAL SHEAR "Fv": 175 PSI COMP PERPENDICULAR TO GRAIN "Fc 1": 565 PSI COMP PARALLEL TO GRAIN "Fc11": 1450 PSI MODULUS OF ELASTICITY "E":

1,600,000 PSI 4. ALL LVL MEMBERS SHALL BE 1.9E MICROLLAM LVL WITH THE FOLLOWING ALLOWABLE DESIGN STRESSES:

BENDING STRESS "Fb": 2600 PSI HORIZONTAL SHEAR "Fv": 285 PSI COMP PERPENDICULAR TO GRAIN "Fc⊥": 750 PSI COMP PARALLEL TO GRAIN "Fc II": 2310 PSI MODULUS OF ELASTICITY "E": 1.900.000 PSI

5. ALL PSL MEMBERS SHALL BE 2.0E PARALLAM PSL WITH THE FOLLOWING ALLOWABLE DESIGN STRESSES:

BENDING STRESS "Fb": 2900 PSI HORIZONTAL SHEAR "Fv": 290 PSI COMP PERPENDICULAR TO GRAIN "Fc⊥": 650 PSI COMP PARALLEL TO GRAIN "Fc II": 2900 PSI MODULUS OF ELASTICITY "E": 2,000,000 PSI

4. ALL WEATHER EXPOSED DIMENSION LUMBER AND SILL PLATES BEARING ON MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. WEATHER EXPOSED ENDS OF MEMBERS SHALL BE TREATED WITH C.C.A.

5. ALL FREESTANDING POSTS SHALL HAVE PREFABRICATED POST CAPS AND BASE. POSTS WITHIN WALL SHALL HAVE PREFABRICATED CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFABRICATED BASE. INSTALL CONNECTORS PER MANUF RECOMMENDATIONS. CONNECTORS EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND OR SHALL BE HOT DIP GALVANIZED.

6. PROVIDE SOLID WOOD BLOCKING WITH END GRAIN BEARING BETWEEN FLOOR LEVELS BELOW ALL SOLID WOOD POSTS AND MULTIPLE STUD. COLUMN CONCENTRATED LOADS SHALL BE TRANSFERRED THROUGH FLOOR LEVELS DOWN TO TOP OF CONCRETE OR MASONRY. PROVIDE SOLID WOOD BLOCKING AT SUPPORTS, ENDS OF CANTILEVERS, AND AT 8'-0" O.C. MAXIMUM OF ANY HORIZONTAL SPAN, OR AS PER MANUFACTURED MEMBER INSTALLATION INSTRUCTIONS. PROVIDE INTERMEDIATE HORIZONTAL WOOD BLOCKING AT 4'-0" MAXIMUM VERTICAL SPACING AT ALL LOAD BEARING STUD WALLS.

7. FRAMING CONNECTORS FOR JOISTS, BEAMS, TRUSSES, COLUMNS, ETC., SHALL BE BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. CONNECTORS EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND OR SHALL BE HOT DIP GALVANIZED

8. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS OR EQUAL AT ALL RAFTERS AND ROOF TRUSSES. REFER TO THE IRC BUILDING CODE FOR MINIMUM NAILING REQUIREMENTS FOR CONNECTING WOOD ELEMENTS. MULTIPLE BEAMS SHALL BE NAILED WITH 2 ROWS OF NAILS AT 12" O.C. MULTIPLE MEMBER STUD POSTS SHALL BE NAILED AT 6" O.C. STAGGERED.

9. DOUBLE FLOOR JOISTS UNDER NON BEARING PARTITION WALLS AND UNDER BATH TUBS PARALLEL TO THE FLOOR JOISTS. UNLESS OTHERWISE SHOWN ON KING STUDS SCHEDULE, PROVIDE DOUBLE FULL HEIGHT STUDS EACH SIDE OF WALL OPENINGS UP TO 4'-0" AND TRIPLE FULL HEIGHT STUDS EACH SIDE OF WALL OPENINGS UP TO 6'-0". MINIMUM END BEARING OF HEADERS IN BEARING WALLS SHALL BE 3" (TWO STUDS) UNLESS NOTED OTHERWISE ON PLAN.

10. WOOD JOIST AND STUDS SHALL NOT BE CUT OR NOTCHED UNLESS AUTHORIZED BY THE ENGINEER. DRILLED HOLES SHALL BE CENTERED AT MID DEPTH OF MEMBER AND THE HOLE DIA SHALL NOT EXCEED 1/3 ACTUAL DEPTH OF MEMBER. NO HOLES ARE TO BE LOCATED WITHIN 2' FROM THE ENDS OR WITHIN THE MIDDLE 1/3 OF THE SPAN. PROVIDE 4" CLEAR BETWEEN HOLES.

11. PLYWOOD WEB JOISTS (TJI), LAMINATED VENEER LUMBER (LVL), AND PARALLEL STRAND LUMBER (PSL) SHALL BE AS MANUFACTURED BY TRUS JOIST MACMILLAN OR APPROVED EQUAL REFER TO THE MANUFACTURER RECOMMENDATION FOR INSTALLATION. CONNECTION. AND REINFORCEMENT DETAILS REQUIRED FOR THESE PRODUCTS. PROVIDE 1 3/4" MINIMUM BEARING FOR TJI JOISTS AND 3 1/2" MINIMUM BEARING FOR LVL AND PSL BEAMS. PROVIDE 1 1/4" MINIMUM TIMBERSTRAND RIM BOARD AT ALL PERIMETER WALLS AND SILL PLATES. PROVIDE WEB STIFFENERS 2x SQUASH BLOCKS AS SHOWN ON THE PROJECT DRAWINGS AND AS REQUIRED BY THE MANUFACTURER.

12. FASTEN MULTIPLE LVL MEMBERS TOGETHER AS FOLLOWS: 2 AND 3 MEMBERS 12" OR LESS: PROVIDE 2 ROWS OF 16d COMMON NAILS AT 12" O.C. 2 AND 3 MEMBERS > 12" DEEP: PROVIDE 3 ROWS OF 16d COMMON

NAILS AT 12" O.C. NAIL 3 MEMBER ASSEMBLY FROM BOTH SIDES.

FOR ONE SIDED LOADED ASSEMBLY AND 4 PIECE MEMBERS: PROVIDE 2 ROWS OF 1/2"Ø THROUGH BOLTS @ 12" O.C. PROVIDE HEAVY DUTY FRAMING CONNECTIONS BY SIMPSON STRONG TIE COMPANY OR APPROVED EQUAL WHEN CONNECTING LVL AND PSL MEMBERS.

13. UNLESS OTHERWISE INDICATED, SUBFLOORING SHALL BE 3/4" T & G PLYWOOD. APA RATED STURD-I-FLOOR, ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD APA RATED, AND WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD APA RATED. PROVIDE "H" CLIPS AT BUTT JOINTS OF ROOF SHEATHING.

14. ROOF TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER FOR THE LOADS INDICATED ON THE DRAWINGS. SHOP DRAWINGS AND DESIGN CALCULATIONS SHALL BE SUBMITTED FOR REVIEW AND SHALL BE STAMPED BY A PROFESSIONAL ENGINEER CURRENTLY REGISTERED IN THE STATE OF THE ACTUAL CONSTRUCTION.

15. MULTIPLE TRUSSES MUST BE FASTENED TO EACH OTHER IN A MANNER AS TO SHARE THE SUPERIMPOSED LOADS INCLUDING LOADS FROM HEADERS. CONNECTORS FOR TRUSSES TO BEAMS AND TRUSS GIRDERS SHALL BE DESIGNED BY THE SPECIFIED BY THE TRUSS MANUFACTURER. WOOD TRUSSES SHALL NOT BE CUT OR DRILLED UNLESS AUTHORIZED BY THE TRUSS MANUFACTURER.

G. NOTES

1. REFER TO ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL SLEEVES, ANCHORS, VENT OPENINGS, ETC. NOT SHOWN ON STRUCTURAL DRAWINGS THAT MAY BE REQUIRED.

2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR CONCRETE AND MASONRY REINFORCING, CONCRETE MIX DESIGN, & STRUCTURAL STEEL TO THE STRUCTURAL ENGINEER FOR REVIEW.

3. GUARD RAILS, HAND RAILS AND STAIRS SHALL BE ENGINEERED BY THE STAIR AND RAILING MANUFACTURER TO MEET THE IRC CODE REQUIRED DESIGN LOAD CRITERIA. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR THE STAIR AND GUARD RAIL DESIGN SIGNED BY A PROFESSIONAL ENGINEER FOR REVIEW BY THE ARCHITECT AND ENGINEER OF RECORD.

4. ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED BY A QUALIFIED INSPECTION AGENCY IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED INSPECTION AGENCY TO PERFORM ALL THE REQUIRED INSPECTION WORK AND PROVIDE ANY REQUIRED CERTIFICATIONS.

Seal



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-22

Consultant RADWAN ASSOCIATES, INC STRUCTURAL ENGINEER

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Developer

$\underline{1}$	PERMIT REVISIONS
PERMI	Т

10-06-2021 _____ 08-16-2021

Issue Description

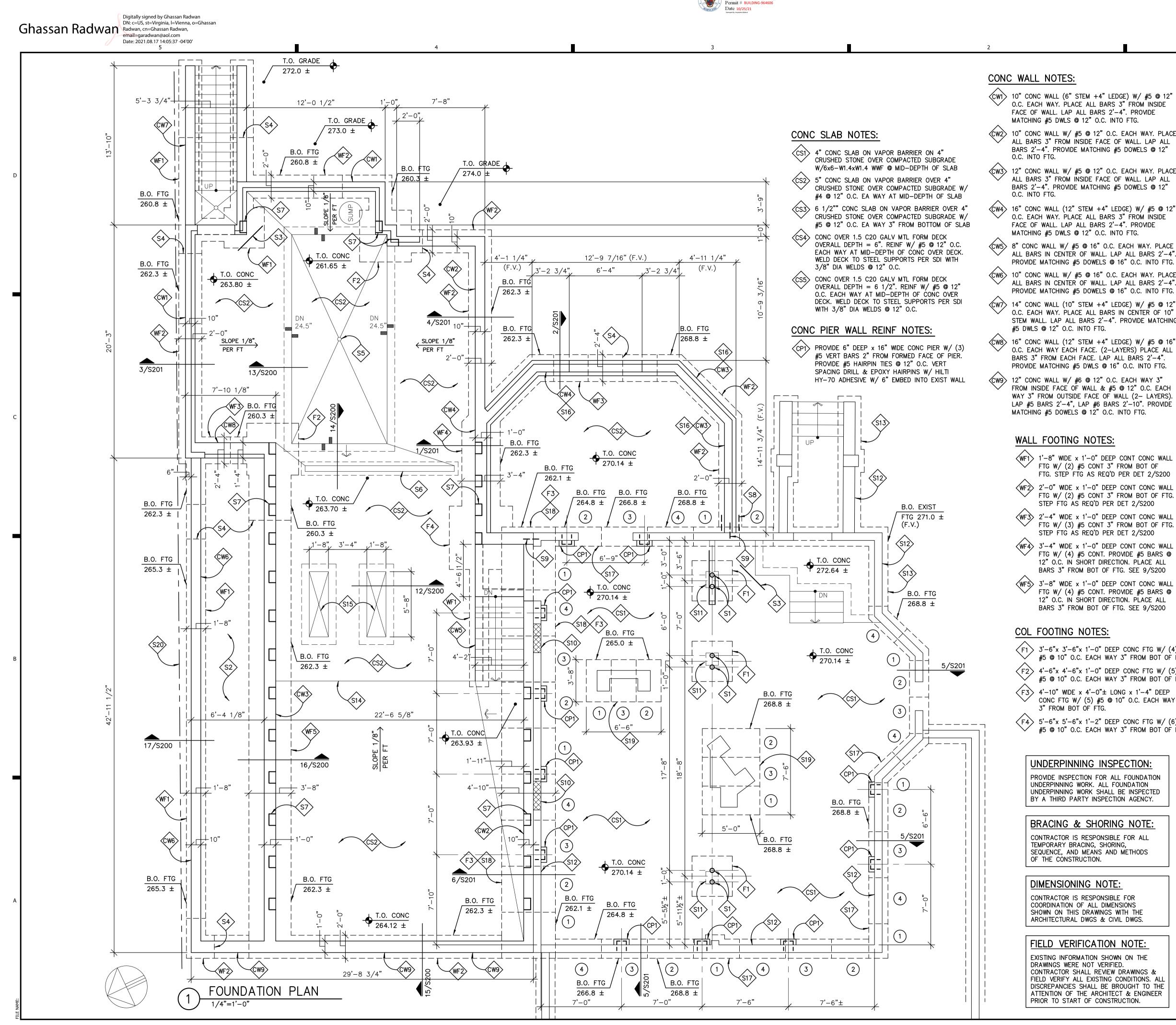
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Sheet Title

STRUCTURAL NOTES

Sheet No. SHEET 1 OF 8 COPYRIGHT, RADWAN ASSOCIATES, INC.



APPROVED

Department of Permitting Services

- (CW1) 10" CONC WALL (6" STEM +4" LEDGE) W/ #5 @ 12" O.C. EACH WAY. PLACE ALL BARS 3" FROM INSIDE FACE OF WALL. LAP ALL BARS 2'-4". PROVIDE MATCHING #5 DWLS @ 12" O.C. INTO FTG.
- (CW2) 10" CONC WALL W/ #5 @ 12" O.C. EACH WAY. PLACE ALL BARS 3" FROM INSIDE FACE OF WALL. LAP ALL BARS 2'-4". PROVIDE MATCHING #5 DOWELS @ 12"
- ⟨CW3⟩ 12" CONC WALL W/ #5 @ 12" O.C. EACH WAY. PLACE ALL BARS 3" FROM INSIDE FACE OF WALL. LAP ALL BARS 2'-4". PROVIDE MATCHING #5 DOWELS @ 12"
- (CW4) 16" CONC WALL (12" STEM +4" LEDGE) W/ #5 @ 12" O.C. EACH WAY. PLACE ALL BARS 3" FROM INSIDE FACE OF WALL. LAP ALL BARS 2'-4". PROVIDE MATCHING #5 DWLS @ 12" O.C. INTO FTG.
- W5 8" CONC WALL W/ #5 @ 16" O.C. EACH WAY. PLACE ALL BARS IN CENTER OF WALL. LAP ALL BARS 2'-4". PROVIDE MATCHING #5 DOWELS @ 16" O.C. INTO FTG. ⟨CW6⟩ 10" CONC WALL W/ #5 @ 16" O.C. EACH WAY. PLACE ALL BARS IN CENTER OF WALL, LAP ALL BARS 2'-4".
- (CW7) 14" CONC WALL (10" STEM +4" LEDGE) W/ #5 @ 12" O.C. EACH WAY. PLACE ALL BARS IN CENTER OF 10" STEM WALL. LAP ALL BARS 2'-4". PROVIDE MATCHING
- W8 16" CONC WALL (12" STEM +4" LEDGE) W/ #5 @ 16" O.C. EACH WAY EACH FACE. (2-LAYERS) PLACE ALL BARS 3" FROM EACH FACE. LAP ALL BARS 2'-4". PROVIDE MATCHING #5 DWLS @ 16" O.C. INTO FTG.
- (CW9) 12" CONC WALL W/ #6 @ 12" O.C. EACH WAY 3" FROM INSIDE FACE OF WALL & #5 @ 12" O.C. EACH WAY 3" FROM OUTSIDE FACE OF WALL (2- LAYERS). LAP #5 BARS 2'-4", LAP #6 BARS 2'-10". PROVIDE MATCHING #5 DOWELS @ 12" O.C. INTO FTG.

- (WF1) 1'-8" WIDE x 1'-0" DEEP CONT CONC WALL FTG W/ (2) #5 CONT 3" FROM BOT OF FTG. STEP FTG AS REQ'D PER DET 2/S200
- ⟨WF2⟩ 2'-0" WIDE x 1'-0" DEEP CONT CONC WALL FTG W/ (2) #5 CONT 3" FROM BOT OF FTG. STEP FTG AS REQ'D PER DET 2/S200
- $\langle WF3 \rangle$ 2'-4" WIDE x 1'-0" DEEP CONT CONC WALL FTG W/ (3) #5 CONT 3" FROM BOT OF FTG. STEP FTG AS REQ'D PER DET 2/S200
- WF4> 3'-4" WIDE x 1'-0" DEEP CONT CONC WALL FTG W/ (4) #5 CONT. PROVIDE #5 BARS @ 12" O.C. IN SHORT DIRECTION. PLACE ALL BARS 3" FROM BOT OF FTG. SEE 9/S200
- (WF5) 3'-8" WIDE x 1'-0" DEEP CONT CONC WALL FTG W/ (4) #5 CONT. PROVIDE #5 BARS @ 12" O.C. IN SHORT DIRECTION. PLACE ALL BARS 3" FROM BOT OF FTG. SEE 9/S200

- $\langle F1 \rangle$ 3'-6"x 3'-6"x 1'-0" DEEP CONC FTG W/ (4) #5 @ 10" O.C. EACH WAY 3" FROM BOT OF FTG
- $\langle F2 \rangle$ 4'-6"x 4'-6"x 1'-0" DEEP CONC FTG W/ (5) #5 @ 10" O.C. EACH WAY 3" FROM BOT OF FTG.
- $\langle F3 \rangle$ 4'-10" WIDE x 4'-0"± LONG x 1'-4" DEEP CONC FTG W/ (5) #5 @ 10" O.C. EACH WAY 3" FROM BOT OF FTG.
- $\langle F4 \rangle$ 5'-6"x 5'-6"x 1'-2" DEEP CONC FTG W/ (6) #5 @ 10" O.C. EACH WAY 3" FROM BOT OF FTG.

UNDERPINNING INSPECTION: PROVIDE INSPECTION FOR ALL FOUNDATION UNDERPINNING WORK. ALL FOUNDATION UNDERPINNING WORK SHALL BE INSPECTED BY A THIRD PARTY INSPECTION AGENCY.

BRACING & SHORING NOTE: CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS

DIMENSIONING NOTE:

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWINGS WITH THE ARCHITECTURAL DWGS & CIVIL DWGS.

FIELD VERIFICATION NOTE:

EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. AL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

FOUNDATION PLAN NOTES:

- (S1) STEEL COL SEE SHEET S101
- (S2) COMPACTED FILL
- $\langle S3 \rangle$ #4 x 3'-0" ADD'L SLAB CORNER BAR
- (S4) STEP WALL FTG SEE DET 2/S200
- (S5) FLOOR DRAIN SEE PLUMBING DWGS
- (S6) TRENCH DRAIN SEE PLUMBING DWGS
- (S7) BEAM POCKET ABOVE SEE SHEET S101
- $\langle S8 \rangle$ DRILL & EPOXY (2) #5 DOWELS x 1'-6" W/ 6" EMBED INTO EXIST FTG. BOT OF NEW FTG TO MATCH BOT OF EXIST FTG
- $\langle S9 \rangle$ DRILL & EPOXY #5 DOWELS x 1'-6" @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL
- (S10) MASONRY INFILL TO MATCH EXIST WALL. TOOTH-IN & GROUT SOLID TO RESTORE STRUCTURAL INTEGRITY OF MASONRY WALL.
- (S11) EXIST MASONRY PIER TO BE REMOVED FIELD VERIFY LOCATION
- (S12) EXIST 8" FULL WIDTH MASONRY WALL BELOW FIELD VERIFY CONDITION
- S13 EXIST WALL FTG TO REMAIN INTACT
- (S14) PROVIDE SAW-CUT OR PRE-FORMED SLAB CONTROL JOINT 1 1/4" DEEP TO CONTROL CRACK. CUT 50% OF SLAB REBAR AT THAT LOCATION JOINT LOCATIONS.
- \langle S15 \rangle 5³/₈" DEEP SLAB RECESS COORD W/ LIFT MANUF
- (S16) 4" BRICK +8" CMU MONOLITHIC MASONRY WALL ABOVE CONC WALL BELOW W/ FULL WIDTH HORIZ TRUSS REINF @ 8" VERT W/ #5 VERT BARS @ 16" IN CENTER OF 8' CMU. GROUT CELLS SOLID. LAP BARS 2'-4". PROVIDE MATCHING #5 DWLS @ 16" O.C. INTO CONC BELOW.
- $\langle S17 \rangle$ PROVIDE 2'-0" WIDE x 1'-6" MIN DEEP CONC FTG UNDERPINNING AT EXIST WALL. SEE DET 5/S201 FOR REQ'D REBAR SIZE & LOCATION. LOWER BOTTOM OF UNDERPINNING AS SHOWN ON PLAN
- S18> PROVIDE 4'-10" WIDE x 1'-4" MIN DEEP CONC FTG UNDERPINNING AT NEW & EXIST WALL. SEE DET 6/S201 FOR REQ'D REBAR SIZE & LOCATION. LOWER BOTTOM OF UNDERPINNING AS SHOWN ON PLAN
- S19> PROVIDE CONC FTG UNDERPINNING AT EXIST CHIMNEY PER INDICATED PLAN DIMENSIONS. SEE DET 8/S201 FOR REQ'D REBAR SIZE & LOCATION. LOWER BOTTOM OF UNDERPINNING AS SHOWN ON PLAN

(S20) PROPERTY LINE SEE CIVIL & ARCHT DWGS FOR INFO

UNDERPINNING NOTES:

- 1. ALL UNDERPINNING WORK SHALL BE DONE BY A SPECIALTY CONTRACTOR EXPERIENCED AND INSURED FOR THIS TYPE OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE AS THE RESULT OF THE UNDERPINNING WORK.
- 2. ALL UNDERPINNING WORK SHALL BE INSPECTED BY A THIRD PARTY INSPECTION AGENCY. THE SOIL BEARING MATERIAL SHALL BE APPROVED BY A REGISTERED GEOTECHNICAL ENGINEER.
- 3. UNDERPINNING PIERS SHALL BE INSTALLED IN THE SEQUENCE INDICATED ON THE PLANS AND THE DETAIL PIERS SHALL BE 4'-0" MAX AND SHALL EXTEND 1'-0" MIN INTO UNDISTURBED SOIL. NO OPEN UNDERPINNING PIT SHALL BE CLOSER THAN 12'-0" CLEAR TO ANY OTHER OPEN UNDERPINNING PIT. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. ALLOW 36 HOURS CURING PRIOR TO PLACING 2" CONTINUOUS FULL WIDTH DRYPACKING. ALLOW ANOTHER 18 HOURS BETWEEN DRYPACKING AND THE NEXT EXCAVATION SEQUENCE.

FOUNDATION NOTES:

- 1. STEP FOOTINGS PER DETAILS ON S200 FOR UTILITY LINES AND AS REQ'D BY THE GEOTECH ENGINEER FOR APPROVED SOIL BEARING. BOTTOM OF ALL FOOTINGS SHALL BE MIN OF 2'-6" BELOW FINISH GRADE. CONTRACTOR SHALL COORDINATE BOTTOM OF FTGS WITH SITE PLAN, ARCHT DWGS & FIELD CONDITIONS.
- 2. FOUNDATION WALLS SHALL HAVE P.T. 2x6 SILL PL ANCHORED TO WALL W/ 5/8" DIA x 1'-0" BOLTS @ 32" O.C. PROVIDE DRAIN BOARD. WATER PROOFING, & 4" DIA DRAIN PIPE CONNECTED TO SUMP PUMP LOCATED BELOW THE LOWEST BASEMENT SLAB. TERMINATE DRAIN BOARD 1'-6" BELOW FINISH GRADE. TOP 18" OF SOIL SHALL BE IMPERVIOUS. SLOPE GRADE AWAY FROM WALL.

GENERAL NOTES:

- . REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
- 2. REFER TO SOO1 FOR STRUCTURAL NOTES. REFER TO S200 THRU S202 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
- 3. REFER TO THE CIVIL DRAWINGS FOR ADD'L INFO & FINISH GRADE ELEVATIONS



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-22

RADWAN ASSOCIATES, INC STRUCTURAL ENGINEER

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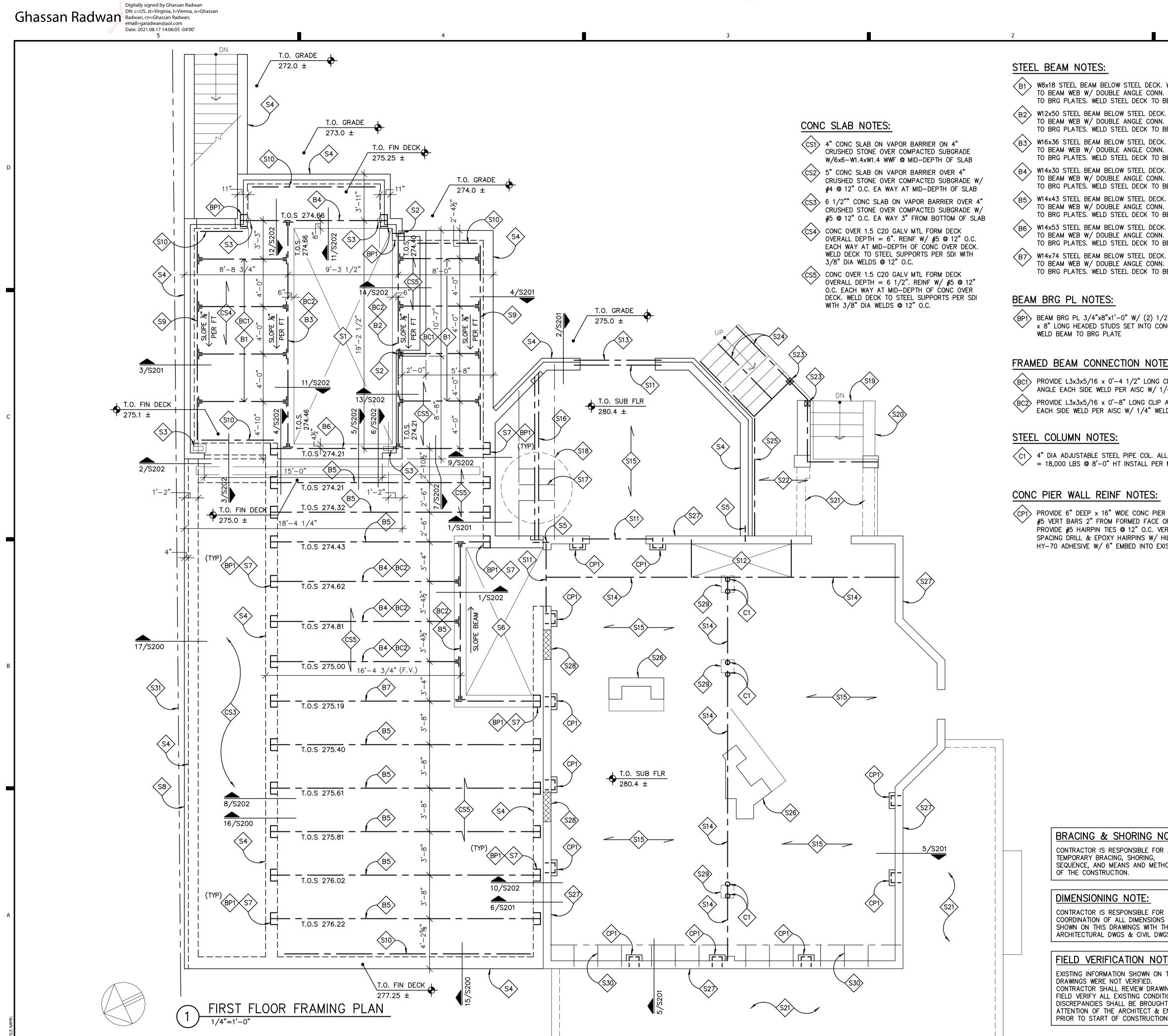
PERMIT	08-16-2021
Issue Description	Date
RAI Project No	RA-20-107

RAI Project No.	RA-20-107	
Checked By	GR	
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Scale	1=48	

Sheet Title

FOUNDATION PLAN





APPROVED APPROVED Department of Permitting Services Permit # BUILDING-964606

Date 10/25/21

-	1	
S:	FIRST FLOOR FRAMING NOTES:]
<u>.</u>		
BELOW STEEL DECK. WELD DOUBLE ANGLE CONN. WELD ELD STEEL DECK TO BEAM	S1 CAR LIFT OPNG COORDINATE W/ LIFT MANUF S2 WOOD POST ABOVE, PROVIDE SOLID BLOCKING BELOW	
M BELOW STEEL DECK. WELD DOUBLE ANGLE CONN. WELD ELD STEEL DECK TO BEAM	POST BEARING LOCATION. SEE SHEET S102	
M BELOW STEEL DECK. WELD DOUBLE ANGLE CONN. WELD ELD STEEL DECK TO BEAM	S4 CONC WALL BELOW SEE SHEET S100	
M BELOW STEEL DECK. WELD DOUBLE ANGLE CONN. WELD ELD STEEL DECK TO BEAM	S5 DRILL & EPOXY #5 DOWELS x 1'-6" @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL. SEE 7/S200 S6 OPEN TO BELOW	
M BELOW STEEL DECK. WELD DOUBLE ANGLE CONN. WELD ELD STEEL DECK TO BEAM	S7 SLOPE BEAM BEARING PLATE TO MATCH DECK SLOPE	
M BELOW STEEL DECK. WELD DOUBLE ANGLE CONN. WELD ELD STEEL DECK TO BEAM	S8 CANTILEVER EDGE OF SLAB OVER WALL S9 C9x15 CONT STEEL CHANNEL W/ 5/8" DIA EXP BOLTS	
M BELOW STEEL DECK. WELD DOUBLE ANGLE CONN. WELD ELD STEEL DECK TO BEAM	 @ 12" O.C. W/ 4" EMBED INTO CONC WALL. WELD STEEL BEAMS & DECK TO CHANNEL \$\lambda{10}\$ L4x4x5/16 CONT W/ 5/8" DIA EXP BOLTS @ 16" O.C. 	
	W/ 4" EMBED INTO CONC WALL. WELD DECK TO ANGLE	
TES:	S11 (3) 1 3/4"x 9 1/2" LVL UPSET IN SAME PLANE AS JOISTS	Seal
x8"x1'—0" W/ (2) 1/2" DIA STUDS SET INTO CONC.	S12 EXIST STAIR OPNG	
PLATE	S13 L6x4x3/8 GALV STEEL LINTEL LONG LEG VERT W/ 6" BRG AT EACH END OVER GROUTED MASONRY	
NNECTION NOTES:	S14 EXIST HEADER TO REMAIN INTACT FIELD VERIFY CONDITION	
× 0'-4 1/2" LONG CLIP WELD PER AISC W/ 1/4" WELDS	S15 EXIST 2×10 FLOOR JOISTS TO REMAIN INTACT. FIELD VERIFY SIZE, ORIENTATION, & CONDITION	
× 0'-8" LONG CLIP ANGLE ER AISC W/ 1/4" WELDS	S16 SISTER EXIST JOIST W/ 2x10 JOIST FULL SPAN TO FACE OF SUPPORT. NAIL W/ (2) ROWS OF 16d NAILS 8" O.C.	Consultant

(S17) PROVIDE 2x10 BLKG EACH SIDE @ 16" O.C. TOTAL OF

 $\langle s_{21} \rangle$ exist deck to remain intact field verify condition

(S23) P.T. 6x6 SOLID WOOD POST FIELD VERIFY CONDITION

(S25) P.T. 2x10 WALL PL W/ 5/8" DIA EXP BOLTS @ 16" O.C.

W/ 4" EMBED INTO WALL. FIELD VERIFY CONDITION

(S24) P.T. 2x12 STAIR STRINGER FIELD VERIFY CONDITION

(S27) EXIST 8" FULL WIDTH MASONRY WALL BELOW FIELD

(S28) MASONRY INFILL TO MATCH EXIST WALL. TOOTH-IN &

S29 EXIST MASONRY PIER TO BE REMOVED FIELD VERIFY

S30 PROVIDE 2×10 @ 16" O.C. LADDER FRAMING FOR TOP OF WALL BRACING

(S31) PROPERTY LINE SEE CIVIL & ARCHT DWGS FOR INFO

GROUT SOLID TO RESTORE STRUCTURAL INTEGRITY OF

(S18) COORD LOCATION OF GYM EQUIP W/ ARCHT DWGS

(S20) EXIST WALLS BELOW FIELD VERIFY CONDITION

(S19) EXIST STAIRS FIELD VERIFY CONDITION

S26 EXIST CHIMNEY TO REMAIN INTACT

VERIFY CONDITION

MASONRY WALL.

LOCATION

(3) LOCATIONS

S22> P.T. 2x8 @ 16" O.C.

ΕS	TE	EL	PIPE	COL	AL	LOW	CAP
'–C)"	ΗT	INST	ALL	PER	MAN	IUF

x 16" WIDE CONC PIER $W/(3)$
FROM FORMED FACE OF PIER.
IN TIES 🞯 12" O.C. VERT
EPOXY HAIRPINS W/ HILTI
N/ 6" EMBED INTO EXIST WALL

16 "WIDE CONC PIER W/ (3)	
FROM FORMED FACE OF PIER.	
N TIES 🞯 12" O.C. VERT	
POXY HAIRPINS W/ HILTI	
// 6" EMBED INTO EXIST WALL	

GENERAL NOTES:

BRACING & SHORING NOTE: CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS

DIMENSIONING NOTE: CONTRACTOR IS RESPONSIBLE FOR

SHOWN ON THIS DRAWINGS WITH THE ARCHITECTURAL DWGS & CIVIL DWGS.

FIELD VERIFICATION NOTE:

EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. AL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

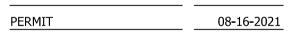
- REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
- 2. REFER TO SOO1 FOR STRUCTURAL NOTES. REFER TO S200 THRU S202, & S300 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN. 3. PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD
- POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS. PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJI JOISTS AT STACKED LOAD BEARING WALLS, INSTALL PER TJI MANUF. PROVIDE INTERMEDIATE HORIZONTAL BLKG BETWEEN STUDS AT 4'-0" VERT SPACING AT ALL LOAD BEARING WALLS.
- 4. IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING: ADD'L (1) KING STUD EACH SIDE OF OPNGS UP TO 4'-0" WIDE. ADD'L (2) KING STUDS EACH SIDE OF OPNGS UP TO 8'-0" WIDE.
- 5. PROVIDE FRAMING CONNECTORS FOR JOISTS, BEAMS & POSTS. CONNECTORS SHALL BE BY SIMPSON STRONG-TIE OR EQUAL AND SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INSTALLED ACCORDING TO MANUFACTURER. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST2215 STRAPS CONNECTING TOP OF SHEARWALLS TO HEADERS.
- 6. REFER TO S300 FOR WALL BRACING PLAN, WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.

RADWAN ASSOCIATES, INC STRUCTURAL ENGINEER

8609 WESTWOOD CENTER DR., SUITE 110 VIENNA, VA 22182 (703) 790**-**8435 RADWANINC@AOL.COM

Project

Developer



Issue Description

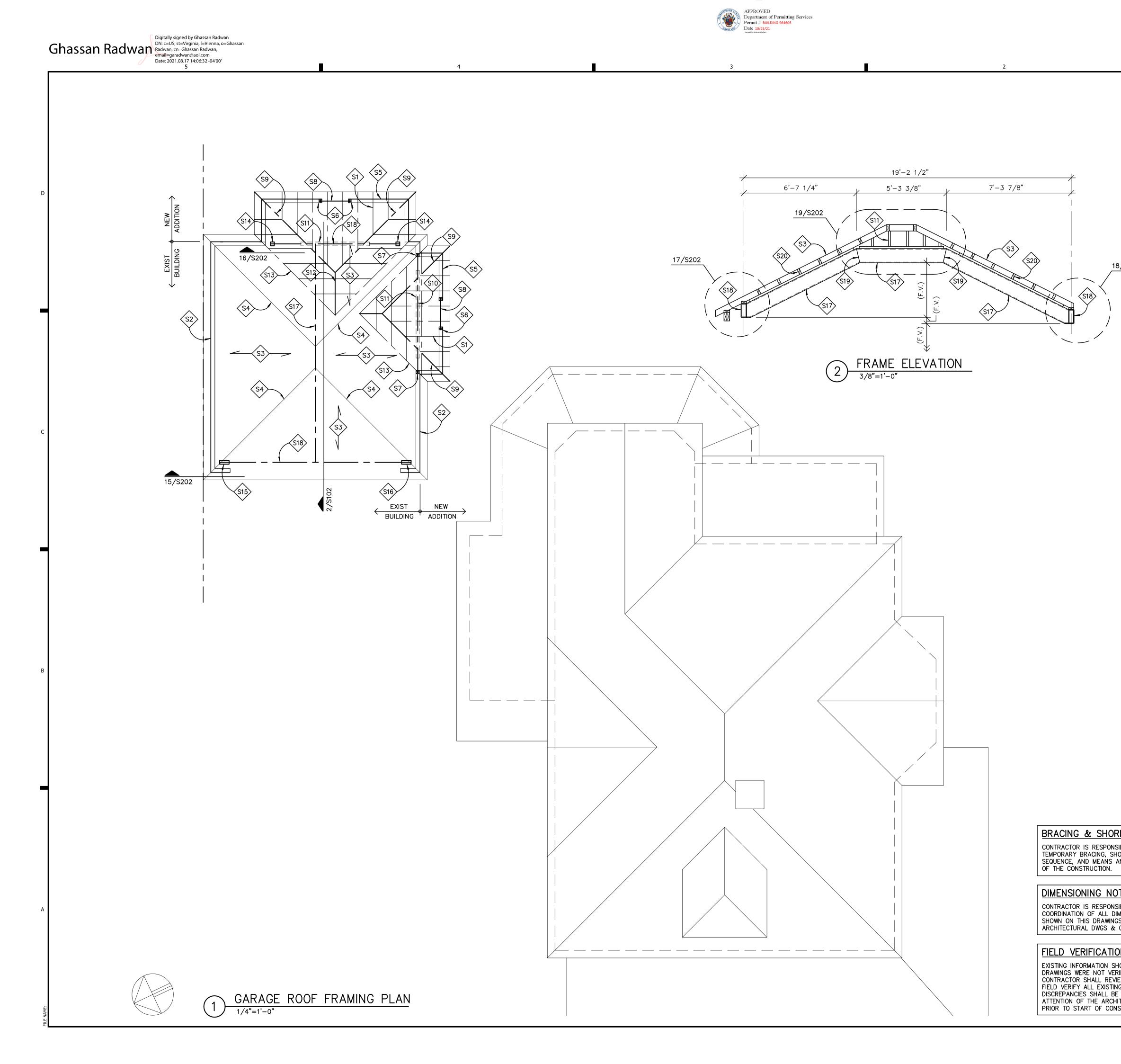
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Date

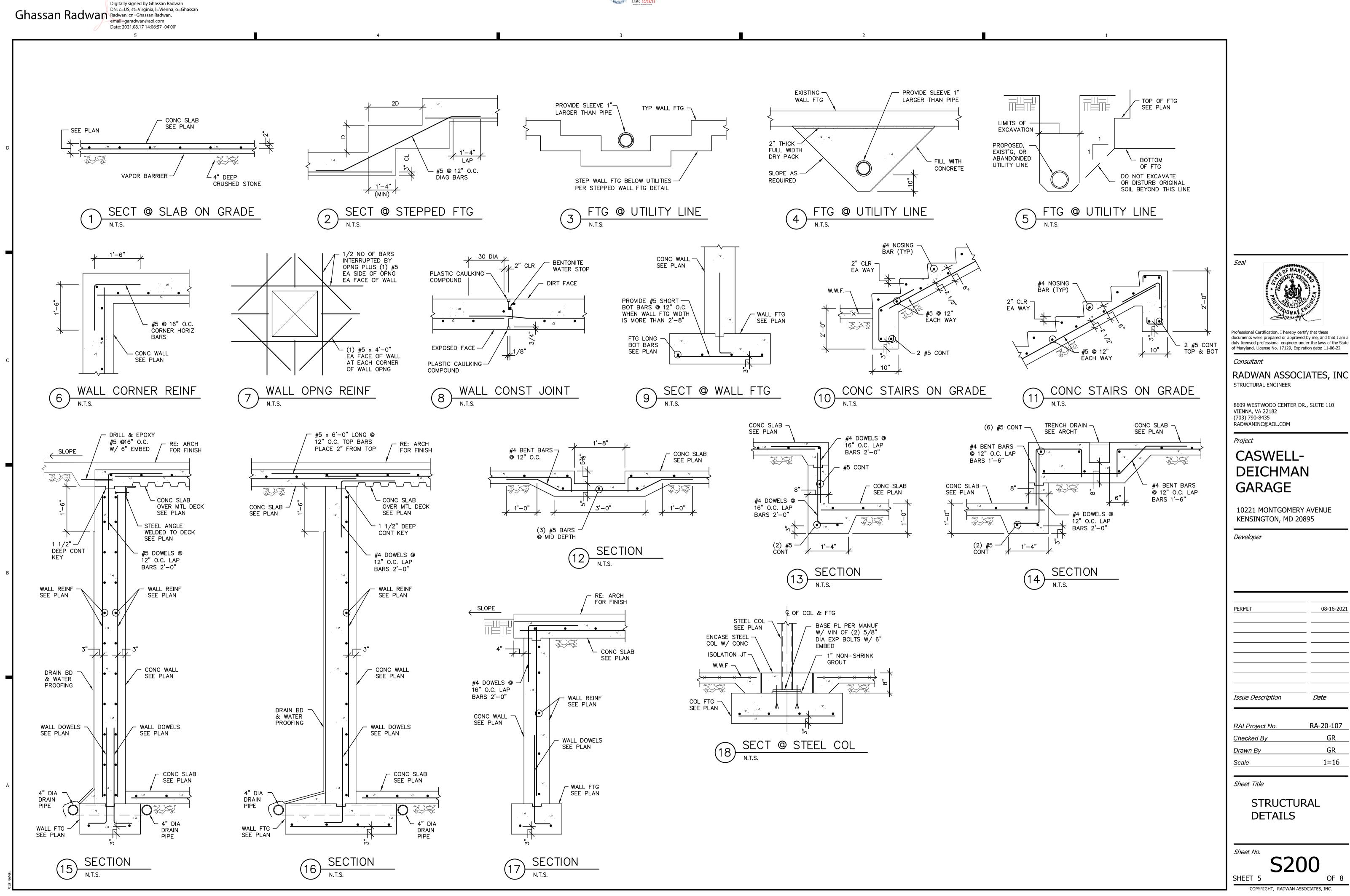
Sheet Title

1ST FLOOR FRAMING



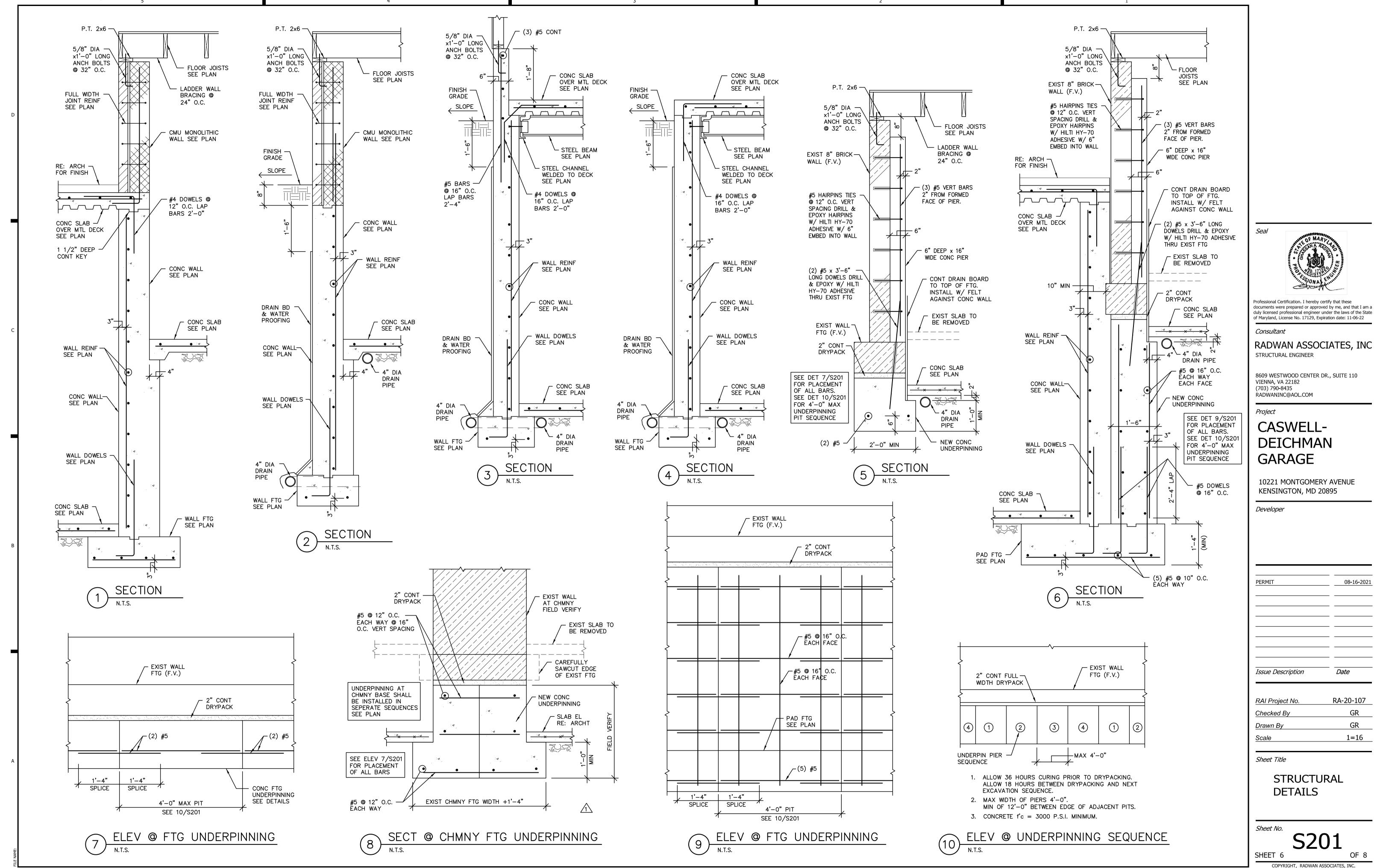


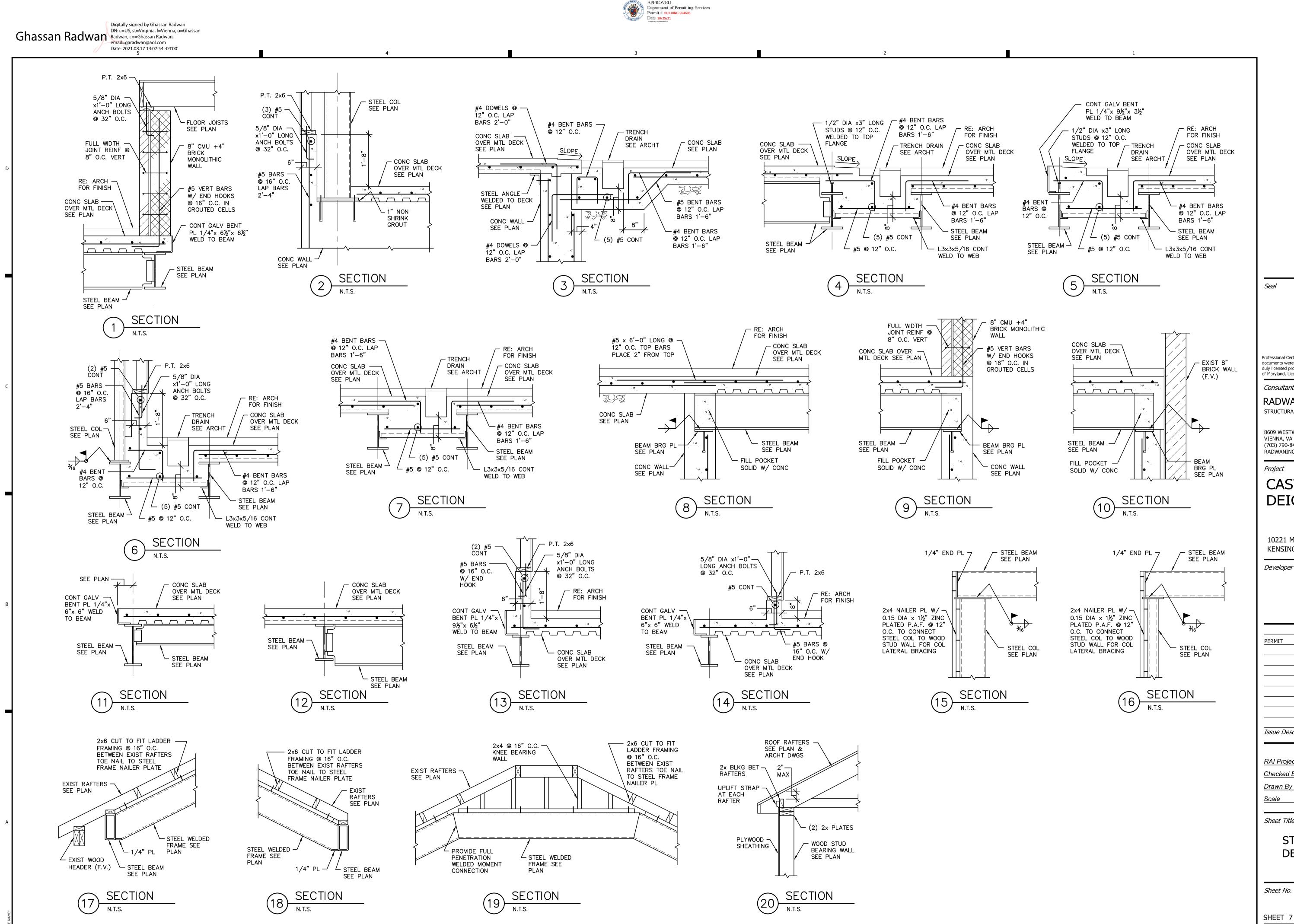
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<u>8/S202</u>	 STOP STEEL DEAM ABOVE A STEEL TUBE COL WY 5/8*X*X1*2" CONNECTION STOP STEEL DEAM ABOVE A STEEL COL WY 5/8*X*X1*2" CAN PLA STARTERS 	Seal Seal Consultant RADVAN ASSOCIATES, INC STRUCTURAL ENGINEER 8609 WESTWOOD CENTER DR., SUITE 110 VIENNA, VA 22182 (703) 790-8435 RADWANINC@AOL.COM
RING NOTE: SIBLE FOR ALL HORING, AND METHODS SIBLE FOR MENSIONS GS WITH THE : CIVIL DWGS. CON NOTE: SHOWN ON THE RIFIED. HOWN ON THE RIFIED. HOWN ON THE RIFIED. HE BROUGHT TO THE RIFIED. MENSIONS & NG CONDITIONS. ALL E BROUGHT TO THE HITECT & ENGINEER NSTRUCTION.	 GENERAL NOTES: 1. REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS. 2. REFER TO S001 FOR STRUCTURAL NOTES. REFER TO S200 THRU S202, & S300 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN. 3. PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS. PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJJ JOISTS AT STACKED LOAD BEARING WALLS. 4. IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING: ADD'L (1) KING STUD EACH SIDE OF OPINGS UP TO 4'-O' WERT SPACING AT ALL LOAD BEARING WALLS. 4. IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING: ADD'L (2) KING STUD EACH SIDE OF OPINGS UP TO 4'-O' WIDE. ADD'L (2) KING STUD EACH SIDE OF OPINGS UP TO 4'-O' WIDE. 5. PROVIDE FRAMINC CONNECTORS FOR JOISTS, BEAMS & POSTS. CONNECTORS SHALL BE PS SIMPSON STRONG-TIE OR EQUAL AND SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INISTALLED ACCORDING TO MAUFACTURE. PROVIDE SIMPSON HALSA UPULFT CONNECTORS AT ALL RAFTERS. PROVIDE SIZEJS STRAPS CONNECTING TOP OF SHEAWALLS TO HEADERS. 6. REFER TO S300 FOR WALL BRACING PLAN, WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS. 	Developer



APPROVED Department of Permitting Services Permit # BUILDING-964606 Date 10/25/21 APPROVED Date 10/25/21

Digitally signed by Ghassan Radwan Ghassan Radwan Radwan, cn=Ghassan Radwan, Radwan, cn=Ghassan Radwan, email=garadwan@aol.com Date: 2021.08.<u>1</u>7 14:07:25 -04'00'



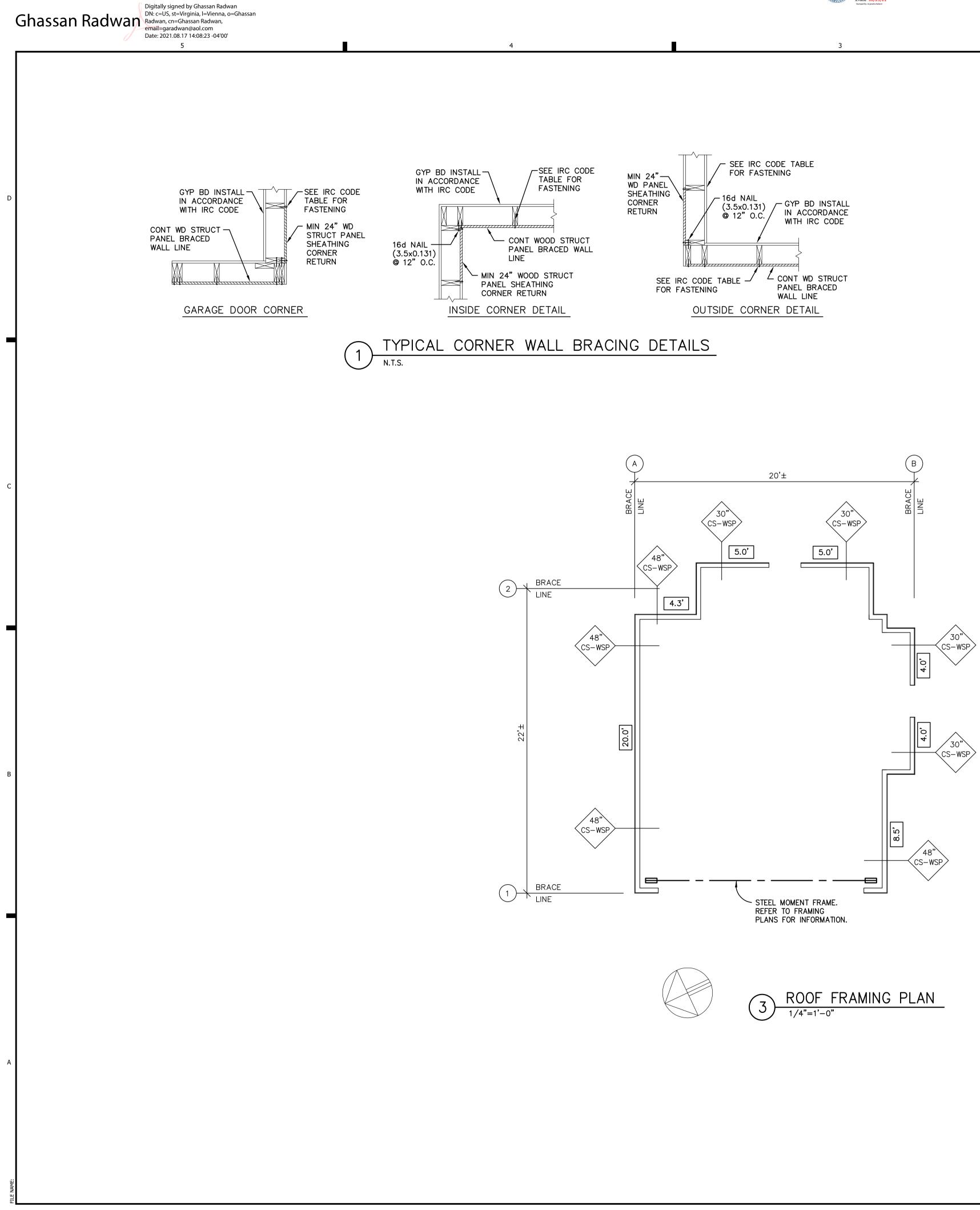


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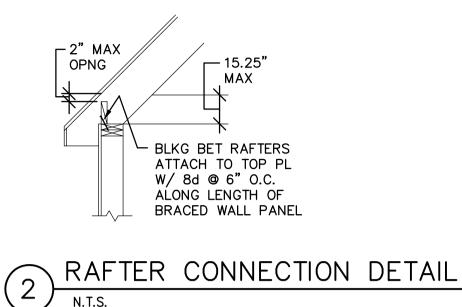
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essional Certification. I hereby certify that these uments were prepared or approved by me, and that I am a consed professional engineer under the laws of the State faryland, License No. 17129, Expiration date: 11-06-22					
DINSULTANT ADWAN ASSOCIATES, INC TRUCTURAL ENGINEER					
509 WESTWOOD CENTER DR., SUITE 110 ENNA, VA 22182 03) 790-8435 ADWANINC@AOL.COM					
roject CASWELL- DEICHMAN					
L0221 MONTGOMERY AVENUE KENSINGTON, MD 20895					
eveloper					
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heet No. S202					

OF 8

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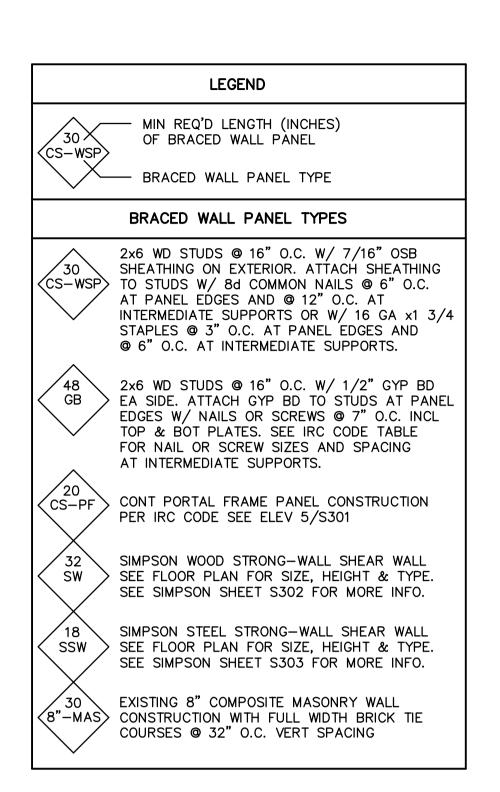






1ST FLR TOTAL BRACE WALL LINE LENGTH 115 MPH WIND - EXPOSURE "B"					
BWL	MULT FACTOR	BWL SPACING	LENGTH REQ'D	LENGTH PROVIDED	
	1.0	22'	4'	SMF*	
2	1.0	22'	4'	14'	
A	1.0	20'	4'	20'	
B	1.0	20'	4'	16.5	
REFER TO S300 FOR WALL BRACING ADD'L INFO					

SMF*: PROVIDED STEEL MOMENT FRAME. REFER TO FRAMING PLANS FOR INFORMATION.



1ST FLR BRACE WALL LINE MULT FACTOR

115 MPH WIND – EXPOSURE "B"				
EAST-WEST WALLS		MULT FACTOR		
NO OF BRACED WALLS	2	1.0		
EAVE-TO-RIDGE HT	5'	0.7		
WALL HEIGHT	9'	0.95		
TOTAL MULT FACTOR		1.0		
NORTH-SOUTH WALLS		MULT FACTOR		
NO OF BRACED WALLS	2	1.0		
EAVE-TO-RIDGE HT	5'	0.7		
WALL HEIGHT	9'	0.95		
TOTAL MULT FACTOR		1.0		

<u>NOTES:</u>

- 1. PROJECT LOCATED IS SEISMIC CATEGORY B.
- 2. BASIC WIND SPEED \leq 115 MPH.
- 3. ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED.
- 4. BUILDING IS BRACED IN ACCORDANCE WITH THE IRC CODE

BRACE PANEL LENGTH NOTES:

INDICATES TOTAL LENGTH OF PANEL 14.0'

<cs-wsp>

INDICATES MIN PANEL LENGTH REQ'D SEE SHEET S301

LENGTH WSP LENGTH = 0.5 x (GB) LENGTH **CONVERSION** GB LENGTH = $2 \times (WSP)$ LENGTH

WALL BRACING NOTES:

- 1. REFER TO FRAMING PLANS FOR INFORMATION ON ADD'L PLYWOOD REQUIRED AT INTERIOR WALLS.
- 2. REFER TO FRAMING PLANS FOR LOCATION OF PORTAL FRAME EXTENDED HEADERS TO BACK END OF WALL PANEL
- 3. REFER TO S301 FOR WALL BRACING INFORMATION, PANEL CONSTRUCTION & TYPICAL DETAILS.
- 4. "HD" INDICATES HOLD DOWN ANCHOR, "ST" INDICATES TENSION STRAP REQUIRED AT THAT LOCATION. REFER TO FRAMING PLANS FOR INFORMATION.
- 5. "SSW" INDICATES SIMPSON STRONG WALL SHEAR WALL PANELS. REFER TO FRAMING PLANS FOR INFORMATION.
- 6. "SMF" INDICATES STEEL MOMENT FRAME. REFER TO FRAMING PLANS FOR INFORMATION.

Seal	PROPERTY OF MAR	ELA CITATION			
ofessional Certification. I hereby certify that these ocuments were prepared or approved by me, and that I am a Ily licensed professional engineer under the laws of the State Maryland, License No. 17129, Expiration date: 11-06-22					
Consultant RADWAN ASSOCIATES, INC STRUCTURAL ENGINEER					
8609 WESTWOOD CENTER DR., SUITE 110 /IENNA, VA 22182 703) 790-8435 RADWANINC@AOL.COM					
Project CASWELL- DEICHMAN GARAGE					
10221 MONTGOMERY AVENUE KENSINGTON, MD 20895					
Developer					
PERMIT		08-16-2021			
Issue Desc	ription	Date			
RAI Projec Checked B Drawn By Scale		RA-20-107 GR GR 1=48			
Sheet Title WALL BRACING PLANS & DETAILS					
Sheet No.					

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OF 8

RADWAN ASSOCIATES, INC. Structural Engineering

8609 Westwood Center Dr., Suite 110 Vienna, VA 22182 (703) 790-8435 Radwaninc@aol.com

January 01/23/2023

Ms. Lauren Ibarra GTM Architects 7735 Old Georgetown Road Bethesda, MD 20814

RE: 10221 Montgomery Avenue Kensington, MD 20895 Permit #: 936313

Dear Ms. Ibarra:

At the general contractor's request, and as the structural engineer of record on the project, we visited the site of the referenced project on December 13th, 2022. The purpose of the visit was to review the as-built garage wall framing, above ground steel framing, and the garage roof framing above the ground floor deck.

The result of our review indicated that the as-built garage wall framing, above ground steel framing, and the garage roof framing are structurally adequate and are in compliance with the structural drawings and the subsequent revisions. The as-built garage framing is capable of supporting the design loading requirements for the project.

Sincerely,

Gus Radwan, P.E.

