

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	10221 Montgomery Avenue, Kensington	Meeting Date:	6/14/2023
Resource:	Contributing (Primary One) Resource Kensington Historic District	Report Date:	6/07/2023
Applicant:	Bruce Caswell and Lauren Deichman (Mike Roberson/McFarland Woods, Agent)	Public Notice:	5/31/2023
Review:	HAWP	Tax Credit:	N/A
Case Number:	1029631	Staff:	Rebecca Ballo
PROPOSAL:	After the fact demolition of the garage and construction of a new garage		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application **with six (6) conditions**, with final approval authority showing that all conditions have been met delegated to staff:

- 1) The applicant shall submit a corrected copy of the as-built drawings showing the new structure from all four elevations, in plan, and with accurate material notations, noting that this is “New Construction”;
- 2) The single hung windows shall be 6/1 to match those from the demolished garage. The windows may be wood or aluminum clad wood, with simulated-divided-lite spacers. Final details of the windows shall be shown on the revised drawings;
- 3) The siding shall be wood, lap siding, with a reveal no greater than 3”-4”;
- 4) The fascia throughout shall be reduced to have a reveal no greater than 6”;
- 5) The pool equipment shall be screened with either four-season evergreen plantings or with wood, horizontal panels, or another small structure. Final details of the screening shall be shown on the revised drawings; and,
- 6) The revised drawings shall accurately show all the proposed new hardscape, including specification materials for the pavers and handrails. This item shall be prepared for staff approval under a separate HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary-One Resource within the Kensington Historic District
DATE: c. 1898



Fig. 1: The subject property is located on the east side of Montgomery Avenue, just to the east of the Noyes Children's Library and the Warner Circle Mansion.

PROPOSAL

The applicants propose an after the fact demolition of an existing garage and construction of a new two-car garage.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Amendment to the Master Plan for Historic Preservation: Kensington Historic District (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Vision of Kensington

In accordance with Section 1.5 of the Historic Preservation Rules, Guidelines, and Procedures (Regulation No. 27-97), the Commission in developing its decision when reviewing a Historic Area Work Permit application for an undertaking involving a resource within the Kensington Historic District may use the *Vision* to determine the appropriateness of a proposal. The goal of the *Vision* “was to establish a sound database of information from which to produce a document that would serve the HPC, M-NCPPC, their staff, and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century.”

In addition, the *Vision* provides a specific physical description of the district as it was at the time of the study, an analysis of character-defining features of the district, a discussion of the challenges facing the district, and a discussion of proposed strategies for maintaining the character of the district, while allowing for appropriate growth and change.

The *Vision* identifies the following, as those features that help define the character of Kensington's built environment:

- Building Setbacks: Residential and Commercial Patterns
- Rhythm and Spacing between Buildings
- Geographic and Landscape Features
- Scale and Building Height
- Directional Expression of Buildings
- Roof Forms and Materials
- Porches
- Dominant Building Material
- Outbuildings
- Integrity of Form, Building Condition, and Threats
- Architectural Style

The *Amendment* notes that:

The district is architecturally significant as a collection of late 19th and early 20th century houses that exhibit a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake, and Colonial Revival. The houses share a uniformity of scale, setbacks, and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

Administrative Background

The HPC approved Case#31-06-20G (HAWP# 912864) for alterations to the contributing garage—constructed between 1911 and 1924—on May 27, 2020.¹ In September 2020, the applicants submitted an amendment to the initial HAWP to request underpinning and installation of a new foundation for the garage. This request was approved by the HPC as a staff item, but the item did not receive final signoff until May 2021 due to required revisions to the drawings.²

In January 2023, Department of Permitting Services (DPS) Inspection staff contacted the HP Office with a service request regarding construction for the garage. Based on pictures from DPS and a site visit, it was determined that the applicant had demolished the garage entirely and rebuilt a new garage instead. A Stop Work Order was issued against the building permit. HP staff determined that a new HAWP and approval from HPC for the demolition of the garage and the new construction was required before additional work could proceed. In response, the applicant submitted this HAWP request.

Description of Original Historic Garage

The one-story, two-car, hipped-roof garage has undergone several alterations prior to the establishment of the Historic District. The original garage doors were removed (though the opening is likely the original size), the siding had been patched and altered in several locations, and a concrete driveway with brick

¹ https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/HAWP/5-27-2020/10221%20Montgomery%20Avenue.%20Kensington%20-%20912864%20-%20Approval%20Letter.pdf

² The staff item report is available here: <https://montgomeryplanning.org/wp-content/uploads/2020/09/10221-Montgomery-Avenue-Kensington-Staff-Item.pdf> The approval of this HAWP with revised drawings was not submitted until May 2021 https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/HAWP/5-12-2021/10221%20Montgomery%20Avenue.%20Kensington%20-%209151997%20-%20Letter%20to%20DPS.pdf

ribbons and a recessed drain had been installed adjacent to the foundation. The original roof had been removed and replaced with an asphalt shingle roof. The existing garage had measured approximately 372 square feet, and 21' 3" deep by 18'4" wide.



Figure 2: Previous garage from 2020; images taken from previous HAWP application from May 2020 looking at the garage from the front, interior of the lot, and the rear elevation, respectively.

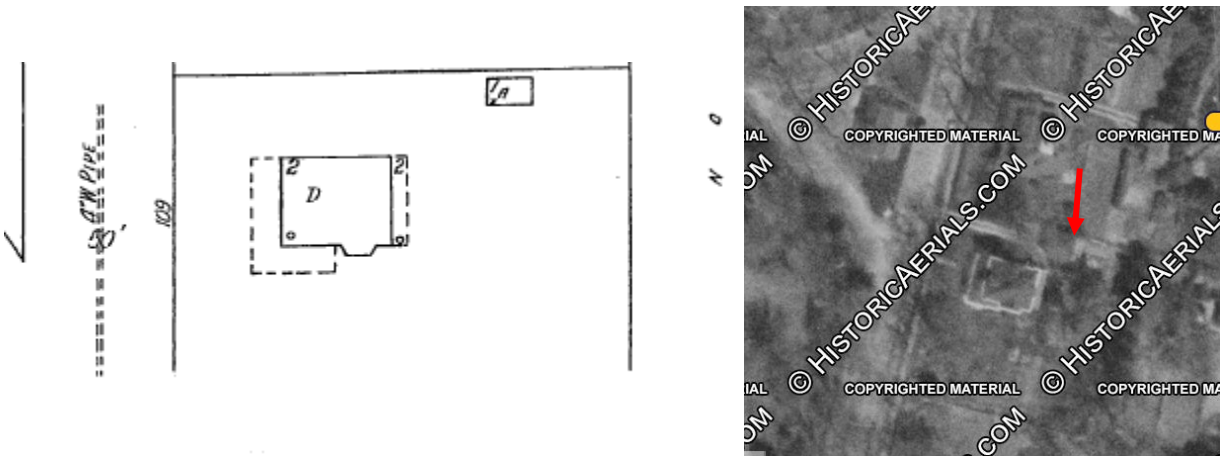


Figure 3: 1924 Sanborn Fire Insurance Map showing garage (left) and aerial photograph, 1957, showing the house and garage (right). The red arrow points to the garage. 1957 Aerial.



Figure 4: 1952 real estate ad for the house, noting the 2-car garage (not pictured).

May 2020 and May 2021 HAWP Approvals

For summary purposes, the first approved HAWP# 912864 for alterations to the garage in 2020 including the following work items:

- Replacement of the concrete slab.
- Replacement of the existing sliding garage door with wood bifold carriage-style garage doors.
- Construction of a one new addition at the south (right) side of the garage.
 - 5'-7 3/4" x 10'-7".
 - Painted wood siding to match the existing.
 - Painted wood corners to match the existing.
 - Asphalt shingle roofing to match the existing.
 - An existing window on the south (right) elevation will be reused.
- Construction of a one new addition at the east (rear) of the garage.
 - 3'-9" x 14'- 1/2".
 - Painted wood siding to match the existing.
 - Painted wood corners to match the existing.
 - Asphalt shingle roofing to match the existing.
 - An existing window on the east (rear) elevation will be reused.
- Installation of wood lattice on the west (front) and south (right) elevations of the garage.

The Staff Item approval from 2021 included the following work items:

- Increase the height of the garage by 1'-4" by adding a CMU block foundation (two blocks high at 8" high per block). This revision is being proposed to accommodate two car lifts inside the garage.

Current HAWP#1029631 Proposal

According to the general contractor, the project team discovered extensive insect and termite damage to the wood-frame building at the start of construction. Historic Preservation Staff is unable to verify the veracity of this claim since the contractor neither documented the damage nor informed staff. A submitted letter in the packet from the applicant's structural engineer from 2022 seems to demonstrate that the building was structurally sound. However, structural damage due to termites to wood-frame garages from the early twentieth century is not uncommon. The general contractor proceeded to demolish the entire garage and constructed a new two-car garage that is the subject of this application.

The new garage proposed in this HAWP is similar in size, scale, and materials to the previously approved garage alterations. The HPC is being asked to approve the drawing set, which still shows several elements being retained and other details from the original structure being replicated. This does not; however, represent the as-built condition in the field. Staff will describe these inconsistencies in the narrative, and the HPC can discuss and propose conditions to address the differences.

The previously approved HAWPs proposed enlarging the footprint to 24'-deep by 24'-wide with two bumpouts to the original garage—one to the rear (east elevation) and one to the side closest to the house (south elevation). The proposed garage in this HAWP#1029631 would be somewhat smaller, measuring the same depth at 24', but only 20'4" wide. The bumpout bays are smaller on the rear and side elevations as well. The same wood bifold doors are proposed for this project as were approved in the previous HAWP for the renovation.

One change to the footprint is the addition of an exterior stairway with landing and handrail, located to the rear (east elevation) of the building. With the completion of the new sub-basement for automobile storage, this stairway provides access to the basement level from the exterior of the building. The proposed height to the midpoint of the roof from finished grade is 12'3 1/2". This is comparable with the height of the original garage which measured approximately 11' at the midpoint of the roof. Pool equipment located to the rear of the garage is proposed in the drawings to be relocated to the interior of the building.

The proposed building will also have an asphalt-clad hipped roof with a 12/6 pitch to match that of the original garage. The proposed garage will rest on a parged CMU foundation, and be clad in painted wood siding to match the original. All material notes on Sheet A200 of the submittal note that all materials will be wood. Notes on Sheet A200, A300 and A301 note that windows and other historic building materials will be reused.

As-built Garage and Site

As-built conditions in the field (see attached photographs), however, show that the historic windows were not reused and the single windows in the garage now all have a 1/1 configuration as opposed to the proposed 6/1 from the initial submittal. The garage doors appear to be built as proposed. Other inconsistencies are in the width of the siding—which appears to have a 5"-6" reveal as opposed to the narrower 3"-4" reveal from the original that was proposed to be maintained. The pool equipment that was proposed to be located inside the structure remains on the rear; however it is now exposed and unscreened, whereas the equipment was screened previously. The fascia board beneath the soffit is also more substantial than what previously existed and appears to be several inches taller. In essence, the fine-grained and charming details from the original garage that were once proposed to be retained and replicated with (and which are shown in the submitted drawings), have been removed from the garage that was actually built.

Other hardscape alterations have also been constructed between the house and garage that were not previously approved. Those should not be approved as part of this HAWP and staff recommends the applicant submit a revised site plan showing the hardscape, railing details, and other changes for review and approval by staff. Additionally, the pool equipment must be screened in some manner, as this was the

previous condition on the site and was previously proposed. Staff has offered a condition for screening with final details approvable by staff.

For consistency, the permit drawing must be entirely revised prior to approval. The set submitted still contains notes for an “existing garage” and the retention of portions of the building that have been demolished. The final stamped sheets should be revised to note this is entirely new construction with none of the original structure retained.

Ultimately, the question for the HPC is whether the demolition of the garage would have been permissible if it had come in for review with a HAWP. Structural information submitted by the applicant and the previous site photos indicate the building was sound, though the current submittal states there was unverified damage. It is possible the HPC could have found under Section 24A-8.b.4 that the demolition would have been permissible for safety reasons. It is more probable that the HPC would have requested that at a minimum materials from the original garage be retained in new construction and that any new building match the design and character of the original garage as closely as possible. There is no way to undo this demolition of a contributing structure, and therefore staff is offering several conditions meant to replicate design aspects of the original garage in the newly proposed construction.

Specifically, Staff is proposing additional conditions for the fenestration and siding with the goal of restoring some of the details that had been evident before demolition. While the demolition of the garage is regrettable, and the new building a diminished facsimile of the historic garage, Staff supports the proposal with conditions. While the proposal does contravene *Standards #2 and #9*, staff can find based on the applicants assertion of damage, that the removal was necessary under Chapter 24A-8.b.4: “The proposal is necessary in order that unsafe conditions or health hazards be remedied.” Finally, the new building is similar in size, scale, massing, height, location, and materials as the original garage, and is somewhat smaller than the previously approved alterations to that structure from 2020 and 2021. Therefore, the new garage would not adversely affect the character of the house or the surrounding historic district.

After full and fair consideration of the applicant’s submission, staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-8(b)(4) & (d), having found the proposal is consistent with the *Amendment to the Master Plan for Historic Preservation: Kensington Historic District*, the *Vision of Kensington: A Long-Range Preservation Plan* as outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with six (6) conditions**, with final approval authority showing that all conditions have been met delegated to staff:

- 1) The applicant shall submit a corrected copy of the as-built drawings showing the new structure from all four elevations, in plan, and with accurate material notations, noting that this is “New Construction”;
- 2) The single hung windows shall be 6/1 to match those from the demolished garage. The windows may be wood or aluminum clad wood, with simulated-divided-lite spacers. Final details of the windows shall be shown on the revised drawings;
- 3) The siding shall be wood, lap siding, with a reveal no greater than 3”-4”;
- 4) The fascia throughout shall be reduced to have a reveal no greater than 6”;
- 5) The pool equipment shall be screened with either four-season evergreen plantings or with wood, horizontal panels, or another small structure. Final details of the screening shall be shown on the revised drawings; and,
- 6) The revised drawings shall accurately show all the proposed new hardscape, including specification materials for the pavers and handrails. This item shall be prepared for staff approval under a separate HAWP application.

under the Criteria for Issuance in Chapter 24A-8(b), (4) & (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the general condition that the applicant shall present **an electronic set of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3404 or rebeccah.ballo@montgomeryplanning.org to schedule a follow-up site visit.



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: June 12, 2020

MEMORANDUM

TO: Hadi Mansouri
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #912864: Accessory structure alterations and shed construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 27, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Bruce Caswell and Lauren Deichman (Lauren Clark, Agent)
Address: 10221 Montgomery Avenue, Kensington

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



LOT COVERAGE

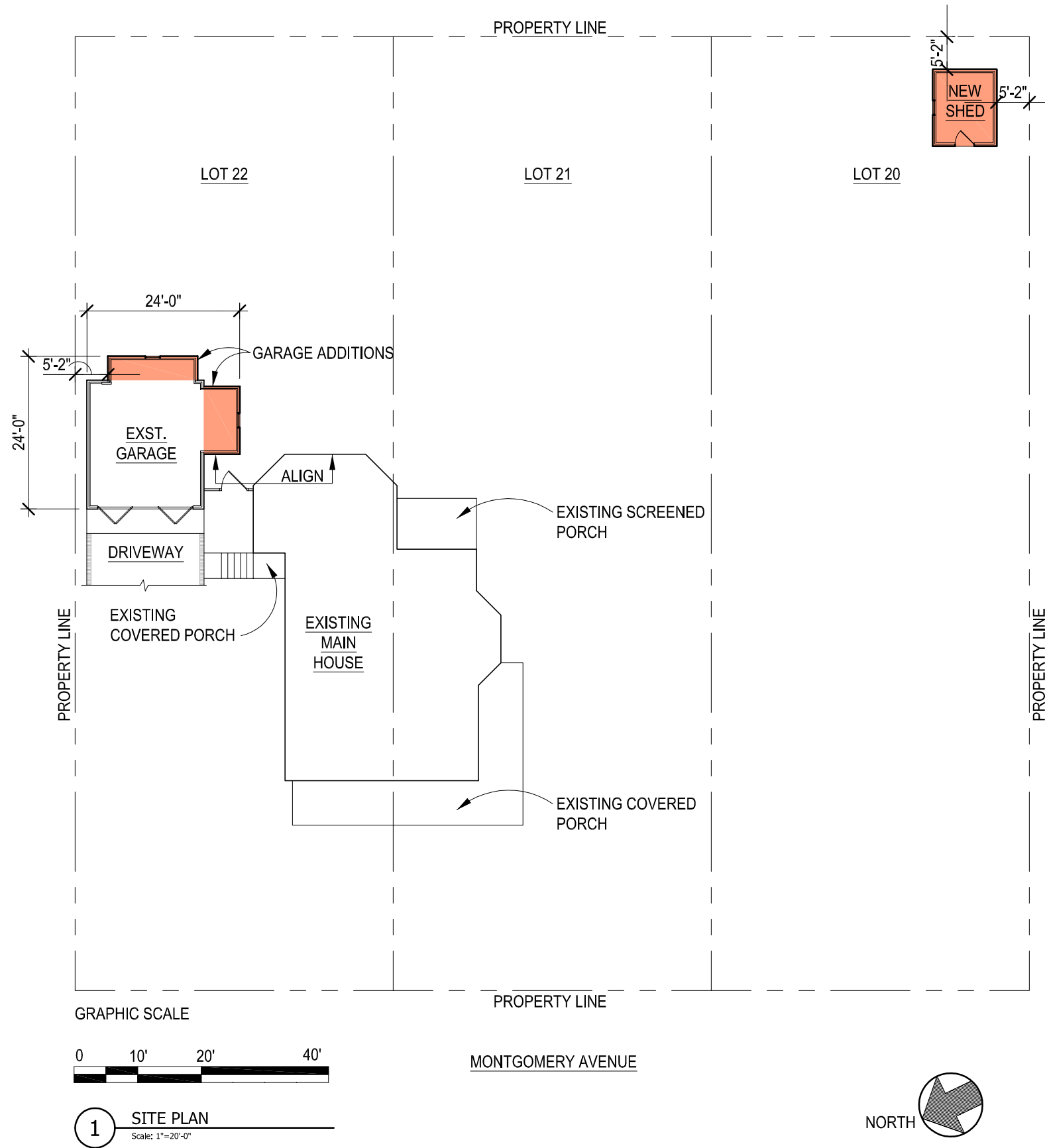
PROPERTY AREA: 22,500 SF
 ZONE: R-60
 MAX LOT COVERAGE ALLOWED: 20% (4,500 SF)

SQUARE FOOTAGE

EXISTING MAIN HOUSE: 1,957 SF
 EXISTING GARAGE: 372 SF
 GARAGE ADDITIONS: 113 SF
 NEW SHED: 120 SF

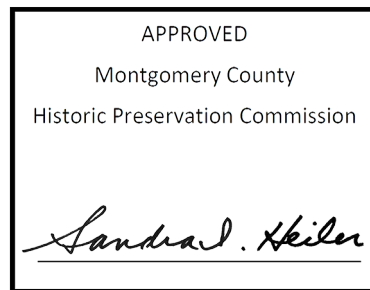
 TOTAL: 2,562 SF

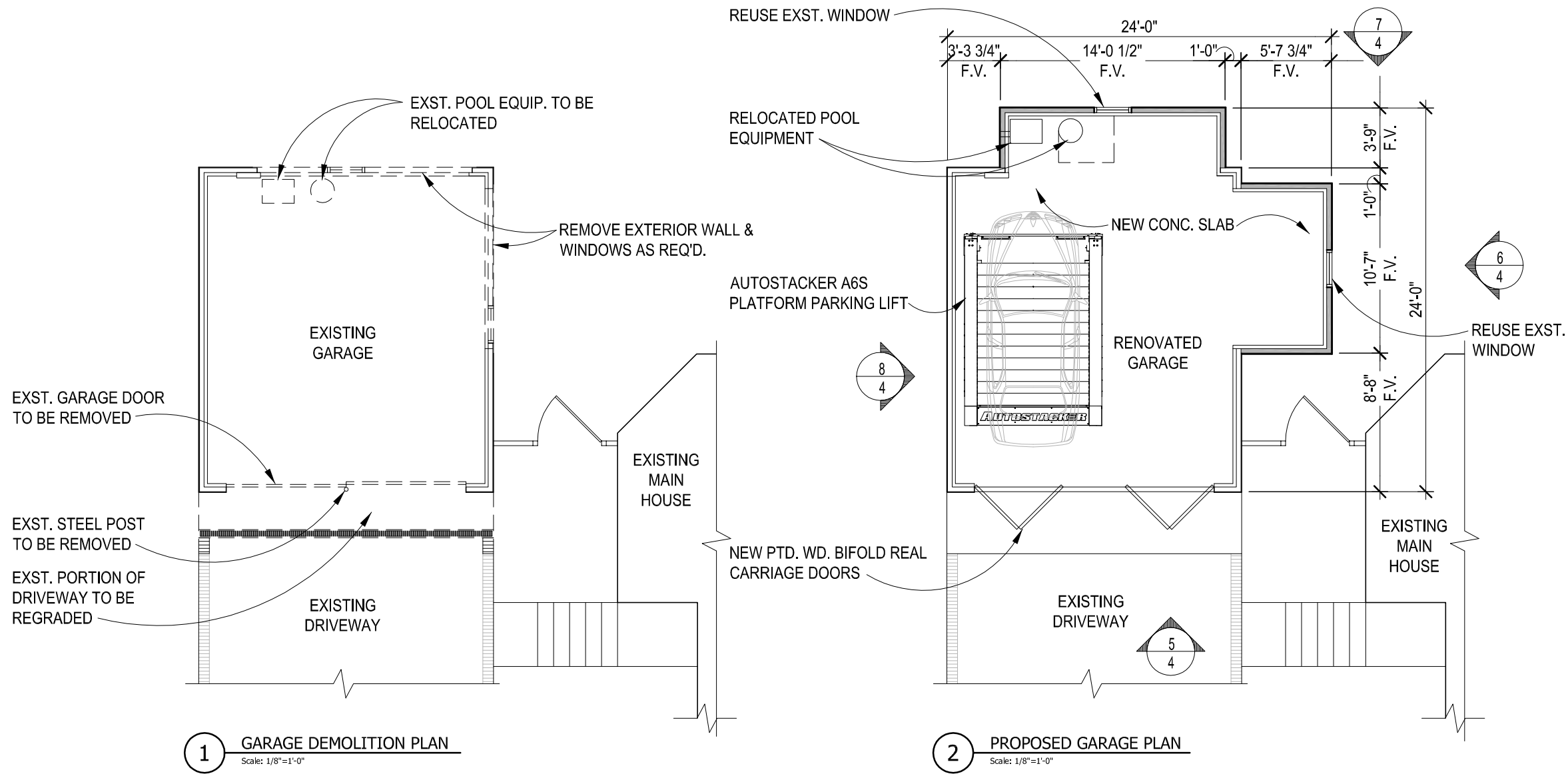
PROPOSED LOT COVERAGE: 11.4%



REVIEWED

By Michael Kyne at 3:41 pm, Jun 12, 2020

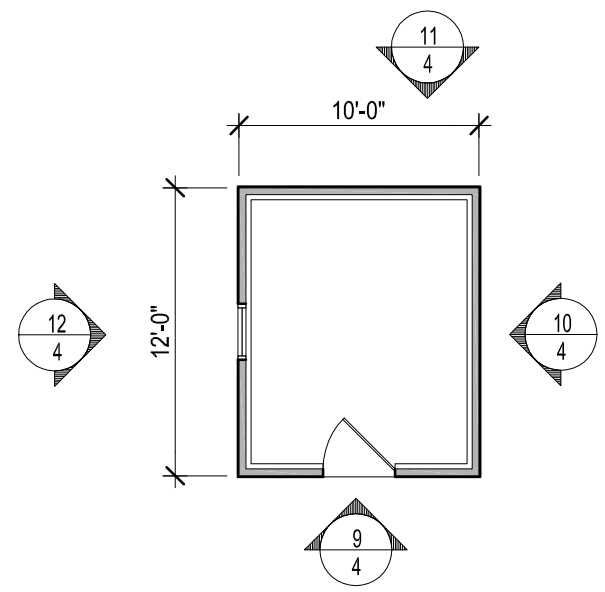
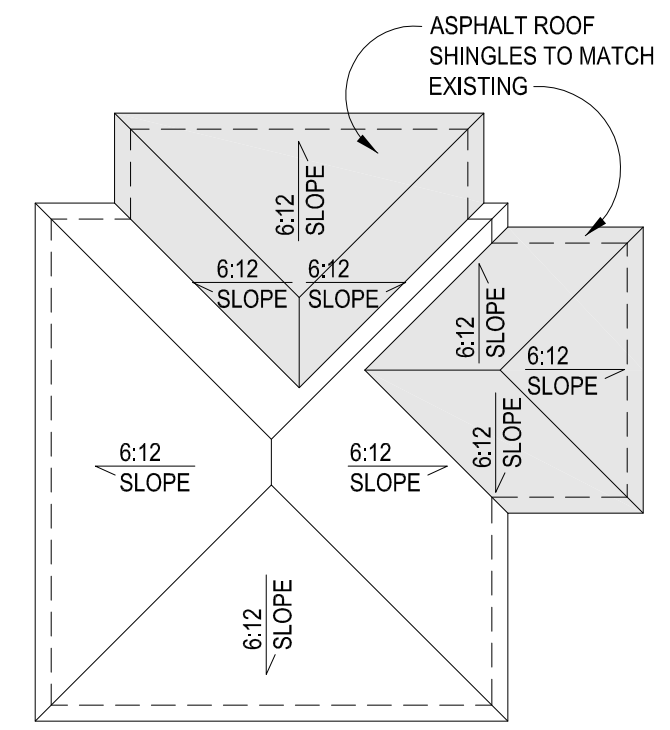




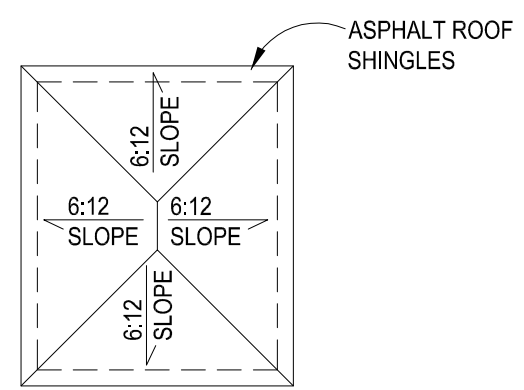
1 GARAGE DEMOLITION PLAN
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2 PROPOSED GARAGE PLAN
Scale: 1/8"=1'-0"

3 PROPOSED GARAGE ROOF PLAN
Scale: 1/8"=1'-0"



4 PROPOSED SHED PLAN
Scale: 1/8"=1'-0"



5 PROPOSED SHED ROOF PLAN
Scale: 1/8"=1'-0"

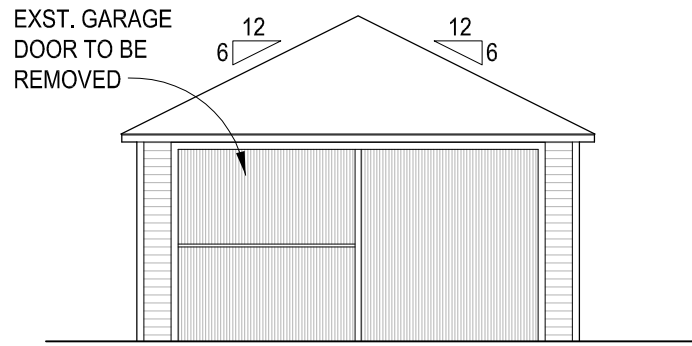
REVIEWED
By Michael Kyne at 3:41 pm, Jun 12, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Skiler

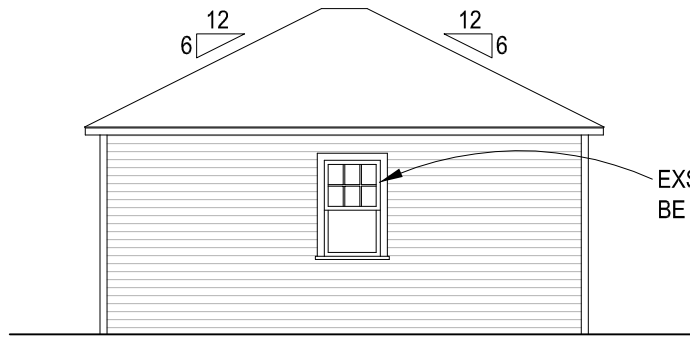


REVIEWED
By Michael Kyne at 3:41 pm, Jun 12, 2020

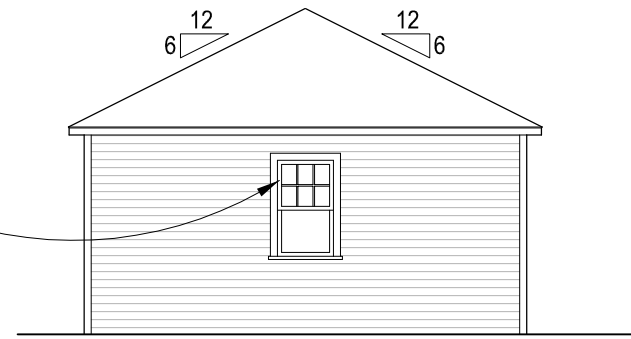
APPROVED
Montgomery County
Historic Preservation Commission
Sandra J. Heiler



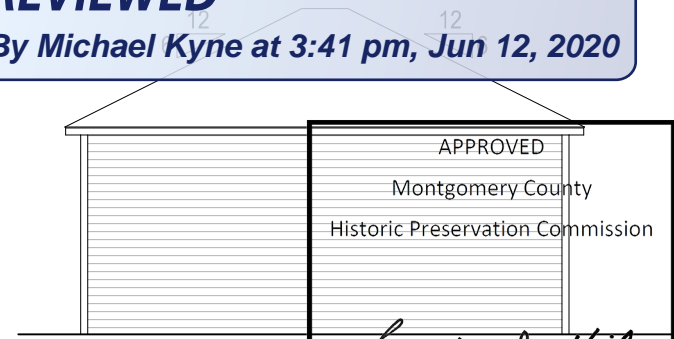
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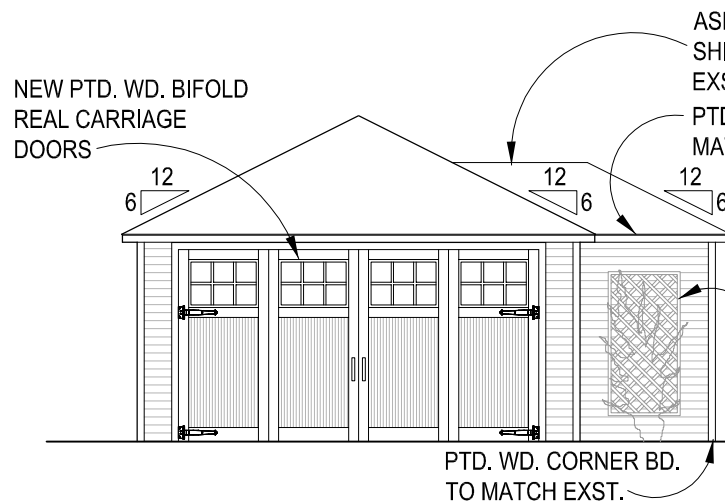
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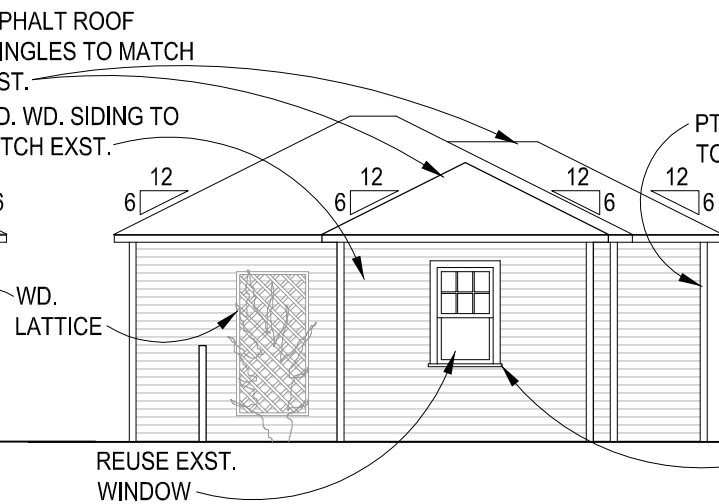
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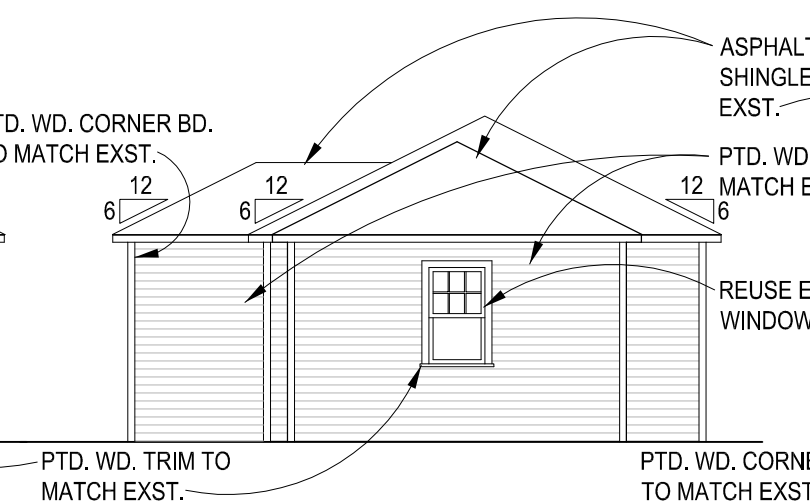
4 EXISTING LEFT SIDE GARAGE ELEVATION
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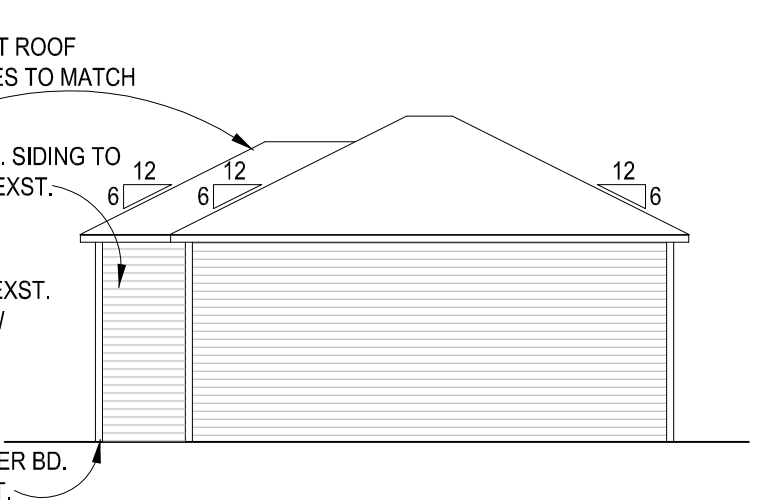
5 PROPOSED FRONT GARAGE ELEVATION
Scale: 1/8"=1'-0"



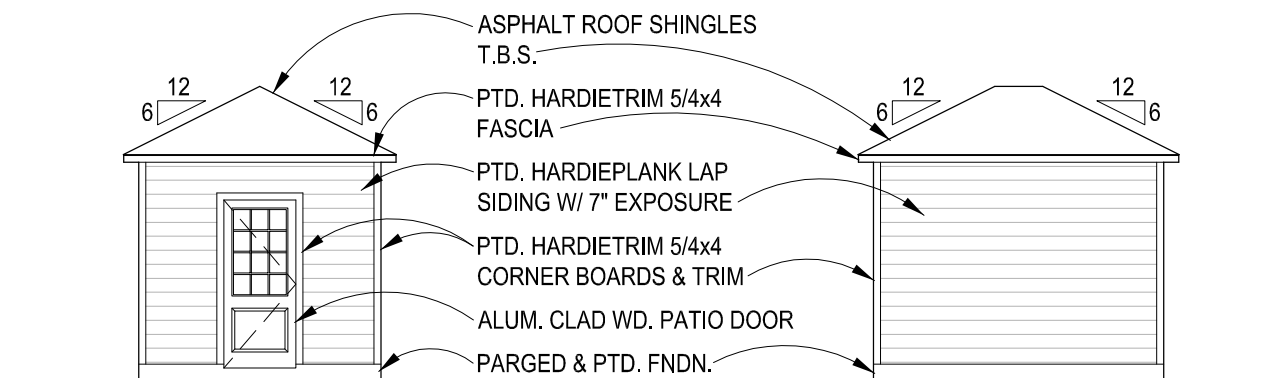
6 PROPOSED RIGHT SIDE GARAGE ELEVATION
Scale: 1/8"=1'-0"



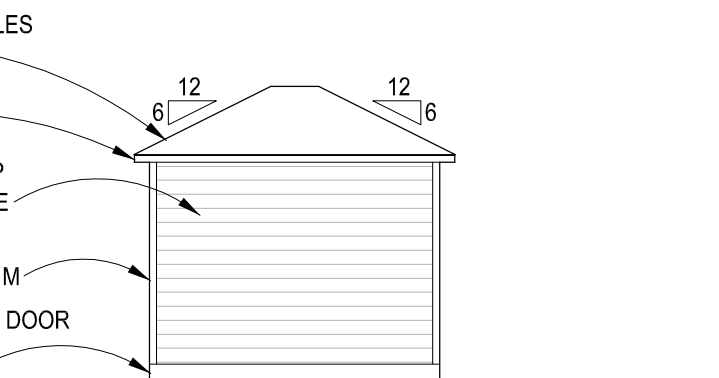
7 PROPOSED REAR GARAGE ELEVATION
Scale: 1/8"=1'-0"



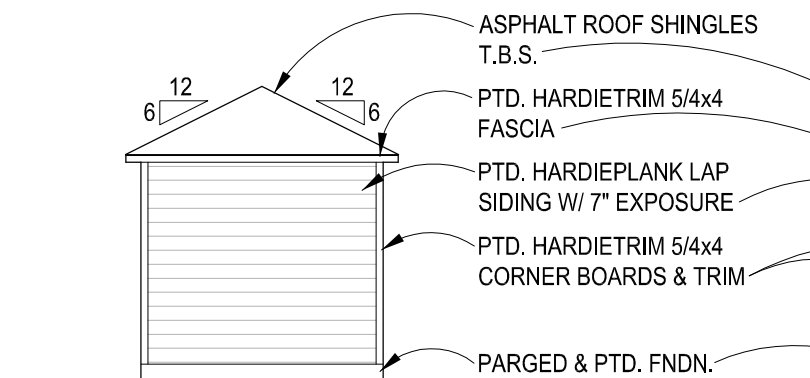
8 PROPOSED LEFT SIDE GARAGE ELEVATION
Scale: 1/8"=1'-0"



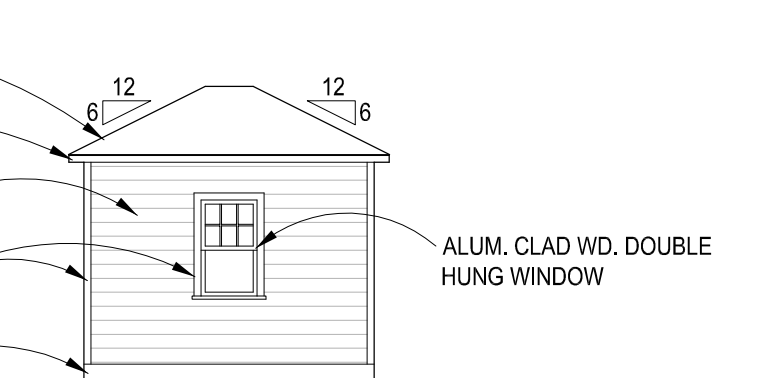
9 PROPOSED FRONT SHED ELEVATION
Scale: 1/8"=1'-0"



10 PROPOSED RIGHTSIDE SHED ELEVATION
Scale: 1/8"=1'-0"

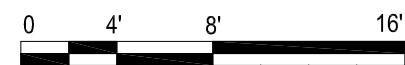


11 PROPOSED REAR SHED ELEVATION
Scale: 1/8"=1'-0"



12 PROPOSED LEFT SIDE SHED ELEVATION
Scale: 1/8"=1'-0"

GRAPHIC SCALE



To: Historic Preservation Commission
From: Michael Kyne, Planner Coordinator, Historic Preservation
Subject: Staff Item – Revision to HAWP #31/06-20G for 10221 Montgomery Avenue, Kensington (Contributing (Primary One) Resource, Kensington Historic District)
Date: September 9, 2020

Background: The application for accessory structure alterations and shed construction was approved at the May 27, 2020 HPC meeting. The approval included the following alterations to the original detached garage at the northeast (rear/left) side of the historic house:

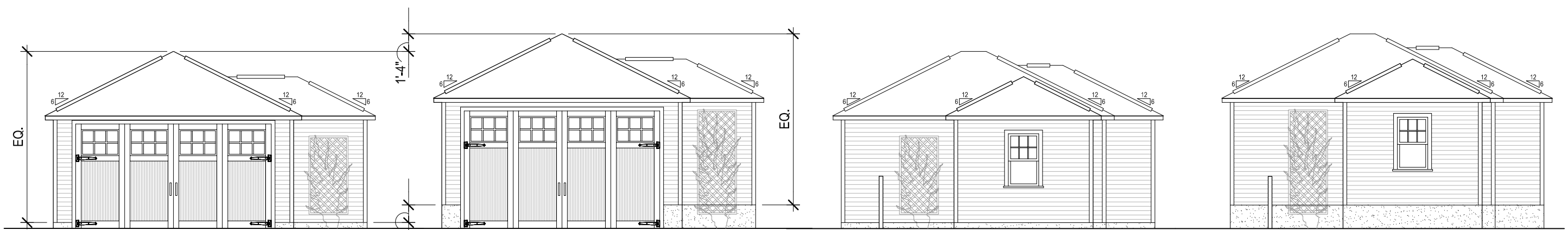
- Replacement of the concrete slab.
- Replacement of the existing sliding garage door with wood bifold carriage-style garage doors.
- Construction of one new addition at the south (right) side of the garage.
 - 5'-7 ¾" x 10'-7".
 - Painted wood siding to match the existing.
 - Painted wood corners to match the existing.
 - Asphalt shingle roofing to match the existing.
 - An existing window on the south (right) elevation will be reused.
- Construction of one new addition at the east (rear) of the garage.
 - 3'-9" x 14'- ½".
 - Painted wood siding to match the existing.
 - Painted wood corners to match the existing.
 - Asphalt shingle roofing to match the existing.
 - An existing window on the east (rear) elevation will be reused.
- Installation of wood lattice on the west (front) and south (right) elevations of the garage.

Proposal: The applicants propose to increase the height of the garage by 1'-4" by adding a CMU block foundation (two blocks high at 8" high per block). This revision is being proposed to accommodate two car lifts inside the garage.

Recommendation: Staff recommends approval of this Staff Item.

HPC Decision:

PROPOSED REVISIONS INCLUDE RAISING ENTIRE WOOD STRUCTURE UP BY (2) 8" CMU BLOCKS @ FOUNDATION TO ACHIEVE GREATER HEAD HEIGHT WHILE PRESERVING EXISTING WALL & ROOF STRUCTURE & SIDING



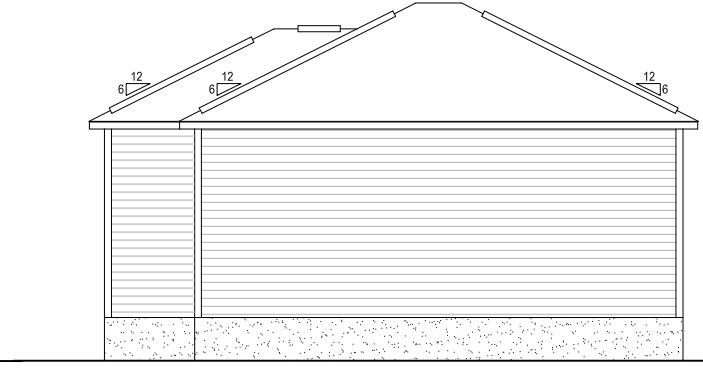
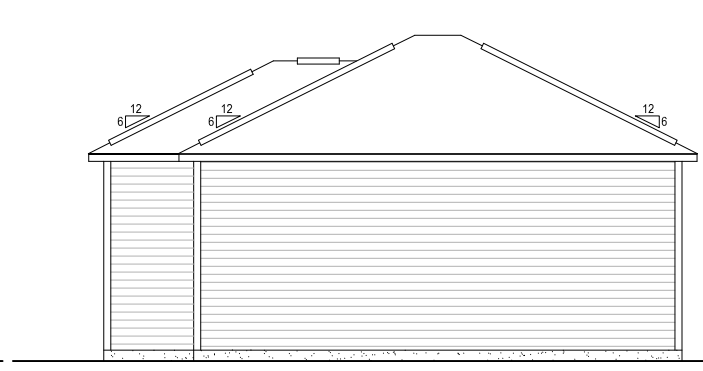
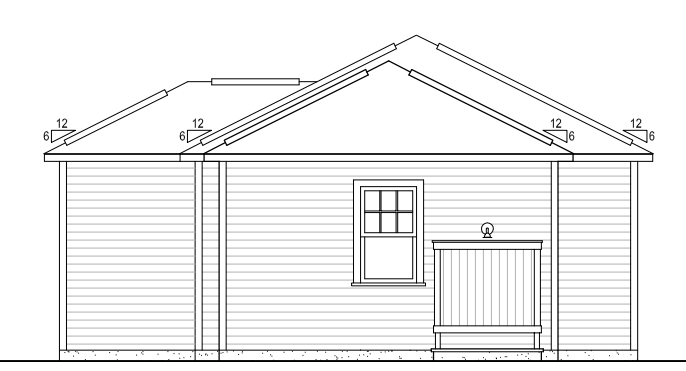
1 APPROVED FRONT ELEVATION
Scale: 1/8"=1'-0"

2 PROPOSED FRONT ELEVATION
Scale: 1/8"=1'-0"

3 APPROVED RIGHT SIDE ELEVATION
Scale: 1/8"=1'-0"

4 PROPOSED RIGHT SIDE ELEVATION
Scale: 1/8"=1'-0"

RAISE ENTIRE STRUCTURE UP BY (2) CMU BLOCKS

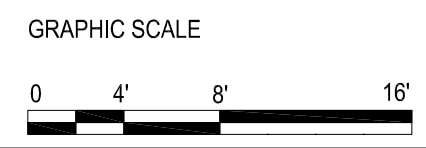


5 APPROVED REAR ELEVATION
Scale: 1/8"=1'-0"

6 PROPOSED REAR ELEVATION
Scale: 1/8"=1'-0"

7 APPROVED LEFT SIDE ELEVATION
Scale: 1/8"=1'-0"

8 PROPOSED LEFT SIDE ELEVATION
Scale: 1/8"=1'-0"



From: [Sackett, James](#)
To: [Ballo, Rebecca](#)
Subject: FW: 10221 Montgomery Ave
Date: Monday, January 23, 2023 1:00:34 PM
Attachments: [IMG_2152.jpg](#)
[IMG_2151.jpg](#)
[IMG_2146.jpg](#)
[IMG_2149.jpg](#)
[IMG_2141.jpg](#)
[IMG_2150.jpg](#)
[IMG_2142.jpg](#)
[IMG_2145.jpg](#)
[IMG_2143.jpg](#)
[IMG_2148.jpg](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

From: Virts, Joshua <Joshua.Virts@montgomerycountymd.gov>
Sent: Monday, January 23, 2023 12:41 PM
To: Sackett, James <James.Sackett@montgomerycountymd.gov>
Cc: Burch, David <David.Burch@montgomerycountymd.gov>; Shupp, Jeremy <Jeremy.Shupp@montgomerycountymd.gov>
Subject: 10221 Montgomery Ave

Attached are photos of new garage at 10221 Montgomery Ave . The garage is reflected on the plans under permit number 964606 as well as a separate permit (936313) for the garage and addition to the garage. The existing Garage was in complete disrepair so the contractor decided to replace the structure.

Joshua Virts
Residential Inspector/ Code Compliance
Montgomery County DPS
2425 Reddie Drive 7th Floor
Cell 202-731-0113

Joshua Virts
Residential Inspector/ Code Compliance
Montgomery County DPS
2425 Reddie Drive 7th Floor
Cell 202-731-0113



For more helpful Cybersecurity Resources, visit:
<https://www.montgomerycountymd.gov/cybersecurity>

From: [Mike Roberson](#)
To: [Ballo, Rebecca](#)
Subject: 10221 Montgomery Avenue Kensington
Date: Friday, April 28, 2023 5:12:30 PM

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.









Hi Rebecca,

Photos of new garage.

Thanks

--

Michael Roberson
Project Manager
McFarland Woods Inc
240-315-5084



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



GENERAL COMMENTS

ADDITIONS AND ALTERATIONS

ARCHITECTURAL AND STRUCTURAL REVIEWS

A/P#: **964606**

Building Address: **10221 MONTGOMERY AVE KENSINGTON MD 20895**

Reviewer: **M. STUP**

Approval Date: **10/06/21**

Applicable Code: IRC Edition/Year: 2018

Sprinklers: YES NO **IF THE EXISTING HOUSE HAS A SPRINKLER SYSTEM**

Stories above grade:

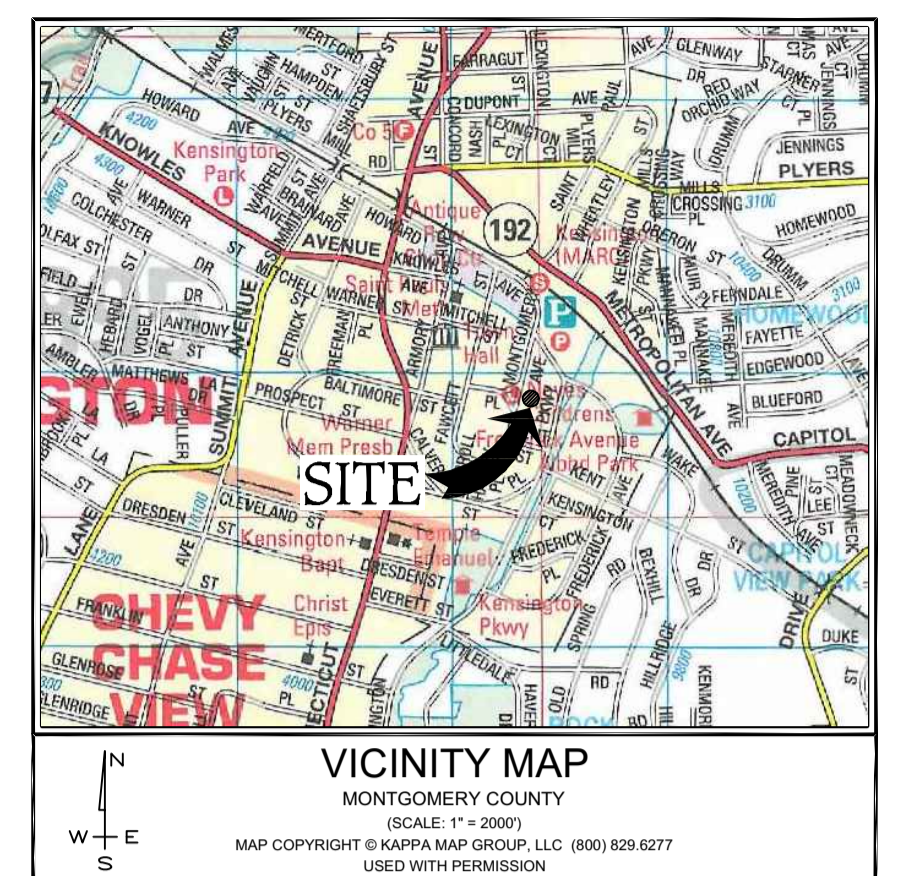
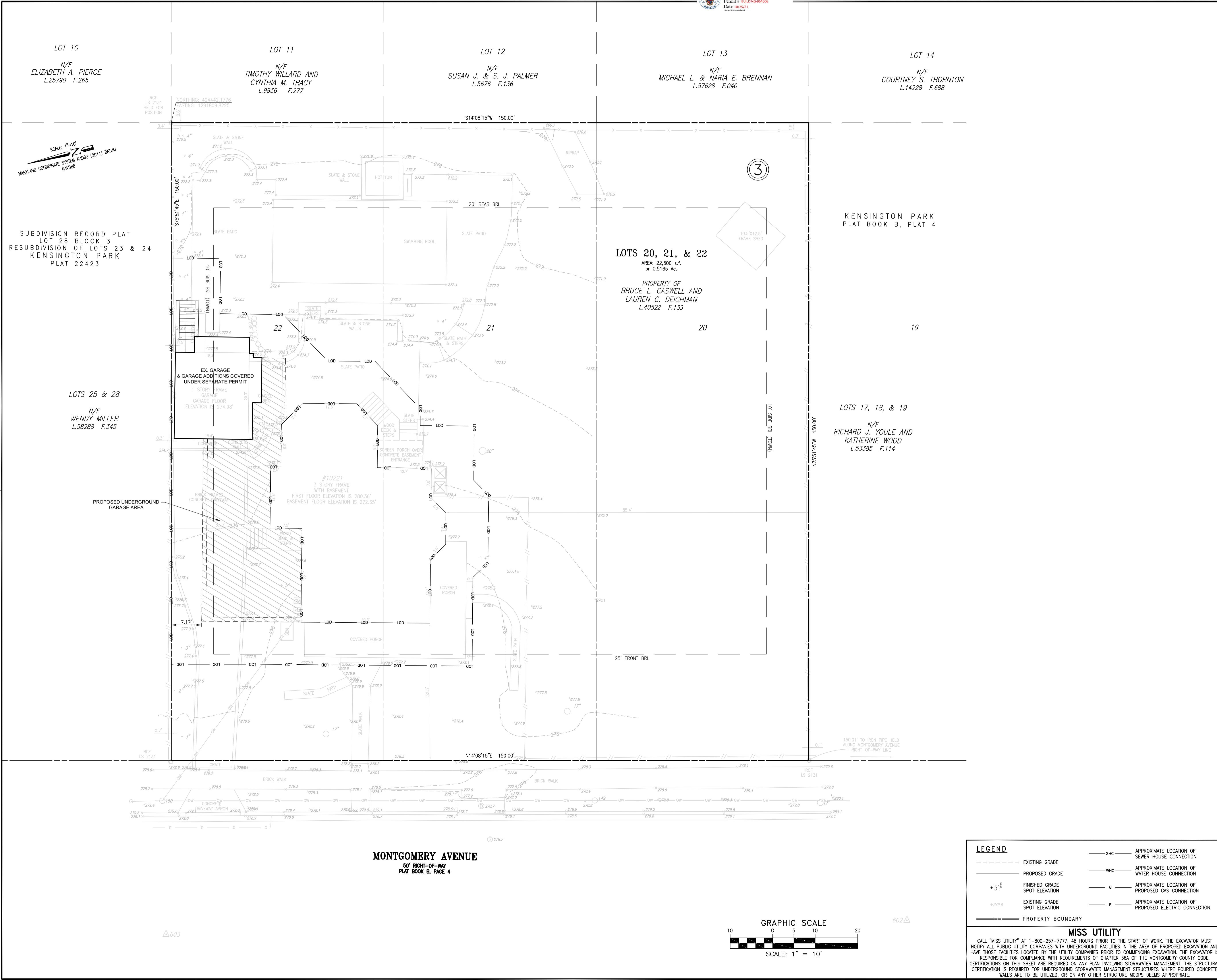
Floor or Roof Trusses: YES NO

Energy Compliance: Prescriptive ResCheck Performance

Mechanical Permit Required: YES NO

1. The project has been reviewed for code compliance and approved for permit under the 2018 IRC as amended by Montgomery County.
2. Issuance of the building permit does not prevent inspectors from requiring corrections when deficiencies are discovered.
3. Executive regulation 4-15 AM II requires that the final building inspection be approved before occupancy and the issuance of the Use & Occupancy Permit.
4. Separate Electrical and Mechanical trade permits are required. Electrical Work shall be in compliance with the 2017 National Electrical Code as amended.
5. Provide the approved 2018 IECC compliance report at the time of framing inspection.
6. Radon control methods shall be installed in accordance with Appendix F of the adopted 2018 IRC.
7. Smoke alarms shall be installed in accordance with section R314 of the 2018 IRC.
8. Carbon Monoxide alarms shall be installed in accordance with section R315 of the 2018 IRC.
9. Basements, habitable attics and every sleeping room shall have at least one opening with a clear opening of 5.7 square feet in accordance with section R310.2 of the 2018 IRC. Changes or modifications to these plans may require resubmittal with additional permit fees. No changes shall be made to the approved set of construction plans.

Underpin entirety of existing house; create finished space in portion of underpinned cellar; construct addition to house at cellar level only



GENERAL NOTES

SITE:

- ADDRESS: 10221 MONTGOMERY AVE, KENSINGTON MD 20895 LOTS 20-22, BLK 3
- WATER/SEWER: W1, S1
- TAX MAP: HP43
- FLOODPLAIN: NONE
- WSSC GRID: 213NW04

SURVEY:

- HORIZONTAL DATUM BASED ON NAD83(2011)
- VERTICAL DATUM BASED ON NAVD88
- TOPOGRAPHY BASED ON FIELD RUN TOPO PERFORMED BY CPJ ON 06-25-2021
- TOPO AT 2' CONTOUR INTERVALS
- THIS LOT IS NOT ASSOCIATED WITH A PRELIMINARY PLAN
- NO 100YR FLOODPLAIN/WETLANDS LOCATED WITHIN THE SITE.
- NO HISTORIC SITE LOCATED WITHIN/ADJACENT TO THE SITE.

ZONING:

- SUBDIVISION: KENSINGTON PARK, PLAT #4 RECORDED: 1890
- PROPERTY ZONED: R-60
- MAIN STRUCTURE SETBACKS:
 - *** FRONT YARD: 25'
 - *** SIDE YARD: 10' (TOWN)
 - *** REAR YARD: 20'
- LOT SIZE = 22,500 SQ. FT. (R)
- MAXIMUM COVERAGE: ALLOWED = 35%
- PROPOSED COVERAGE: 12%

LOT COVERAGE CALCULATIONS:

EX. HOUSE	=	1,567
EX. PORCHES	=	537
EX. SHED	=	132
PROP. GARAGE	=	441
	=	2,677
	=	22,500
	=	12%

TOPSOIL MUST BE APPLIED TO ALL PERVIOUS AREAS WITHIN THE LIMITS OF DISTURBANCE PRIOR TO PERMANENT STABILIZATION IN ACCORDANCE WITH MDE "STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS".

PROJECT NARRATIVE:

THIS PROJECT CONSIST OF CONSTRUCTING AND UNDERGROUND GARAGE AREA. AREA OF DISTURBANCE IS LESS THAN 5,000 SQ. FT. WITH MORE THAN 100 CUBIC YARDS OF EARTH BEING MOVED. THEREFORE AN SLM PERMIT IS BEING APPLIED FOR.

LANDSCAPE ARCHITECT CERTIFICATE

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS CORRECT AND TAKEN FROM THE RECORDS OF THE OFFICE OF THE LANDSCAPE ARCHITECT.

Sallie P. Stewart
 SALLIE P. STEWART
 REGISTERED LANDSCAPE ARCHITECT
 MD #612
 EXPIRES: 9/8/2021
 8/16/2021
 DATE

Seal not valid without signature

UPDATES/REVISIONS:

SITE PLAN
 10221 MONTGOMERY AVENUE
 LOTS 20-22, BLOCK 3
KENSINGTON PARK
 WHEATON (13th) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND

CPJ Associates Charles P. Johnson & Associates, Inc.
 Civil and Environmental Engineers • Planners • Landscape Architects • Surveyors
 1751 Elton Rd., Ste. 300 Silver Spring, MD 20903 301-434-7000 Fax: 301-434-9394
 www.cpj.com • Silver Spring, MD • Gaithersburg, MD • Annapolis, MD • Greenbelt, MD • Frederick, MD • Fairfax, VA

CLIENT: BRUCE CASWELL 10221 MONTGOMERY AVENUE KENSINGTON, MD 20895	TAX MAP/WSSC	SITE PLAN NO.
DESIGN RPI		SHEET OF
DRAFT RPI		1 1
DATE: JULY 2021		FILE NO.:
SCALE: AS NOTED		2021-1284-21

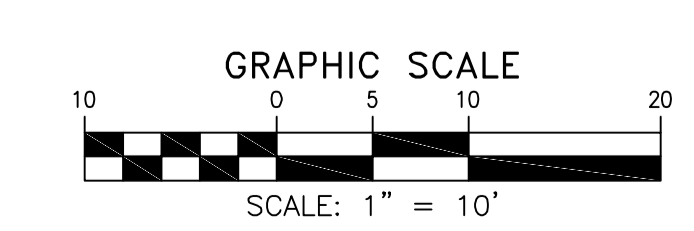
COPYRIGHT © LATEST DATE: HERON CHARLES P. JOHNSON & ASSOCIATES, INC. ALL RIGHTS RESERVED. UNAUTHORIZED USE OR REPRODUCTION IS PROHIBITED.

LEGEND

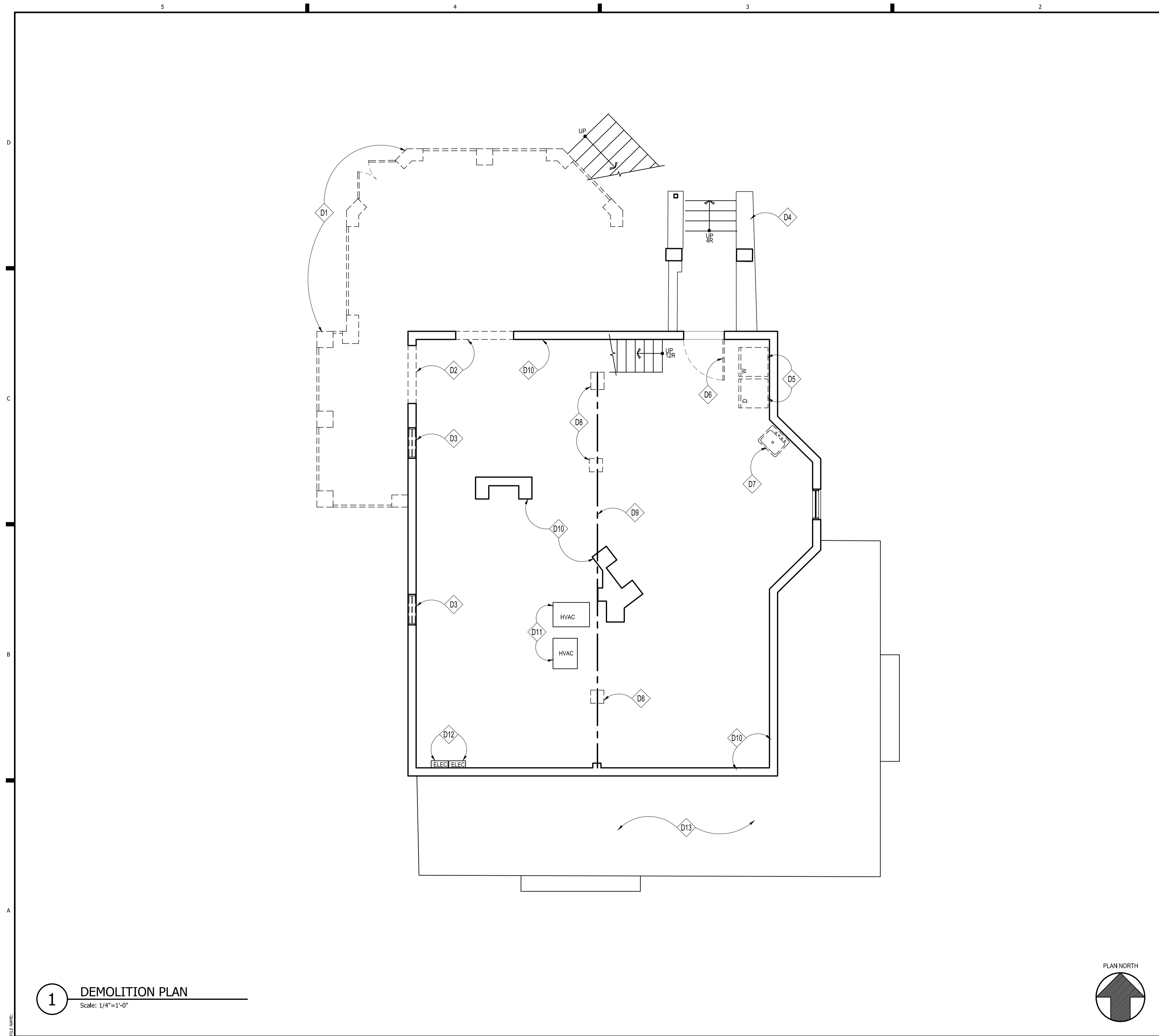
---	EXISTING GRADE	---	SHC	APPROXIMATE LOCATION OF SEWER HOUSE CONNECTION
- - -	PROPOSED GRADE	---	WHC	APPROXIMATE LOCATION OF WATER HOUSE CONNECTION
+518	FINISHED GRADE SPOT ELEVATION	---	G	APPROXIMATE LOCATION OF PROPOSED GAS CONNECTION
+308.8	EXISTING GRADE SPOT ELEVATION	---	E	APPROXIMATE LOCATION OF PROPOSED ELECTRIC CONNECTION
---	PROPERTY BOUNDARY			

MISS UTILITY

CALL "MISS UTILITY" AT 1-800-257-7777, 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE. CERTIFICATIONS ON THIS SHEET ARE REQUIRED ON ANY PLAN INVOLVING STORMWATER MANAGEMENT. THE STRUCTURAL CERTIFICATION IS REQUIRED FOR UNDERGROUND STORMWATER MANAGEMENT STRUCTURES WHERE POURED CONCRETE WALLS ARE TO BE UTILIZED, OR ON ANY OTHER STRUCTURE MDPS DEEMS APPROPRIATE.



MONTGOMERY AVENUE
 50' RIGHT-OF-WAY
 PLAT BOOK B, PAGE 4



1 DEMOLITION PLAN
 Scale: 1/4"=1'-0"

DEMOLITION NOTES

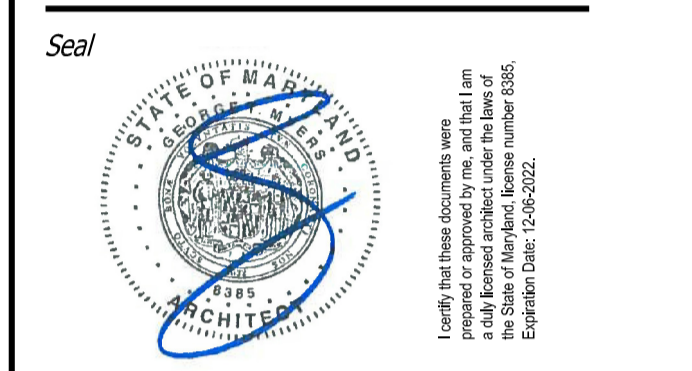
- D1 REMOVE EXISTING MASONRY PIERS & WOOD LATTICE IN THEIR ENTIRETY; PROVIDE TEMPORARY SHORING AS REQUIRED
- D2 REMOVE EXISTING FOUNDATION WALL IN CONFLICT W/ NEW WORK; PROVIDE TEMPORARY SHORING AS REQUIRED
- D3 REMOVE EXISTING WINDOW
- D4 EXISTING AREAWAY TO REMAIN
- D5 EXISTING WASHER & DRYER TO BE REMOVED & RETAINED FOR RE-USE
- D6 REMOVE EXISTING DOOR
- D7 REMOVE EXISTING SINK
- D8 REMOVE EXISTING MASONRY PIER; PROVIDE TEMPORARY SHORING AS REQUIRED
- D9 EXISTING BEAM TO REMAIN
- D10 EXISTING FOUNDATION TO REMAIN, TYP.
- D11 EXISTING HVAC TO REMAIN
- D12 EXISTING ELECTRICAL PANELS TO REMAIN
- D13 EXISTING COVERED PORCH TO REMAIN

GENERAL DEMOLITION NOTES

1. EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
2. ALL DASHED WALLS, FIXTURES, WINDOWS, ETC., ARE TO BE REMOVED.
3. CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
4. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
5. MAINTAIN THE EXISTING STRUCTURE IN A WATERTIGHT CONDITION AT ALL TIMES.
6. RELOCATE/REMOVE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT WITH NEW WORK.
7. RE-ROUTE VENTS FLUES, EXHAUST, ETC. AS REQD.

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD
 SUITE 700
 BETHESDA, MD 20814
 (240)333-3000
 (240)333-2001 FAX
 WWW.GTMARCHITECTS.COM



Consultant

Project
CASWELL DEICHMAN RESIDENCE

10221 MONTGOMERY AVE, KENSINGTON

Owner
**BRUCE CASWELL
 LAUREN DEICHMAN**

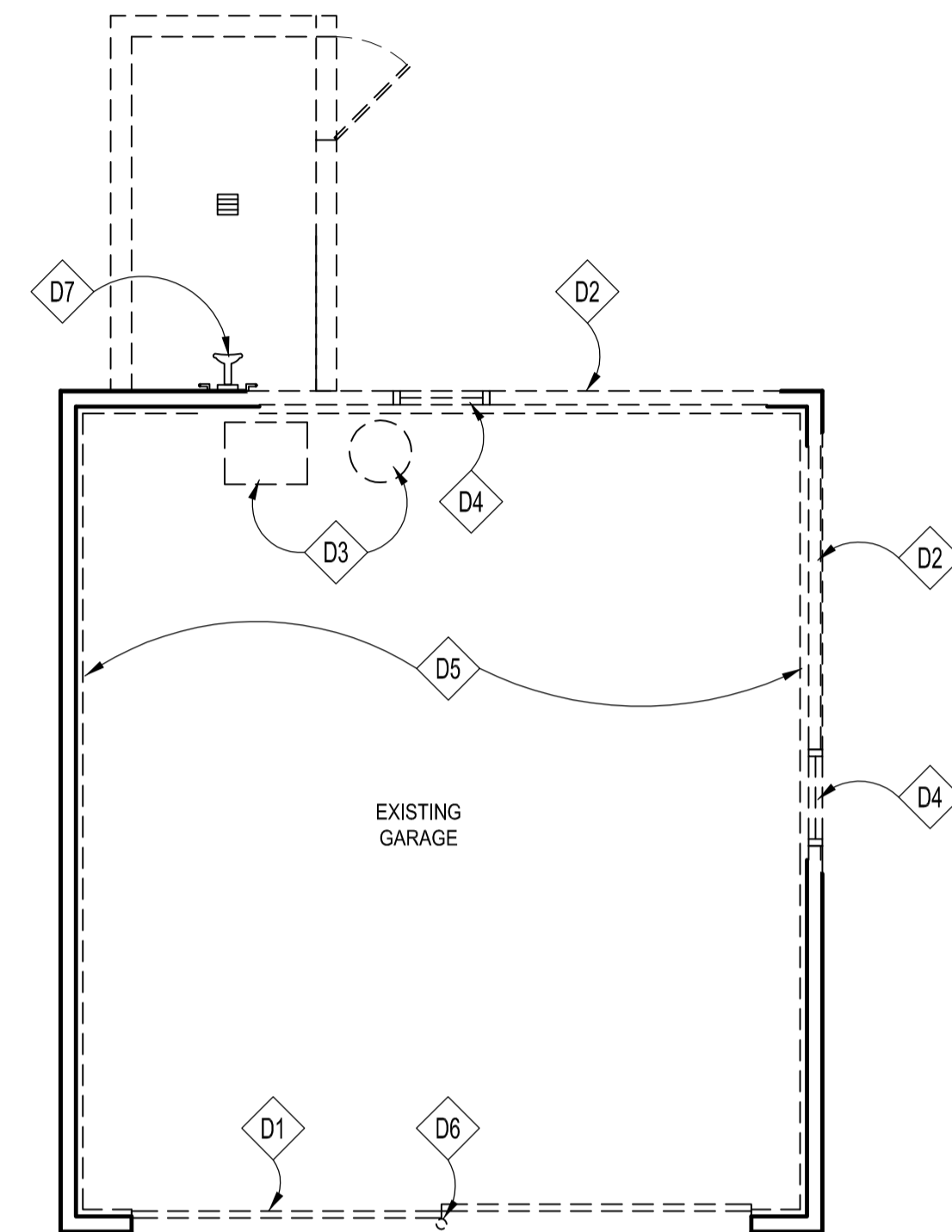
Developer

PERMIT SET	08/16/21
Issue Description	Date

GTM Project No.	20.0135
Checked By	RJV
Drawn By	LSC
Scale	AS NOTED

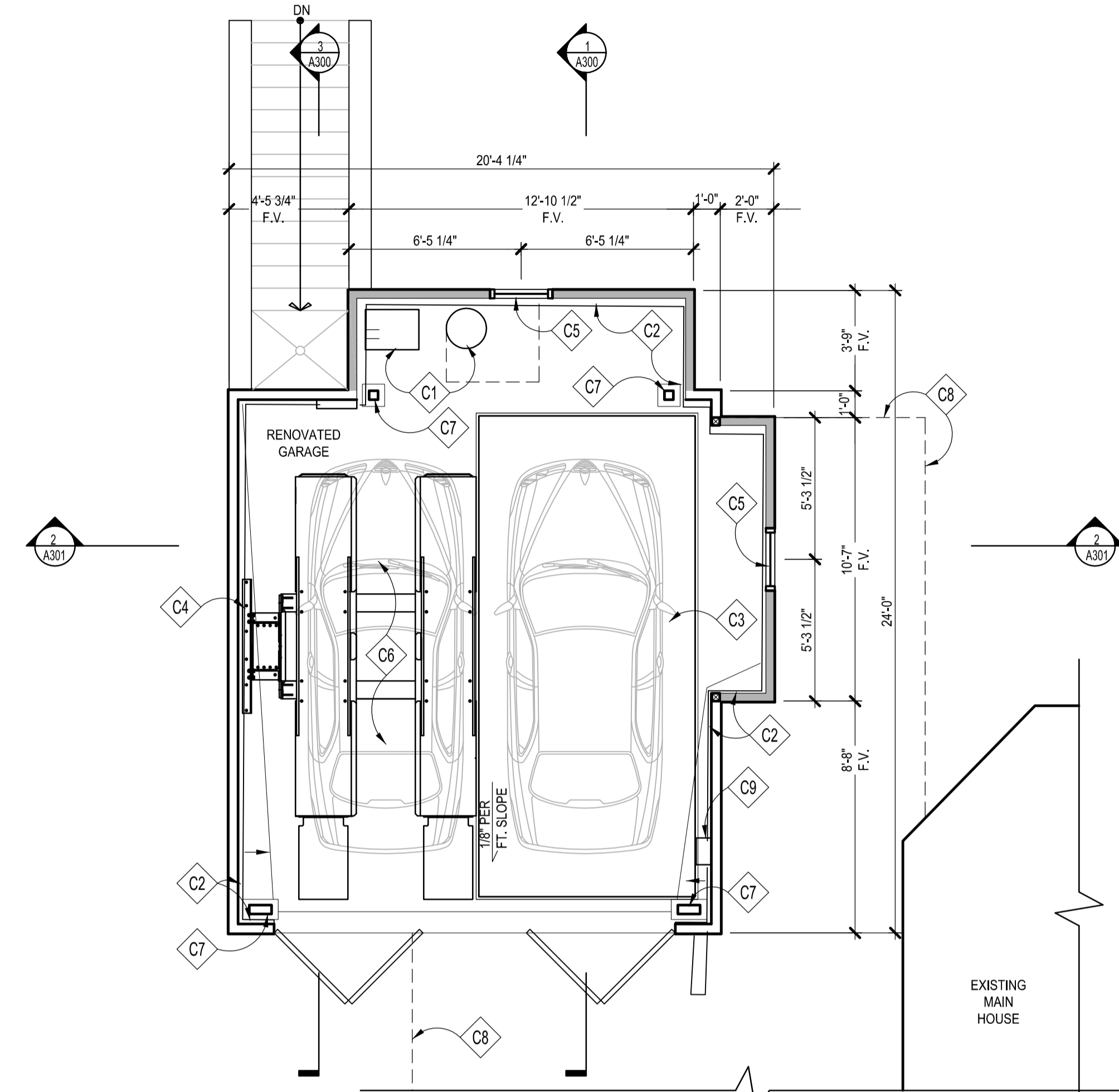
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**LOWER LEVEL
 DEMOLITION PLAN**

Sheet No.
D100

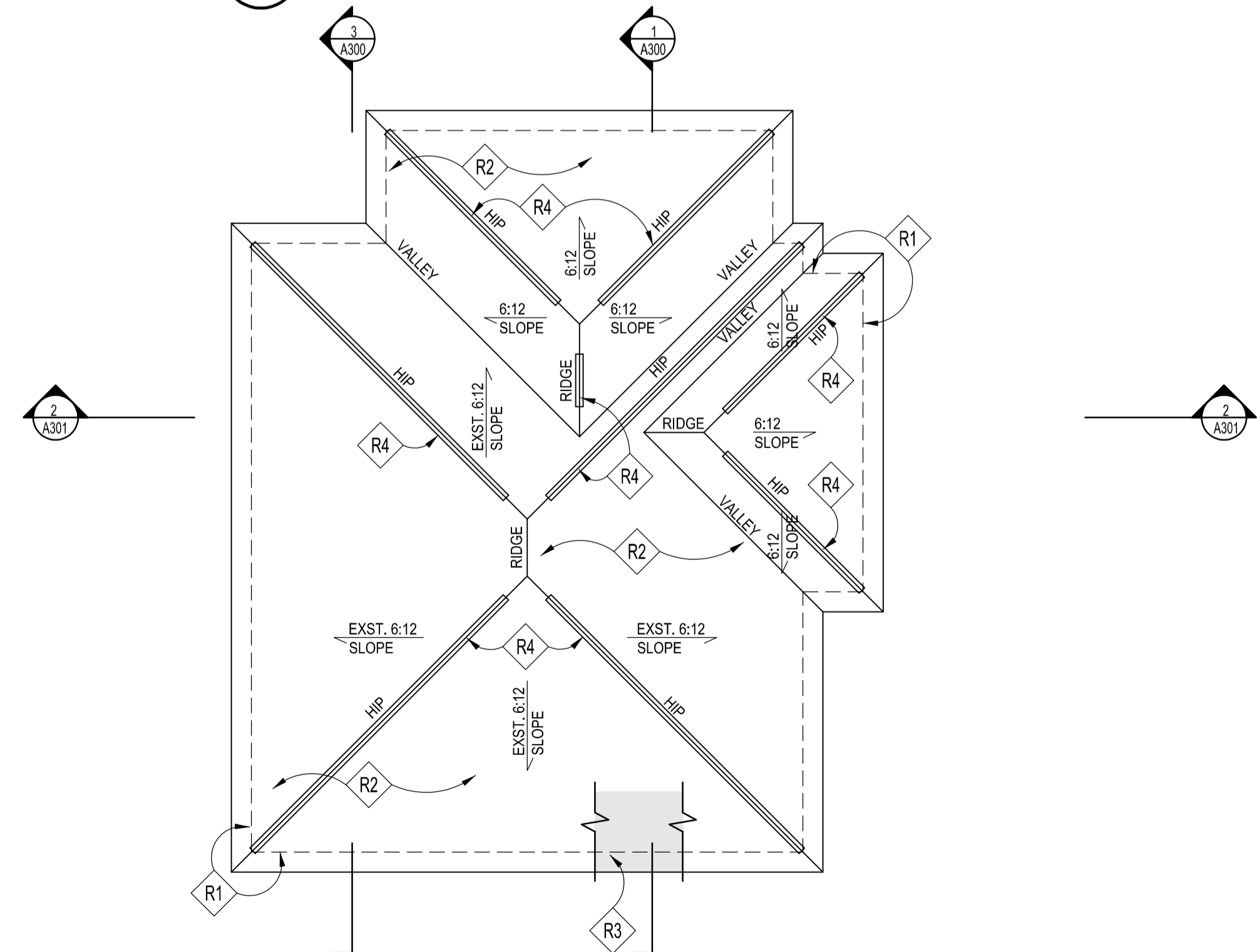


1 GARAGE DEMOLITION PLAN
 Scale: 1/4"=1'-0"

***NOTE:**
 WORK SHOWN ON THIS SHEET PREVIOUSLY
 APPROVED PER PERMIT #936313 ISSUED 06/10/21



2 PROPOSED GARAGE PLAN
 Scale: 1/4"=1'-0"



3 PROPOSED GARAGE ROOF PLAN
 Scale: 1/4"=1'-0"



DEMOLITION NOTES

- D1 REMOVE EXISTING GARAGE DOOR IN ITS ENTIRETY
- D2 REMOVE EXISTING EXTERIOR WALLS AS SHOWN; PROVIDE TEMPORARY SHORING IF REQUIRED
- D3 EXISTING POOL EQUIPMENT TO BE RELOCATED
- D4 REMOVE EXISTING WINDOW & RETAIN FOR REUSE; REPAIR AS REQD., SCRAPE, & REPAINT
- D5 REMOVE EXISTING CONC. SLAB IN ITS ENTIRETY
- D6 REMOVE EXISTING STEEL POST IN ITS ENTIRETY
- D7 EXISTING OUTDOOR SHOWER & ENCLOSURE TO BE REMOVED IN ITS ENTIRETY

GENERAL DEMOLITION NOTES

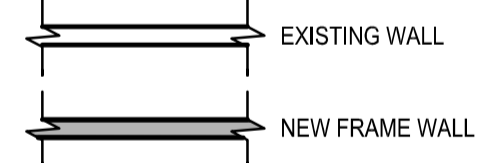
1. EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
2. ALL DASHED WALLS, FIXTURES, WINDOWS, ETC., ARE TO BE REMOVED.
3. CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
4. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
5. MAINTAIN THE EXISTING STRUCTURE IN A WATERTIGHT CONDITION AT ALL TIMES.
6. RELOCATE/REMOVE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT WITH NEW WORK.
7. RE-ROUTE VENTS, FLUES, EXHAUST, ETC. AS REQD.

CONSTRUCTION NOTES

- C1 RELOCATED POOL EQUIPMENT
- C2 CONC. STEM WALL BELOW, TYP.; SEE STRUCTURAL PLANS
- C3 PHANTOMPARK SUBTERRANEAN CAR LIFT; SEE STRUCTURAL DRAWINGS; INSTALL PER MANUFAC.; CONFIRM SPECIFICATION W/ OWNER
- C4 AMERICAN CUSTOM LIFTS M1-4.5 SINGLE POST CAR LIFT; INSTALL PER MANUFAC.
- C5 REUSE WINDOW FROM EXISTING GARAGE
- C6 REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE NEOGARD AUTO-GUARD ELASTOMERIC COATING ON TOP OF SLAB & MIN. 4" VERT.; INSTALL PER MANUFAC.
- C7 STEEL POST; SEE STRUCTURAL DRAWINGS
- C8 DASHED LINES INDICATE EXTENT OF ADDITION BELOW
- C9 GARAGE DOOR CONTROL UNIT HOUSING; INSTALL PER MANUFAC.

- NOTE:**
1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
 2. REPAINT EXISTING WALLS AS REQUIRED TO CLOSETS INSIDE CORNER

KEY



WALL TYPES

TYPICAL EXTERIOR WALL: 2x4 STUDS @ 16" O.C. W/ 1/2" PLYWD. SHEATHING, TYVEK BLDG. WRAP, & PTD. WD. SIDING TO MATCH EXISTING; PROVIDE PTD. 1/2" GYP. BD. @ ENTIRE INTERIOR

ROOFING NOTES

- R1 DASHED LINE INDICATES FRAME WALL BELOW, TYP.
- R2 ARCHITECTURAL ASPHALT ROOF SHINGLES, TYP.; COLOR TO MATCH EXISTING
- R3 SEE NOTE #1 UNDER GENERAL ROOFING NOTES, TYP.
- R4 HIP/RIDGE VENTS BY COR-A-VENT OR APPROVED EQ., TYP.; INSTALL PER MANUFAC.

GENERAL ROOFING NOTES

1. PROVIDE SELF-ADHERING, 40 MIL ICE AND WATER GUARD UNDERLAYMENT UNDER SHINGLES AT ALL VALLEYS AND FROM LOWEST EDGE OF ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE, AND ON ALL AREAS WITH A SLOPE LESS THAN 4:12.
2. DOTTED LINE INDICATES LINE OF BUILDING BELOW
3. SEE FRAMING PLAN FOR OVERBUILD AREAS

GTM ARCHITECTS

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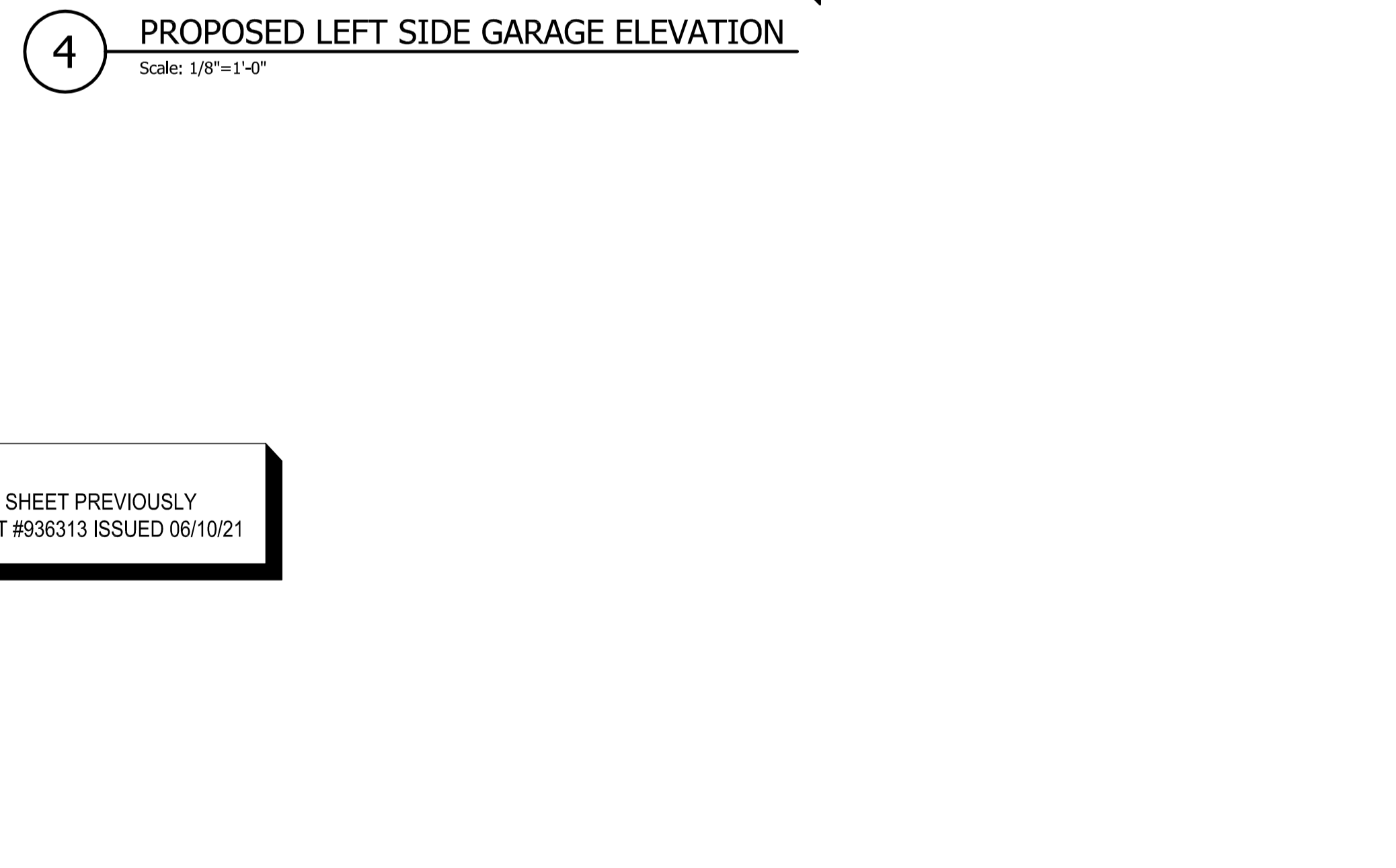
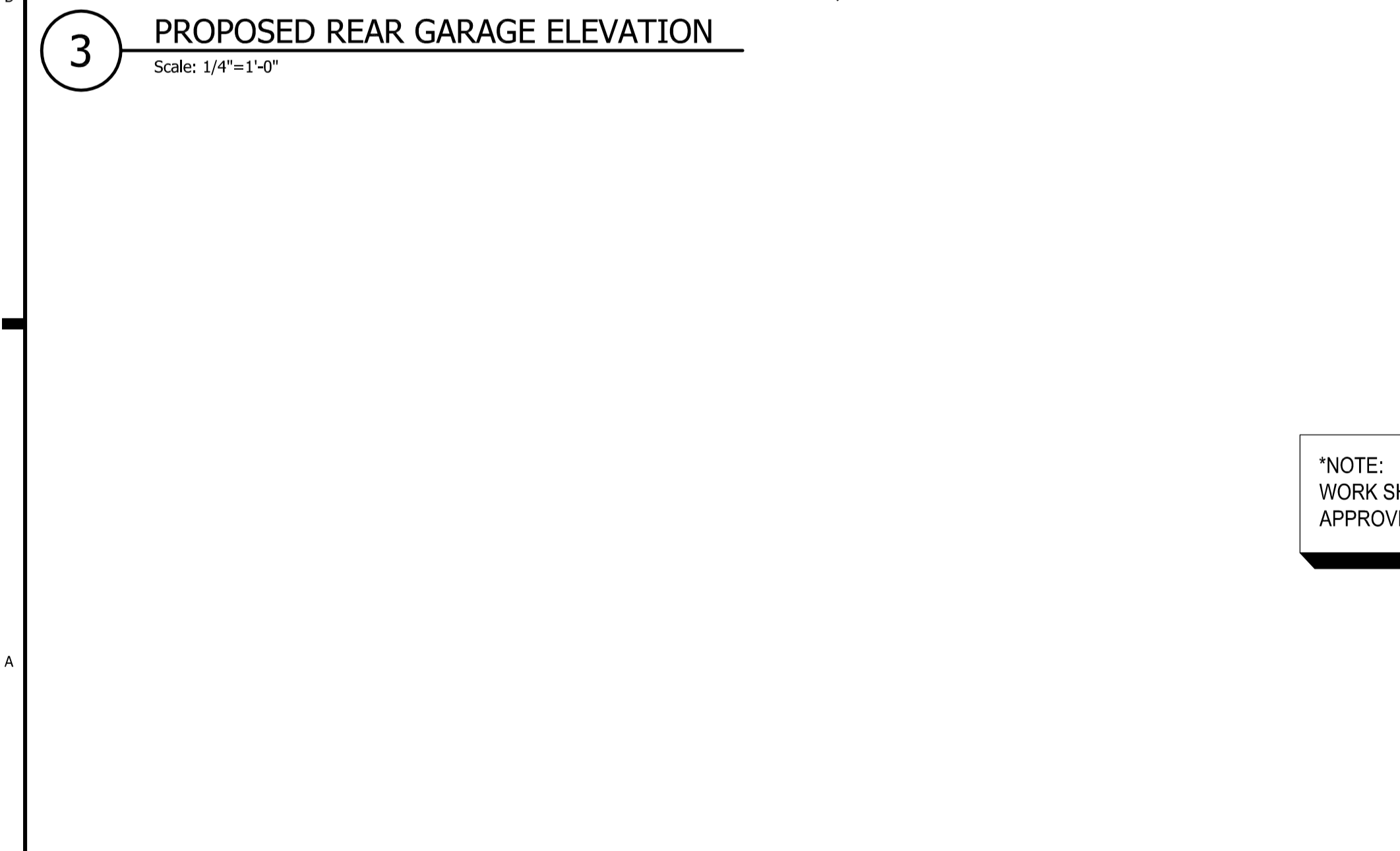
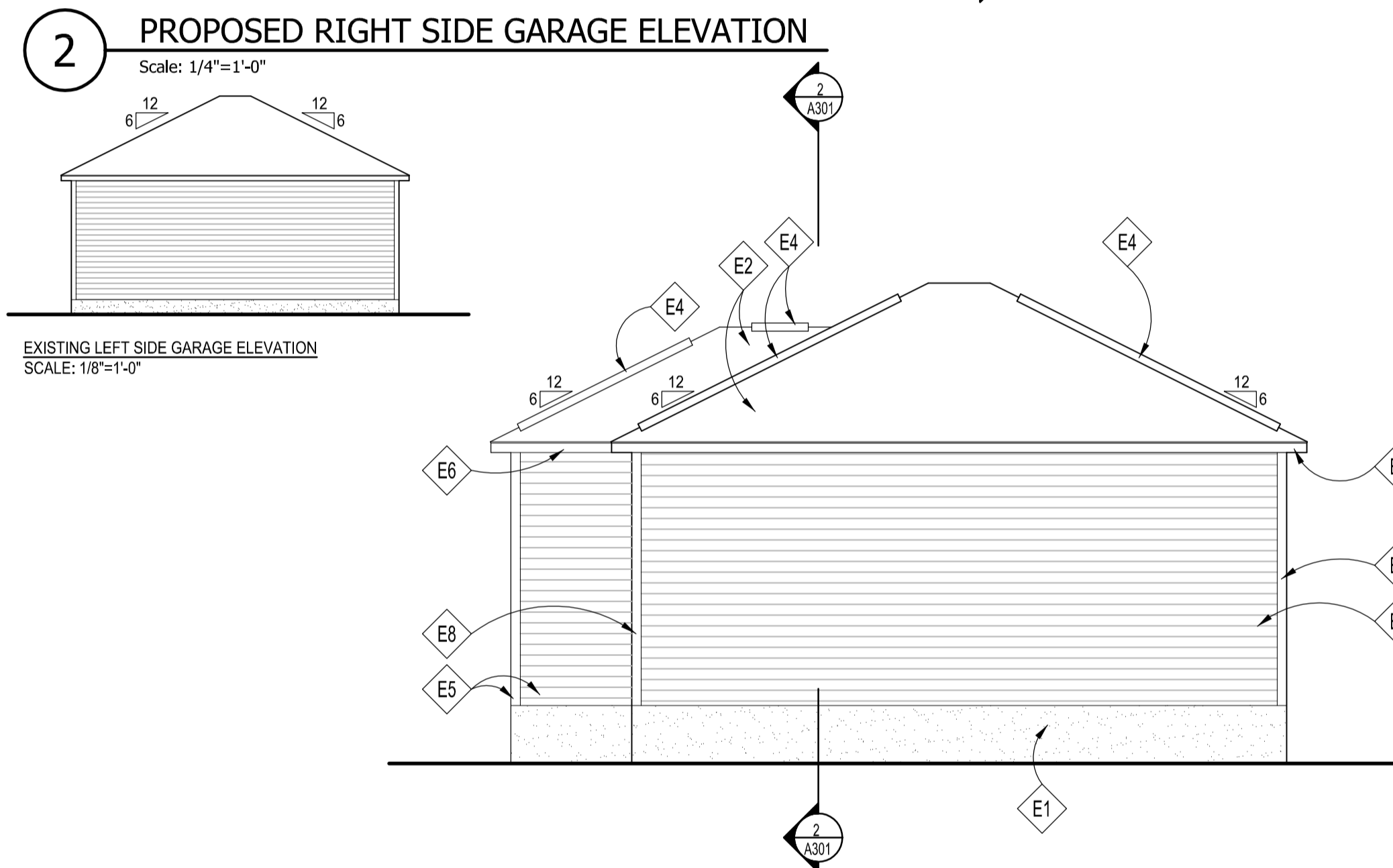
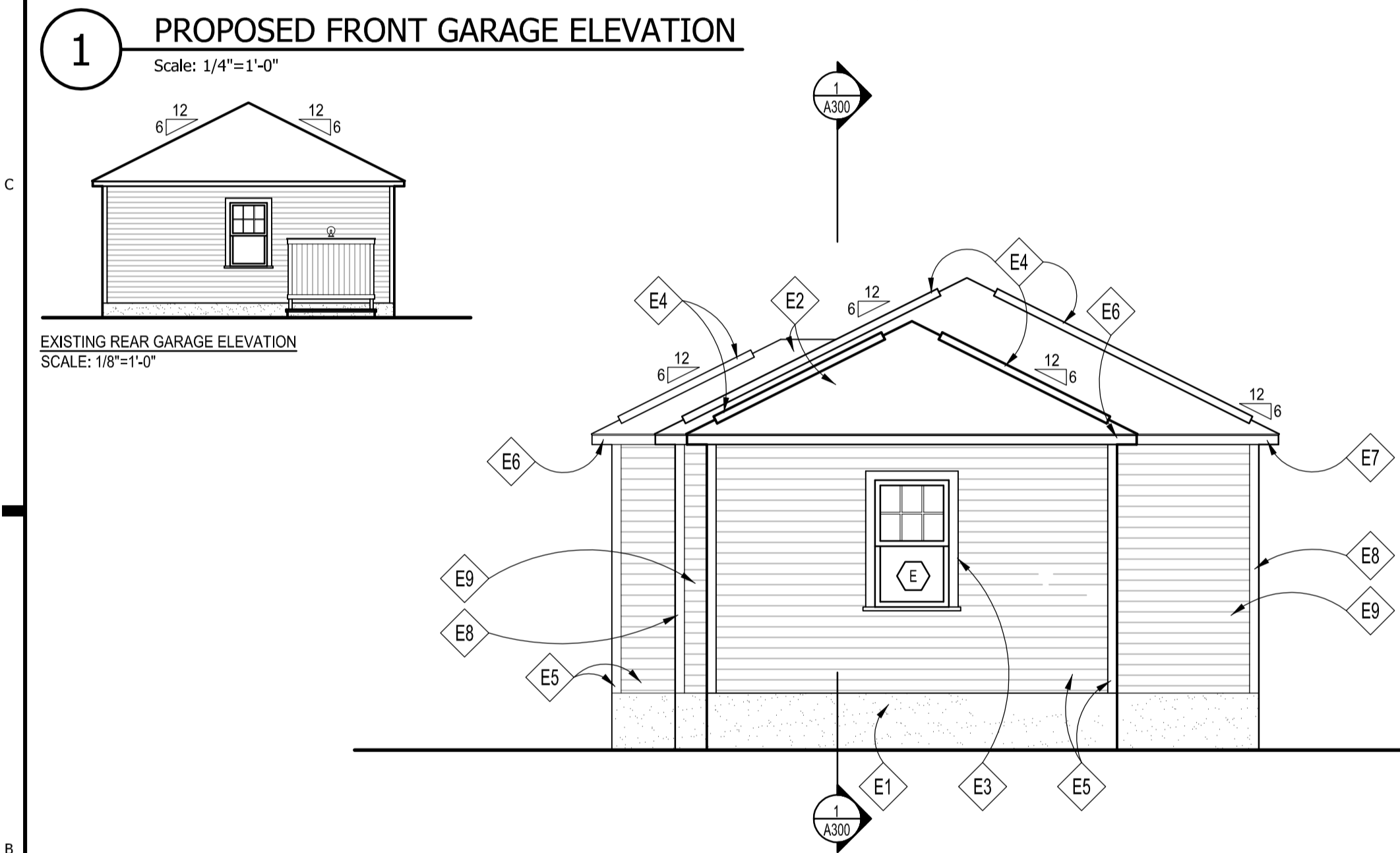
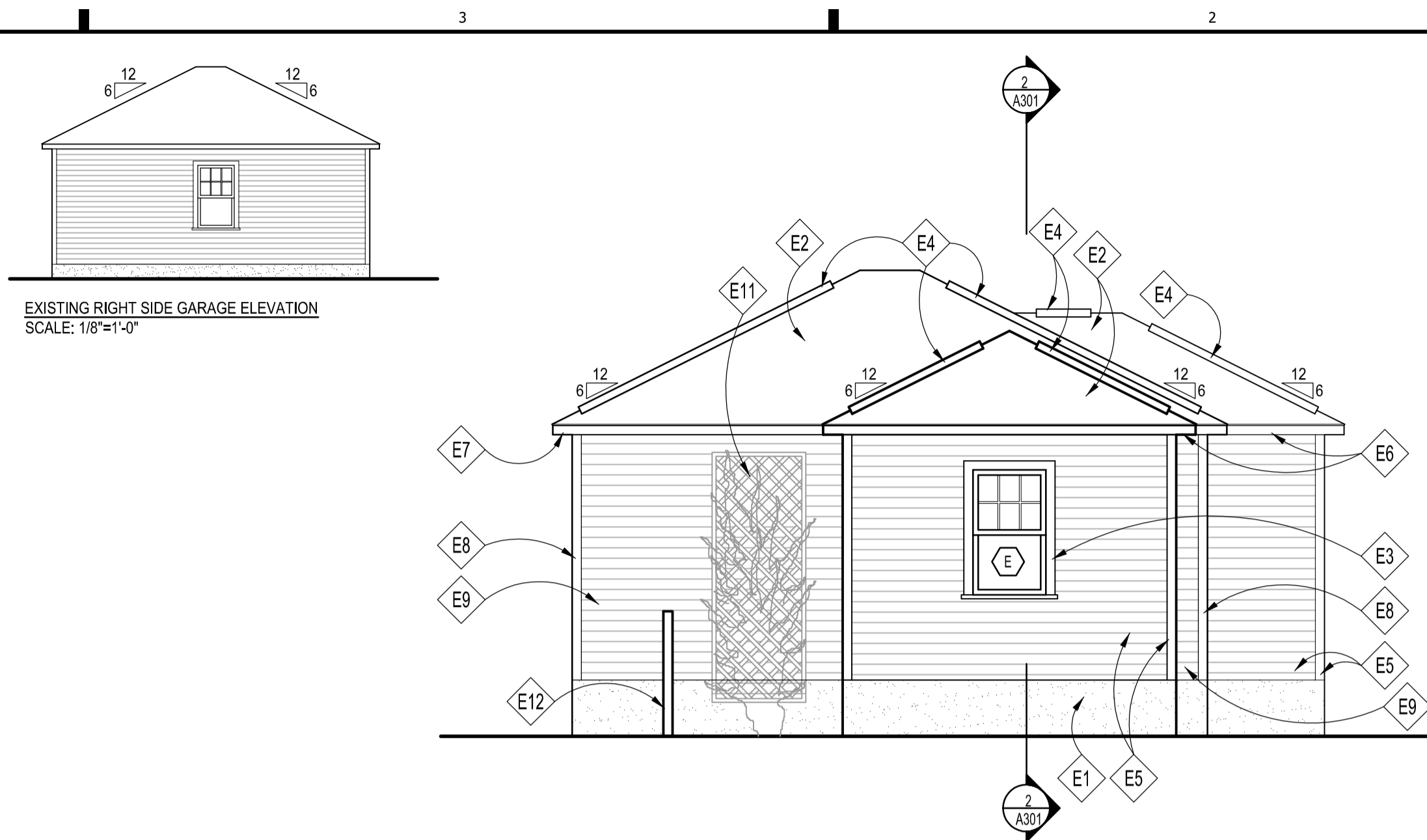
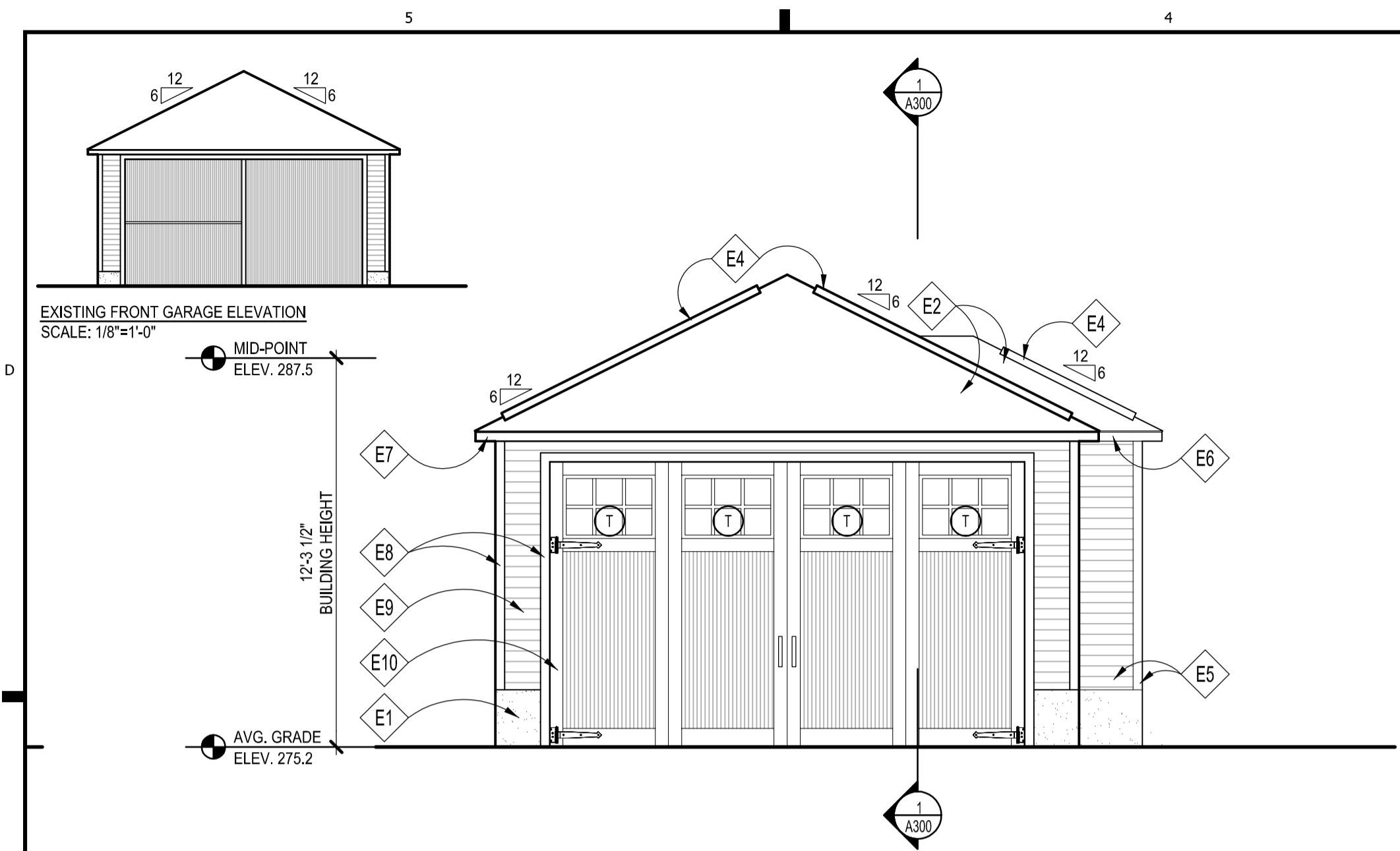
Developer

PERMIT SET	08/16/21
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GTM Project No.	20.0135
Checked By	RJV
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Scale	AS NOTED

Sheet Title
GARAGE DEMOLITION PLAN, PROPOSED PLAN, & ROOF PLAN

Sheet No.
A101
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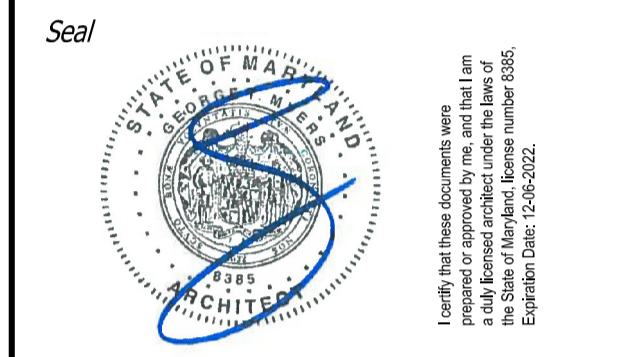
***NOTE:**
 WORK SHOWN ON THIS SHEET PREVIOUSLY
 APPROVED PER PERMIT #936313 ISSUED 06/10/21

ELEVATION NOTES

- E1 PARGED & PTD. FOUNDATION WALL, TYP.
- E2 ARCHITECTURAL ASPHALT ROOFING SHINGLES T.B.S., TYP.
- E3 PTD. WD. WINDOW/DOOR TRIM TO MATCH EXISTING, TYP.
- E4 HIP/RIDGE VENT BY COR-A-VENT OR APPROVED EQUAL, TYP.
- E5 PTD. WD. SIDING & CORNER BOARDS TO MATCH EXISTING, TYP.
- E6 PTD. WD. FASCIA TO MATCH EXISTING, TYP.
- E7 EXISTING WD. FASCIA TO REMAIN; REPAIR AS REQ'D., SCRAPE, & PAINT
- E8 EXISTING WD. TRIM TO REMAIN; REPAIR AS REQ'D., SCRAPE, & PAINT
- E9 EXISTING WD. SIDING TO REMAIN; REPAIR AS REQ'D. & REPAIR
- E10 PTD. WD. BIFOLD CARRIAGE DOORS; SEE DOOR SCHEDULE
- E11 WD. LATTICE PANEL
- E12 EXISTING WD. FENCE & GAIT TO REMAIN

G T M ARCHITECTS

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 LAUREN DEICHMAN**

Developer

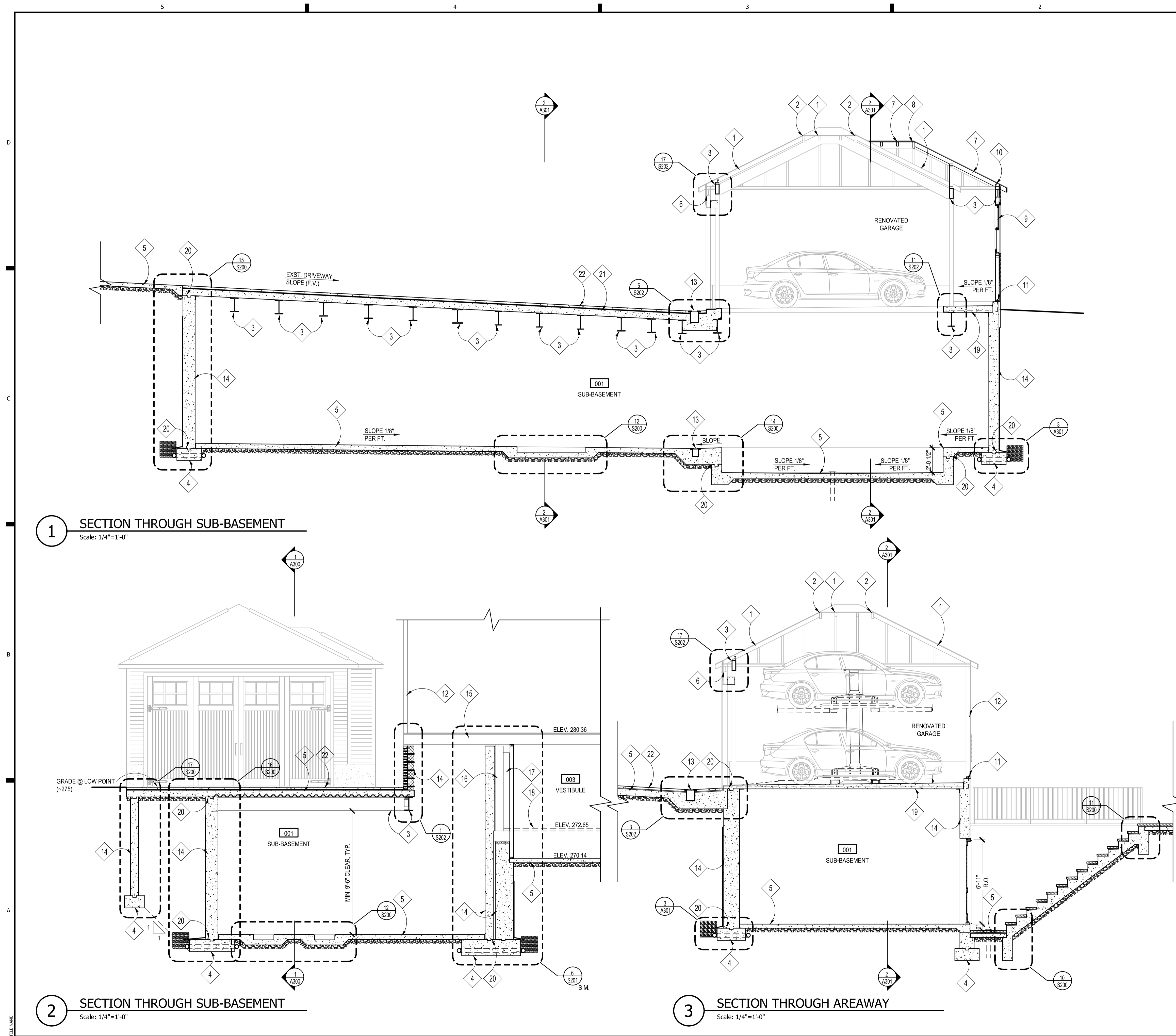
PERMIT SET	08/16/21
Issue Description	Date

GTM Project No.	20.0135
Checked By	RJV
Drawn By	LSC
Scale	AS NOTED

Sheet Title
GARAGE ELEVATIONS

Sheet No.
A200

NOTE:
 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD



SECTION NOTES

- 1 EXISTING RAFTERS TO REMAIN, TYP.; SEE FRAMING PLANS
- 2 EXISTING HIP RAFTERS TO REMAIN, TYP.; SEE FRAMING PLANS
- 3 BEAM/HEADER; SEE FRAMING PLANS
- 4 FOOTING; SEE FOUNDATION PLAN
- 5 REINF. CONC. SLAB; SEE STRUCTURAL PLANS
- 6 MIN. 7 1/4"D x 7 1/2"H CLEARANCE FOR GARAGE DOOR MOTORS
- 7 RAFTERS, TYP.; SEE FRAMING PLANS
- 8 HIP RAFTERS, TYP.; SEE FRAMING PLANS
- 9 REUSE EXISTING GARAGE WINDOW IN NEW OPENING
- 10 MTL. UPLIFT STRAP, TYP.; SEE FRAMING PLANS
- 11 P.T. SILL PLATE W/ ANCHOR BOLTS, TYP.; SEE FRAMING PLANS
- 12 EXISTING EXTERIOR WALL TO REMAIN; SEE FRAMING PLANS
- 13 TRENCH DRAIN W/ CAST IRON GRATE
- 14 REINF. CONC. FOUNDATION WALL; SEE FOUNDATION PLAN
- 15 EXISTING FLOOR STRUCTURE TO REMAIN
- 16 EXISTING FOUNDATION WALL TO BE UNDERPINNED; SEE STRUCTURAL DRAWINGS
- 17 REINF. CONC. PIER BEYOND; SEE FOUNDATION PLAN
- 18 EXISTING CONC. SLAB TO BE REMOVED
- 19 REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE NEOGARD AUTO-GUARD ELASTOMERIC COATING ON TOP OF SLAB & MIN. 4" VERT.; INSTALL PER MANUFAC.
- 20 BENTONITE CLAY STOP
- 21 REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE HENRY BLUESKIN MODIFIEDPLUS SBS MODIFIED WATERPROOFING MEMBRANE LAMINATED TO A POLYETHYLENE FACE & HENRY DB350 PROTECTION/DRAINAGE BOARD; INSTALL PER MANUFAC.
- 22 CONC. DRIVEWAY TOPPING SLAB

1 SECTION THROUGH SUB-BASEMENT
 Scale: 1/4"=1'-0"

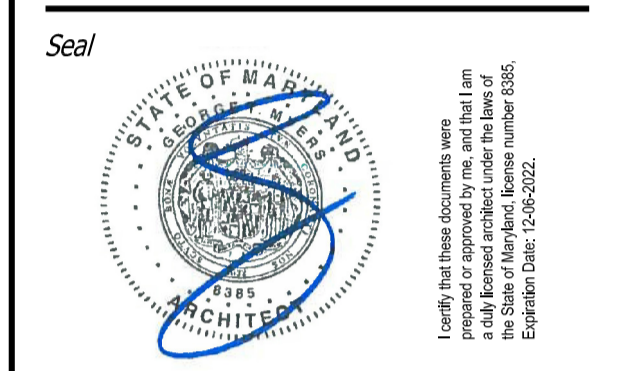
2 SECTION THROUGH SUB-BASEMENT
 Scale: 1/4"=1'-0"

3 SECTION THROUGH AREAWAY
 Scale: 1/4"=1'-0"

NOTE:
 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD

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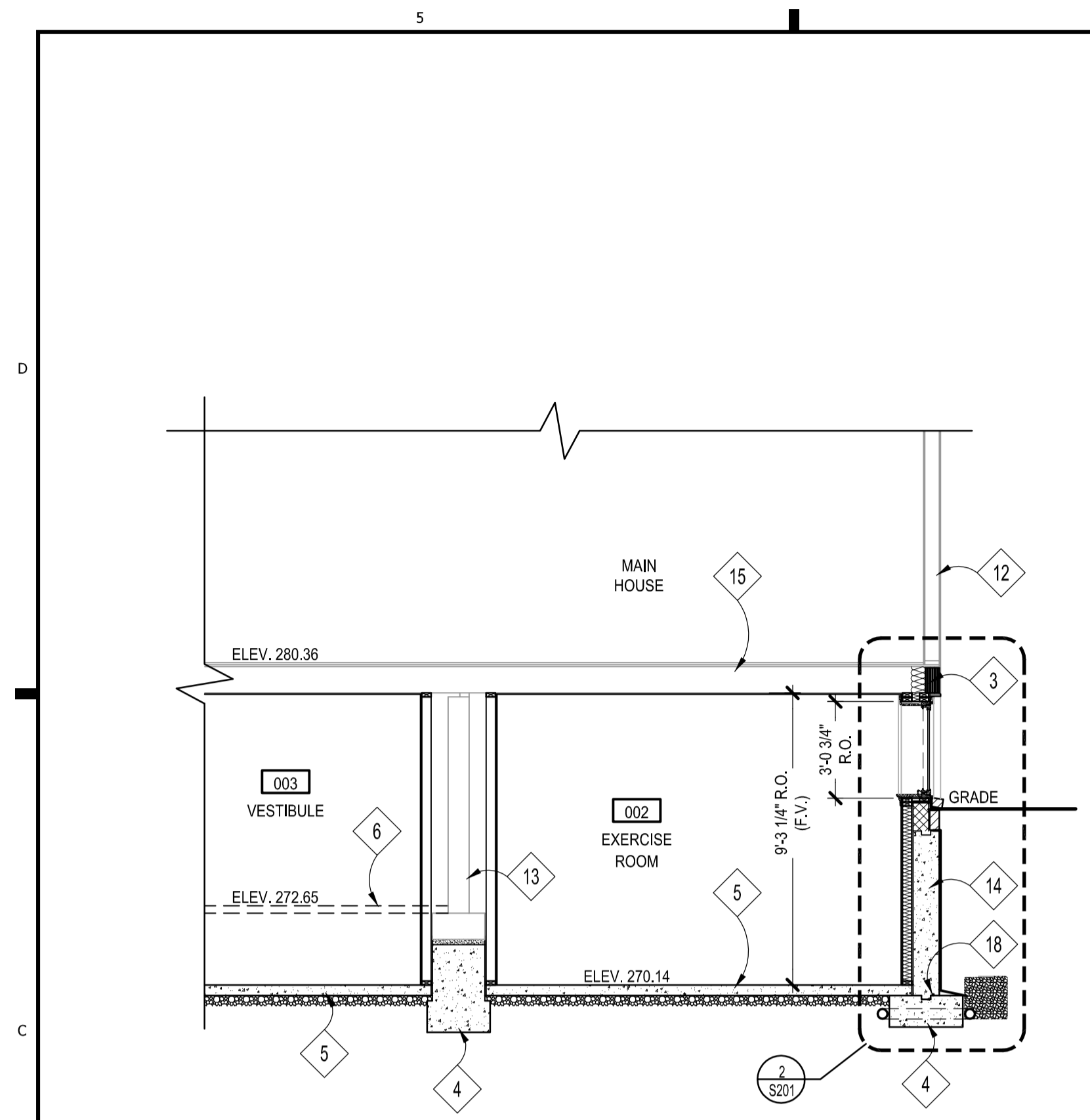
Developer

PERMIT SET 08/16/21
 Issue Description Date

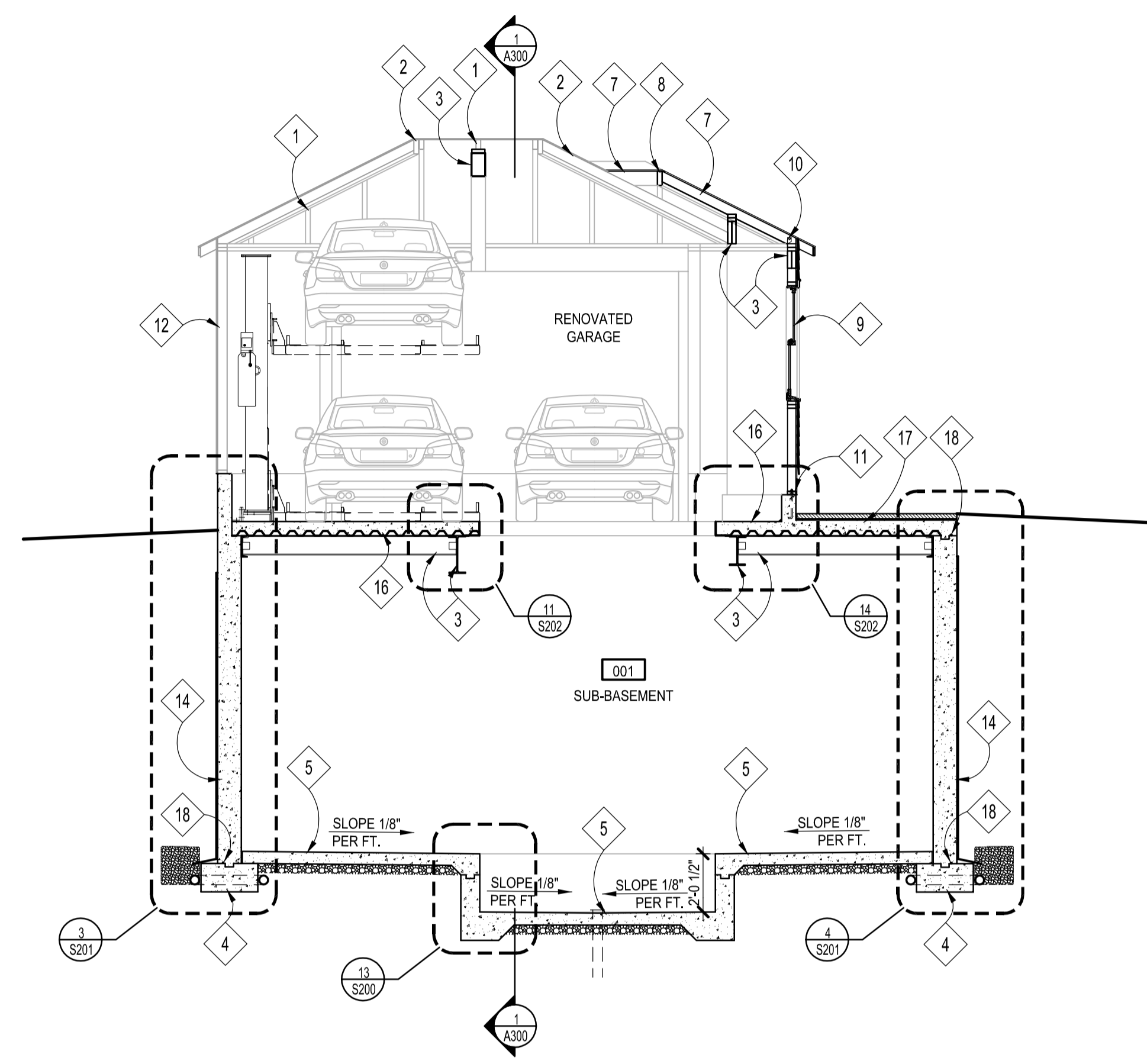
GTM Project No. 20.0135
 Checked By RJV
 Drawn By LSC
 Scale AS NOTED

Sheet Title
BUILDING SECTIONS

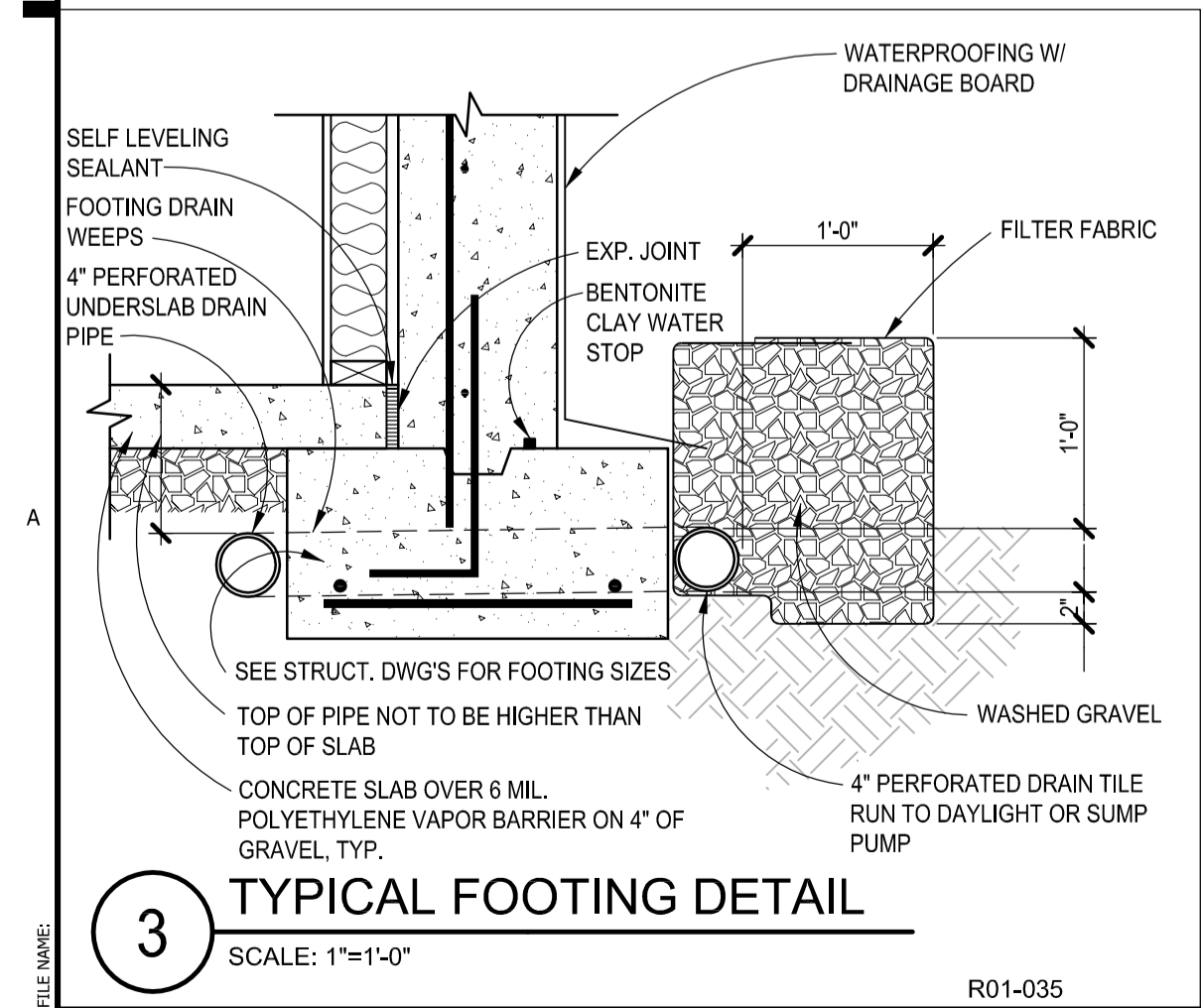
Sheet No.
A300



1 SECTION THROUGH EXERCISE ROOM
 Scale: 1/4"=1'-0"



2 SECTION THROUGH SUB-BASEMENT
 Scale: 1/4"=1'-0"



3 TYPICAL FOOTING DETAIL
 SCALE: 1"=1'-0"

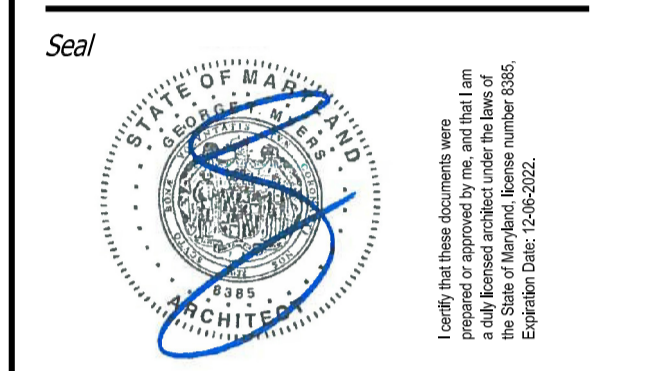
SECTION NOTES

- 1 EXISTING RAFTERS TO REMAIN, TYP.; SEE FRAMING PLANS
- 2 EXISTING HIP RAFTERS TO REMAIN, TYP.; SEE FRAMING PLANS
- 3 BEAM/HEADER; SEE FRAMING PLANS
- 4 FOOTING; SEE FOUNDATION PLAN
- 5 REINF. CONC. SLAB; SEE STRUCTURAL PLANS
- 6 EXISTING CONC. SLAB TO BE REMOVED
- 7 RAFTERS, TYP.; SEE FRAMING PLANS
- 8 HIP RAFTERS, TYP.; SEE FRAMING PLANS
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- 13 EXISTING FOUNDATION WALL TO BE UNDERPINNED; SEE STRUCTURAL DRAWINGS
- 14 REINF. CONC. FOUNDATION WALL; SEE FOUNDATION PLAN
- 15 EXISTING FLOOR STRUCTURE TO REMAIN
- 16 REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE NEOGARD AUTO-GUARD ELASTOMERIC COATING ON TOP OF SLAB & MIN. 4" VERT.; INSTALL PER MANUFAC.
- 17 REINF. CONC. SLAB; SEE STRUCTURAL DRAWINGS; PROVIDE HENRY BLUESKIN WP 100, 60 MIL. SELF-ADHERING SBS MODIFIED RUBBERIZED ASPHALT WATERPROOFING MEMBRANE LAMINATED TO A POLYETHYLENE FACE & HENRY DB 220 PROTECTION/DRAINAGE BOARD (25" THICK); INSTALL PER MANUFAC.
- 18 BENTONITE CLAY STOP

NOTE:
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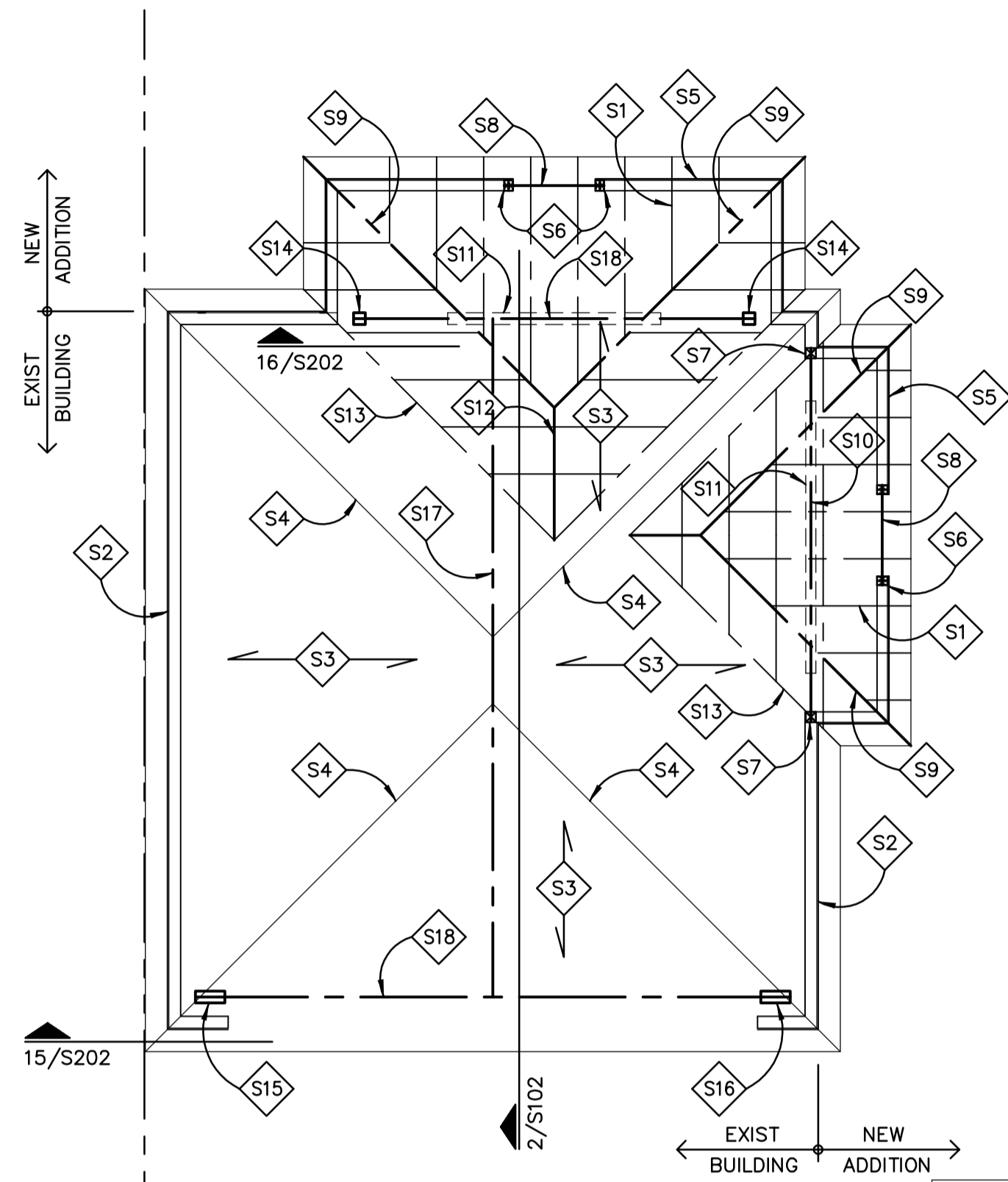
Developer

PERMIT SET 08/16/21
 Issue Description Date

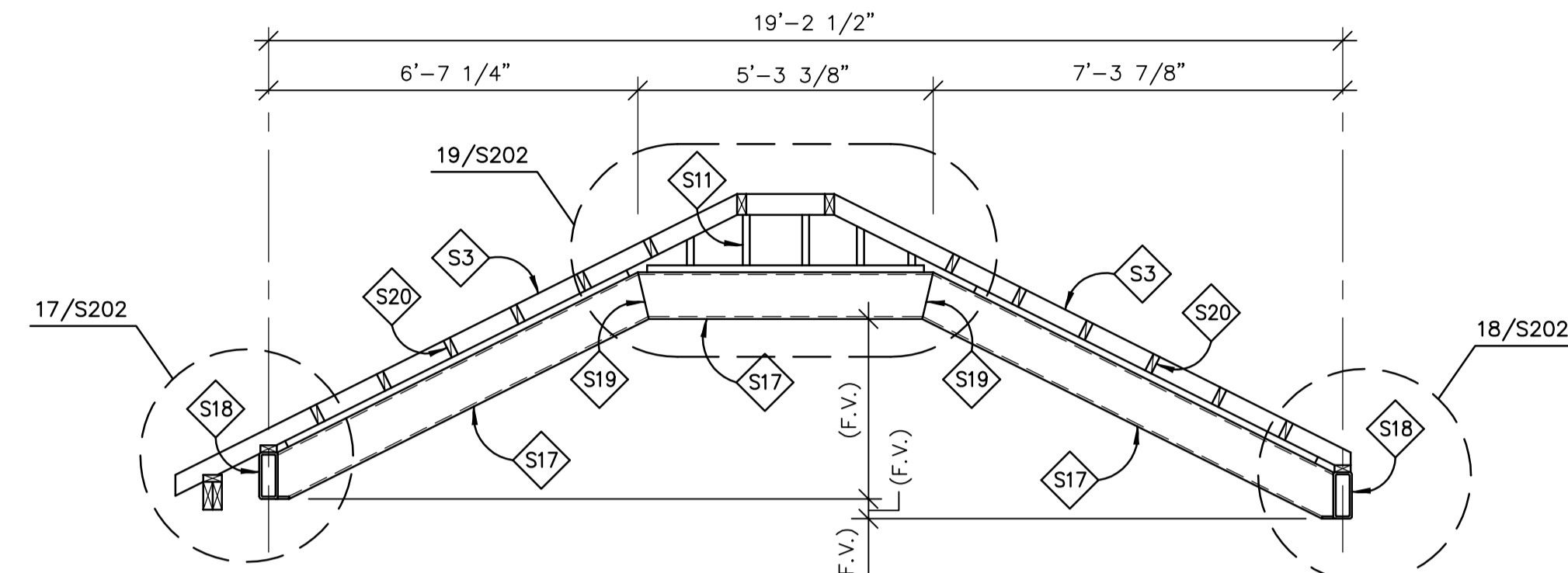
GTM Project No. 20.0135
 Checked By RJV
 Drawn By LSC
 Scale AS NOTED

Sheet Title
BUILDING SECTIONS

Sheet No.
A301



1 GARAGE ROOF FRAMING PLAN
 1/4"=1'-0"



2 FRAME ELEVATION
 3/8"=1'-0"

GARAGE ROOF FRAMING NOTES:

- S1 TRUE 2x4 RAFTERS @ 16" O.C. TO MATCH EXIST RAFTERS RIP CUT FROM 2x6
- S2 EXIST WOOD STUD BEARING WALL BELOW FIELD VERIFY
- S3 EXIST ROOF RAFTERS TO REMAIN INTACT FIELD VERIFY CONDITION
- S4 EXIST HIP BEAM TO REMAIN INTACT
- S5 2x4 STUDS @ 16" O.C. BEARING WALL BELOW. PROVIDE INTERMEDIATE HORIZ BLKG @ 4'-0" MAX VERT SPACING
- S6 (2) 2x4 POST
- S7 P.T. 4x4 SOLID WOOD POST
- S8 (2) 2x6 HEADER DROPPED
- S9 TRUE (2) 2x6 HIP TO MATCH EXIST HIP RIP CUT FROM (2) 2x8
- S10 (2) 1 3/4"x 9 1/4" LVL HEADER UPSET BOTTOM FLUSH W/ EXIST RAFTERS
- S11 2x4 STUDS @ 16" O.C. KNEE BEARING WALL
- S12 TRUE (2) 2x6 RIDGE RIP CUT FROM (2) 2x8
- S13 2x6 PLATE LAID FLAT & NAILED TO ROOF SHEATHING
- S14 HSS 4x4x1/4 STEEL TUBE COL W/ 5/8"x7"x7" CAP PL & 5/8"x6"x10" BASE PL. WELD COL TO UNDERSIDE OF STEEL BEAM ABOVE & STEEL BEAM BELOW. PROVIDE 2x4 NAILER PL W/ 0.15 DIA x 1 1/2" ZINC PLATED P.A.F. @ 12" O.C. TO CONNECT STEEL COL TO STUD WALL
- S15 HSS 10x4x1/4 STEEL TUBE COL W/ 5/8"x7"x1'-2" CAP PL & 5/8"x9"x1'-4" BASE PL W/ (4) 5/8" DIA HILTI HY200 ADHESIVE BOLTS W/ 7" EMBED INTO CONC. WELD COL TO UNDERSIDE OF STEEL BEAM. PROVIDE 2x4 NAILER PL W/ 0.15 DIA x 1 1/2" ZINC PLATED P.A.F. @ 12" O.C. TO CONNECT STEEL COL TO STUD WALL
- S16 HSS 10x4x1/4 STEEL TUBE COL W/ 5/8"x7"x1'-2" CAP PL & 5/8"x7"x1'-2" BASE PL. WELD COL TO UNDERSIDE OF STEEL BEAM & TOP OF STEEL BEAM BELOW. PROVIDE 2x4 NAILER PL W/ 0.15 DIA x 1 1/2" ZINC PLATED P.A.F. @ 12" O.C. TO CONNECT STEEL COL TO STUD WALL
- S17 HSS 10x6x1/4 WELDED STEEL FRAME W/ 1/2 DIA THREADED STUDS @ 24" O.C. WELDED TO TOP FLANGE TO RECEIVE 2x4 NAILER PL. SEE DET 3/S100
- S18 HSS 10x4x1/4 STEEL BEAM W/ 1/2 DIA THREADED STUDS @ 24" O.C. WELDED TO TOP FLANGE TO RECEIVE 2x4 NAILER PL. SEE DET 2/S102
- S19 PROVIDE FULL PENETRATION WELDED MOMENT CONNECTION
- S20 PROVIDE 2x6 CUT TO FIT LADDER FRAMING @ 16" O.C. BETWEEN EXIST RAFTERS & TOE NAIL TO STEEL FRAME NAILER PLATE

BRACING & SHORING NOTE:

CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

DIMENSIONING NOTE:

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWINGS WITH THE ARCHITECTURAL DWGS & CIVIL DWGS.

FIELD VERIFICATION NOTE:

EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

GENERAL NOTES:

- REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
- REFER TO S001 FOR STRUCTURAL NOTES. REFER TO S200 THRU S202, & S300 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
- PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS. PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJI JOISTS AT STACKED LOAD BEARING WALLS, INSTALL PER TJI MANUF. PROVIDE INTERMEDIATE HORIZONTAL BLKG BETWEEN STUDS AT 4'-0" VERT SPACING AT ALL LOAD BEARING WALLS.
- IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING: ADD'L (1) KING STUD EACH SIDE OF OPNGS UP TO 4'-0" WIDE. ADD'L (2) KING STUDS EACH SIDE OF OPNGS UP TO 8'-0" WIDE.
- PROVIDE FRAMING CONNECTORS FOR JOISTS, BEAMS & POSTS. CONNECTORS SHALL BE BY SIMPSON STRONG-TIE OR EQUAL AND SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INSTALLED ACCORDING TO MANUFACTURER. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS AT ALL RAFTERS, PROVIDE ST2215 STRAPS CONNECTING TOP OF SHEARWALLS TO HEADERS.
- REFER TO S300 FOR WALL BRACING PLAN, WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.

Seal

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Project

Developer

PERMIT 08-16-2021

Issue Description Date

RAI Project No.

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Drawn By GR

Scale 1=48

Sheet Title

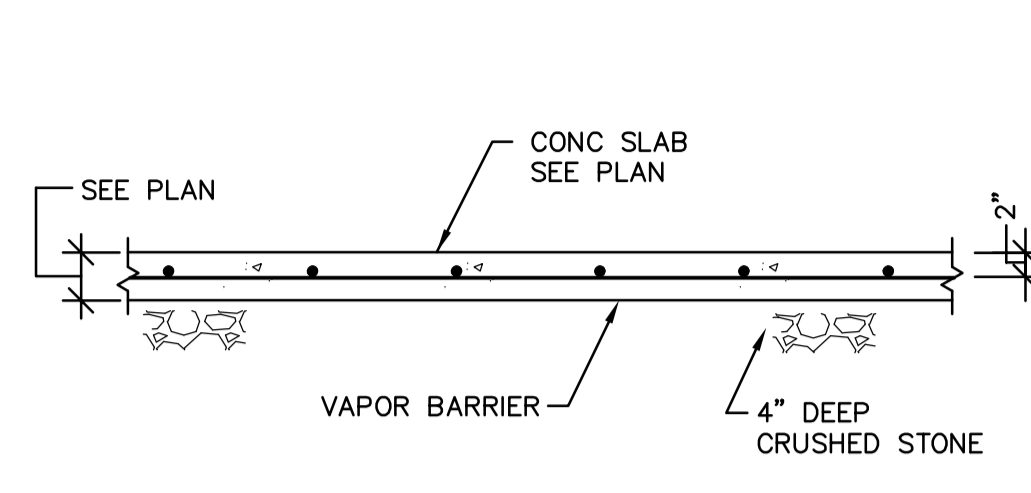
GARAGE ROOF FRAMING

Sheet No.

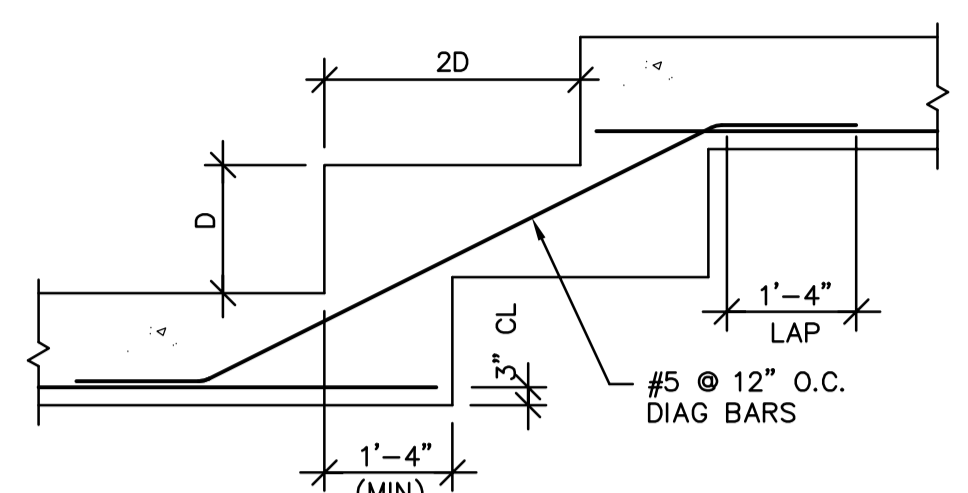
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SHEET 4 OF 8

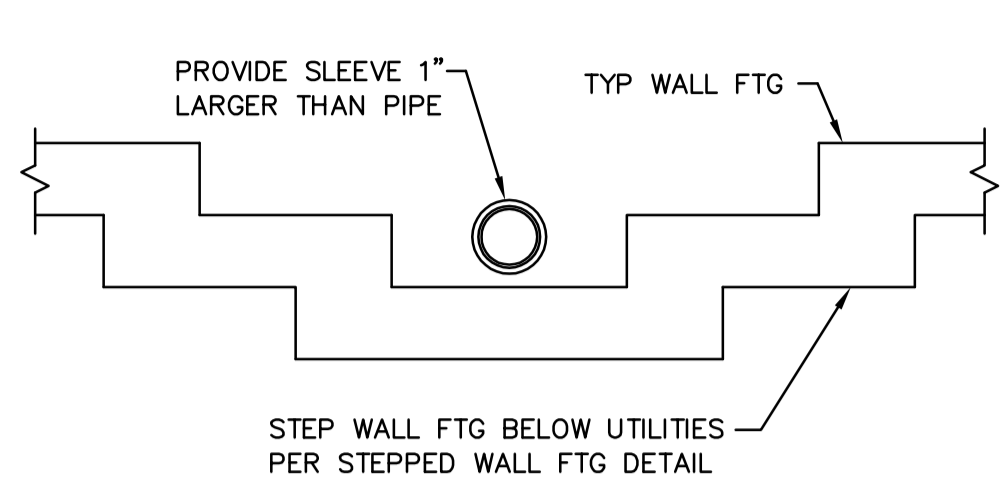
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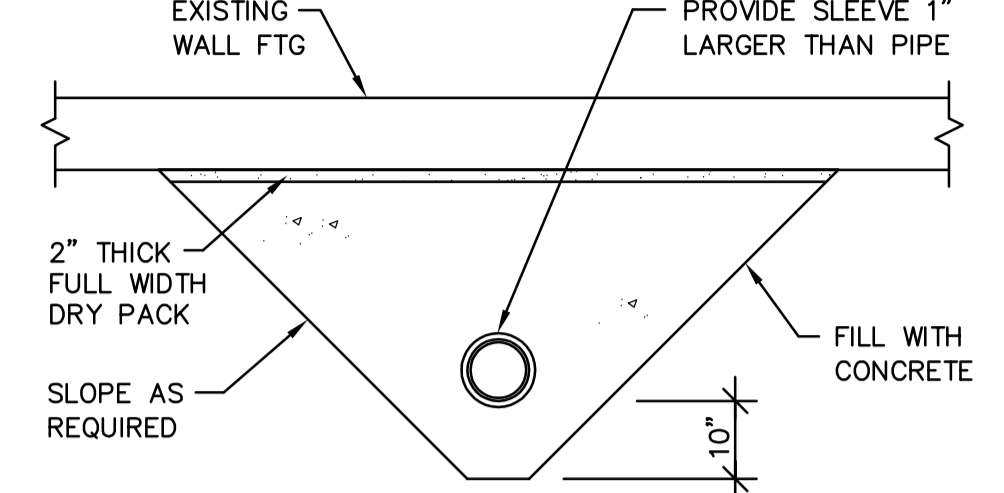
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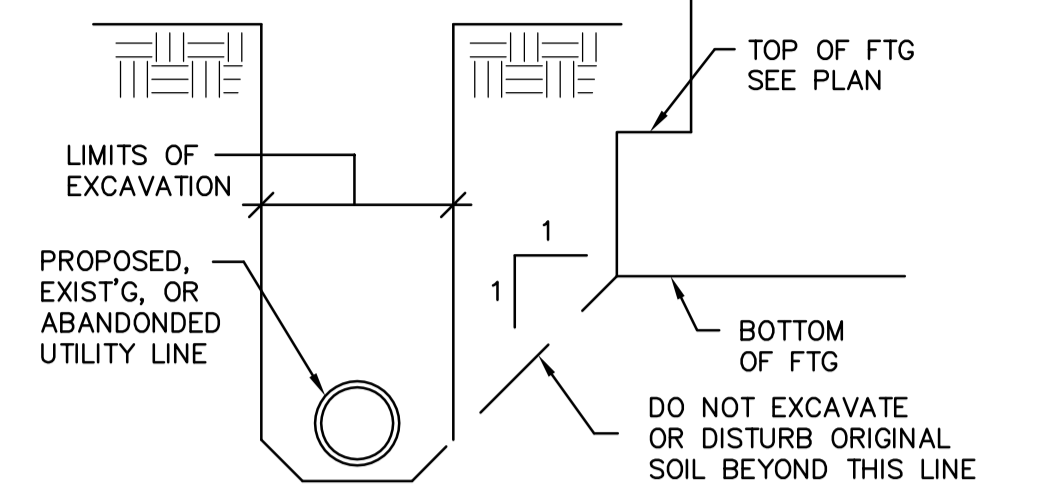
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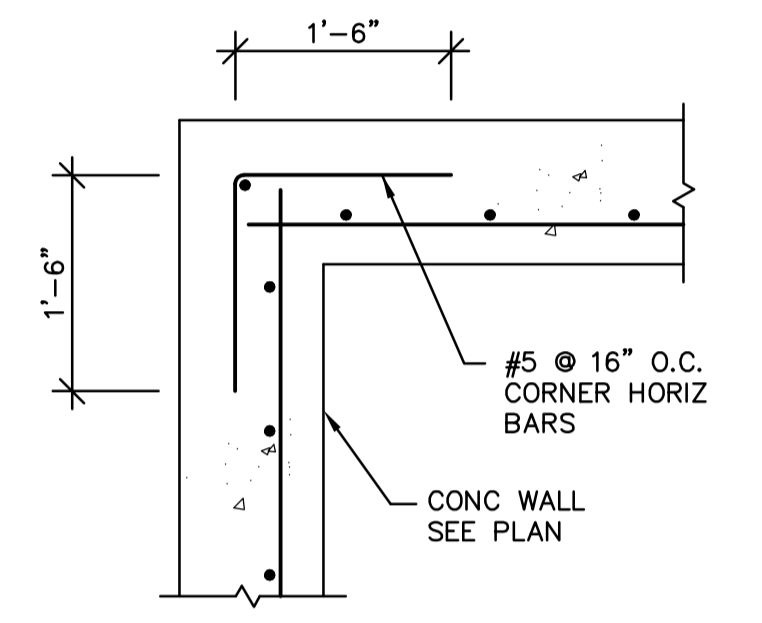
3 FTG @ UTILITY LINE
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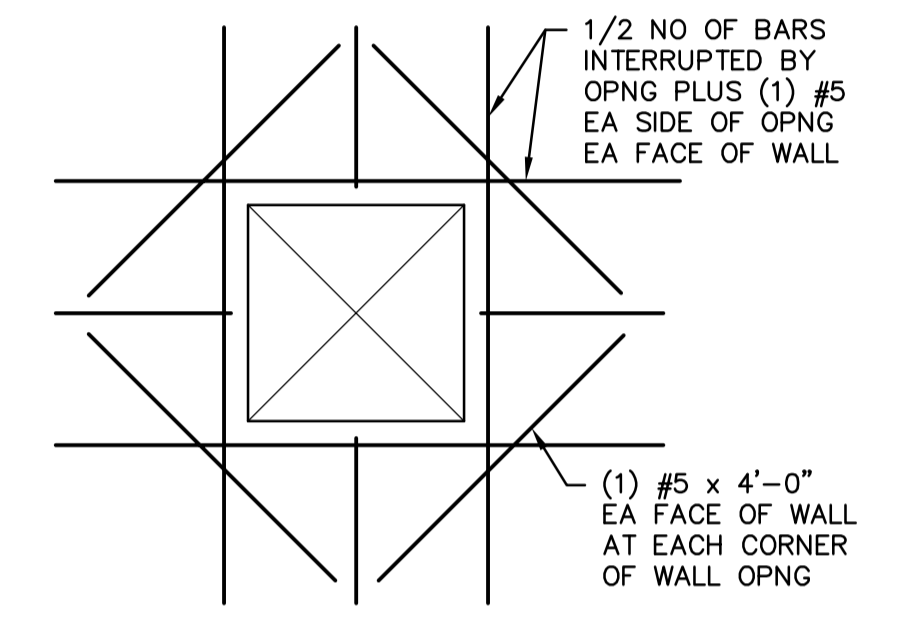
4 FTG @ UTILITY LINE
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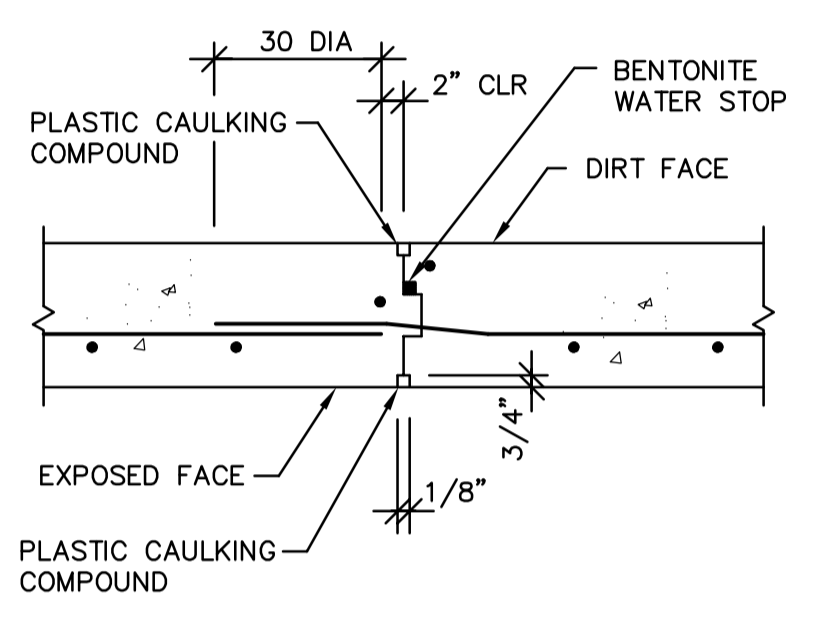
5 FTG @ UTILITY LINE
 N.T.S.



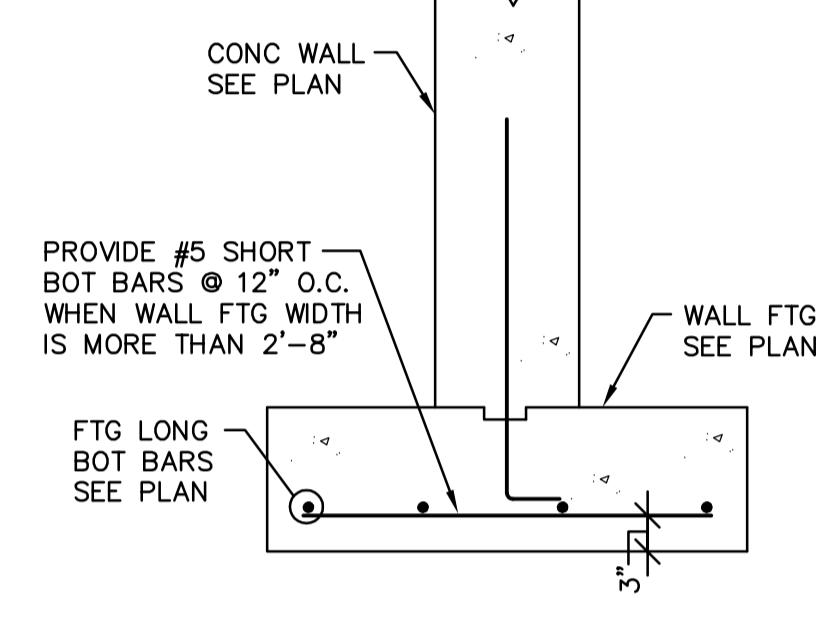
6 WALL CORNER REINF
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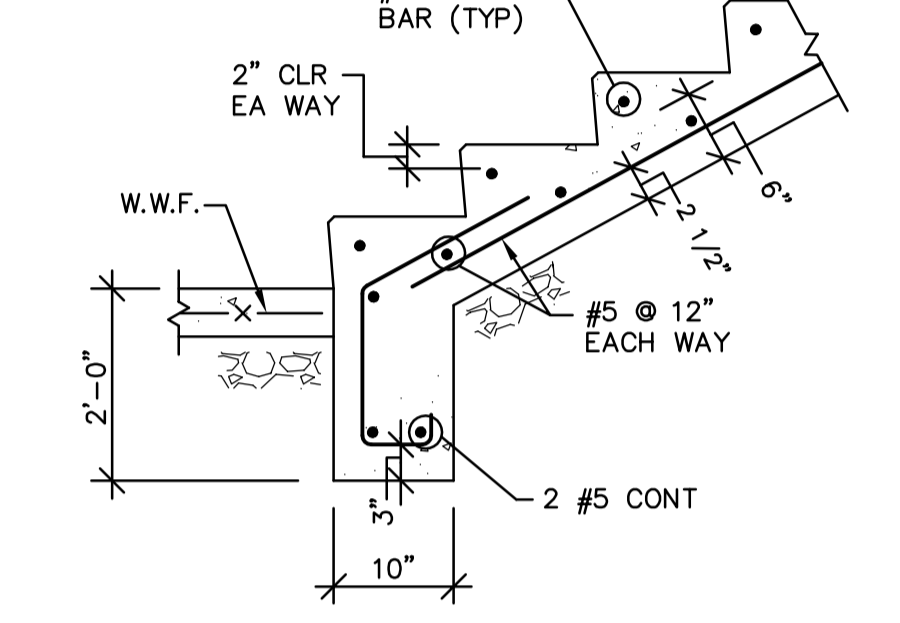
7 WALL OPNG REINF
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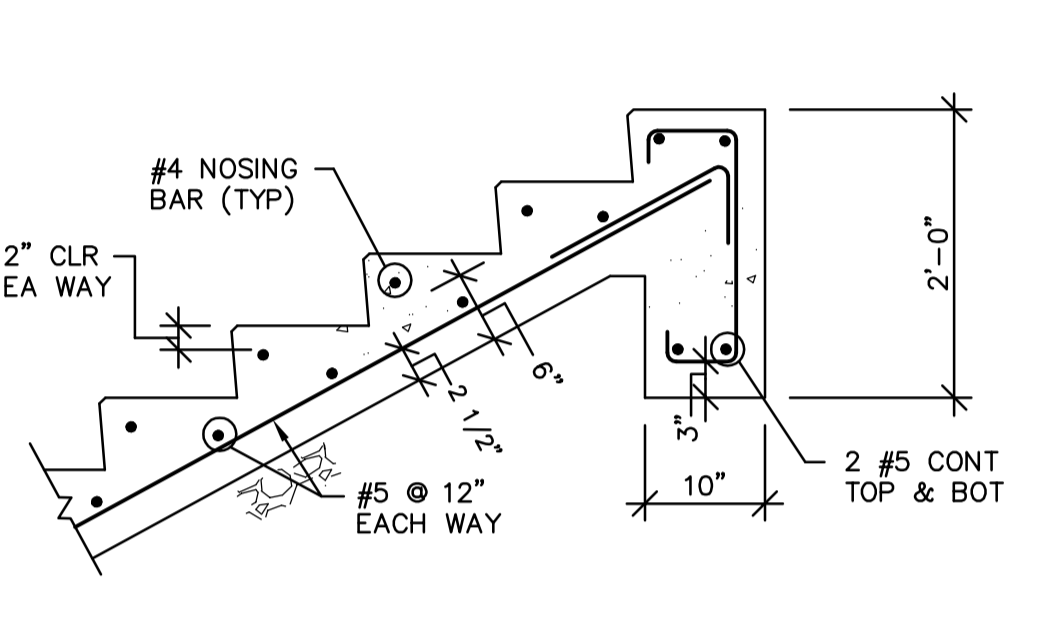
8 WALL CONST JOINT
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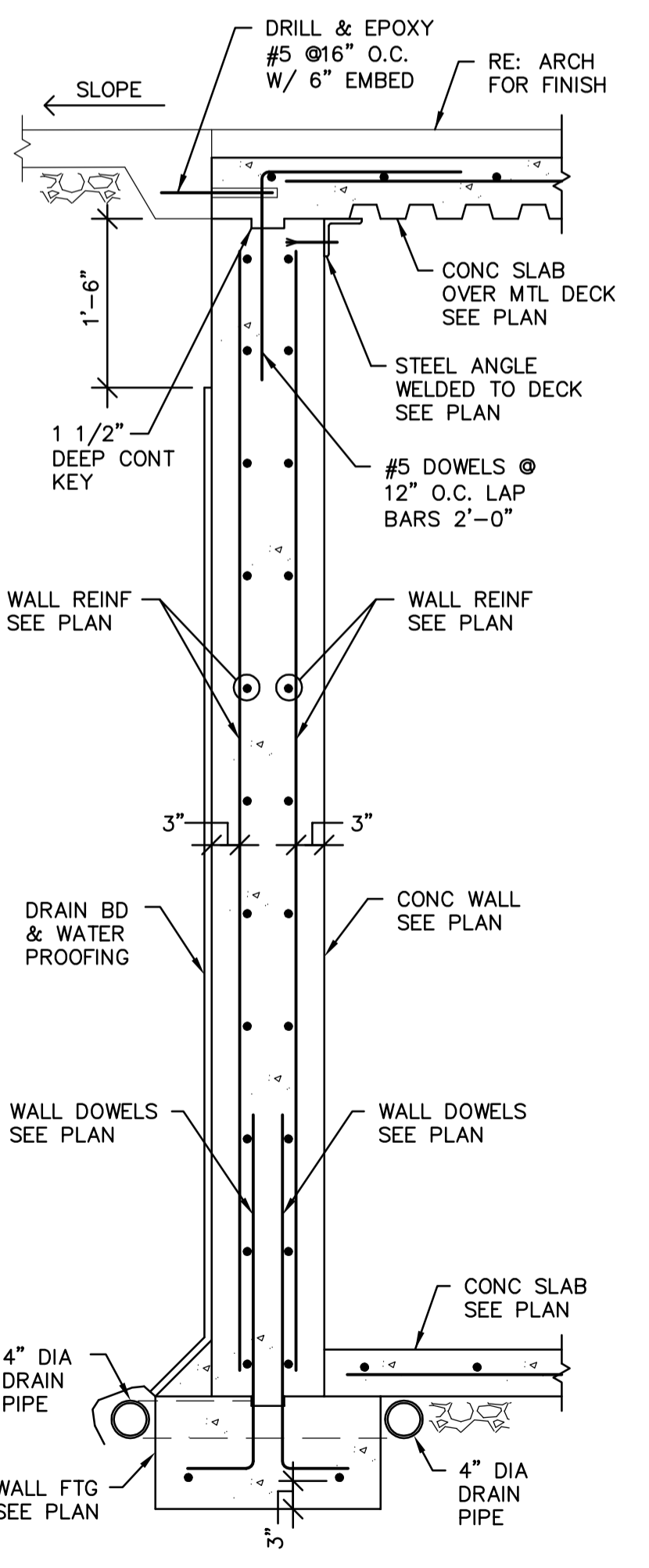
9 SECTION @ WALL FTG
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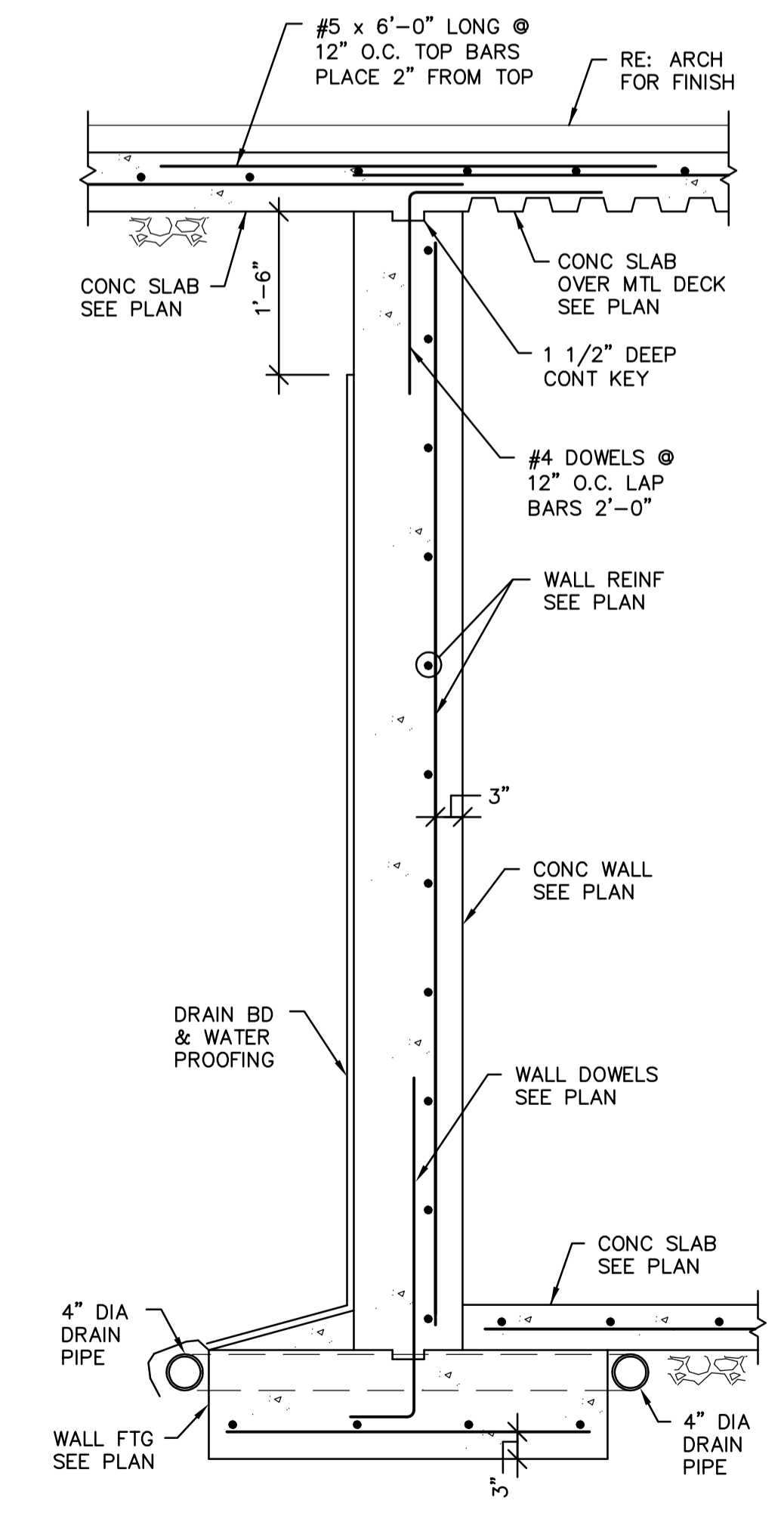
10 CONC STAIRS ON GRADE
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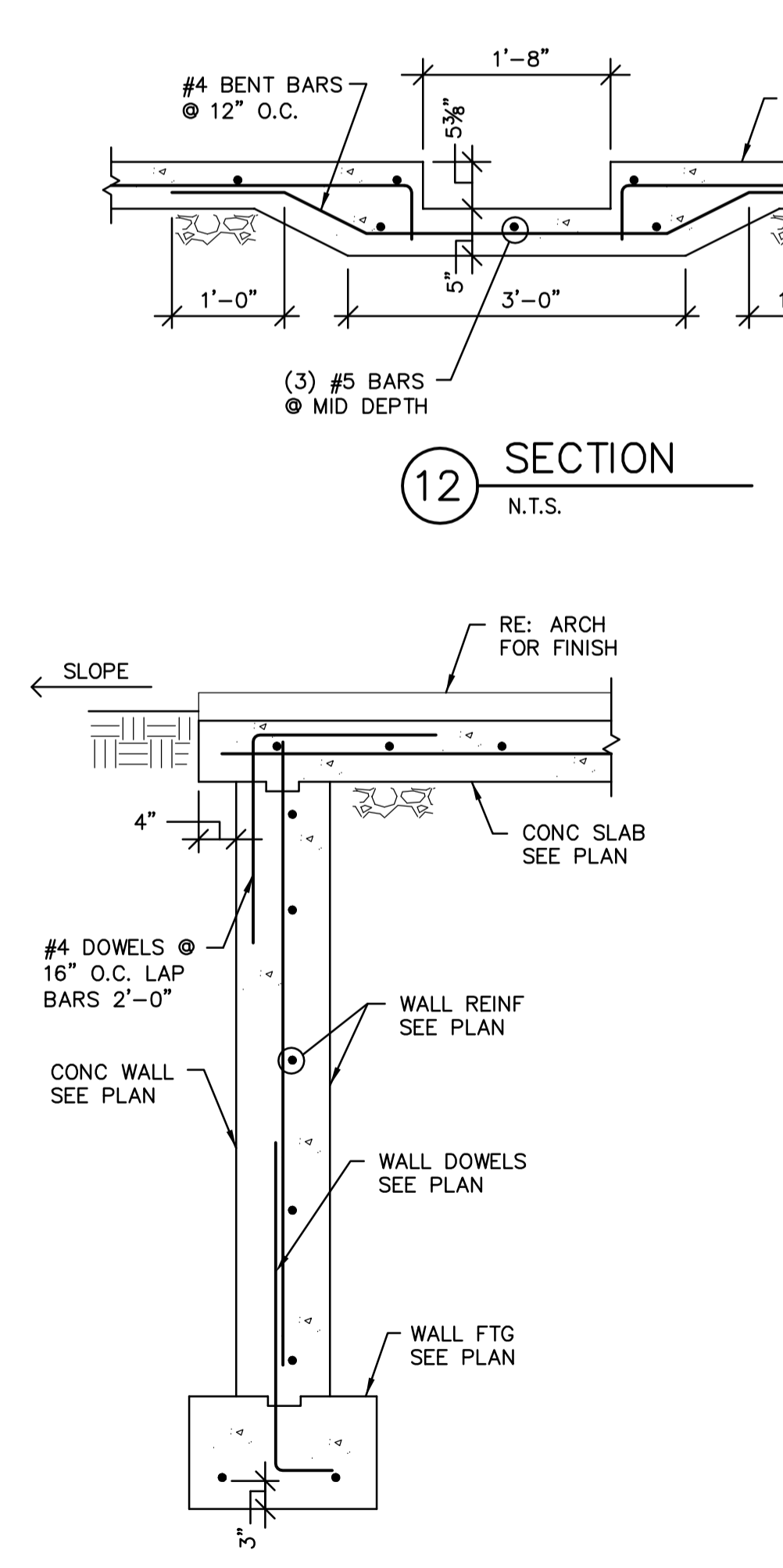
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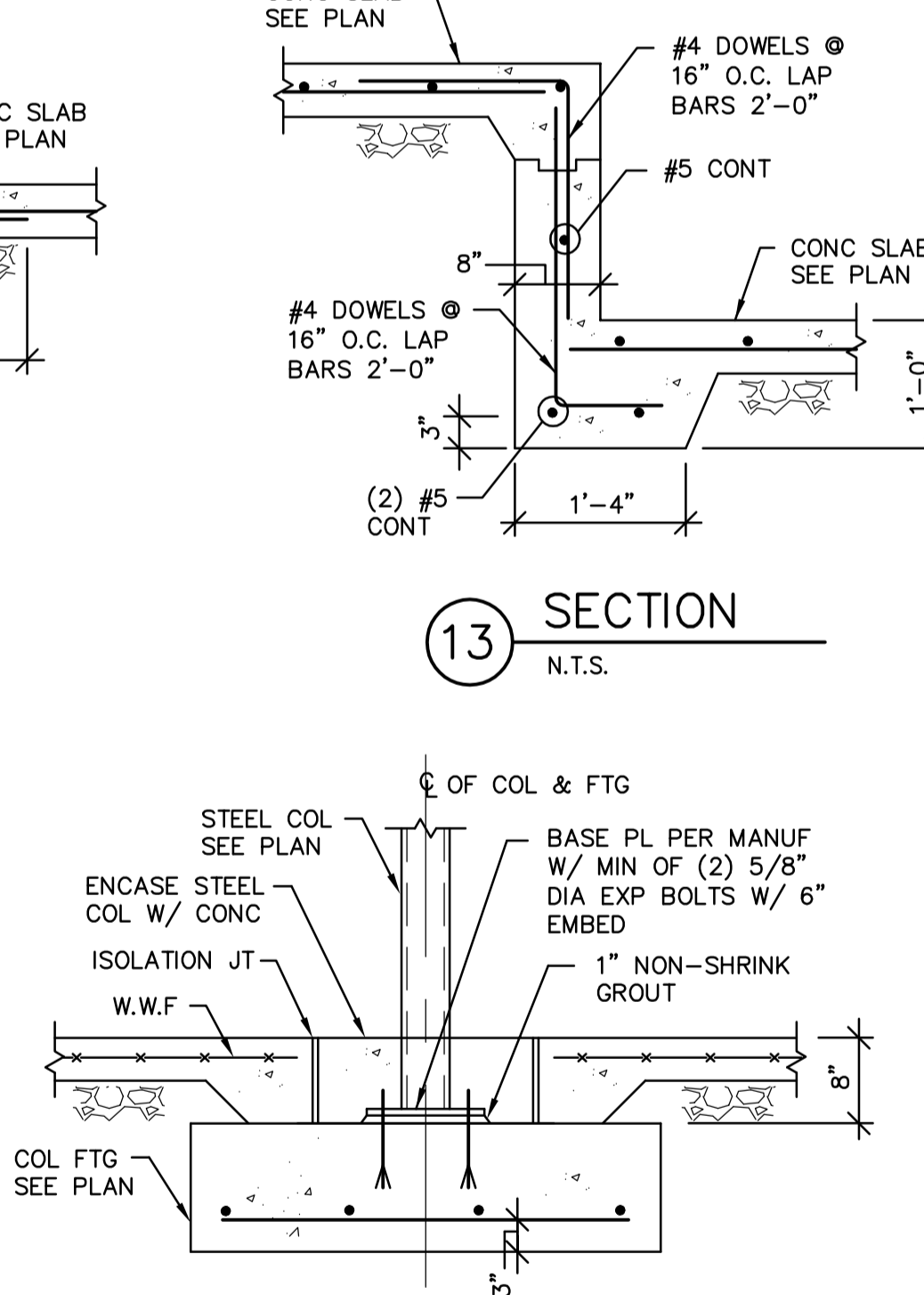
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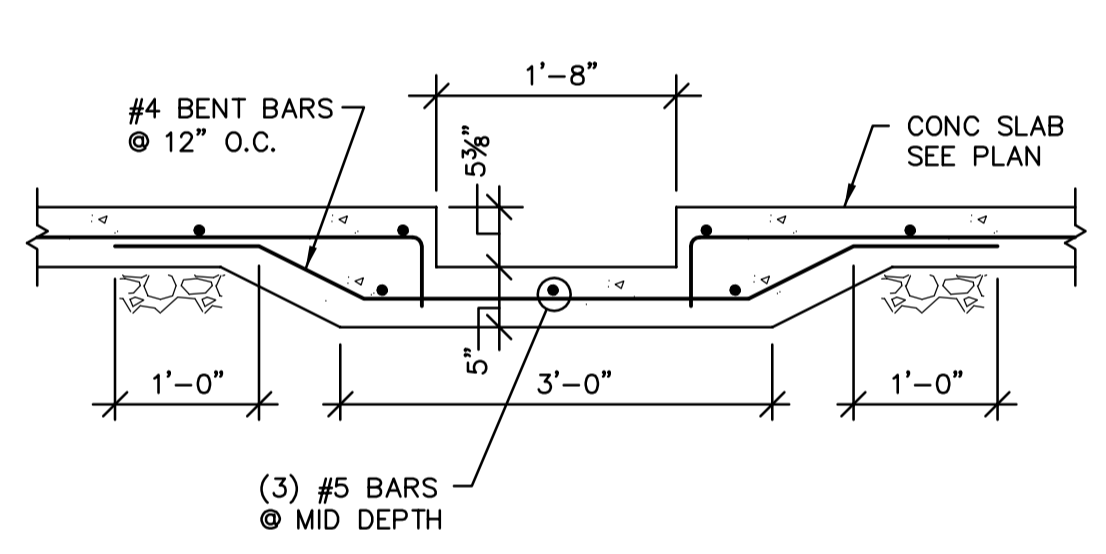
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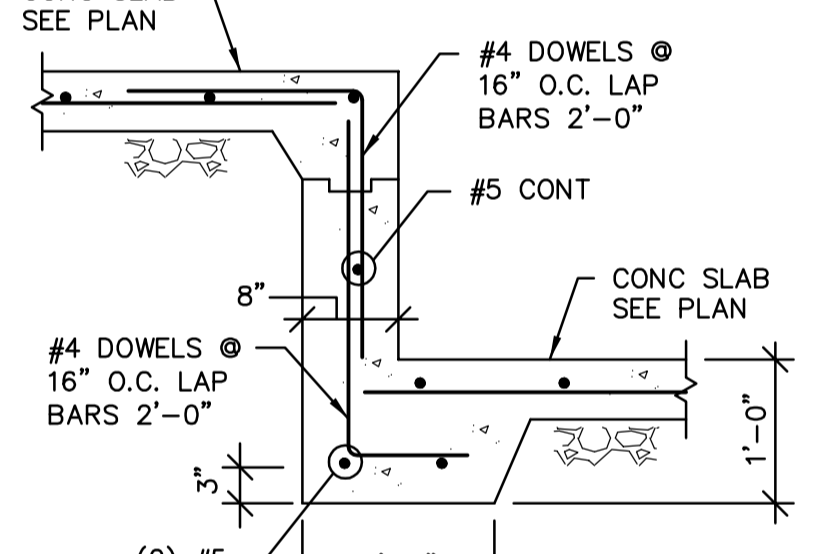
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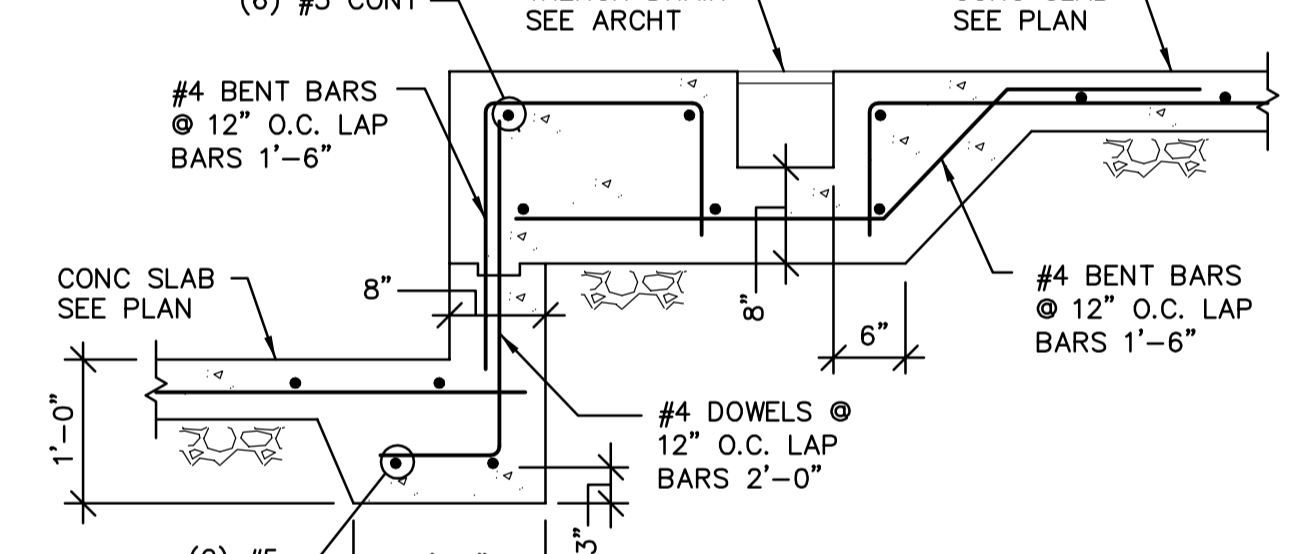
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12 SECTION
 N.T.S.



13 SECTION
 N.T.S.



14 SECTION
 N.T.S.

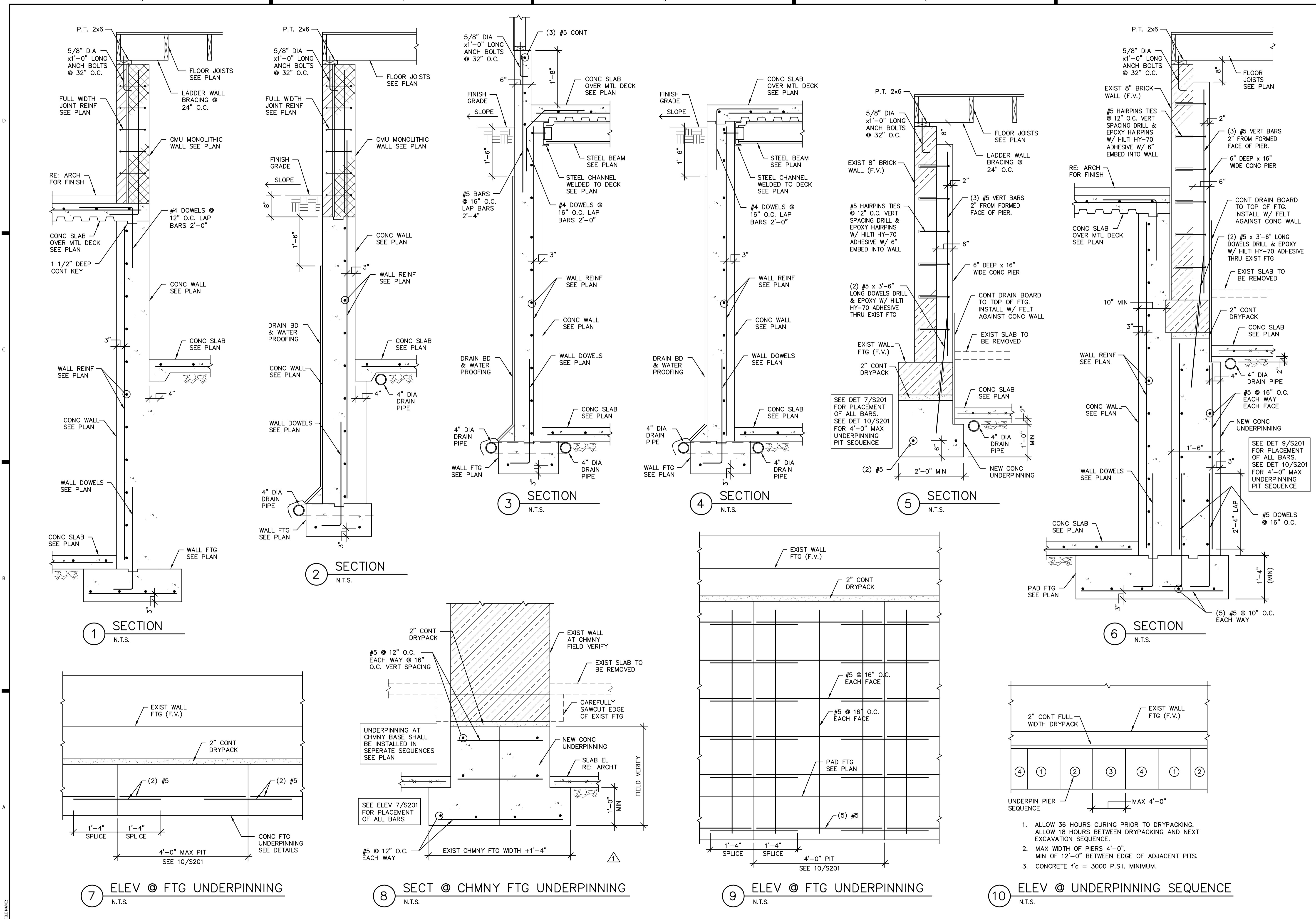
Seal

 Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-22
 Consultant
RADWAN ASSOCIATES, INC
 STRUCTURAL ENGINEER
 8609 WESTWOOD CENTER DR., SUITE 110
 VIENNA, VA 22182
 (703) 790-8435
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 KENSINGTON, MD 20895

Developer

PERMIT	08-16-2021
Issue Description	Date
RAI Project No.	RA-20-107
Checked By	GR
Drawn By	GR
Scale	1=16

Sheet Title
STRUCTURAL DETAILS
 Sheet No.
S200
 SHEET 5 OF 8
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PERMIT	08-16-2021

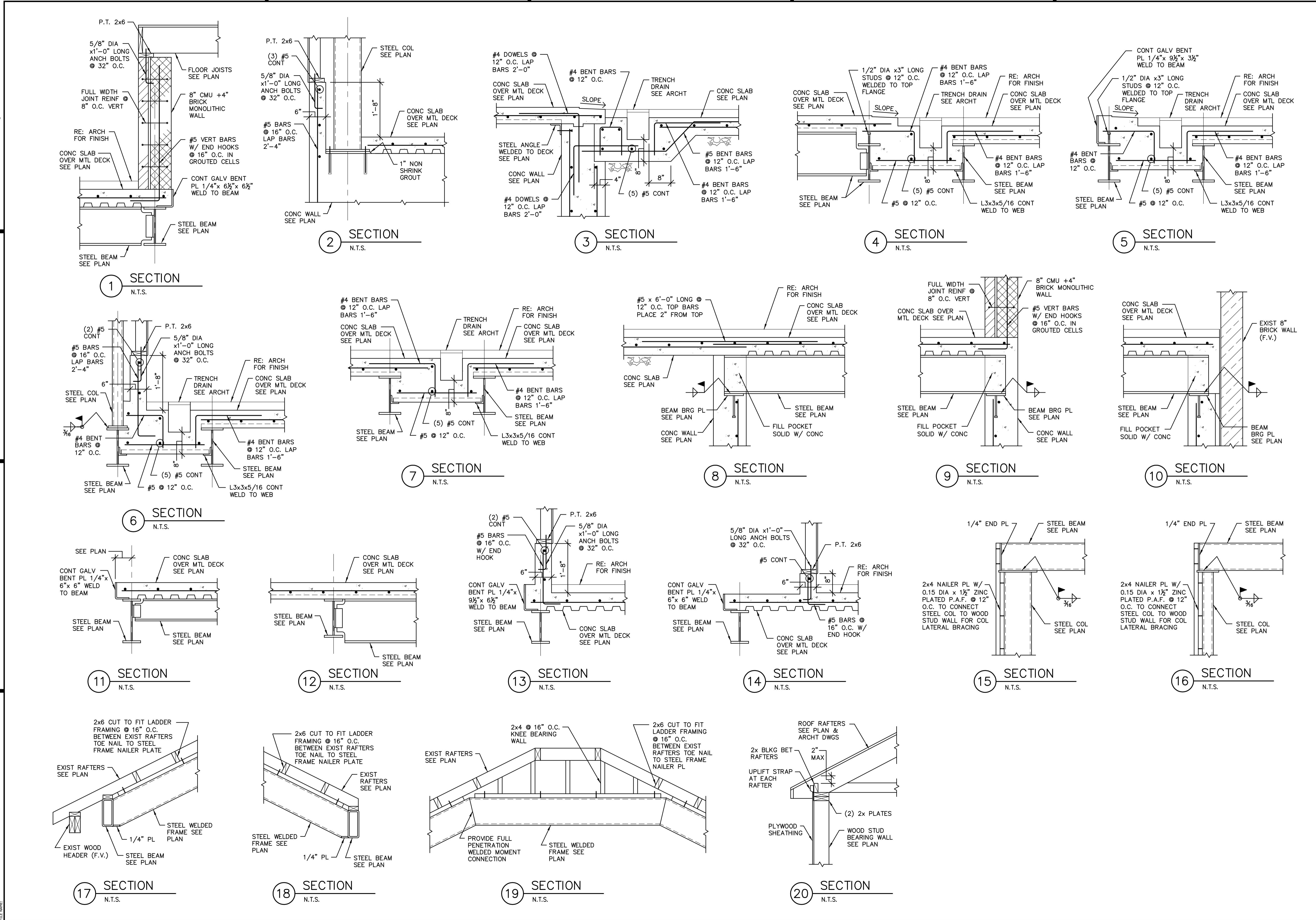
Issue Description	Date

RAI Project No.	RA-20-107
Checked By	GR
Drawn By	GR
Scale	1=16

Sheet Title
STRUCTURAL DETAILS

Sheet No.
S201

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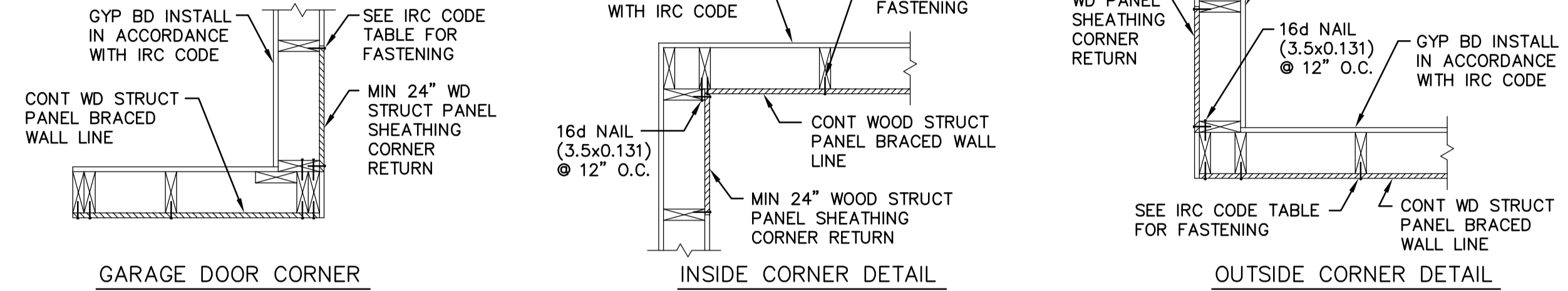
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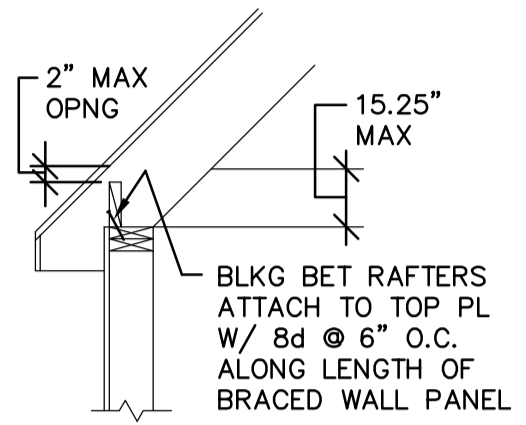
S202

SHEET 7 OF 8

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1 TYPICAL CORNER WALL BRACING DETAILS
N.T.S.



2 RAFTER CONNECTION DETAIL
N.T.S.

LEGEND	
	MIN REQ'D LENGTH (INCHES) OF BRACED WALL PANEL
	BRACED WALL PANEL TYPE
BRACED WALL PANEL TYPES	
	2x6 WD STUDS @ 16" O.C. W/ 7/16" OSB SHEATHING ON EXTERIOR. ATTACH SHEATHING TO STUDS W/ 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND @ 12" O.C. AT INTERMEDIATE SUPPORTS OR W/ 16 GA x1 3/4 STAPLES @ 3" O.C. AT PANEL EDGES AND @ 6" O.C. AT INTERMEDIATE SUPPORTS.
	2x6 WD STUDS @ 16" O.C. W/ 1/2" GYP BD EA SIDE. ATTACH GYP BD TO STUDS AT PANEL EDGES W/ NAILS OR SCREWS @ 7" O.C. INCL TOP & BOT PLATES. SEE IRC CODE TABLE FOR NAIL OR SCREW SIZES AND SPACING AT INTERMEDIATE SUPPORTS.
	CONT PORTAL FRAME PANEL CONSTRUCTION PER IRC CODE SEE ELEV 5/S301
	SIMPSON WOOD STRONG-WALL SHEAR WALL SEE FLOOR PLAN FOR SIZE, HEIGHT & TYPE. SEE SIMPSON SHEET S302 FOR MORE INFO.
	SIMPSON STEEL STRONG-WALL SHEAR WALL SEE FLOOR PLAN FOR SIZE, HEIGHT & TYPE. SEE SIMPSON SHEET S303 FOR MORE INFO.
	EXISTING 8" COMPOSITE MASONRY WALL CONSTRUCTION WITH FULL WIDTH BRICK TIE COURSES @ 32" O.C. VERT SPACING

1ST FLR BRACE WALL LINE MULT FACTOR 115 MPH WIND - EXPOSURE "B"		
EAST-WEST WALLS		MULT FACTOR
NO OF BRACED WALLS	2	1.0
EAVE-TO-RIDGE HT	5'	0.7
WALL HEIGHT	9'	0.95
TOTAL MULT FACTOR		1.0
NORTH-SOUTH WALLS		MULT FACTOR
NO OF BRACED WALLS	2	1.0
EAVE-TO-RIDGE HT	5'	0.7
WALL HEIGHT	9'	0.95
TOTAL MULT FACTOR		1.0

- NOTES:
- PROJECT LOCATED IS SEISMIC CATEGORY B.
 - BASIC WIND SPEED ≤ 115 MPH.
 - ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED.
 - BUILDING IS BRACED IN ACCORDANCE WITH THE IRC CODE.

BRACE PANEL LENGTH NOTES:

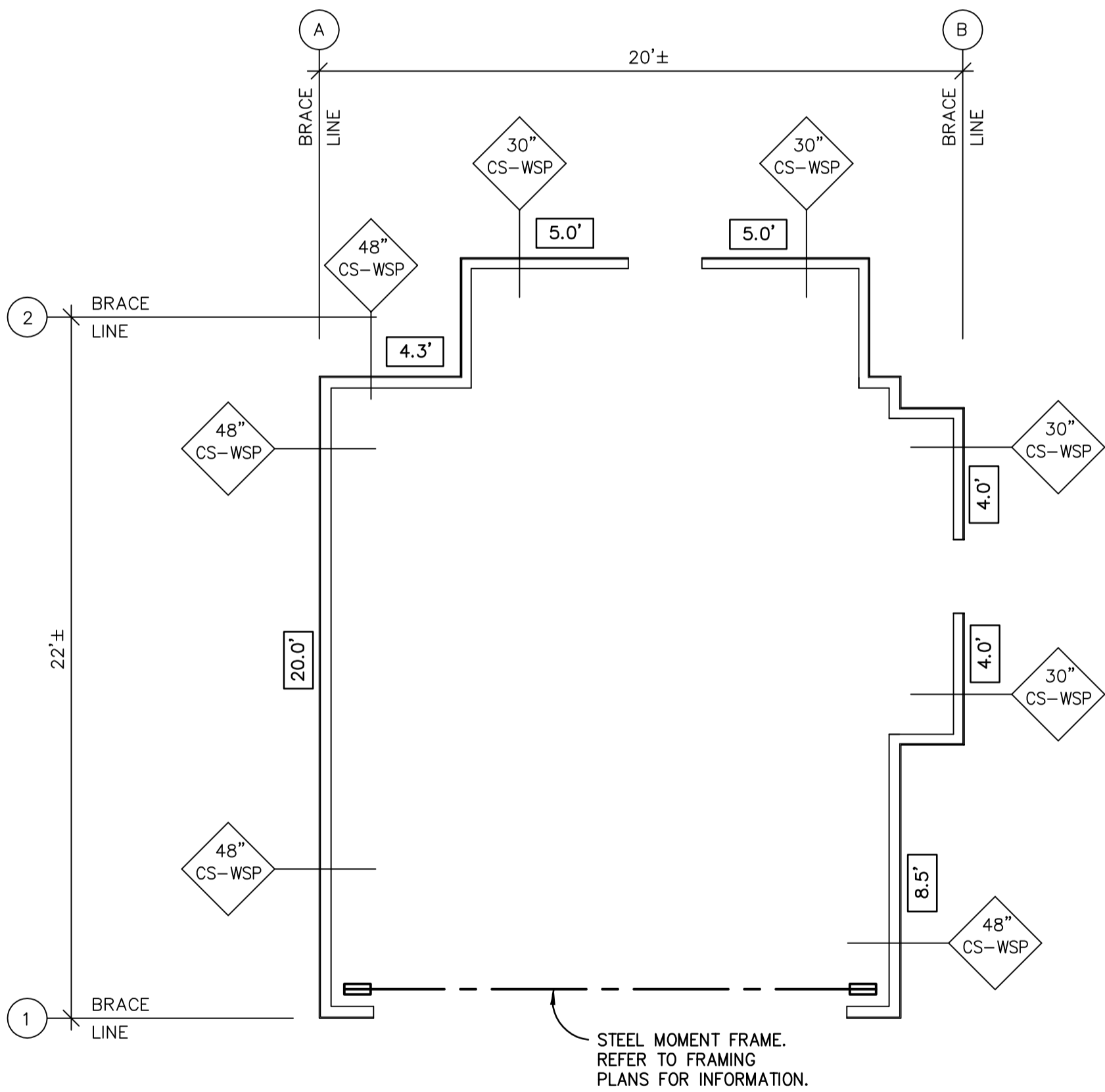
INDICATES TOTAL LENGTH OF PANEL

INDICATES MIN PANEL LENGTH REQ'D SEE SHEET S301

LENGTH CONVERSION WSP LENGTH = 0.5 x (GB) LENGTH
GB LENGTH = 2 x (WSP) LENGTH

WALL BRACING NOTES:

- REFER TO FRAMING PLANS FOR INFORMATION ON ADD'L PLYWOOD REQUIRED AT INTERIOR WALLS.
- REFER TO FRAMING PLANS FOR LOCATION OF PORTAL FRAME EXTENDED HEADERS TO BACK END OF WALL PANEL.
- REFER TO S301 FOR WALL BRACING INFORMATION, PANEL CONSTRUCTION & TYPICAL DETAILS.
- "HD" INDICATES HOLD DOWN ANCHOR, "ST" INDICATES TENSION STRAP REQUIRED AT THAT LOCATION. REFER TO FRAMING PLANS FOR INFORMATION.
- "SSW" INDICATES SIMPSON STRONG WALL SHEAR WALL PANELS. REFER TO FRAMING PLANS FOR INFORMATION.
- "SMF" INDICATES STEEL MOMENT FRAME. REFER TO FRAMING PLANS FOR INFORMATION.



3 ROOF BRACING PLAN
1/4"=1'-0"

1ST FLR TOTAL BRACE WALL LINE LENGTH 115 MPH WIND - EXPOSURE "B"				
BWL	MULT FACTOR	BWL SPACING	LENGTH REQ'D	LENGTH PROVIDED
①	1.0	22'	4'	SMF*
②	1.0	22'	4'	14'
(A)	1.0	20'	4'	20'
(B)	1.0	20'	4'	16.5

REFER TO S300 FOR WALL BRACING ADD'L INFO

SMF*: PROVIDED STEEL MOMENT FRAME. REFER TO FRAMING PLANS FOR INFORMATION.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-22

Consultant
RADWAN ASSOCIATES, INC
STRUCTURAL ENGINEER

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RADWANINC@AOL.COM

Project
**CASWELL-
DEICHMAN
GARAGE**

10221 MONTGOMERY AVENUE
KENSINGTON, MD 20895

Developer

PERMIT 08-16-2021

Issue Description Date

RAI Project No. RA-20-107

Checked By GR

Drawn By GR

Scale 1=48

Sheet Title

**WALL BRACING
PLANS & DETAILS**

Sheet No.
S300
SHEET 8 OF 8

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January 01/23/2023

Ms. Lauren Ibarra
GTM Architects
7735 Old Georgetown Road
Bethesda, MD 20814

RE: 10221 Montgomery Avenue
Kensington, MD 20895
Permit #: 936313

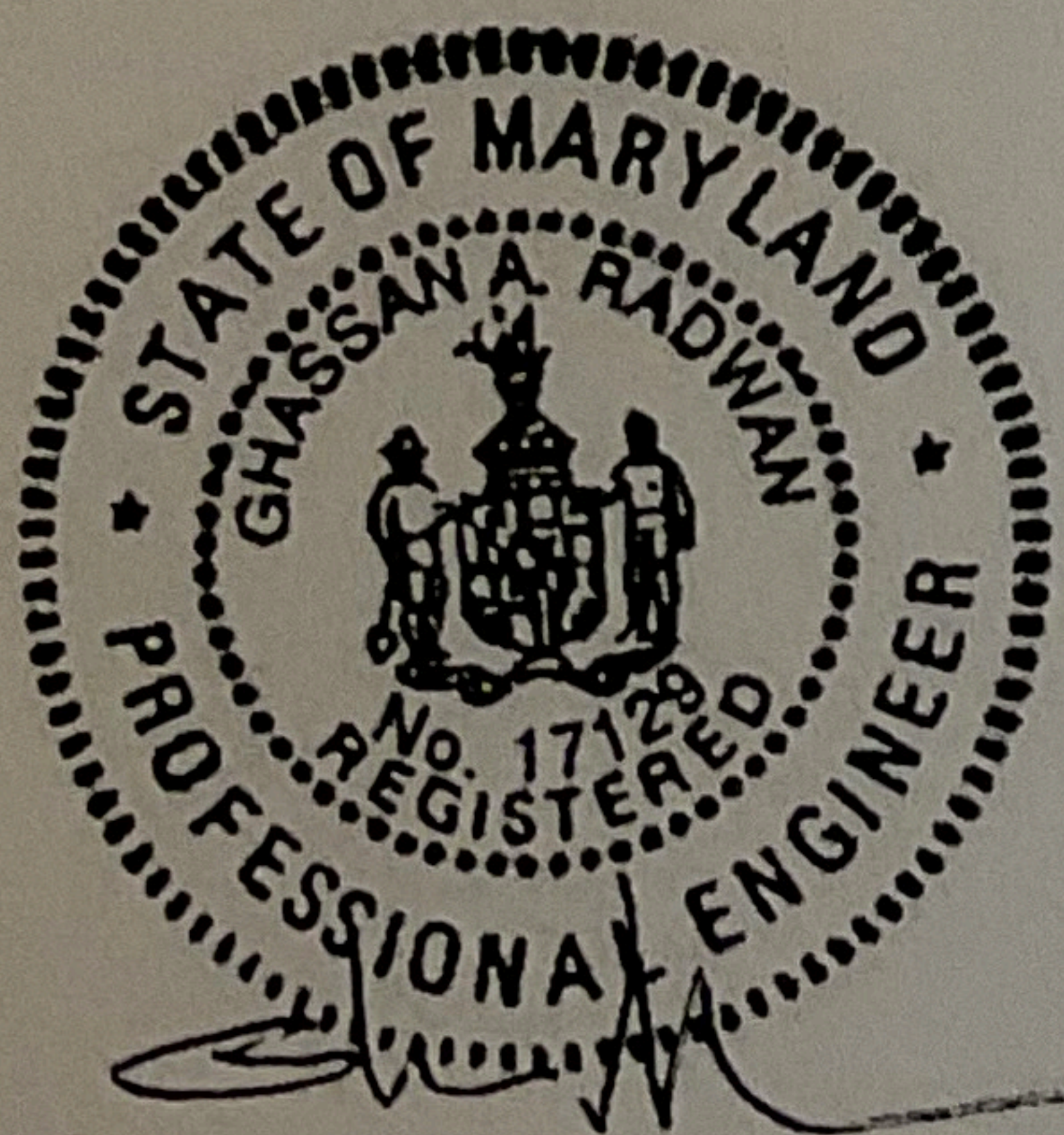
Dear Ms. Ibarra:

At the general contractor's request, and as the structural engineer of record on the project, we visited the site of the referenced project on December 13th, 2022. The purpose of the visit was to review the as-built garage wall framing, above ground steel framing, and the garage roof framing above the ground floor deck.

The result of our review indicated that the as-built garage wall framing, above ground steel framing, and the garage roof framing are structurally adequate and are in compliance with the structural drawings and the subsequent revisions. The as-built garage framing is capable of supporting the design loading requirements for the project.

Sincerely,

Gus Radwan, P.E.







Way To Go
KENSINGTON BUCKS!
10 JFKs
and still going STRONG!
Duke #1234 Duke #1210 John #111

