

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10212 Montgomery Ave., Kensington	<b>Meeting Date:</b>	6/14/2023
<b>Resource:</b>	Primary One Resource <b>Kensington Historic District</b>	<b>Report Date:</b>	6/7/2023
<b>Applicant:</b>	Warner Circle Mansion Condominiums, LLC (Karl Voglmayr, Agent)	<b>Public Notice:</b>	5/31/2023
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	partial
<b>Permit No.:</b>	1032588	<b>Staff:</b>	Dan Bruechert
<b>PROPOSAL:</b>	Comprehensive Rehabilitation, Partial Demolition, Sitework, and New Construction		

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**STAFF RECOMMENDATION**

Staff recommends the HPC approve with **eight (8) conditions** the HAWP application with final approval of all details delegated to staff:

1. The window replacements in the historic mansion shall be wood windows. They may be simulated divided light windows provided the windows have permanently affixed exterior and interior grilles and a spacer bar between the glass to recreate the appearance of the historic wood windows. Final approval authority to review the window replacements have satisfied this condition is delegated to Staff.
2. The proposed Hardie shakes in the building addition are too thin to be an appropriate substitute material. A thicker fiber cement shake or wood shake shall be installed with at least a ½” reveal;
3. The half-round louver in the north-facing gable on the carriage house shall not be replaced with a single-lite window. Revised drawings showing the retention of this louver shall be submitted with the final permit drawings;
4. The proposed replacement Box Batten roofing system is not compatible with the character of the carriage house’s historic standing seam metal roof. A traditionally assembled or compatible standing seam metal roof system shall be submitted with the final permit drawings; and,
5. The railing design for the exterior rear stairs of the carriage house was not included in the submitted materials. A compatibly designed wood railing shall be submitted with the final permit drawings.
6. To mitigate the loss of the nine trees on site, nine trees need to be planted. If the site cannot accommodate these trees, Staff recommends the applicant provide the trees to the Town of Kensington to be planted on Town property.
7. Approval of this HAWP does not extend to the solar panels on the carriage house’s south elevation. A new HAWP that includes all of the specifications needs to be submitted for future consideration.
8. Staff finds removing the wood board and batten siding on the carriage house and replacing it with fiber cement siding inappropriate. Revised permit drawings shall show repaired or replaced wood board and batten siding for the carriage house cladding. Final approval authority to verify the condition has been satisfied is delegated to Staff.



## **APPLICABLE GUIDELINES**

### ***Kensington Historic District Guidelines***

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Vision of Kensington: A Long-Range Preservation Plan***

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

### ***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation, and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unstate conditions or health hazards be remedied; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interest of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### ***Secretary of the Interior's Standards for Rehabilitation:***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

### **STAFF DISCUSSION**

The subject property is generally known as the Warner Manor (or Warner Mansion) and historically served as Brainard Warner's - the developer of Kensington – summer house. The house, an ornate Queen Anne house with an L-shaped plan and a large tower, is sited in the middle of Warner Circle Park. The grade drops away from the house to the east, south, and west. Several years after the house was constructed, a carriage house was built to the south of the manor. The applicant proposes a full site rehabilitation including; rehabilitating and constructing an addition to the historic manor house, rehabilitating the carriage house, and other site work and hardscaping for the property's new use.

When the HPC heard the Preliminary Consultation, the Maryland Historical Trust held an easement on the property. That easement was extinguished this spring by the Maryland General Assembly and a state review is no longer required for the project. There were four (4) archaeological features identified in the Phase I investigation included in the materials submitted for the preliminary consultation. The site work has been modified so that these four features are outside the limits of disturbance and will not be impacted by the proposed work.

### **Building Rehabilitation**

In 2006, Montgomery Parks acquired the subject property to preserve the historic landscape and mansion house and redevelop the property at a later date. Before Park's ownership, the manor house operated as an assisted living facility with a large non-historic addition (*Figure 2*). The addition, which was constructed before the Kensington Historic District was established, was demolished more than 15 years ago. The interior of the subject property was divided into multiple small rooms to meet the needs of the residents of the facility.



*Figure 2: 2012 Google StreetView image of the now-demolished addition.*



*Figure 3: Warner Manor showing the large non-historic addition (2012) in the yellow rectangle.*

The alterations to the historic mansion are driven by two factors: deferred maintenance and changes necessary for the property to function as a multi-family condominium.

### *Siding*

The L-shaped Queen Anne mansion house has a mix of clapboard and shingle siding with a slate shingle roof. The windows are a mix of historic and replacement multi-lite sash windows. The existing HVAC system is inadequate for the proposed use.

The applicant proposes to remove the existing wood clapboard and shingle siding, install a vapor barrier and rain screening, and then reinstall the clapboards and install new cedar shingles. Staff finds wholesale removal of the existing siding is likely unnecessary, but recognizes that there are areas of water infiltration and that the proposed work will not result in a visual or material change to the historic property. Staff recommends the HPC approve the siding repair and replacement under 24A-8(b)(1) and (2) and Standard 6. This work is eligible for the county historic preservation tax credit.

### *Roofing*

Significant signs of water infiltration are evident in the historic house. Additionally, on the roof itself, slates are damaged or missing, and the metal flashing has substantially corroded. The applicant proposes to remove the existing slate roof, install new flashing and batting, and reinstall salvageable slates. New natural slate shingles will be installed where necessary. Staff finds this work constitutes a repair or replacement in-kind and does not require the HPC's approval. This work is eligible for the County historic preservation tax credit.

### *Windows*

The existing windows are a mix of historic and replacement multi-lite sash and casement windows in a variety of conditions. The applicant provided a window survey documenting the condition of the windows at the Preliminary Consultation, but the discussion did not cover the topic. The applicant proposes to rehabilitate the eight (8) historic two-over-one sash windows on the first floor, identified below, and remove and replace the remaining 100 (one hundred) windows with aluminum clad wood windows in matching configurations. Of the 100 (one hundred) windows proposed for removal, approximately less than one-third of the windows potentially date from the original construction. The remaining two-thirds of the extant windows are replacements, boarded-up openings, or have had louvers installed in the existing casing. The window survey shows that all of the historic windows have dry rot, deteriorated exterior trim, have been painted shut, and/or are missing pieces.



*Figure 4: The north elevation with the retained historic windows labeled.*



*Figure 5: The east elevation with the historic windows to be retained labeled.*

Staff finds the eight historic windows that are being repaired with interior storms is work eligible for the County historic preservation tax credit and does not require the HPC's approval. Based on the window survey and Staff's observations at an extensive site visit, Staff finds that the building's deferred maintenance and period of vacancy have left the windows in poor condition. The window survey did not quantify the amount of deterioration on each window and a more in-depth window-by-window evaluation may be desirable, however, Staff finds approving the window removal can be justified under 24A-8(b)(3) and (6). Staff does not find aluminum-clad wood windows to be an appropriate material to replace the historic and existing wood windows. Standard 6 requires, "Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence." In this application, for the most architecturally significant building in the Kensington Historic District, Staff finds a contemporary wood window can be manufactured to accurately recreate the profiles of the historic wood windows. Staff finds a simulated divided light window with permanently affixed exterior and interior grilles and a spacer bar between the glass is sufficient to recreate the appearance of the historic windows and recommends the HPC adds a condition to the approval of this HAWP that the replacement windows in the historic mansion need to be wood windows with final approval authority is delegated to Staff to ensure conformance with the characteristics described above.

#### *Doors*

No historic exterior doors remain at the mansion. The applicant proposes to replace the existing doors with wood doors in a variety of configurations. Most of the doors will be half-lite doors with either two, six, or nine lites in the upper half. Staff finds the proposed doors are compatible with the character of the house and are manufactured from appropriate materials. Staff recommends the HPC approve the new doors under 24A-8(b)(2).

#### *Basement Alterations*

The applicant proposes to construct several residential units in the basement of the historic mansion. To

satisfy code requirements, the applicant will need to excavate light wells and expand existing basement window openings. Staff finds the proposed light wells will not have a significant impact on the character of the house or the surrounding historic district and recommends the HPC approve the proposed light wells under 24A-8(b)(2). Additionally, adjacent to the proposed addition connector, discussed below, the applicant proposes to excavate an areaway for the exterior HVAC units. These units will be installed below grade and will not be visible from the public right-of-way. Staff finds this is an appropriate location for these units and recommends the HPC approve the new HVAC under 24A-8(b)(2).

### *Stairway*

The final change proposed for the historic house is a new rear stairway that projects approximately 8' (eight feet) beyond the rear wall. The stairway is necessary to provide egress from the upper floors to satisfy code requirements, and the interior is too narrow to achieve a stair run that satisfies code. The roof will match the slate roofing. The note on the elevation drawing states the exterior will be "parged to match existing," however, the existing siding is clapboards that were installed c.2006 when the non-historic addition was demolished and the rear elevation was restored.. The new rear doors will be a pair of wood twelve-lite doors. This elevation was reconstructed to its historic appearance after the non-historic addition was demolished

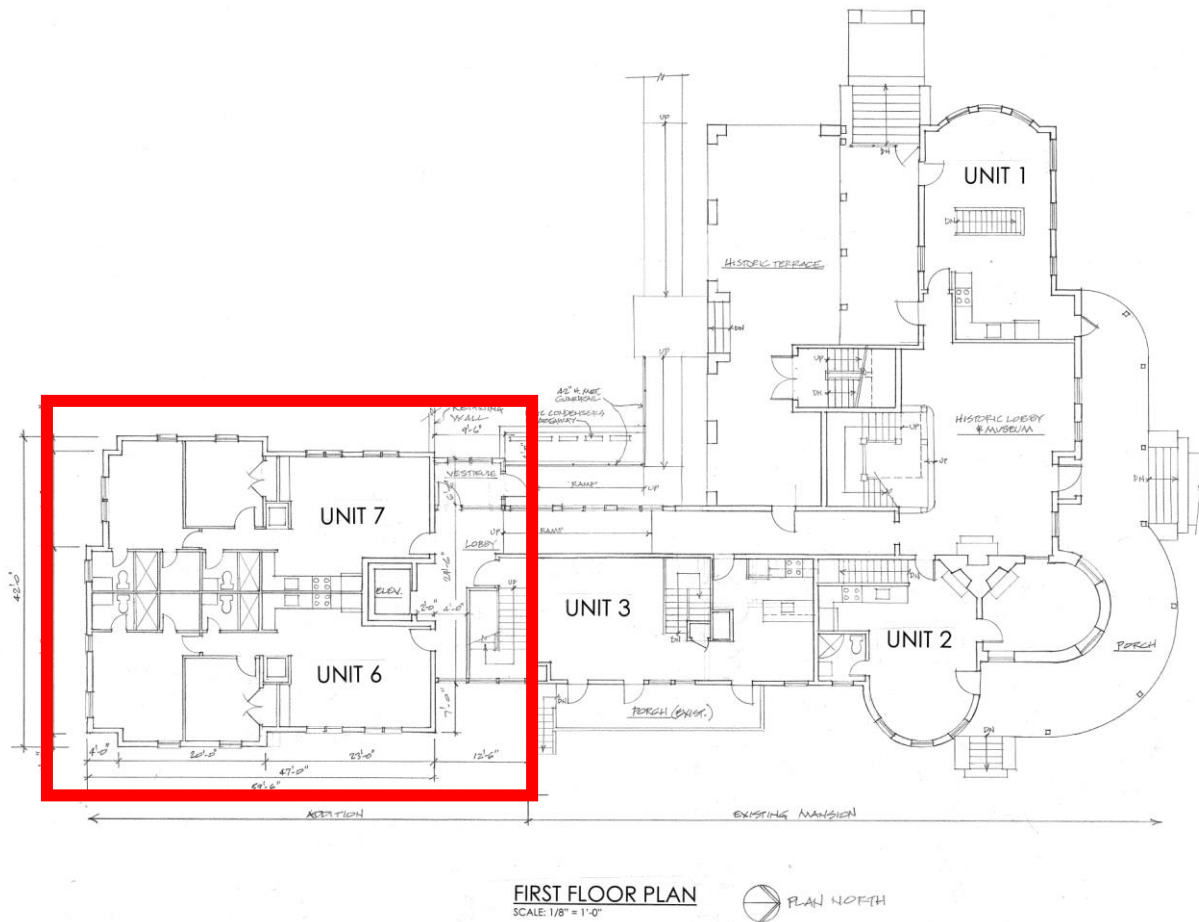
Staff finds the proposed stairway will not impact any historic fabric, because the rear elevation is a restoration. Staff finds the parged (i.e. stucco) exterior will help to differentiate the stairway from the historic construction, per Standards 9 and 10. Staff additionally finds the proposed stairway is required to make the third-floor occupiable under life and safety requirements and recommends the HPC approve the stairway under 24A-8(b)(4).

### **Building Addition**

The applicant proposes to construct a building addition that is separated from the historic building by a flat-roofed hyphen. The addition will be constructed off of the southern end of the south L. Six residential units, a stairway, and an elevator will be constructed in the addition and hyphen. The addition measures 59' 6" × 42' (fifty-nine feet, six inches by forty-two feet) and will be 40' 6" (forty feet, six inches) tall, several feet lower than the historic house's rear-facing gable. Because the grade slopes away from the house, more of the addition's foundation is exposed than is typical in the historic house.

Materials proposed for the addition include fiber cement clapboards and shingles, composite trim, slate roof, clad wood windows, and wood doors. The hyphen roof, which is not visible from any public vantage point, is a membrane roof. Staff finds these materials – with one exception – are compatible with the character of the house and surrounding district. Because of their narrow profile (only ¼"), Staff does not find the proposed Hardie shakes are a compatible substitute for wood shakes. Staff recommends the HPC add a condition to the approval of this HAWP that the approval does not extend to the Hardie shakes and that either a thicker fiber cement shake with a minimum 1/2" (one-half inch) thickness or wood shakes need to be installed on the building addition with final approval authority delegated to Staff.





*Figure 6: Proposed house floor plan with the proposed addition outlined in red.*

The addition proposed in this HAWP is consistent with the submission discussed at the Preliminary Consultation. The HPC was unanimous in finding the size, scale, massing, and placement were compatible with the character of the house and surrounding district. The most significant revisions to the addition are to the hyphen piece. The design submitted at the Preliminary Consultation was a largely glass hyphen with an aluminum frame. Several Commissioners expressed concerns that the hyphen appeared too commercial and encouraged the applicant to revise the design so it had a more residential appearance. The revised hyphen has fiber cement clapboards with sash windows at the stair landings. The hyphen's west elevation is comprised of four pairs of sash windows on each floor.



Figure 7: The east elevation of the proposed addition showing the revised hyphen design.

Staff finds the proposed addition is consistent with the HPC's feedback in size, scale, massing, placement, materials, and design. The HPC also recognized that because Warner Mansion is visible in the round, any addition would be visible from the public right-of-way; and it is more important to retain the house's historic outline.

Staff recommends the HPC approve the addition under 24A-8(b)(2) with the added condition that the proposed fiber cement shakes are too thin to be an appropriate replacement and a thicker fiber cement shake or wood shakes need to be used.

### Site Work

The site has two egress points and a circular driveway. The primary access is from the north and provides direct access to the front door, the other is in the southeast corner of the lot and provides access to both the carriage house and the main house. The driveways vary in width from 14' – 20' (fourteen to twenty feet). Much of the parking shown in the 2012 aerial photograph (*Figure 3*) has been removed.

Many of the proposed hardscape and site plan changes are required under county code. For example, fire code requires the driveways to be a minimum of 20' (twenty feet wide). Other changes are necessary to satisfy stormwater management requirements including bioretention areas and drywells. The largest change, however, is to the overall paving on-site required by the new parking areas. Working clockwise, to the east of the house, the applicant proposes to construct a 12-car parking lot edged with pavers, with lights to illuminate the parking area. To the southeast of the carriage house, there is a 3-car parking area; with a 3-car parking area to the west of the carriage house; additionally, the paving in front of the carriage house will be removed and replaced with pressed concrete. To the east of the house, the applicant proposes to install an additional seven spaces. These spaces provide access to the ADA ramp that runs along the south side of the historic house. The revised hardscaping plan removed five parking spaces from the site plan presented at the Preliminary Consultation (now proposing 25 parking spaces on-site)

and reoriented the parking lot to the east of the house to reduce the total amount of paving.

Staff finds the new areas of paving are significant. However, the parking areas are located so that they do not interfere with the primary views of the historic manor house. Staff also recognizes that parking minimums are determined by the zoning ordinance and there may not be flexibility with the total number of spaces provided. The simply designed Lumark Prevail series lights will be installed on black aluminum poles to illuminate the parking areas. Staff finds the light size and design are appropriate and the lights will not detract from the character of the site or historic building. The height of the poles was not included in the submitted specifications, but County code limits the maximum height to 30' (thirty feet).

The site plan shows the applicant proposes to remove nine trees larger than 6" d.b.h. Four trees are located adjacent to the southeast site entrance. The widened driveway, required by code, will impact the critical root zone of these trees and if they are not removed, will likely die as a result of the added weight of the driveway. Two trees are located to the immediate west of the carriage house are located where the proposed power pad will be to the west of the carriage house. A tree is located to the south of the carriage house along Carroll Place. Another tree to the southwest of the house will be impacted by the expanded driveway and new drainage culvert. The last tree is immediately to the east of the proposed addition. Staff finds there is a clear need to remove eight of the trees (the reason for removing the tree to the south of the carriage house was not provided). While Staff supports removing the proposed trees, the HPC frequently requires some tree re-planting on site to mitigate the tree loss. Staff recommends the HPC add a condition to the approval of this HAWP that to mitigate the loss of the nine trees on site, nine trees need to be planted. If the site cannot accommodate these trees, Staff recommends the applicant provide the trees to the Town of Kensington to be planted on town land.

### **Archaeological Survey**

The applicant completed the Phase I archaeological investigation to identify potential project impacts on significant archaeological resources within Warner Circle Park. The consultant conducted an intensive program of shovel testing that recovered a limited number of artifacts. The applicant modified the site plan and limits of disturbance to avoid any impact on the identified areas.

In consultation with the Montgomery Parks archaeologist, no outstanding concerns remain about the impacts the proposed building addition or associated site work will have on any archaeological resources.

### **Carriage House Rehabilitation**

The carriage house, constructed in 1914, is located to the south of the mansion. The carriage house is a large rectangular building, with a side gable roof, and board and batten wood siding. The applicant proposes a full building rehabilitation to construct two residential units and a fitness center in the building. The rehabilitation consists of removing the existing windows, doors, siding, and roof. Additionally, the rear stairs and porch will be reconstructed to comply with the existing code. Elevation drawings include a proposed solar array on the south roof slope; however, specifications for the panels were not included. Staff recommends the HPC include a condition to the HAWP approval that the approval does not extend to the proposed solar installation and requires the applicant to submit a new HAWP application covering the proposed solar.

The carriage house has suffered from significant deferred maintenance. The windows and doors show evidence of rotting and water infiltration. Much of this damage is evident in a 2006 photo in Staff files (*Figure 6*). Several window and door openings have been removed and boarded up in the intervening years, though there still appear to be several original windows. Because half of the carriage house was unconditioned from the time of its construction, many of the windows have suffered more degradation than the windows in the historic mansion house. The applicant proposes to remove all of the window and door openings on the carriage house and replace them. The proposed windows will be multi-lite

aluminum clad wood windows in a mix of sash and casement configurations. In most instances, the new windows will match the configuration of the existing ones. The applicant proposes to convert two louvered openings (the rectangular attic openings on the east elevation and the half-round attic louver on the north elevation) into windows. The doors will be replaced with new wood doors matching the configuration of the existing ones.

Staff finds the existing windows and doors on the carriage house have deteriorated substantially; with a majority having deteriorated beyond reasonable repair. Staff additionally finds the proposed aluminum clad windows with permanently affixed interior and exterior grids, with interior spacer bars are compatible in size, design, and materials with the existing wood windows. Staff finds that the aluminum-clad windows are appropriate in this instance because, as an accessory structure, the carriage house is subservient to the historic house and historically has maintained a lower level of detail and finish. Staff finds the proposed twelve-lite sash window proposed in the attic of the east elevation is generally consistent with the window openings found throughout the carriage house. However, Staff finds installing a picture window in place of the front-facing gable louver (labeled window 'C125a') is incompatible with the character or design of the historic carriage house and recommends the HPC adds a condition that the louver is retained. Additionally, the space behind this louver will not be occupied, so a window is not necessary to satisfy code requirements. Staff finds the proposed wood doors (both carriage house-style and residential doors) match the existing in size, configuration, and materials and are in-kind replacements.



*Figure 8: Photo of the carriage house from 2006.*



*Figure 9: 2023 image of the carriage house.*

Above the poured concrete foundation, the carriage house is covered in board and batten siding. The siding, like much of the rest of the carriage house, has suffered from deferred maintenance and shows signs of rot and warping in locations. The applicant proposes to remove all of the existing siding, insulate the building, and install fiber cement board and batten siding.

Staff concurs with the applicant's assessment that the board and batten siding has deteriorated beyond repair. Staff generally does not support removing historic siding and installing fiber cement in its place. There are several factors to consider in the current siding proposal. First, is the building's significance. While the carriage house is large and is embellished to complement the mansion, its purpose is to serve the function of the historic mansion (discussed above). The second consideration is the building's character. The carriage house was designed as a utilitarian building to house horses and their feed; and later vehicles. Providing housing for a caretaker and/or driver was likely a secondary consideration. The building's use is likely a driver in selecting the board and batten siding because it was easy to install, easy to maintain, and easy to replace. Fourth, Staff considers the integrity of the design and materials. While the board and batten siding has deteriorated beyond repair, the integrity of the structure's design is intact. Staff finds wood board and batten siding would replicate the carriage house's appearance and materials. Additionally, as a vertical surface, the wood siding will not have the same material durability issues that a wood porch deck experiences. Finally, Staff notes that the historic wood siding is being removed on the historic mansion house so insulation and a vapor barrier can be installed. Staff finds no reason why the same treatment is not appropriate for the historic carriage house. Staff recommends the HPC add a condition to the HAWP approval to require the replacement siding on the carriage house to be wood. Final approval to verify the approval has been satisfied is delegated to Staff.

The existing roof is a painted standing seam metal roof. The roof was most recently painted sometime after 2006 when it was acquired by Montgomery Parks. The applicant proposes to remove the existing roof and replace it with a Box Batten roof, a metal roof constructed of panels with "batten caps" to secure the panels to one another. The proposed "batten caps" measure 1 1/2" x 1 1/2" (one and one-half inch square). No information about the treatment of the ridge cap or any trim pieces was included in the submitted information.

Staff finds the roof does not show the same level of degradation as the windows/doors and walls. However, Staff supports replacing the roof under the same justification as replacing the siding, discussed above. Staff does not find the proposed Box Batten roof to be a compatible replacement for the standing seam roof. This is primarily because the batten caps are square, which will make the roof appear more massive than its current appearance. Additionally, the roof will require a sizable ridge cap piece which will further add to the roof mass and profile. Staff finds a traditionally constructed metal roof would be preferable, but other roofing systems have seam profiles that more closely mimic the existing roof design. Staff recommends the HPC add a condition for approval that does not approve the proposed roof and delegates final approval authority for a compatible new metal roof to Staff.

The final change the applicant proposes to the carriage house is removing the exterior rear stairs and replacing them with a new, code-compliant, set of wood stairs and railing. The stairs will be constructed in the same location in the same configuration. The submitted materials do not include the details for a railing.

Staff finds the existing stairs are not an architecturally significant feature and their removal will not have a substantial impact on the resource. Staff additionally finds the proposed pressure-treated wood stairs are an appropriate material and will result in an appearance that is generally consistent with the current appearance. Staff recommends the HPC delegate final approval authority to Staff to approve a compatible railing for the replacement stairs.

## STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application **with eight (8) conditions:**

1. The window replacements in the historic mansion shall be wood windows. They may be simulated divided light windows provided the windows have permanently affixed exterior and interior grilles and a spacer bar between the glass to recreate the appearance of the historic wood windows. Final approval authority to review the window replacements have satisfied this condition is delegated to Staff.
2. The proposed Hardie shakes in the building addition are too thin to be an appropriate substitute material. A thicker fiber cement shake or wood shake shall be installed with at least a ½” reveal;
3. The half-round louver in the north-facing gable on the carriage house shall not be replaced with a single-lite window. Revised drawings showing the retention of this louver shall be submitted with the final permit drawings;
4. The proposed replacement Box Batten roofing system is not compatible with the character of the carriage house’s historic standing seam metal roof. A traditionally assembled or compatible standing seam metal roof system shall be submitted with the final permit drawings; and,
5. The railing design for the exterior rear stairs of the carriage house was not included in the submitted materials. A compatibly designed wood railing shall be submitted with the final permit drawings.
6. To mitigate the loss of the nine trees on site, nine trees need to be planted. If the site cannot accommodate these trees, Staff recommends the applicant provide the trees to the Town of Kensington to be planted on Town property.
7. Approval of this HAWP does not extend to the solar panels on the carriage house’s south elevation. A new HAWP that includes all of the specifications needs to be submitted for future consideration.
8. Staff finds removing the wood board and batten siding on the carriage house and replacing it with fiber cement siding inappropriate. Revised permit drawings shall show repaired or replaced wood board and batten siding for the carriage house cladding. Final approval authority to verify the condition has been satisfied is delegated to Staff.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), (4), (6), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the Kensington Historic District and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at Staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.

Adjacent and Confronting Properties:

Kensington, MD 20895

10211 Montgomery Avenue

10209 Montgomery Avenue

10207 Montgomery Avenue

10205 Montgomery Avenue

10203 Montgomery Avenue

10209 Hadley Place

10104 Hadley Place

10202 Carroll Place

10204 Carroll Place

10206 Carroll Place

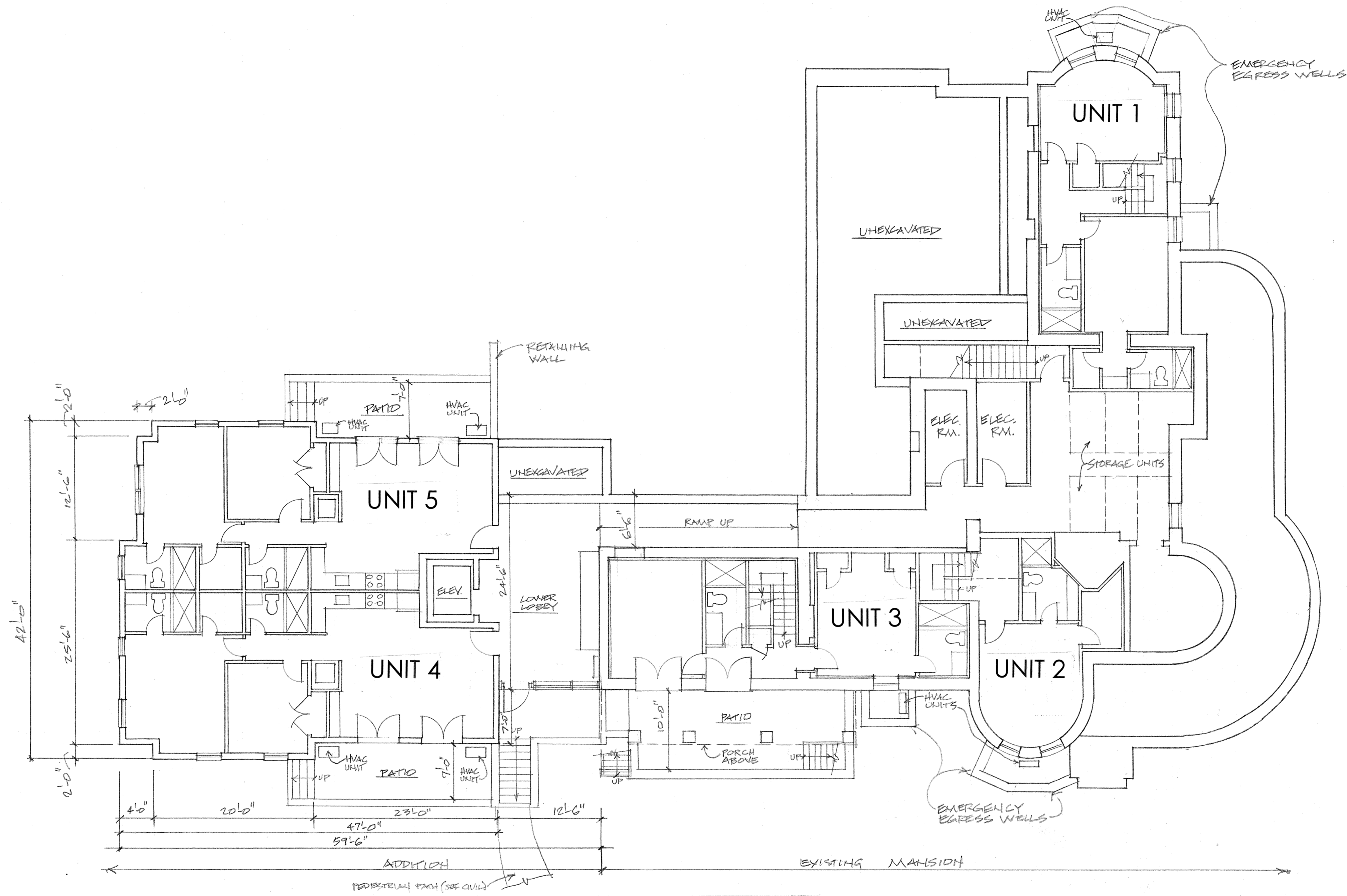
10208 Carroll Place

10210 Carroll Place

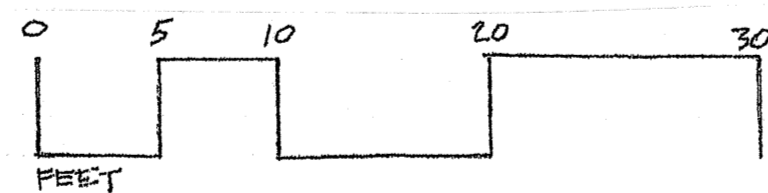
10212 Carroll Place

10214 Carroll Place

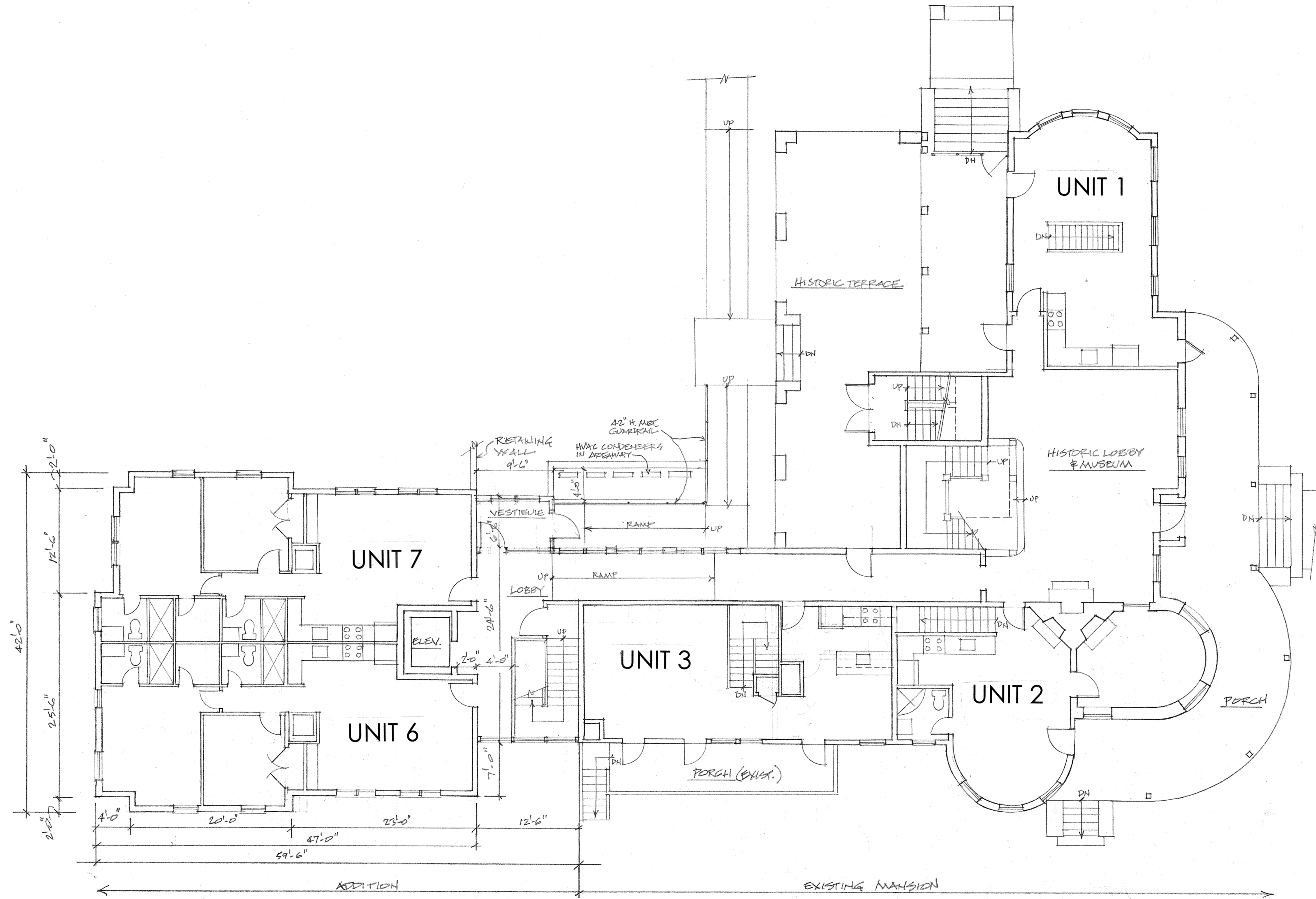




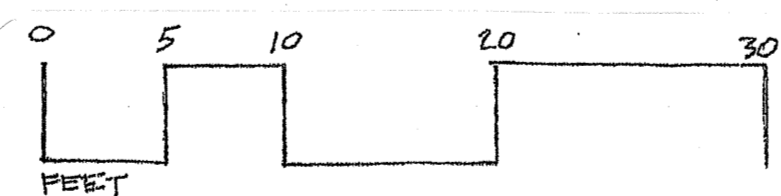
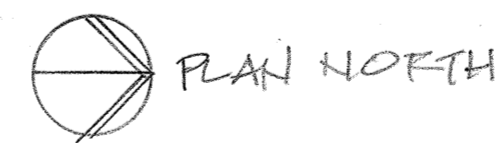
**BASEMENT LEVEL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



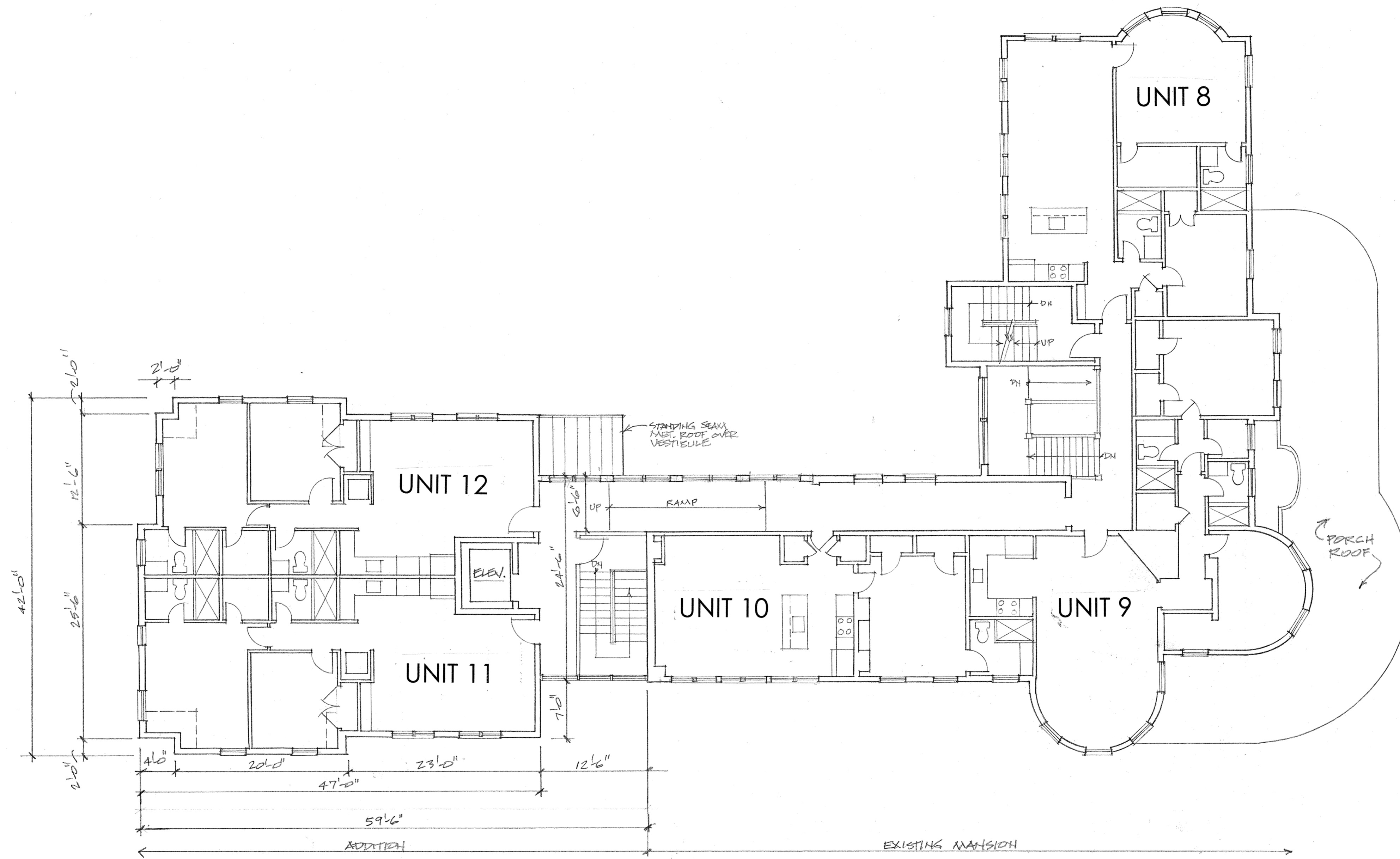
SHEET NUMBER: <b>A100</b>	REVISIONS: 5/2/23 FOR HFC REVIEW	DATE: 3-31-23
	WARNER MANSION RENOVATION AND ADDITION 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com	
PROJECT NUMBER: 2218	BASEMENT LEVEL PLAN - MANSION # ADDITION	



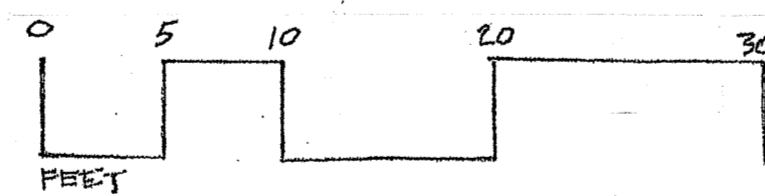
**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



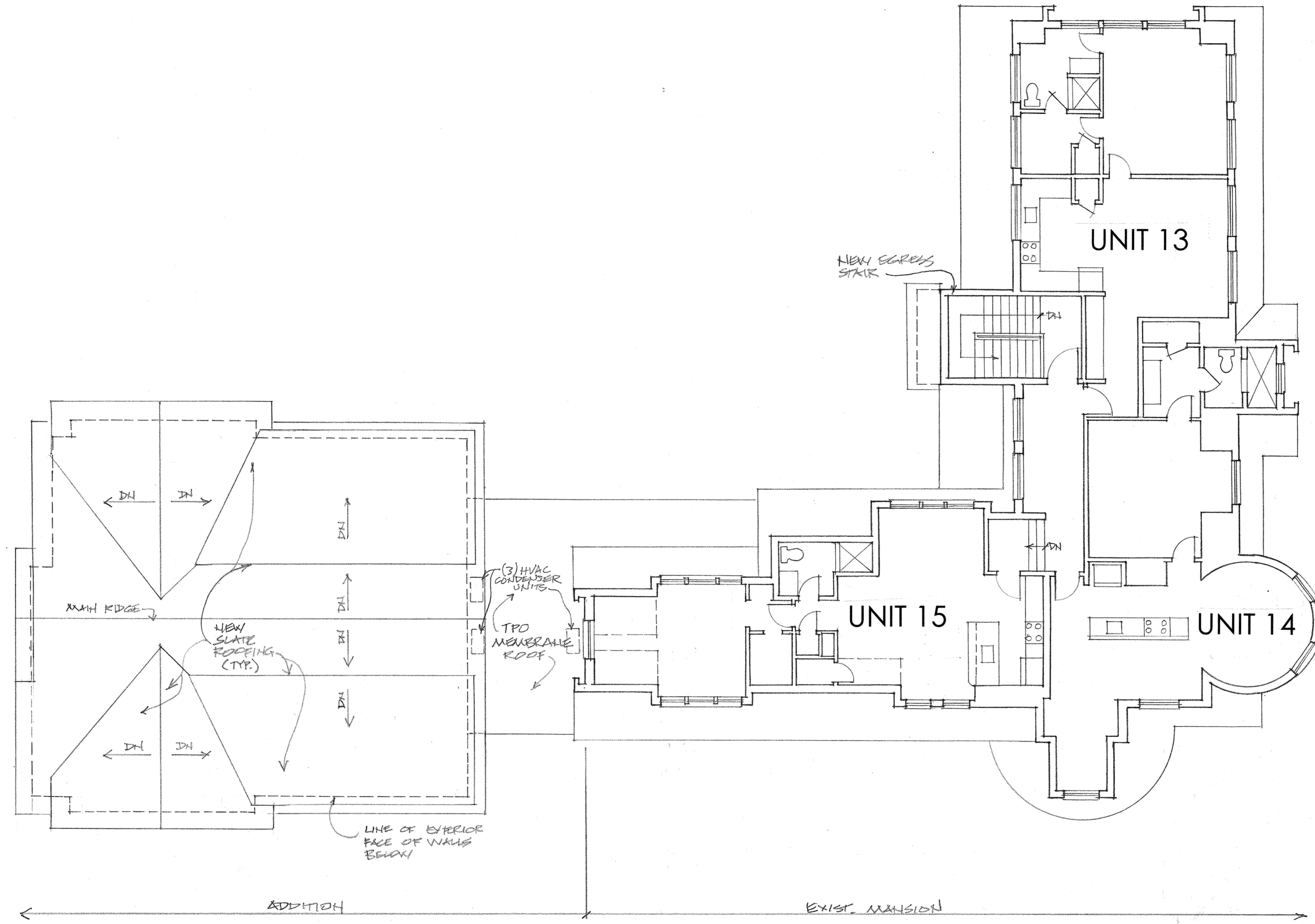
SHEET NUMBER: <b>A101</b>	WARNER MANSION RENOVATION AND ADDITION 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com	REVISIONS: 5/15/23 - EOL MTR: JAV/MLV
PROJECT NUMBER: 2218	FIRST FLOOR PLAN - MANSION ADDITION	DATE: 3-31-23



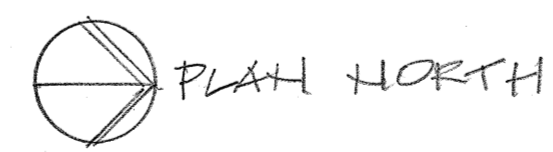
**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



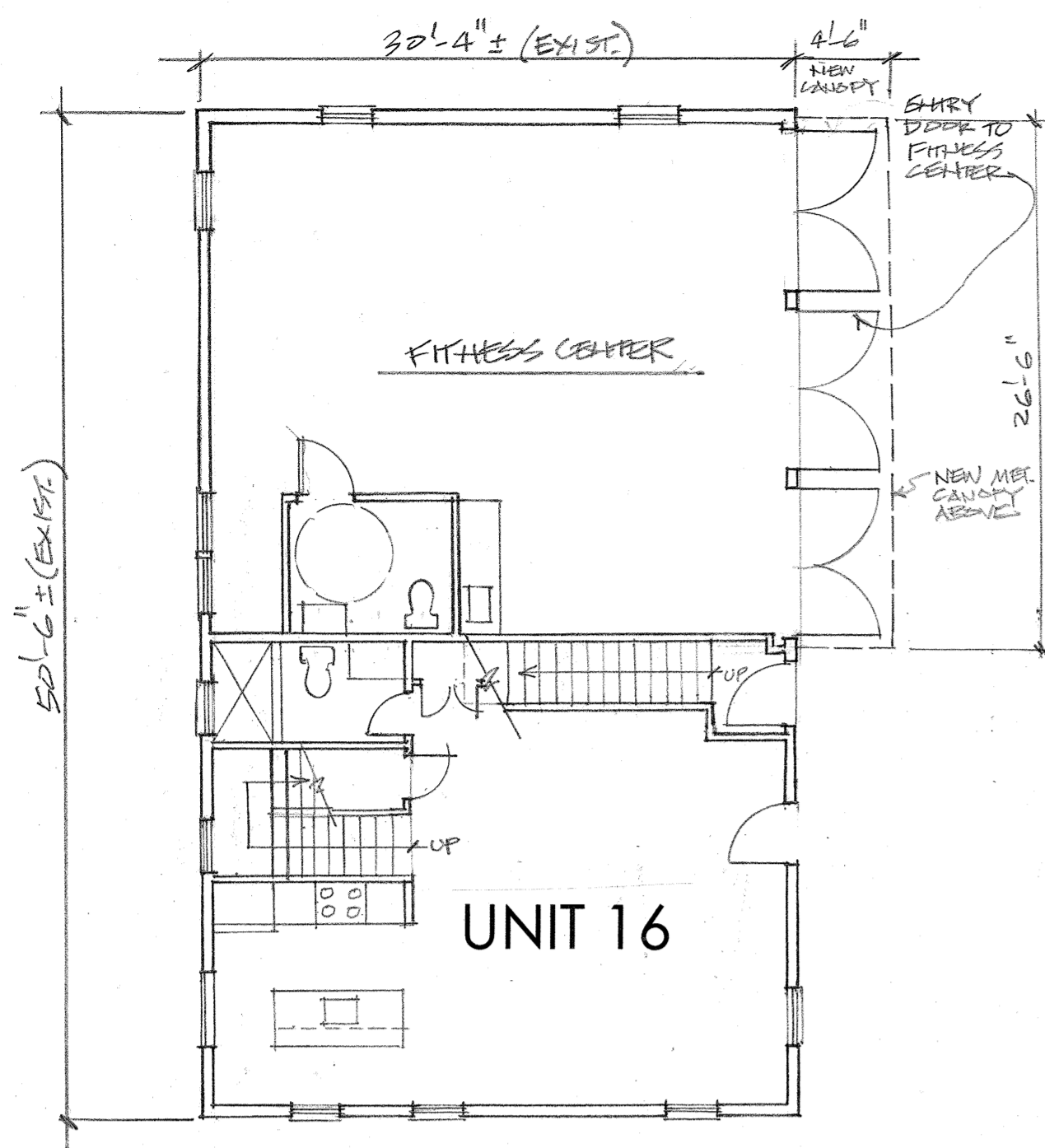
SHEET NUMBER: <b>A102</b> PROJECT NUMBER: 2218	WARNER MANSION RENOVATION AND ADDITION 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002    mansions@aol.com	REVISIONS: E/P FOR A/E REVIEW DATE: 3-31-23
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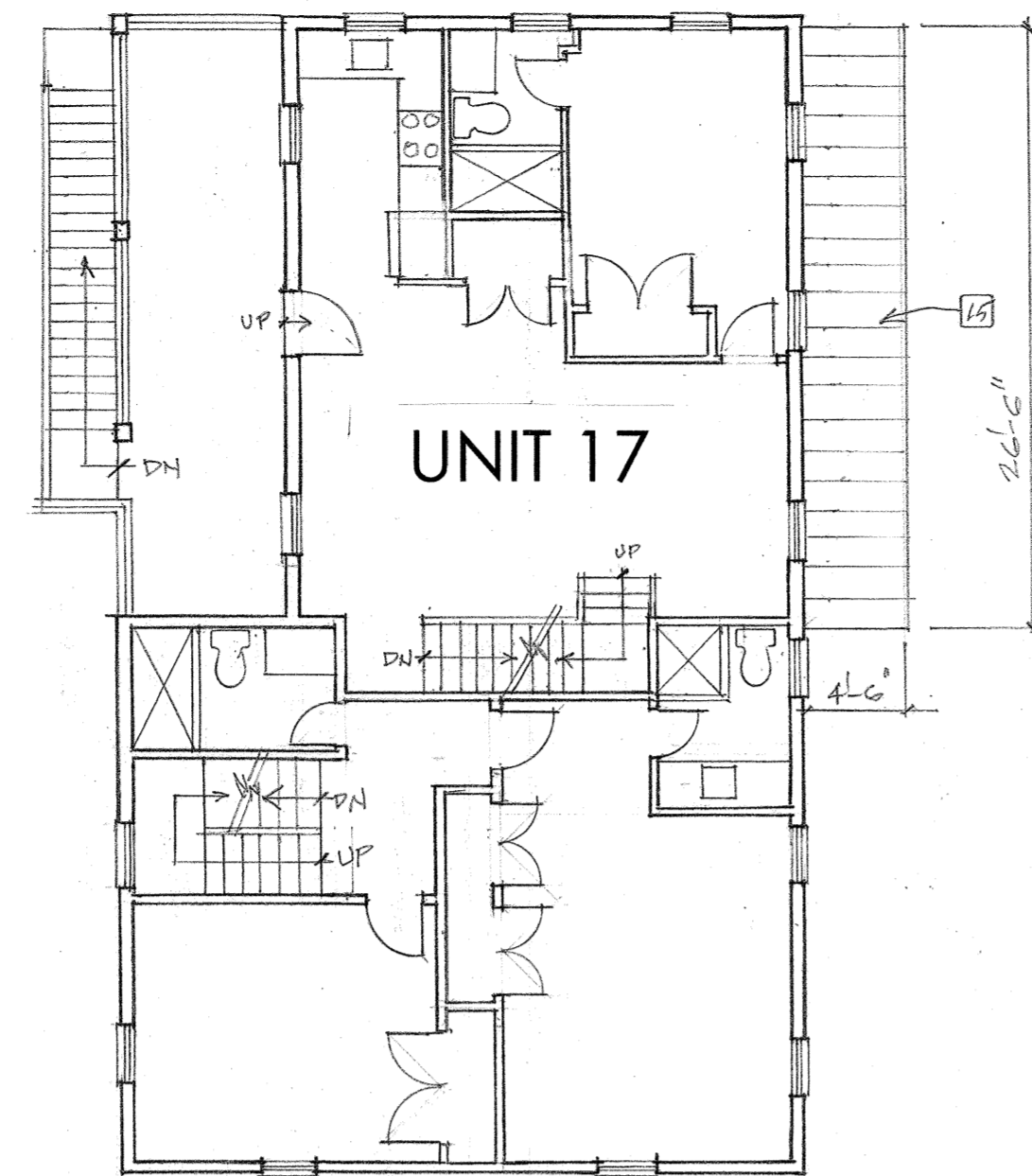
**THIRD FLOOR/ROOF PLAN**  
SCALE: 1/8" = 1'-0"



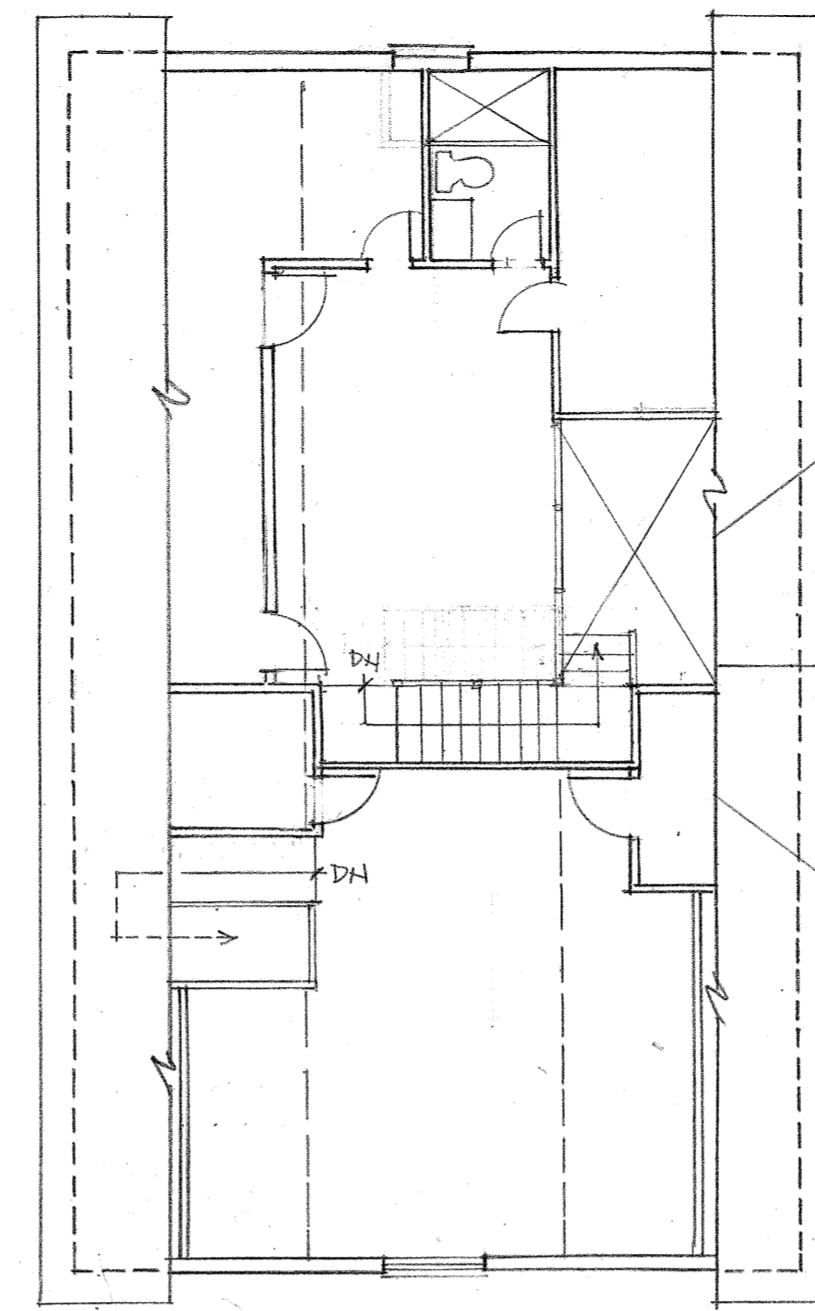
SHEET NUMBER: <b>A103</b> PROJECT NUMBER: 2218	WARNER MANSION RENOVATION AND ADDITION 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002    morrisarc@aol.com	REVISIONS: 5/21/02 - RFP 4/11/02 - 10/11/02	DATE: 3-31-23
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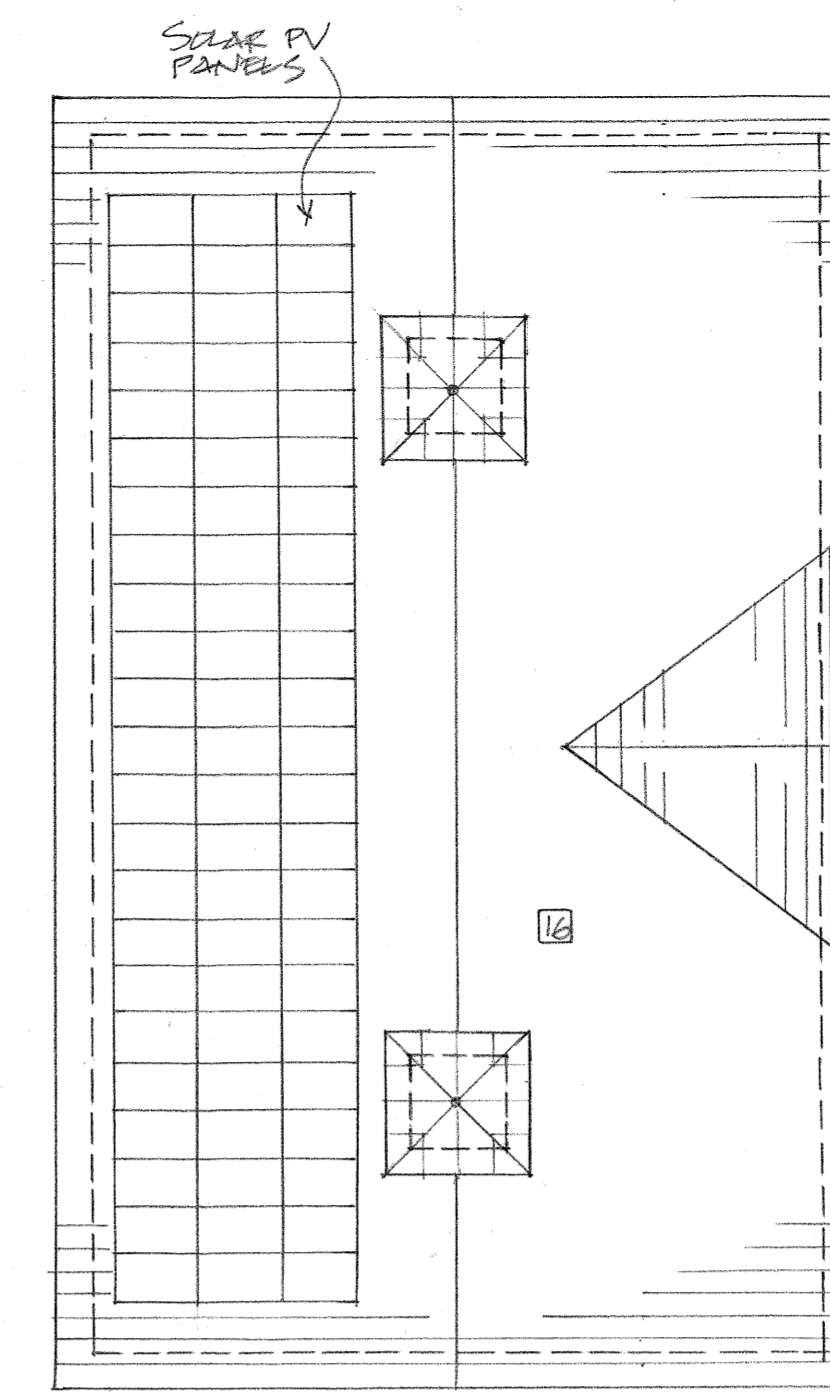
**CARRIAGE HOUSE FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE LOFT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

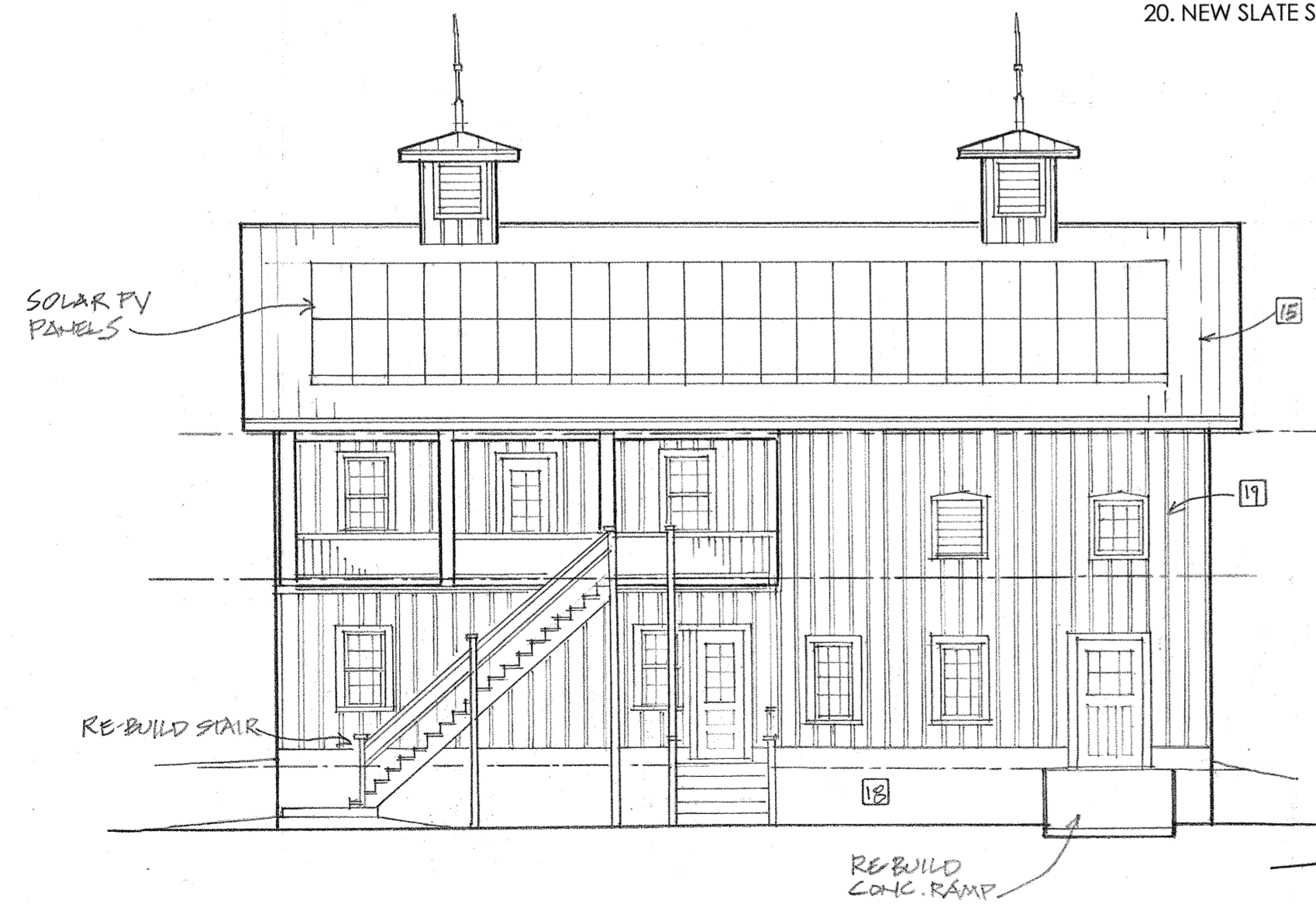
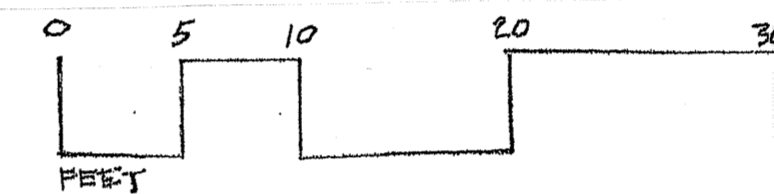


**CARRIAGE HOUSE ROOF PLAN**  
SCALE: 1/8" = 1'-0"

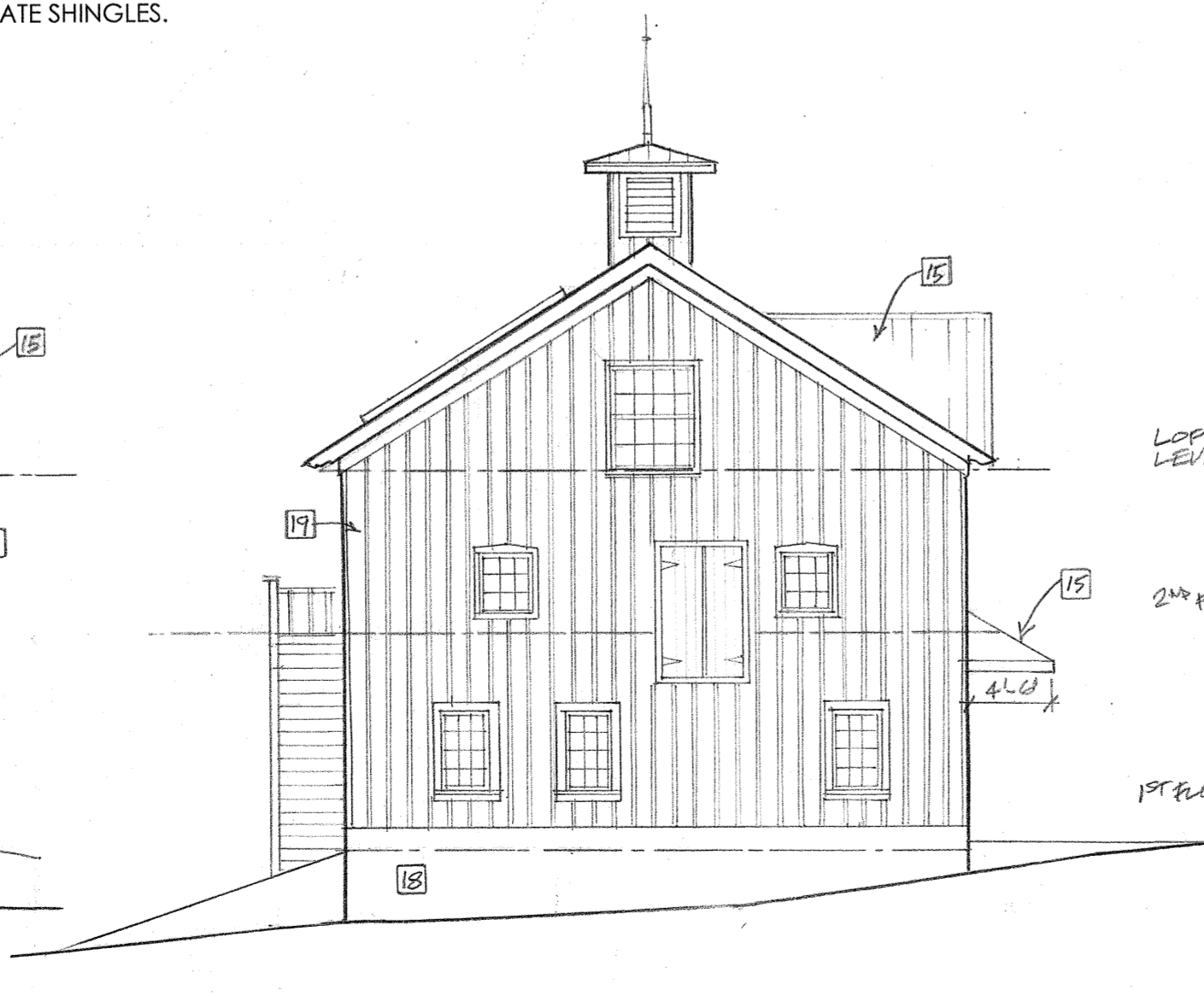


**KEYED NOTES**

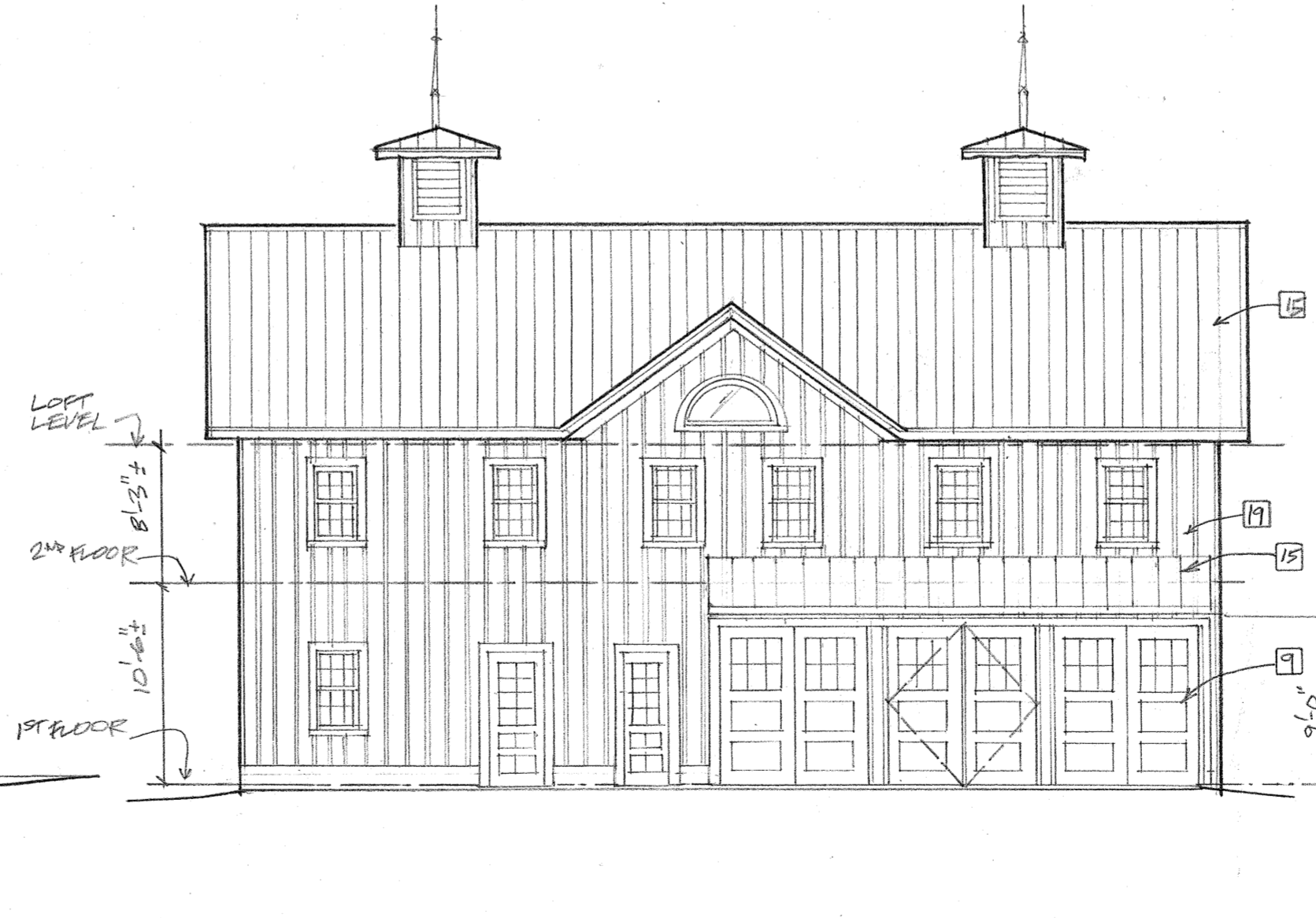
1. RESTORE STONE STEPS
2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS RELACEMENT OF BROKEN OR MISSING TILES.
5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
7. NEW STAIR TOWER FOR EGRESS COMPLIANCE.
8. ADD NEW LIGHTNING ROD, WIRE, GLASS.
9. CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING.
10. RESTORE GUTTER AND D.S.
11. HARDIE CEMENT BOARD SIDING, 5" EXPOSURE TO MATCH EXISTING.
12. HARDIE CEMENT BOARD SHAKES, 5" EXPOSURE TO MATCH EXISTING.
13. COMPOSITE TRIM BOARD.
14. RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION.
15. STANDING SEAM METAL ROOFING.
16. FLAT SEAM METAL ROOFING.
17. FIXED WINDOW SYSTEM WITH METAL WINDOW FRAMES.
18. PARGING TO MATCH EXISTING.
19. BOARD & BATTEN SIDING.
20. NEW SLATE SHINGLES.



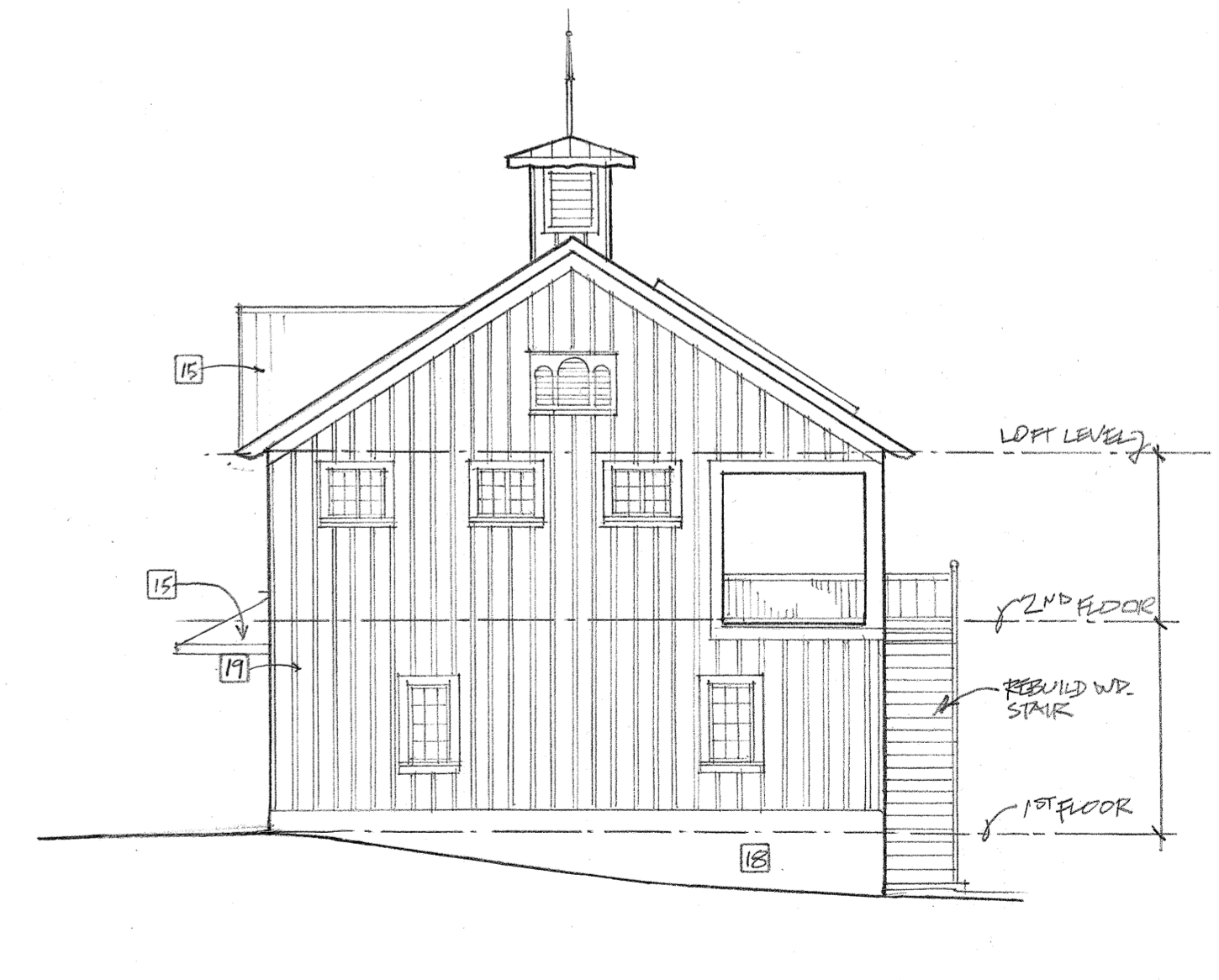
**CARRIAGE HOUSE SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

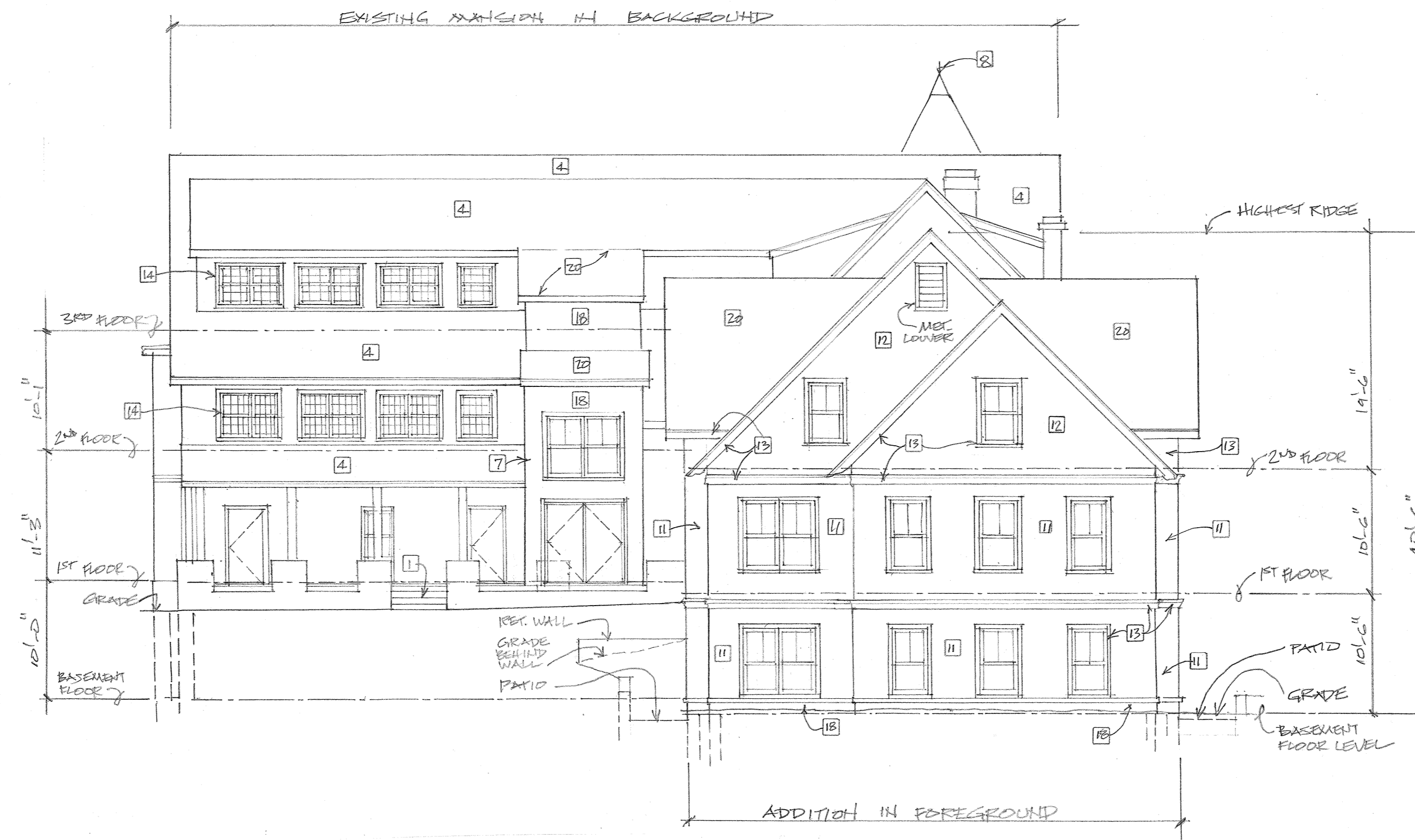


**CARRIAGE HOUSE WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

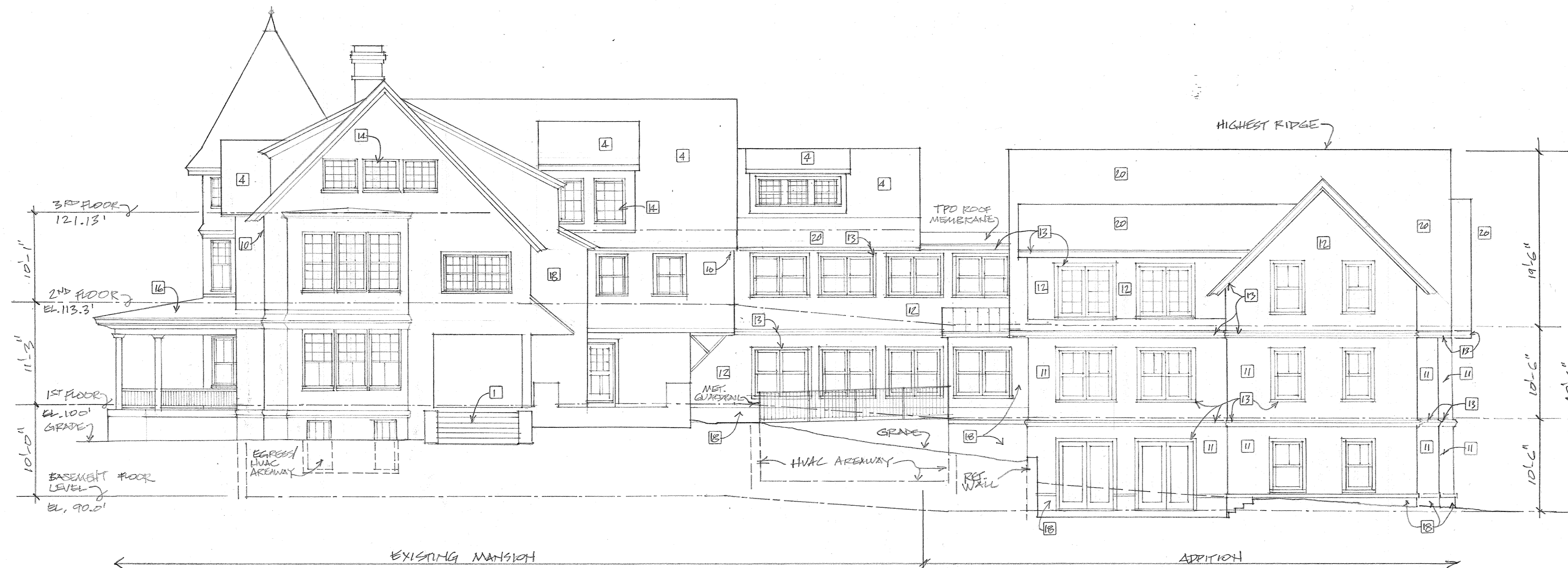
SHEET NUMBER: <b>A104</b>	REVISIONS:	DATE: 3-31-23
	WARNER MANSION CARRIAGE HOUSE RENOVATION 10226 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-927-1002 morrisarc@aol.com	
PROJECT NUMBER: 2218	CARRIAGE HOUSE PLANS & ELEVATIONS	

KEYED NOTES

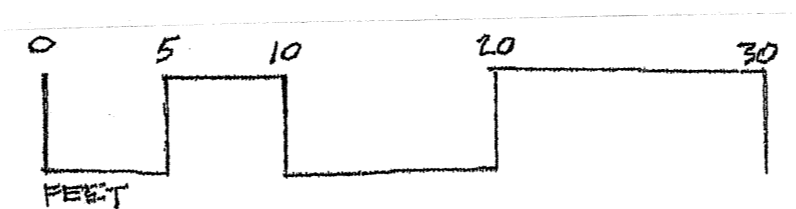
1. RESTORE STONE STEPS
2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS RELACEMENT OF BROKEN OR MISSING TILES.
5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
7. NEW STAIR TOWER FOR EGRESS COMPLIANCE.
8. ADD NEW LIGHTNING ROD, WIRE, GLASS.
9. CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING.
10. RESTORE GUTTER AND D.S.
11. HARDIE CEMENT BOARD SIDING, 5" EXPOSURE TO MATCH EXISTING.
12. HARDIE CEMENT BOARD SHAKES, 5" EXPOSURE TO MATCH EXISTING.
13. COMPOSITE TRIM BOARD.
14. RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION.
15. STANDING SEAM METAL ROOFING.
16. FLAT SEAM METAL ROOFING.
17. FIXED WINDOW SYSTEM WITH METAL WINDOW FRAMES.
18. PARGING TO MATCH EXISTING.
19. BOARD & BATTEN SIDING.
20. NEW SLATE SHINGLES.



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



REVISIONS:  
5/17/23 FOR  
HPC REVIEW  
DATE:  
5/17/23

WARNER MANSION RENOVATION AND ADDITION  
10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895  
MORRIS ARCHITECTS  
13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878  
TEL: 301-527-1002 morrisarc@aol.com

SHEET NUMBER:  
**A200**  
PROJECT NUMBER:  
2218

WEST and SOUTH ELEVATIONS

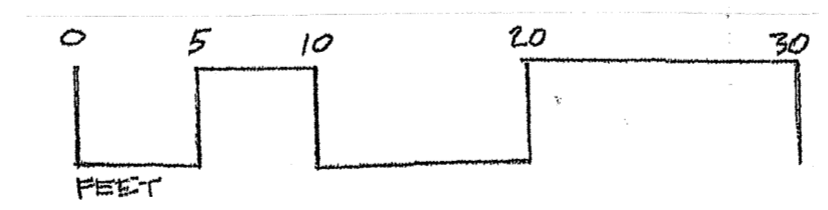


**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

- KEYED NOTES**
1. RESTORE STONE STEPS
  2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
  3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
  4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS REPLACEMENT OF BROKEN OR MISSING TILES.
  5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
  6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
  7. NEW STAIR TOWER FOR EGRESS COMPLIANCE.
  8. ADD NEW LIGHTNING ROD, WIRE, GLASS.
  9. CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING.
  10. RESTORE GUTTER AND D.S.
  11. HARDIE CEMENT BOARD SIDING, 5" EXPOSURE TO MATCH EXISTING.
  12. HARDIE CEMENT BOARD SHAKES, 5" EXPOSURE TO MATCH EXISTING.
  13. COMPOSITE TRIM BOARD.
  14. RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION.
  15. STANDING SEAM METAL ROOFING.
  16. FLAT SEAM METAL ROOFING.
  17. FIXED WINDOW SYSTEM WITH METAL WINDOW FRAMES.
  18. PARGING TO MATCH EXISTING.
  19. BOARD & BATTEN SIDING.
  20. NEW SLATE SHINGLES.



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



REVISIONS: 1. H.P.C. REVIEW	DATE: 3-31-23
<b>WARNER MANSION RENOVATION AND ADDITION</b> 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 <b>MORRIS ARCHITECTS</b> 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morris@mao.com	
<b>NORTH # EAST ELEVATIONS</b>	
SHEET NUMBER: <b>A201</b>	PROJECT NUMBER: 2218

**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**SPECIFICATIONS**

**05/26/23**

**HAWP**

**APPLICATION #**

**1032588**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**



**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 1**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

**Work item #1-Architectural/Landscape Feature: Exterior Windows and Doors:**

Describe existing feature and its condition: The majority of the existing 179 windows are double hung, however there are also casement, awning, and fixed windows with various light patterns as provided in the window survey. All non-historical windows on the first floor of the mansion will be rehabilitated, repaired, and have an interior storm window installed. Otherwise, and to insure waterproofing all windows and doors will need to replace due to their condition. Many windows are warped and dry-rotted, non-operable, non-egressable (storm windows on the inside or outside) and lack energy efficiency. Further, during heavy rains they allow water infiltration into the building.

Describe, in detail, the proposed work and impact on existing feature: All windows and doors in the Mansion Foyer Museum will be repaired. At all existing sashes under roof protection (those that do not receive heavy rain exposure) will be repaired, and specifically at the mansion foyer the existing sashes will receive one coat of primer, and two coats of finish paint, with installment of new sash cords and weatherstripping while existing historical glazing will remain. The bottom sash will be operable with the top fixed.

The new doors and windows will match the same windowpane layout and functionality, double hung, casement, or fixed. These new doors and windows will meet current energy efficiency requirements. Additionally, all windows and doors must operate properly for purposes of egress and life safety as well as water resistant in high wind and severe rain conditions as required by code.

All windows will be JELD-WEN site clad windows with low-E insulated glass; simulated divided light w/ SS spacers and interior ogee sticking with tempered glazing as required by code.

- Exhibit E**
- 1. Survey; window #'s; size; style; type; condition and proposed (21 pages)**
  - 2. Annotated Elevations---Historical drawings with window locations**
  - 3. Product Specifications**
  - 4. Photos of existing windows: Windows pictorial survey interior and exterior windows**

**Historical Restored Windows with interior storms (denoted in pink); and historical doors that will remain (denoted in blue) Windows to be replaced with above Jeld-wen (denoted in yellow) this includes the**

**As I previously wrote recently on this subject matter: This is a hard one; there is much to be said about historic windows and their beauty and the original glass. Windows are often a dominant architectural feature in old houses. A two-over-two sash with wavy, bubbled glass has a charm that modern windows can only aspire to achieve! Architectural Conservancy confirms that window replacement is one of the most significant issues those involved in historic preservation face. Changing windows can destroy the historic character and look of**

a building. If you recall, all windows in the 6 "towers" at the gymnasium at NPS project are single pane except the top floor, which needed to be egressable. The remaining windows in the towers are triple-painted on the outside, inoperable, and have an interior storm window. Additionally, the windows at the "solarium unit" (unit #207) at the rear were treated similarly. Another issue is the fenestration verification, which requires an air leakage testing inspection. There's no question that a modern double-pane window will outperform a single-pane window fitted with a storm window. But the question is more complex. An opposing point of view argues windows are only one potential energy loss in older houses and should rightfully be seen as a precious resource rather than a problem. I believe that all the windows that are the "large double hung" on the first floor can be salvaged, rehabilitated, and have interior storms. But if we discuss any practicality, I would (need) to opt for modern divided light windows with correct trim and muntins at all other smaller and egress-able ones. We believe 99% of the public will subconsciously see no change, but my (our) client (future condominium owners) will have a window that doesn't need repainting every few years, does not leak air and/or water and be usable/operable (remember we will have limiters on the double hung and casements on the upper floors) to prevent tragic falls plus a MUCH warmer house.

# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

## **Windows**

- 1. Survey: Table: window #'s; size; style; type; condition and proposed (21) pages.**
- 2. Annotated Elevations - Historical drawings with window locations demarcation (5 pages) + Additional elevations (3 pages)**
- 3. Product Specifications**
- 4. Photos of existing windows: Windows pictorial survey interior and exterior photos.**
- 5. Example: Proposed Details and layout post concept approval.**

**WARNER CIRCLE CONDOMINIUMS LLC**

4710 BAYARD BOULEVARD • BETHESDA • MD • 20816

# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

## **1 Survey Table**

**WARNER CIRCLE CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

Warner Circle Mansion Condominiums			NOTES:		
10231 Carroll Place, Kensington MD 20895			Windsor Pinnacle Aluminium Pocket Windows		
5/26/2023			Oil Rubbed Bronze Hardware		
			5/8 Putty Simulated Divided Lites		
Window #	Width (ft-in)	Length (ft-in)	Window Style	Window Type	Proposed Window
<b>MANSION</b>					
M1	2 - 9	5 - 6	Double Hung	3/3	Pocket Clad Window replacement w/ 2" Sill
M4	3 - 0	5 - 6	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
M5	3 - 0	5 - 6	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
M7	3 - 0	4 - 5	Double Hung	2/2	Pocket Clad Window replacement w/ 2" Sill
M8	2 - 10	6 - 1	Double Hung	2/2	Pocket Clad Window replacement w/ 2" Sill
M9	2 - 10	6 - 1	Double Hung	2/1	Pocket Clad Window replacement w/ 2" Sill
M10	2 - 10	6 - 1	Double Hung	2/1	Pocket Clad Window replacement w/ 2" Sill
M11	2 - 10	6 - 1	Double Hung	2/1	Pocket Clad Window replacement w/ 2" Sill
M13	3 - 0	6 - 2	Double Hung	2/1	Pocket Clad Window replacement w/ 2" Sill
M22	3 - 7	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M23	3 - 6	5 - 11	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M24	3 - 0	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M25	3 - 0	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M26	3 - 0	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M29	4 - 10	3 - 8	Picture	1 lite	Pocket Clad Window replacement w/ 2" Sill
M30	4 - 10	3 - 8	Picture	1 lite	Pocket Clad Window replacement w/ 2" Sill
M31	3 - 0	5 - 2	Double Hung	2/2	Pocket Clad Window replacement w/ 2" Sill
M32	3 - 0	5 - 2	Double Hung	2/2	Pocket Clad Window replacement w/ 2" Sill
M34	2 - 4	4 - 5	French Casement	8 Lite	Pocket Clad Window replacement w/ 2" Sill
M35	2 - 4	4 - 5	French Casement	8 Lite	Pocket Clad Window replacement w/ 2" Sill
M36	2 - 4	4 - 5	French Casement	8 Lite	Pocket Clad Window replacement w/ 2" Sill
M37	2 - 4	4 - 5	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
M38	3 - 11	5 - 2	Double Hung	2/2	Pocket Clad Window replacement w/ 2" Sill
M39	3 - 11	5 - 2	Double Hung	2/2	Pocket Clad Window replacement w/ 2" Sill
M40	3 - 0	3 - 2	Casement	4 Lite	Pocket Clad Window replacement w/ 2" Sill
M41	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M42	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M43	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M44	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M45	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M46	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M47	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M48	2 - 10	7 - 2	Double Hung	6/2	Pocket Clad Window replacement w/ 2" Sill
M49	2 - 10	7 - 2	Double Hung	6/2	Pocket Clad Window replacement w/ 2" Sill
M50	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M51	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M52	2 - 11	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M53	3 - 7	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M54	3 - 5	5 - 10	Double Hung	9/2	Pocket Clad Window replacement w/ 2" Sill
M55	2 - 11	5 - 10	Double Hung	9/9	Pocket Clad Window replacement w/ 2" Sill
M56	2 - 11	5 - 10	Double Hung	9/9	Pocket Clad Window replacement w/ 2" Sill
M57	2 - 11	5 - 10	Double Hung	9/9	Pocket Clad Window replacement w/ 2" Sill
M58	2 - 8	3 - 8	Double Hung	8/8	Pocket Clad Window replacement w/ 2" Sill
M59	2 - 5	4 - 5	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
M60	2 - 5	4 - 5	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
M61	2 - 5	4 - 5	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
M64	2 - 11	5 - 10	(2) Double Hung	1/1	Pocket Clad Window replacement w/ 2" Sill
M65	3 - 0	4 - 0	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
M66	3 - 0	4 - 0	Double Hung	6/7	Pocket Clad Window replacement w/ 2" Sill
M67	3 - 0	4 - 0	Double Hung	6/8	Pocket Clad Window replacement w/ 2" Sill
M68	3 - 0	4 - 0	Double Hung	6/9	Pocket Clad Window replacement w/ 2" Sill
M69	3 - 0	4 - 0	Double Hung	6/10	Pocket Clad Window replacement w/ 2" Sill
M70	3 - 0	4 - 0	Double Hung	6/11	Pocket Clad Window replacement w/ 2" Sill
M71	4 - 5	3 - 3	Fixed 1/2 round window	1 Lite	Pocket Clad Window replacement w/ 2" Sill
M72	2 - 7	3 - 5	Double Casement	12 Lite	Pocket Clad Window replacement w/ 2" Sill
M73	2 - 7	3 - 5	Double Casement	12 Lite	Pocket Clad Window replacement w/ 2" Sill
M74	2 - 8	4 - 2	Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M75	2 - 8	4 - 2	Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M76	4 - 5	3 - 1	(2) Double Hung	4/4	Pocket Clad Window replacement w/ 2" Sill
M77	4 - 5	3 - 6	French Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M78	2 - 11	2 - 9	Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M79	2 - 11	2 - 9	Casement	6 lite	Pocket Clad Window replacement w/ 2" Sill

M80	4 - 9	3 - 1	French Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M81	2 - 9	2 - 9	Double Casement	2 Lite	Pocket Clad Window replacement w/ 2" Sill
M81-2	5'8"	3'7"	Sliding	1 Lite	Pocket Clad Window replacement w/ 2" Sill
M82	5 - 8	3 - 7	Sliding	1 lite	Pocket Clad Window replacement w/ 2" Sill
M83	5 - 8	3 - 1	Sliding	1 Lite	Pocket Clad Window replacement w/ 2" Sill
M84	5 - 8	3 - 1	Sliding	1 Litw	Pocket Clad Window replacement w/ 2" Sill
M85	5 - 8	3 - 1	Sliding	1 Lite	Pocket Clad Window replacement w/ 2" Sill
M86	4 - 1	3 - 7	Picture	16 Lite	Pocket Clad Window replacement w/ 2" Sill
M87	4 - 1	3 - 7	Picture	16 Lite	Pocket Clad Window replacement w/ 2" Sill
M88	4 - 1	3 - 7	Picture	16 Lite	Pocket Clad Window replacement w/ 2" Sill
M89	5 - 8	3 - 7	Sliding	1 Lite	Pocket Clad Window replacement w/ 2" Sill
M90	5 - 8	3 - 7	Sliding	1 Lite	Pocket Clad Window replacement w/ 2" Sill
M91	5 - 8	3 - 7	Sliding	1 Lite	Pocket Clad Window replacement w/ 2" Sill
M94	4 - 9	3 - 7	French Casement	9 Lite	Pocket Clad Window replacement w/ 2" Sill
M95	4 - 9	3 - 7	French Casement	9 Lite	Pocket Clad Window replacement w/ 2" Sill
M96	3 - 0	5-0'	Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M96-2	3 - 0	1 - 5	basement awning	3 Lite	Pocket Clad Window replacement w/ 2" Sill
M97	3 - 0	1 - 5	basement awning	3 Lite	Pocket Clad Window replacement w/ 2" Sill
M98	3 - 0	5 - 0'	Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M99	3 - 0	5-0'	Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M101	3 - 0	5-0'	Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M103	3 - 1	5-0'	Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
M105-2	3 - 1	2 - 0	basement awning	3 Lite	Closed
M105-3	3 - 1	2 - 0	basement awning	3 Lite	Closed
M140	2 - 10	3 - 5	Double Hung	2/2	Closed
M141	2'0"	3'2"	Double Hung	2/2	Closed
M142	2'0"	3'2"	Double Hung	2/2	Closed
M143	2 - 10	3 - 5	Double Hung	2/2	Closed
M144	2 - 10	3 - 5	Double Hung	2/2	Closed
<b>CARRIAGE HOUSE</b>					
C109	2 - 5	4 - 0	Double Hung	6/6	Converted into Door
C110-2	2 - 5	4 - 0	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
C111	2 - 5	4 - 0	Casement	12 Lite	Pocket Clad Window replacement w/ 2" Sill
C112	2 - 5	4 - 0	Casement	12 Lite	Pocket Clad Window replacement w/ 2" Sill
C113	2 - 5	4 - 0	Casement	12 Lite	Pocket Clad Window replacement w/ 2" Sill
C115	2 - 5	4 - 0	Casement	12 Lite	Pocket Clad Window replacement w/ 2" Sill
C116	2 - 5	4 - 0	Casement	12 Lite	Pocket Clad Window replacement w/ 2" Sill
C118	2 - 5		Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
C119	2 - 5		Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
C120	2 - 5		Casement	12 Lite	Pocket Clad Window replacement w/ 2" Sill
C121	2 - 5		Casement	12 Lite	Pocket Clad Window replacement w/ 2" Sill
C122	2 - 5	4 - 0	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
C123	2 - 5	4 - 0	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
C124	2 - 5	4 - 0	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
C125	2 - 5	4 - 0	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
C126	2 - 5	4 - 0	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
C127	2 - 5	4 - 0	Double Hung	6/6	Pocket Clad Window replacement w/ 2" Sill
C128	2 - 10	3 - 0	Casement	1 Lite	Pocket Clad Window replacement w/ 2" Sill
C129-2	4-0	3-0	Double Hund	6-Jun	Pocket Clad Window replacement w/ 2" Sill
C130	2 - 10	4 - 0	Casement	9 Lite	Pocket Clad Window replacement w/ 2" Sill
C131	2 - 10	4 - 0	Casement	9 Lite	Pocket Clad Window replacement w/ 2" Sill
C132	2 - 10	4 - 0	Double Hung	1/1'	Pocket Clad Window replacement w/ 2" Sill
C133	2 - 5	4 - 0	Double Hung	6/6'	Pocket Clad Window replacement w/ 2" Sill
C135	2 - 5	4 - 0	Double Hung	6/6'	Pocket Clad Window replacement w/ 2" Sill
C136	3 - 1	2 - 4	French Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
C137	3 - 1	2 - 4	French Casement	6 Lite	Pocket Clad Window replacement w/ 2" Sill
C138	3 - 1	2 - 4	French Casement	1 Lite	Pocket Clad Window replacement w/ 2" Sill
<b>ADDITION</b>					
A205	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A206	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A207	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A208	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A209	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A210	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A211	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A212	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A213	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill

A225	2' 6"	4'4"	(2)Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A227	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A228	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A229	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A230	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A231	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A232	2' 6"	4'4"	(2)Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A234	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A235	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A237	2' 6"	4'4"	(2)Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A239	2' 6"	4'4"	(2)Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A240	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A243	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A244	2' 6"	4'4"	Double Casement	8 Lite	New Aluminium Clad windows w/ 2" Sill
A246	2' 6"	4'4"	Double Casement	8 Lite	New Aluminium Clad windows w/ 2" Sill
A248	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A249	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A250	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A251	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A252	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A253	2' 6"	4'4"	Double Hung	2/1	New Aluminium Clad windows w/ 2" Sill
A257	2' 6"	4'4"	Double Casement	8 Lite	New Aluminium Clad windows w/ 2" Sill
A258	2' 6"	4'4"	Double Casement	8 Lite	New Aluminium Clad windows w/ 2" Sill



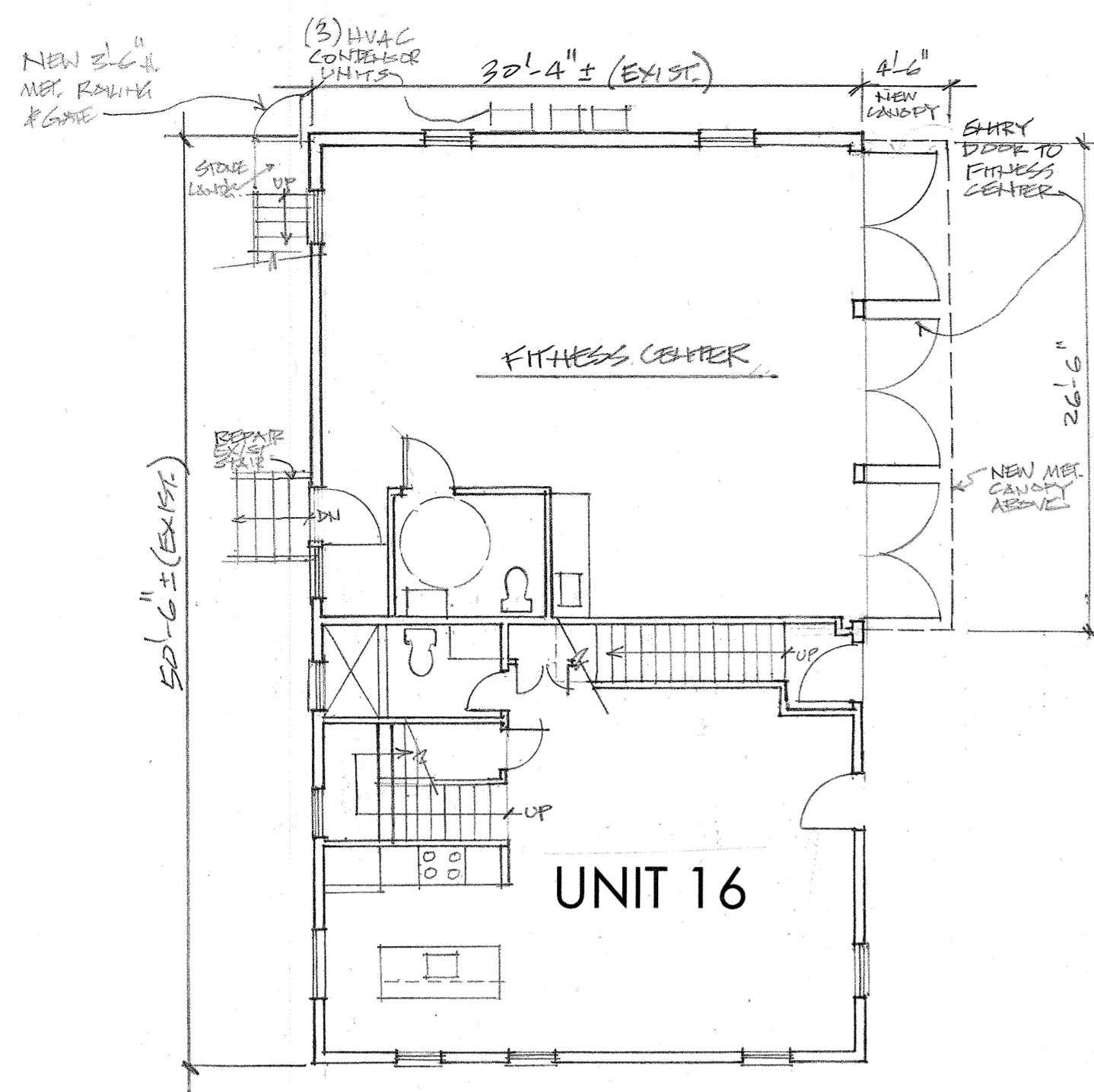
# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

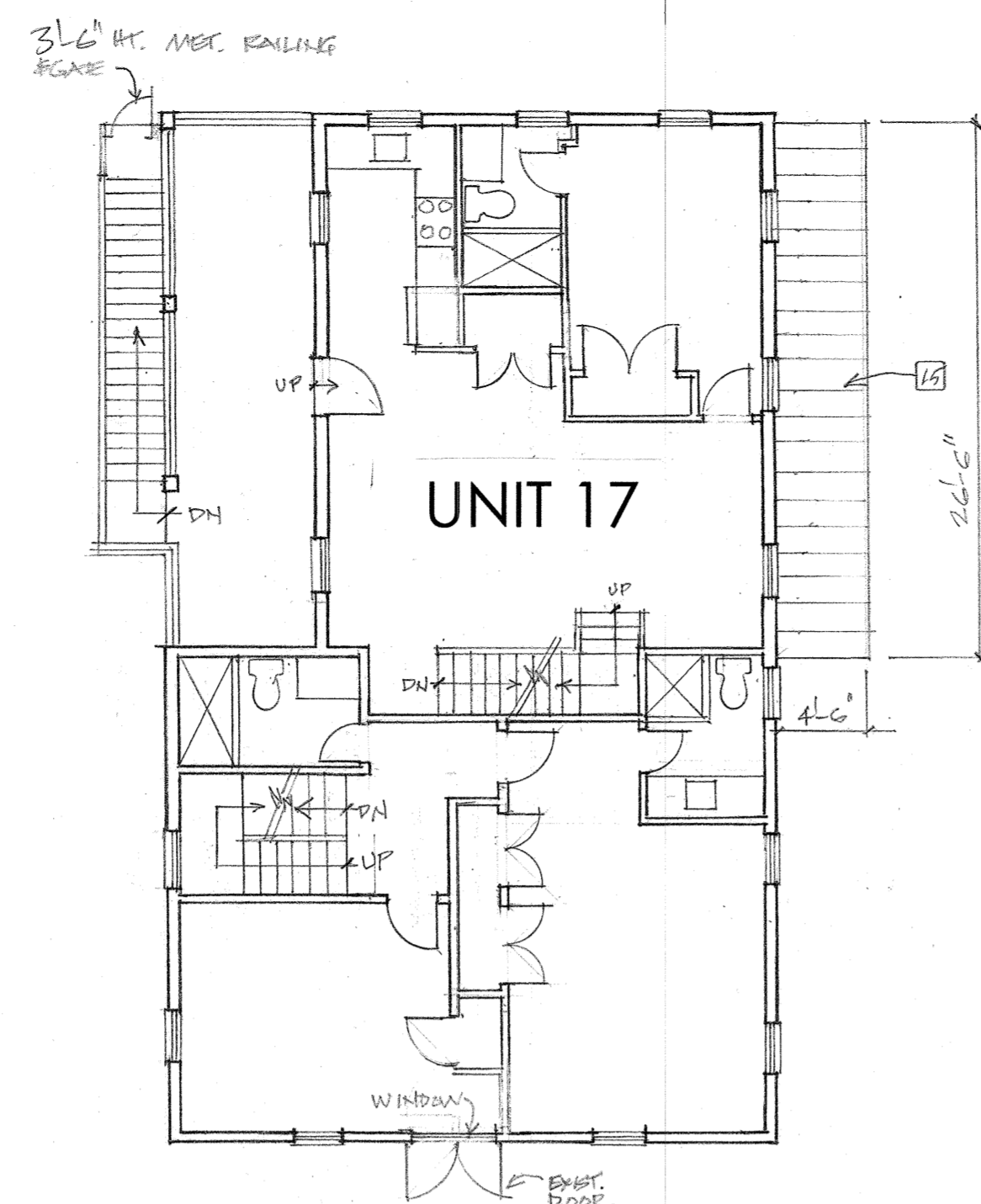
## **2 Annotated Elevations**

**WARNER CIRCLE CONDOMINIUMS LLC**

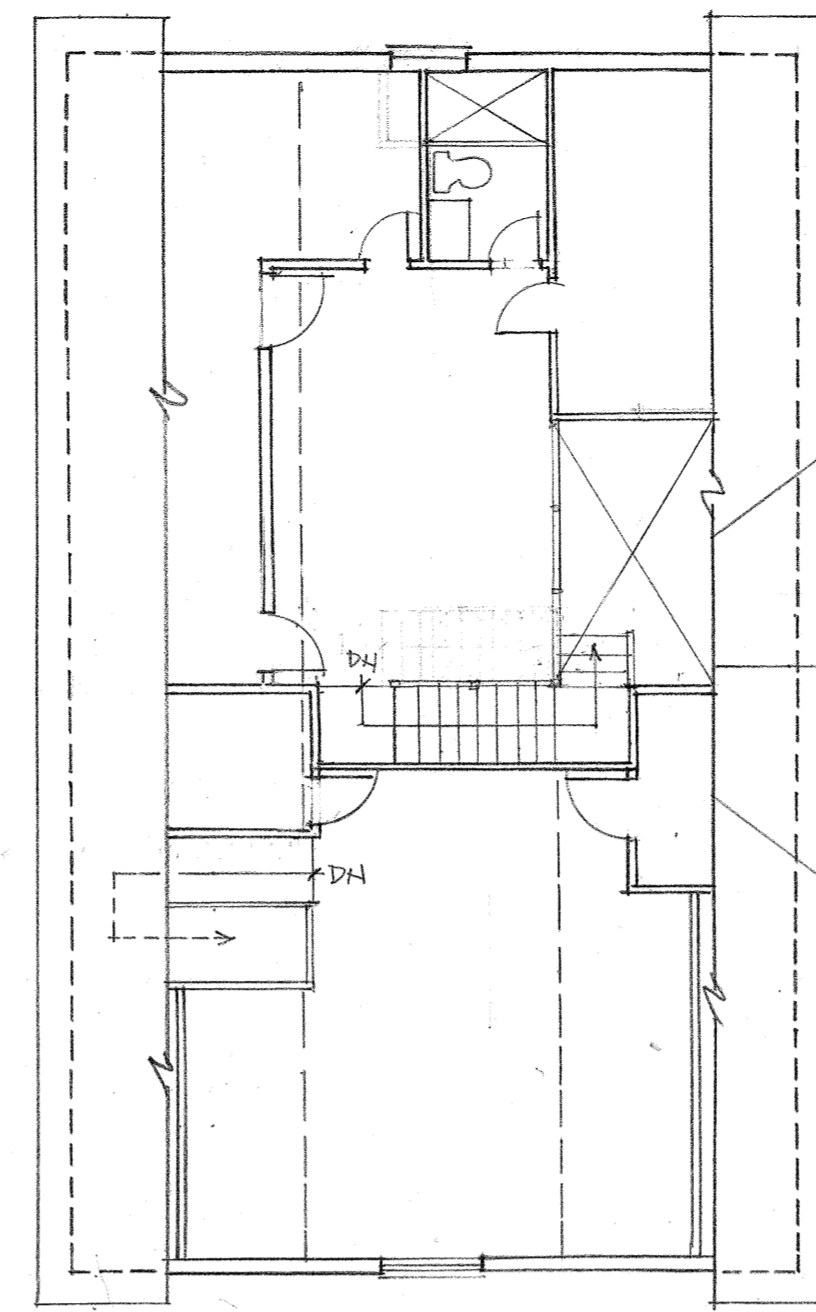
**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**



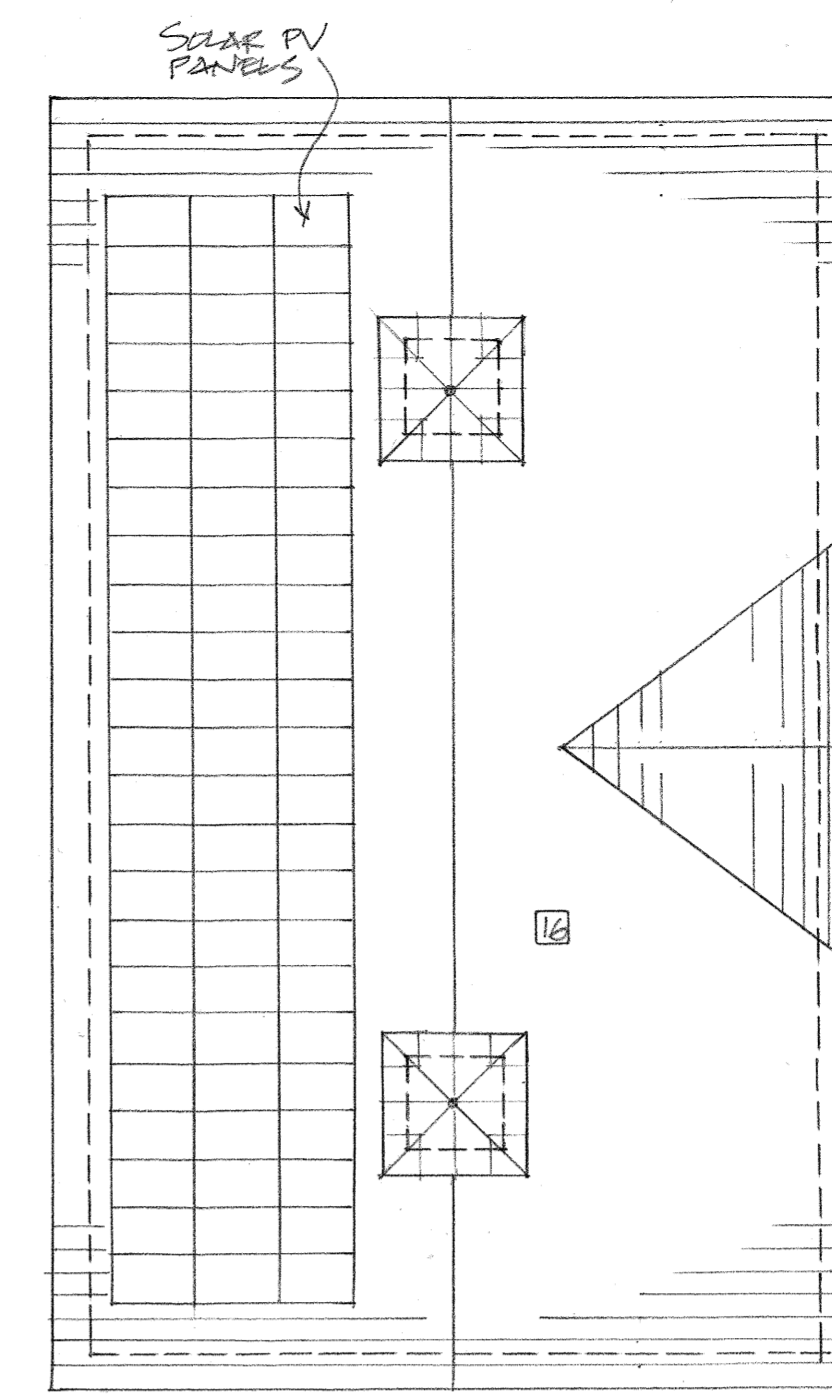
**CARRIAGE HOUSE FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE LOFT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

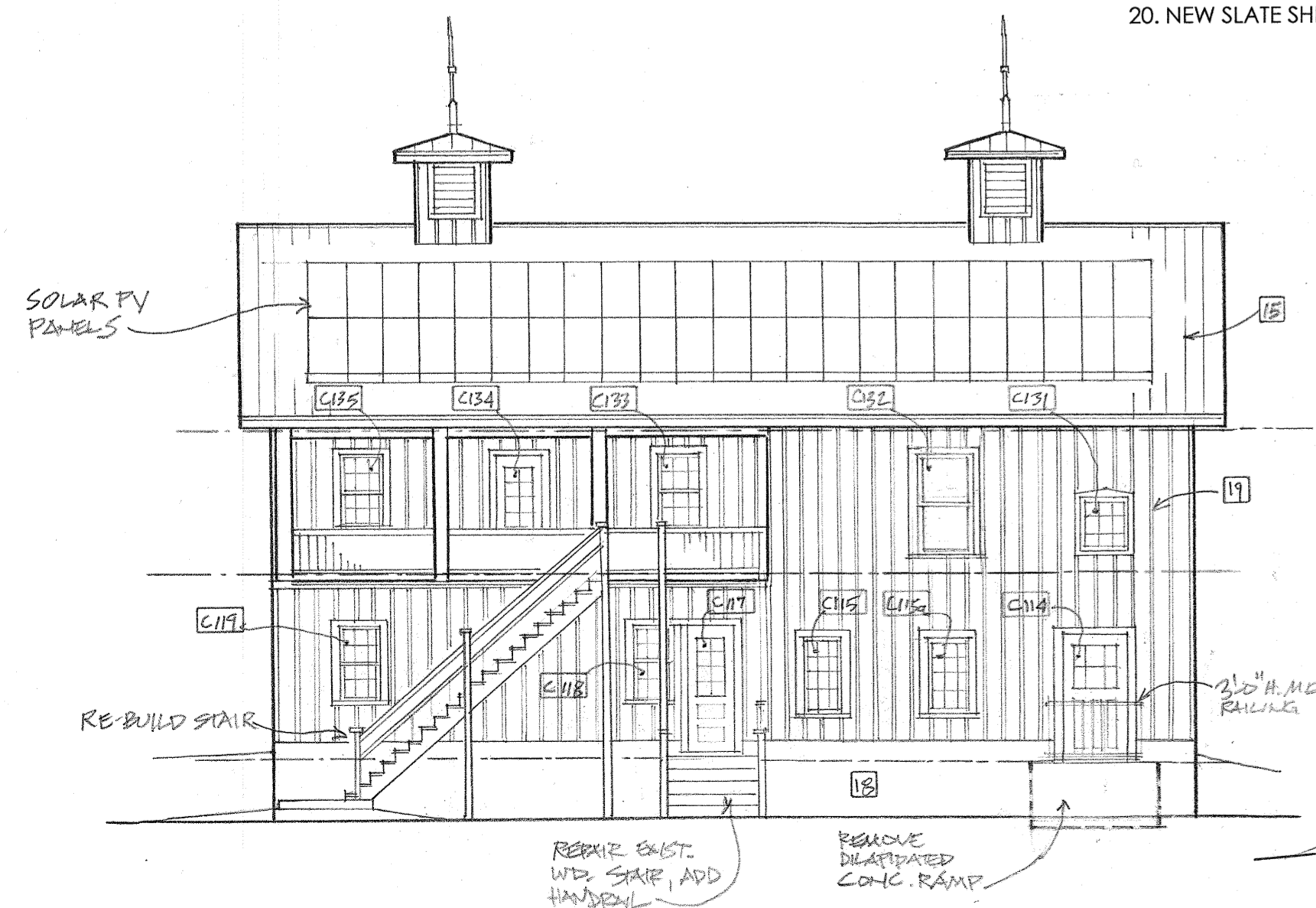
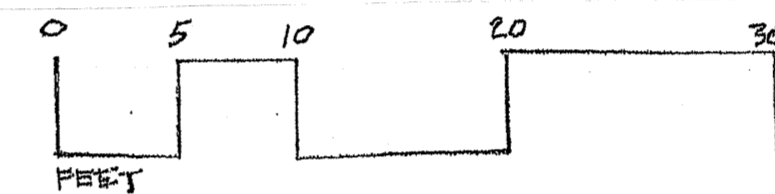


**CARRIAGE HOUSE ROOF PLAN**  
SCALE: 1/8" = 1'-0"

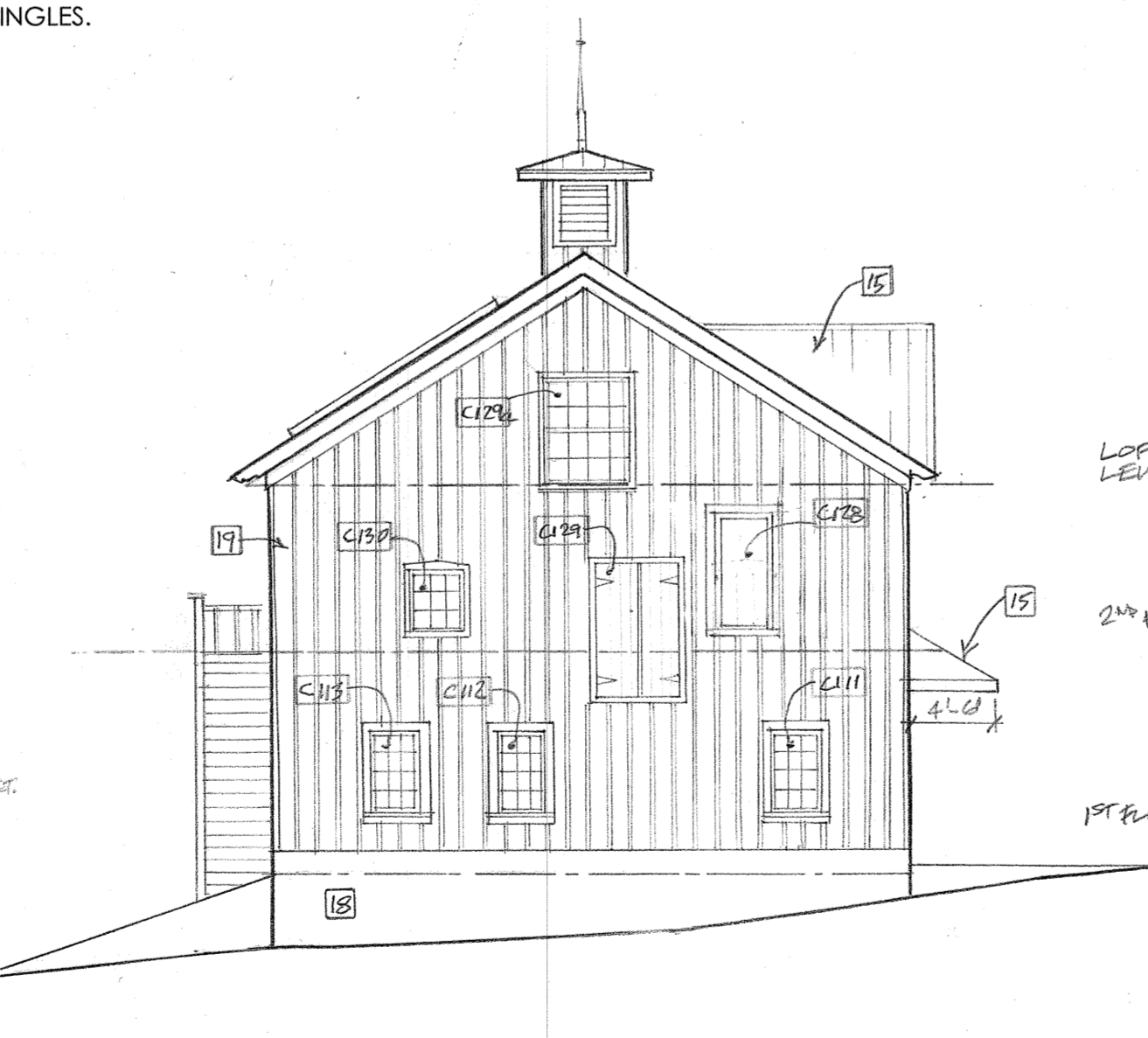


**KEYED NOTES**

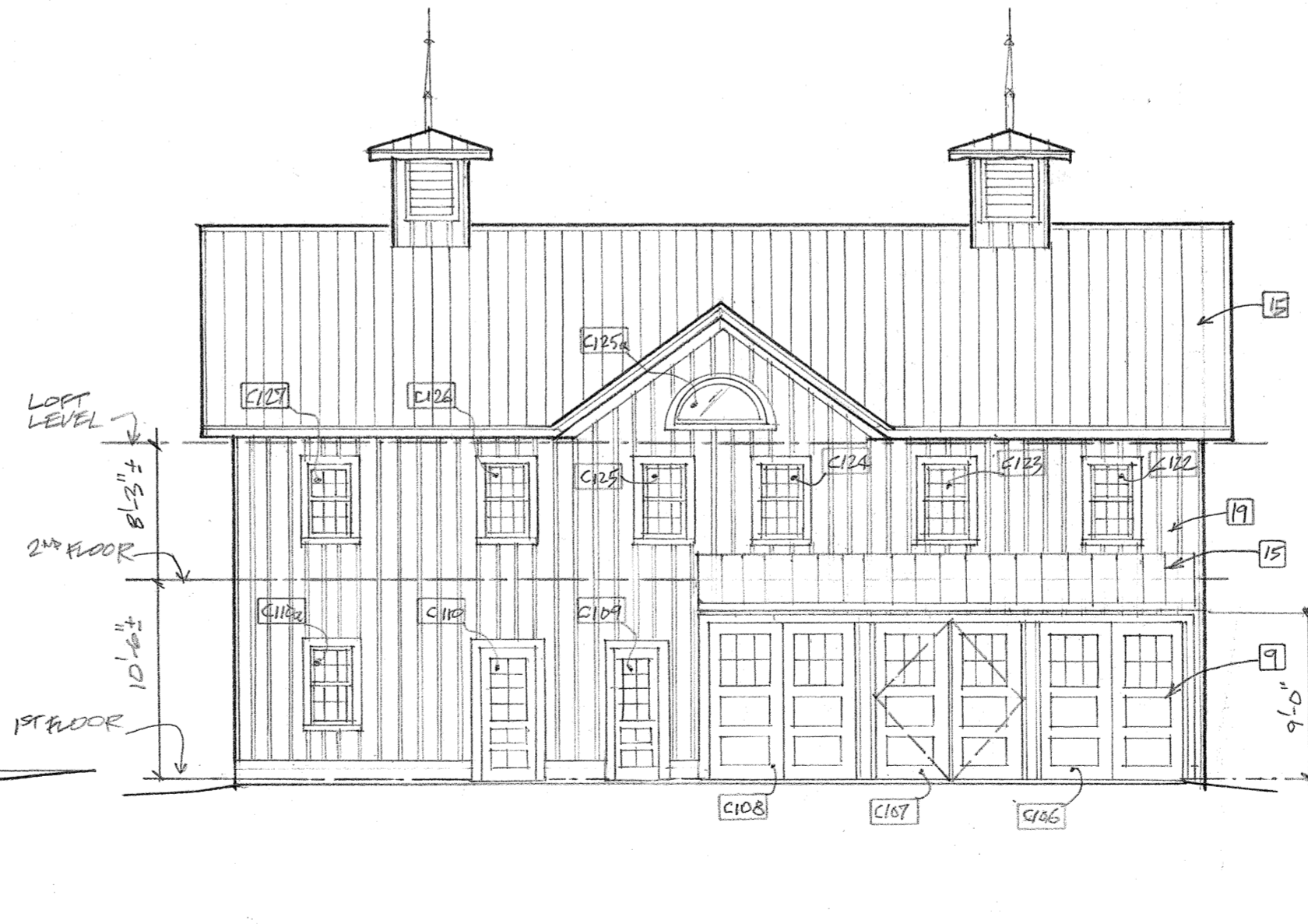
1. RESTORE STONE STEPS
2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS REPLACEMENT OF BROKEN OR MISSING TILES.
5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
7. NEW STAIR TOWER FOR EGRESS COMPLIANCE.
8. ADD NEW LIGHTNING ROD, WIRE, GLASS.
9. CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING.
10. RESTORE GUTTER AND D.S.
11. HARDIE CEMENT BOARD SIDING, 5" EXPOSURE TO MATCH EXISTING.
12. HARDIE CEMENT BOARD SHAKES, 5" EXPOSURE TO MATCH EXISTING.
13. COMPOSITE TRIM BOARD.
14. RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION.
15. STANDING SEAM METAL ROOFING.
16. FLAT SEAM METAL ROOFING.
17. FIXED WINDOW SYSTEM WITH METAL WINDOW FRAMES.
18. PARGING TO MATCH EXISTING.
19. BOARD & BATTEN SIDING.
20. NEW SLATE SHINGLES.



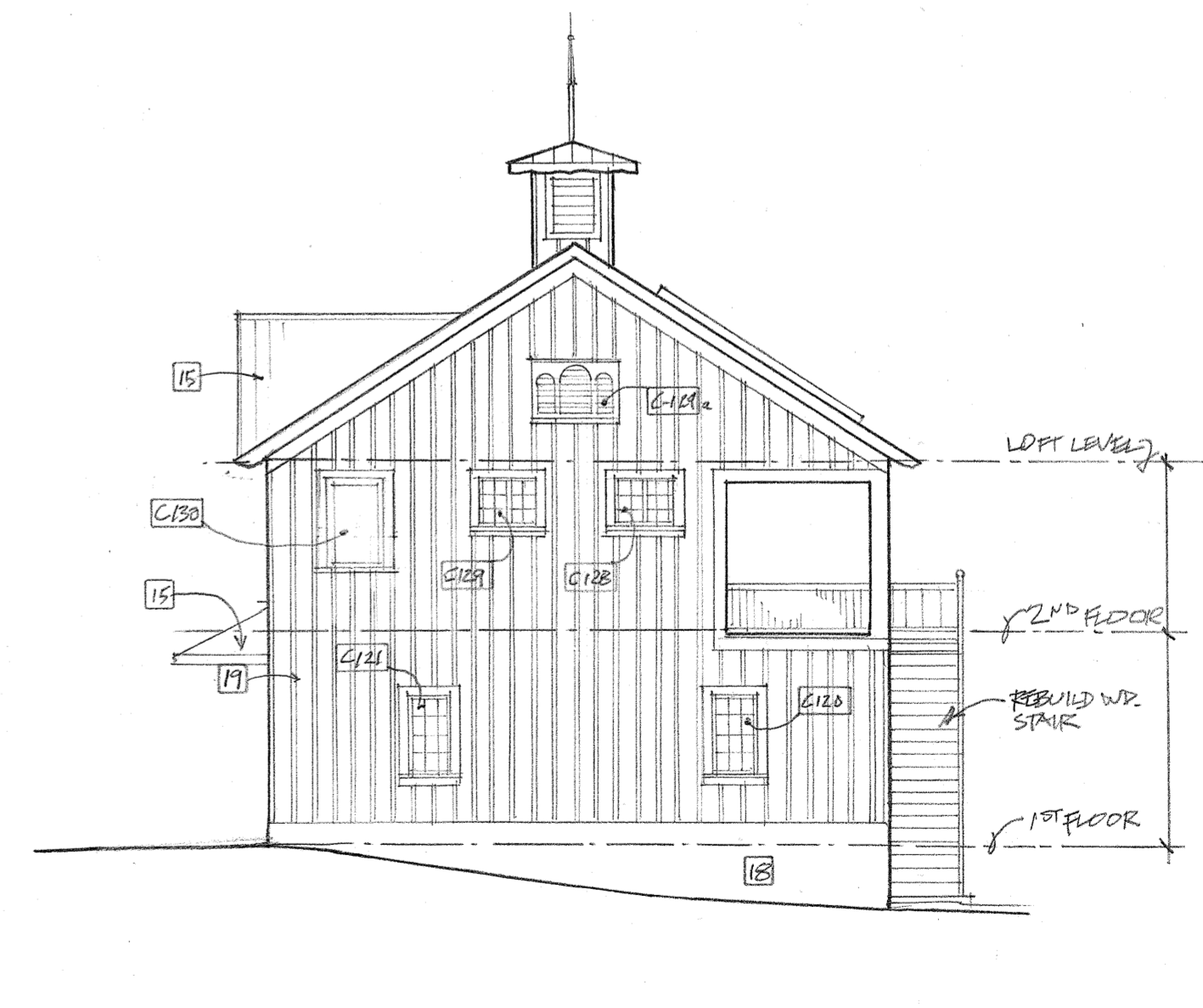
**CARRIAGE HOUSE SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

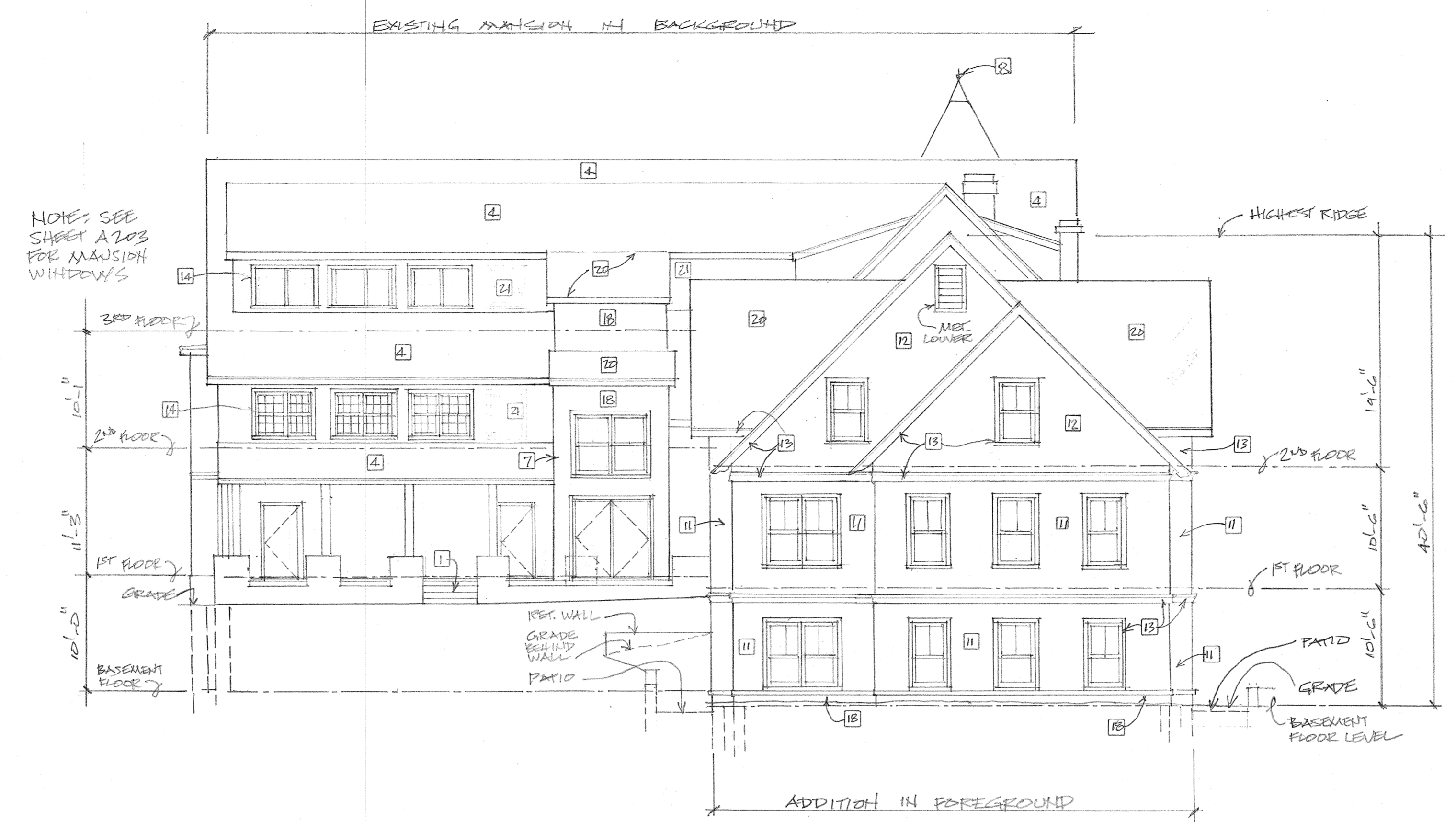


**CARRIAGE HOUSE WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

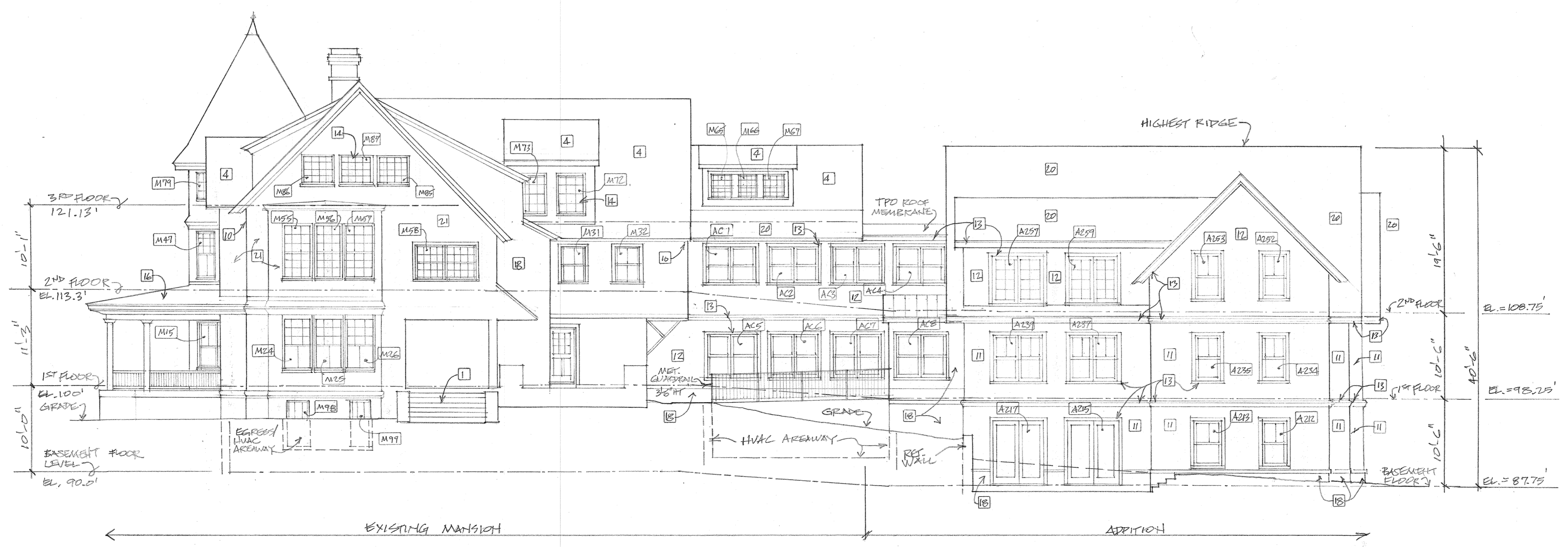
SHEET NUMBER: <b>A104</b>	REVISIONS: 5/18/23 - HPC	DATE: 5-31-23
	WARNER MANSION CARRIAGE HOUSE RENOVATION 10204 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com	
PROJECT NUMBER: 2218	CARRIAGE HOUSE PLANS & ELEVATIONS	

KEYED NOTES

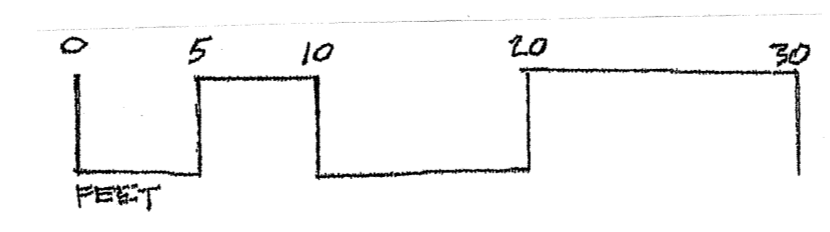
1. RESTORE STONE STEPS
2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS RELACEMENT OF BROKEN OR MISSING TILES.
5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
7. NEW STAIR TOWER FOR EGRESS COMPLIANCE.
8. ADD NEW LIGHTNING ROD, WIRE, GLASS.
9. CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING.
10. RESTORE GUTTER AND D.S.
11. HARDIE CEMENT BOARD SIDING, 5" EXPOSURE TO MATCH EXISTING.
12. HARDIE CEMENT BOARD SHAKES, 5" EXPOSURE TO MATCH EXISTING.
13. COMPOSITE TRIM BOARD.
14. RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION.
15. STANDING SEAM METAL ROOFING.
16. FLAT SEAM METAL ROOFING.
17. FIXED WINDOW SYSTEM WITH METAL WINDOW FRAMES.
18. PARGING TO MATCH EXISTING.
19. BOARD & BATTEN SIDING.
20. NEW SLATE SHINGLES.
21. REPLACE CEDAR TO MATCH EXIST.



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

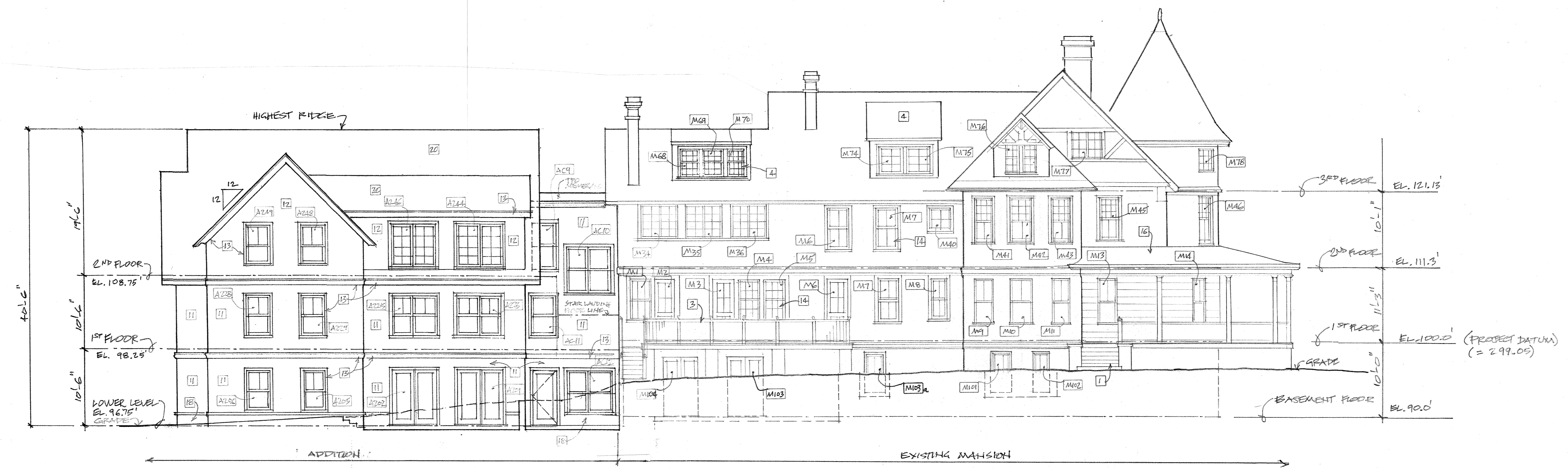


<p>REVISIONS: 5/3/23 - FOR HPC REVIEW 5-23-23 - HPC</p>	<p>DATE: 5/31/23</p>
<p><b>WARNER MANSION RENOVATION AND ADDITION</b> 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 <b>MORRIS ARCHITECTS</b> 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com</p>	
<p><b>A200</b></p>	
<p>PROJECT NUMBER: 2218</p>	
<p><b>WEST and SOUTH ELEVATIONS</b></p>	

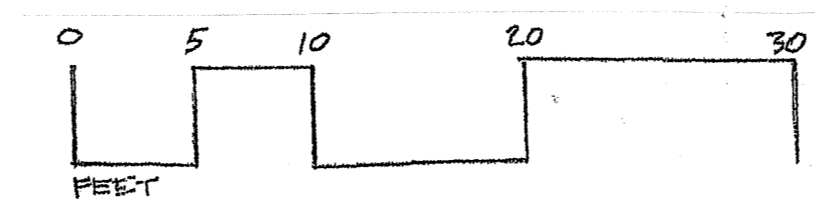


**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

- KEYED NOTES**
1. RESTORE STONE STEPS
  2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
  3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
  4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS RELACEMENT OF BROKEN OR MISSING TILES.
  5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
  6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
  7. NEW STAIR TOWER FOR EGRESS COMPLIANCE.
  8. ADD NEW LIGHTNING ROD, WIRE, GLASS.
  9. CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING.
  10. RESTORE GUTTER AND D.S.
  11. HARDIE CEMENT BOARD SIDING, 5" EXPOSURE TO MATCH EXISTING.
  12. HARDIE CEMENT BOARD SHAKES, 5" EXPOSURE TO MATCH EXISTING.
  13. COMPOSITE TRIM BOARD.
  14. RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION.
  15. STANDING SEAM METAL ROOFING.
  16. FLAT SEAM METAL ROOFING.
  17. FIXED WINDOW SYSTEM WITH METAL WINDOW FRAMES.
  18. PARGING TO MATCH EXISTING.
  19. BOARD & BATTEN SIDING.
  20. NEW SLATE SHINGLES.
  21. REPLACE CEDAR SHINGLES TO MATCH EXIST. (TYPE)



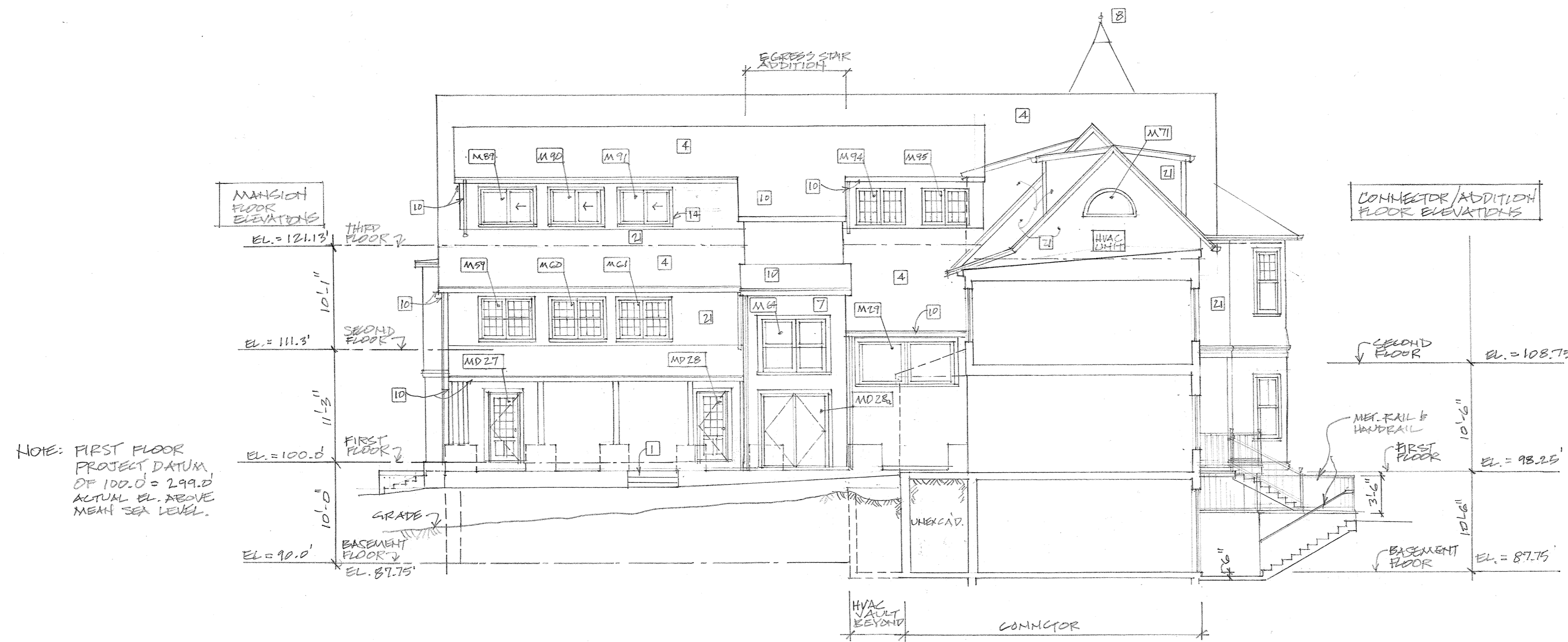
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



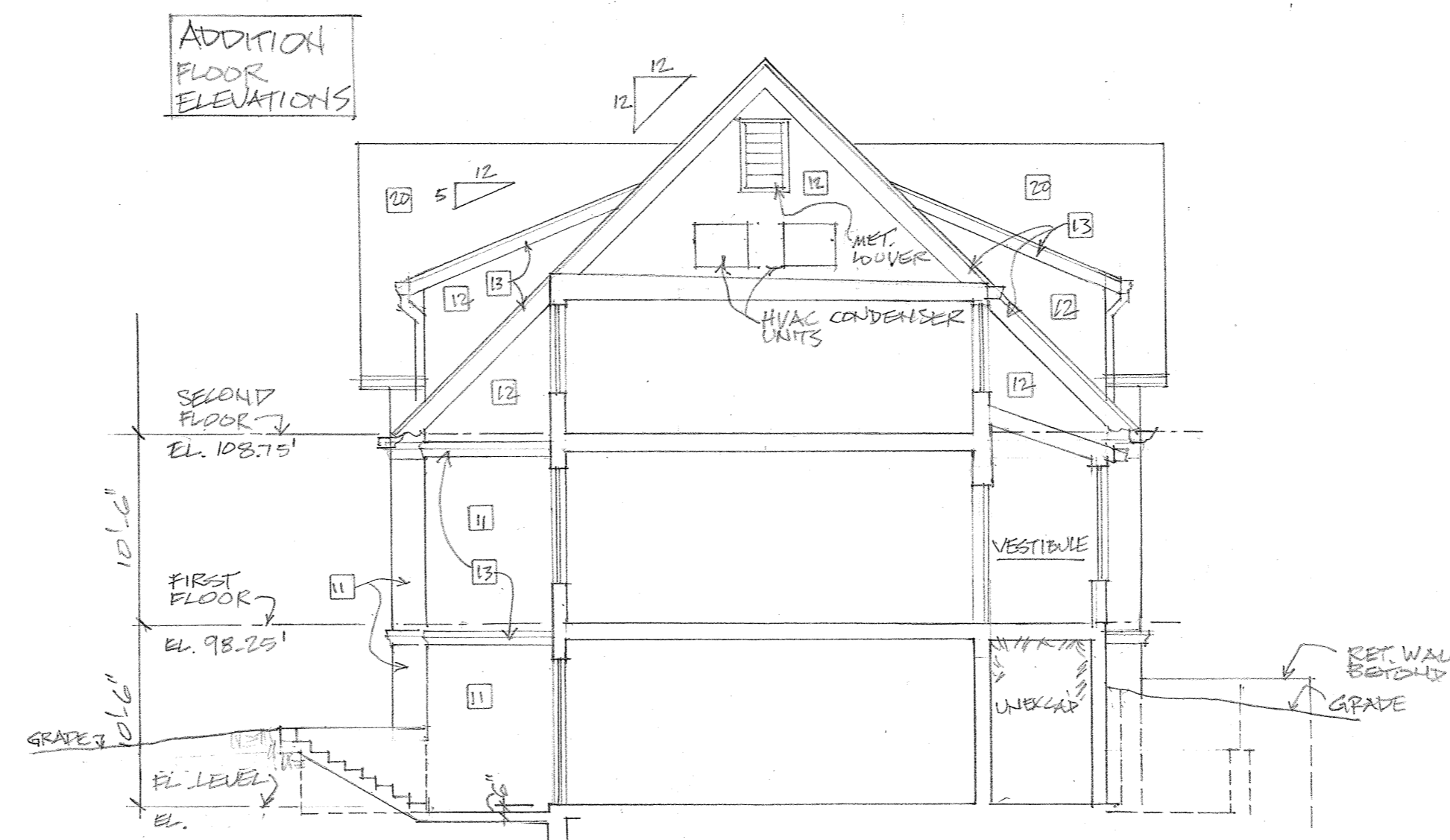
SHEET NUMBER: <b>A201</b>	REVISIONS: 1. 11-12-2018 2. 11-12-2018 3. 11-12-2018	DATE: 3-31-23
	WARNER MANSION RENOVATION AND ADDITION 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com	
PROJECT NUMBER: 2218	NORTH & EAST ELEVATIONS	

KEYED NOTES

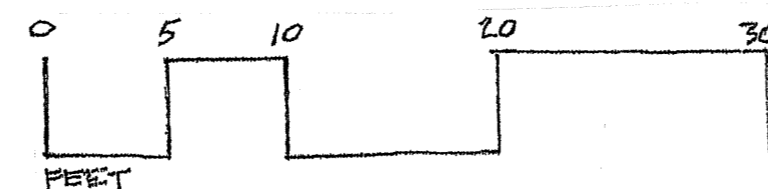
1. RESTORE STONE STEPS
2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS RELACEMENT OF BROKEN OR MISSING TILES.
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6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
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18. PARGING TO MATCH EXISTING.
19. BOARD & BATTEN SIDING.
20. NEW SLATE SHINGLES.
21. REPLACE CEDAR SHINGLES TO MATCH EXIST.



**MANSION SOUTH ELEVATION / SECTION A-A**  
SCALE: 1/8" = 1'-0"



**ADDITION NORTH ELEVATION / SECTION B-B**  
SCALE: 1/8" = 1'-0"



SHEET NUMBER: <b>A203</b>	REVISIONS:	DATE: 5-23-23
	WARNER MANSION RENOVATION AND ADDITION 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com	
PROJECT NUMBER: 2218	PARTIAL ELEVATIONS	

# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

## **4 Product Specifications**

**WARNER CIRCLE CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**



# Pinnacle Clad Impact Double Hung

## Features and Benefits

- Clear Select Pine interior
- Clad units offer a strong, durable extruded aluminum sash and frame for low maintenance
- Glass is replaceable in case of damage
- EZ Tilt operation available for easy removal and replacement of sash (double hung only)



- Recessed lock and keeper for a sleek appearance



- Block and tackle balance system for ease of operation
- No-finger pull option for hardware application
- Certified against hurricane blasts: Laminated glass allows unit to crack instead of shatter when under great pressure
- Meets and exceeds building codes for extreme coastal environment conditions
- Laminated glass dampens sounds from traffic, neighbors and the outdoors
- Preserve protective film standard
- Head frame corners will be secured with corner keys, injected silicone and screws for improved stability
- A new, full-size, inverted block and tackle balance provides support for a heavier sash
- Jamb jacks provide the ability to make future adjustments after settling
- A trim identification line on the side and head inside stops provides easy alignment during installation

- Exterior jamb covers are available in finishes that match the aluminum, while interior species matches jamb covers, providing an all wood interior look



## Sizes

Available in hundreds of standard and custom sizes

## Glazing

- Glazed with tape and structural glazing sealant
- Cardinal Sea-Storm® LoE 366 insulated glass standard, featuring stainless steel spacers; tinted, tempered and laminated glass available
- Custom and special glass types available
- Insulated glass utilizes annealed glass on exterior and laminated glass on interior
- Laminated glass features PVB inner layer on operating units and SGP inner layer on picture units

## Exterior Trim

- Clad windows available with WM 180 brickmould, Williamsburg or 3-1/2" flat casing; 3/8", 1-1/4" and 2-1/4" subsill available

## Grilles

*Windsor Divided Lite (WDL) = simulated divided lite*

- 7/8" and 1-1/4" Perimeter Grille (*NOT available on radius double hung*)
- 7/8" and 1-1/4" Stick Grille
- 3/4" and 1" Profiled Inner Grille
- 13/16" Flat Inner Grille
- 7/8v and 1-1/4" Ogee WDL
- 5/8", 7/8", 1-1/4" and 2" Short Putty WDL
- 5/8", 7/8", 1-1/4" and 2" Short Contemporary WDL
- 2" Simulated Check Rail (*DH picture only*)
- Standard and custom grille patterns available

## Finishes

- Interior – Available in Clear Select Pine
  - Primed: white or black
  - Painted: white, black or gray
  - Stained: 9 color options
- Exterior – Clad windows feature heavy-duty extruded aluminum cladding on sash and frame

## Clad Colors

All clad colors painted in-house with the highly durable AAMA 2604 standard finish, or upgrade to AAMA 2605 for the most challenging of environments

- 23 Standard Clad Colors available in 2604 and 2605 finish
- 20 Feature Clad Colors available in 2604 and 2605 finish (Custom color matching is also available)
- 7 Matte Clad Colors available in the 2604 finish only

## Hardware

Double hung lock available in champagne, white, bronze and black; optional finishes in faux bronze, oil rubbed bronze, satin nickel and bright brass

## Performance Ratings

For current performance ratings, visit our website at [windsorwindows.com](http://windsorwindows.com) and click on "Professional Information" in the menu bar



# Options & Accessories

**Finishing touches to perfect your vision.** Windsor does more than just create durable, high-performance windows and doors. We pay attention to every detail and offer a wide array of options and finishes to match any décor. Flashy and eye-catching or simple and understated, our hardware, finishes, grille options, cladding colors, glass options and trim options complete the perfect window and door package.

Windsor's in-house powder paint application can help you make a statement with your windows and doors. Choose from over 50 shades in our standard and feature color palettes, or make it truly unique with custom color matching or our matte finish colors. All paints are protected with the highly durable 2604<sup>1</sup> finish, or you can upgrade to 2605<sup>2</sup> for even stronger defense against the elements.<sup>3</sup>

## STANDARD CLAD COLORS Pinnacle Windows | Pinnacle Select Windows | Pinnacle Patio Doors | Pinnacle Select Patio Doors

Available in 2604 and 2605 finish.



## FEATURE CLAD COLORS Pinnacle Windows | Pinnacle Select Windows | Pinnacle Patio Doors | Pinnacle Select Patio Doors

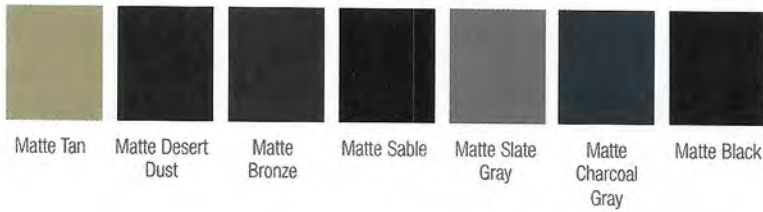
Available in 2604 and 2605 finish. (Custom color matching is also available)





**MATTE CLAD COLORS** Pinnacle Windows | Pinnacle Select Windows | Pinnacle Patio Doors | Pinnacle Select Patio Doors

Available in 2604 finish only.



<sup>1</sup>AAMA 2604 finish backed by a 20-year warranty. <sup>2</sup>AAMA 2605 finish backed by a 30-year warranty. <sup>3</sup>For applications within one mile of the coast, AAMA 2605 finish will carry a 10-year warranty and AAMA 2604 will carry no warranty. For specific warranty details, please refer to the complete warranty document posted on our website, [www.windsorwindows.com](http://www.windsorwindows.com).

**INTERIOR FINISHES** Pinnacle Windows | Pinnacle Select Windows | Pinnacle Patio Doors

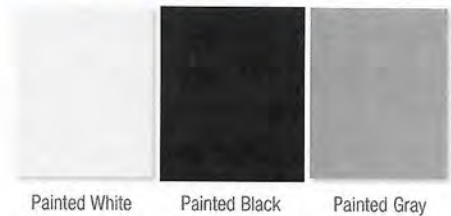
**Interior Wood Species**



**Interior Primed Finishes**



**Prefinished Painted Interiors**



**Prefinished Stained Interiors** CLEAR COAT AND STAIN SAMPLES ARE SHOWN ON CLEAR SELECT PINE AND REPRESENT OPTIONS AVAILABLE. ACTUAL FINISH MAY VARY.



**WINDOW HARDWARE AND FINISHES** Pinnacle Windows



Traditional Casement/Awning Crank



Contemporary Casement/Awning Crank



Double Hung Lock



Champagne



White



Bronze



Black



Faux Bronze



Oil Rubbed  
Bronze



Satin Nickel



Bright Brass

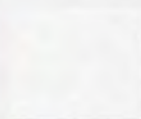
**WINDOW HARDWARE AND FINISHES** Pinnacle Select Windows



Traditional Casement/Awning Crank



Champagne



White



Bronze



Black



Faux Bronze



Oil Rubbed  
Bronze



Satin Nickel



Bright Brass



Contemporary Casement/Awning Crank



Push-out (Lever)



White



Black



Faux Bronze



Oil Rubbed  
Bronze



Satin Nickel

**INTERIOR TRIM** Pinnacle Windows | Pinnacle Select Windows | Pinnacle Patio Doors

Custom-fitted wood trim is available in Clear Select Pine, Douglas Fir and Natural Alder. (All photos shown in Clear Select Pine.)

**Interior Trim**



WM 327 • 2-1/4"



WM 356 • 2-1/4"



WM 366 • 2-1/4"



WM 351 • 2-1/2"



WM 361 • 2-1/2"



WM 445 • 3-1/4"



WM 444 • 3-1/2"



RB 03 • 3-1/2"



WM 473 • 2-1/4"



WM 433 • 3-1/4"



WM 412 • 3-1/2"

**Stool and Apron**

Only Available in double or single hung windows



WM 1021 • 5-1/4"



B 200 • 11/16" x 2-1/2"

**Rosettes**



Rosette • 2-3/4"



Rosette • 3-3/4"

## EXTERIOR WINDOW TRIM

### Cellular PVC Exterior Sill Options Pinnacle Windows (For Primed exterior finishes only)



### Cellular PVC Exterior Casing Options Pinnacle Windows (For Primed exterior finishes only)



### Clad Exterior Casing Options Pinnacle Windows | Pinnacle Select Windows | Pinnacle Patio Doors



**GLASS** Pinnacle Windows | Pinnacle Select Windows | Pinnacle Patio Doors

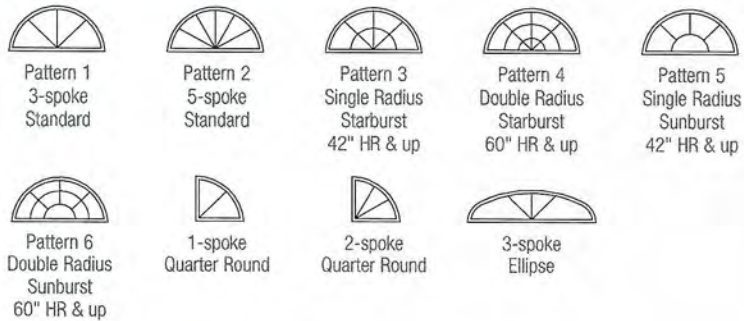
\*Special order item. Units with 1-1/4" OA triple IG are only available in LoE 366/180, obscure, satin etch, glue chip, rain and reed glass.



**DIRECT SET AND RADIUS OPTIONS** Pinnacle Windows

Before selecting a special grille pattern, confirm alignment with units below.

**Radius Inner Grille Patterns**



**Radius Special Shapes**

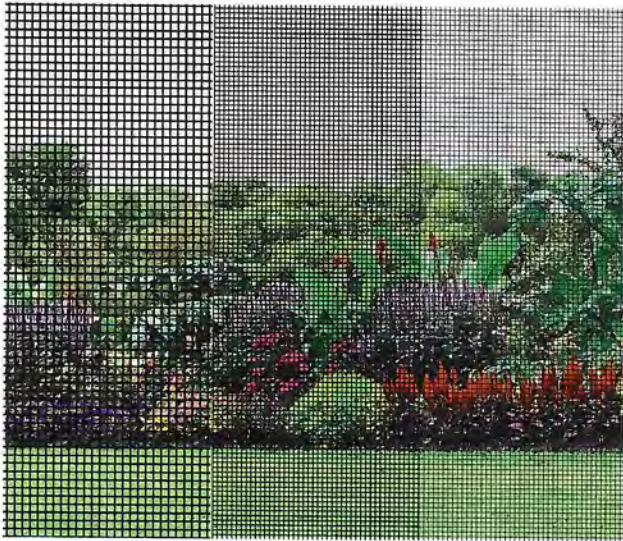


**Direct Set Special Shapes**



**SCREENS** Pinnacle Windows | Pinnacle Sliding Patio Doors

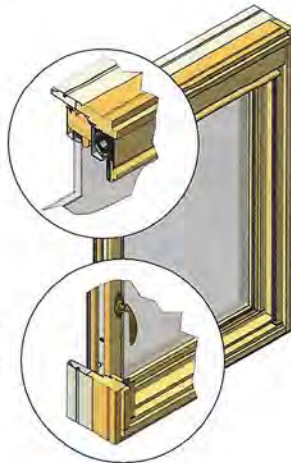
All exterior-applied screens for Pinnacle double hung, glide-by and sliding patio doors come with screen frames matching the clad color of the unit. Interior-applied screens for Pinnacle casement and awning windows have screen frames available in champagne, white, bronze, black, wood-veneered pine, wood-veneered alder or wood-veneered fir.



Conventional Screen Mesh      BetterVue® (Standard)      UltraVue®

**SCREENS** Pinnacle Select Windows

Windsor's standard BetterVue screen material provides improved visibility, airflow and insect resistance. Operating units are available with a standard screen or a retractable screen option. Standard screens are pressure mounted to fit within the frame of the window and are easily installed and removed. Push-out casements and awnings are available with a retractable screen. Retractable screens are available in pine, alder and fir wood species and have a solid wood pull at the bottom of the screen for easy operation. These spring-loaded units pull down from the top and lock into place at the sill. All interior tracks and covers come standard with species matched wood veneer.



**GRILLES** Pinnacle Windows | Pinnacle Select Windows

All of our wood and cellular PVC (CPVC) Windsor Divided Lite bars are hand-fitted to ensure a perfect fit.



7/8" & 1-1/4"  
Perimeter Grille



7/8" & 1-1/4"  
Stick Grille



3/4" & 1"  
Profiled Inner Grille



13/16" Flat Inner Grille  
*(Not available on Select)*



7/8" & 1-1/4"  
Exterior Clad Ogee  
Windsor Divided Lite



7/8" & 1-1/4"  
Exterior CPVC Ogee  
Windsor Divided Lite  
*(Primed only)*



5/8", 7/8", 1-1/4" & 2"  
Tall Putty  
Windsor Divided Lite



5/8", 7/8", 1-1/4" & 2"  
Short Putty  
Windsor Divided Lite



5/8", 7/8", 1-1/4" & 2"  
Short Tall and Short  
Contemporary Windsor  
Divided Lite



5/8", 7/8", 1-1/4" & 2"  
Tall Interior Contemporary  
Windsor Divided Lite



2" Tall Putty  
Simulated Check Rail



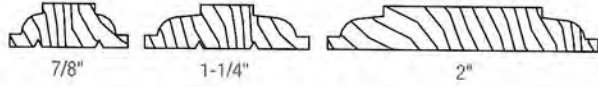
2" Exterior Low Profile  
Simulated Check Rail



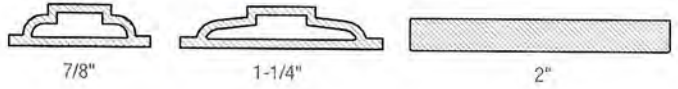
3-3/8"  
Simulated Mid Rail

**GRILLE PROFILES** Pinnacle Windows | Pinnacle Select Windows

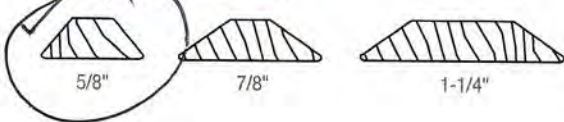
**Interior Grilles – Ogee**



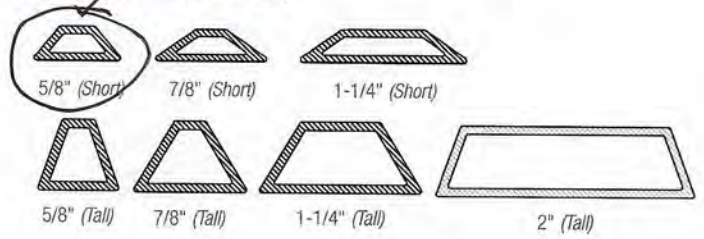
**Exterior Grilles – Ogee**



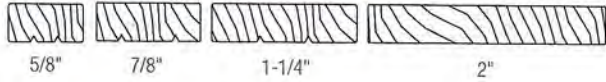
**Interior Grilles – Putty**



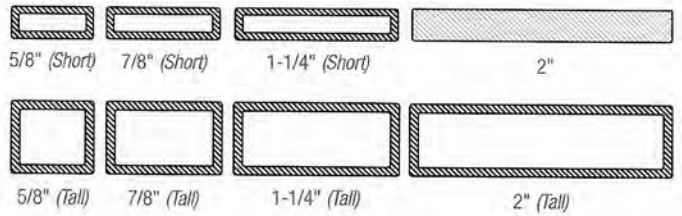
**Exterior Grilles – Putty**



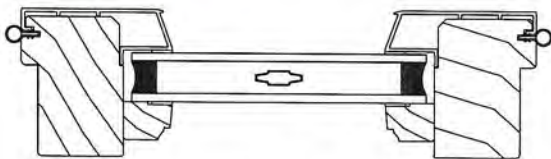
**Interior Grilles – Contemporary**



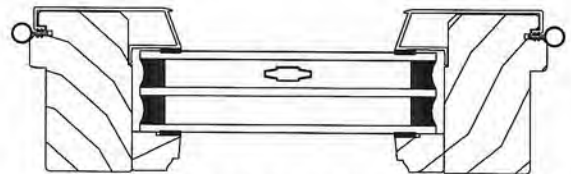
**Exterior Grilles – Contemporary**



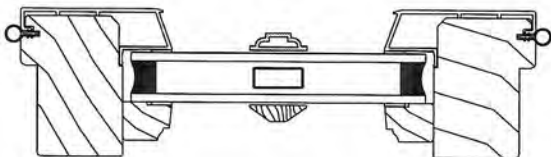
**GRILLE SECTIONS**



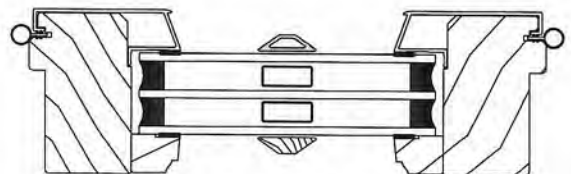
Standard Select IG with Inner Grille



Triple IG with Inner Grille



Standard Select IG with WDL and Inner Bar



Triple IG with WDL and Inner Bar

# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

## **6 Example: Proposed Details and layout post concept approval**

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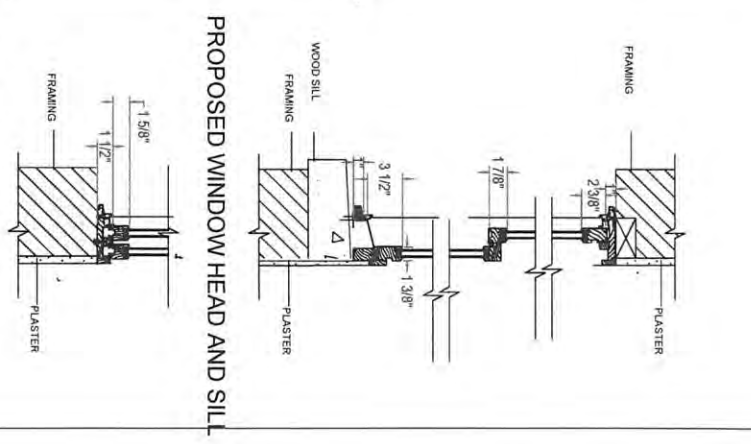
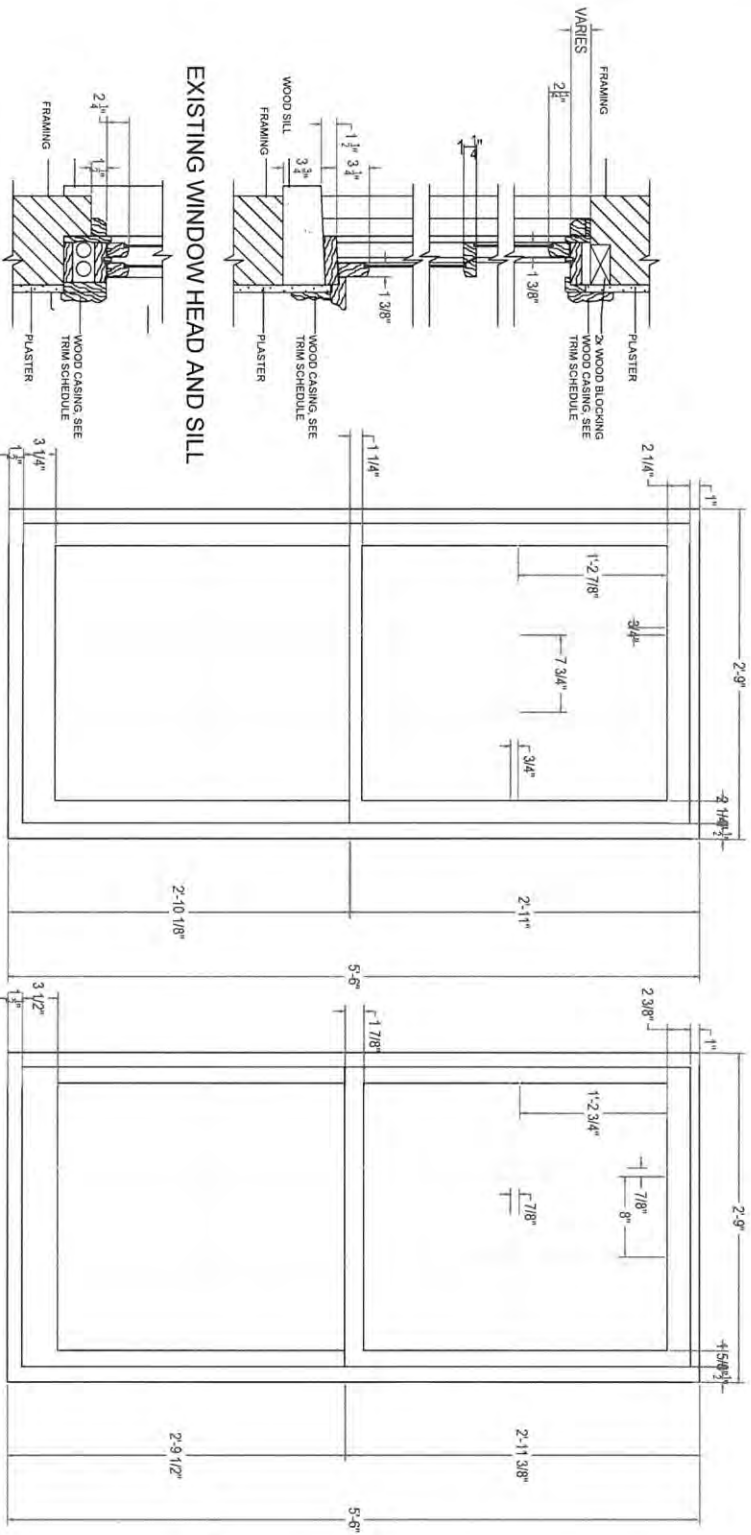
WINDOW TYPE: 6 / 6 Metal Clad

LOCATIONS: M1, M4, M5, M34, M35, M37, M38, M58, M59, M60, M61, M62, C109-135

NOTES: The window is fire rated due to the proximity with other surrounding buildings

SCALE -- 1" = 1'

W9



EXISTING WINDOW HEAD AND SILL

EXISTING WINDOW JAMB

EXISTING WINDOW MUNTIN

PROPOSED WINDOW HEAD AND SILL

PROPOSED WINDOW JAMB

PROPOSED WINDOW MUNTIN

ELEVATION

(AS VIEWED FROM OUTSIDE)

# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

## **EXTERIOR DOORS**

1. Door Survey (3 Pages)
2. Annotated Elevations
3. Door Designs
4. Door Specifications
5. Photos of Existing Doors

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**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

**Door Survey**

**WARNER CIRCLE CONDOMINIUMS LLC**

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Door #	Width	Length	Door Style	Lite Pattern	Existing Condition	Proposed Work
M2	3 - 2	7 - 2	3 Raised Panel Door	Half Lite with 2 panes.	This is not an original door, and was installed by Motgomery Parks during the building life cycle.	Install 2 light 2 pannel door. Simpson Door 7042 Thermal Sash. Painted to match color scheme of Mansion
M3	3 - 2	7 - 2	3 Raised Panel Door	Half Lite with 2 panes.	This is not an original door, and was installed by Motgomery Parks during the building life cycle.	Install 2 light 2 pannel door. Simpson Door 7042 Thermal Sash. Painted to match color scheme of Mansion
M6	3 - 2	7 - 2	3 Raised Panel Door	Half Lite with 2 panes.	This is not an original door, and was installed by Motgomery Parks during the building life cycle.	Install 2 light 2 pannel door. Simpson Door 7042 Thermal Sash. Painted to match color scheme of Mansion
M12	3 - 2	8 - 1	3 Raised Panel Door	Half Lite with 2 panes.	This is an origina door and is a means of egress for unit 102. The door is missing parts and has signs of dry rot.	The door will be restored to its original condtion with new ADA door hardware.
M17	3 - 8	8 - 2	3 Raised Panel Door	Half Lite with a central pane with 24 small 4x4 square muntins, around the edge of the window.	This is an original door from the building and is need of repair. The hinges are loose and broken with the bottom of the door with rotten edges.	The door will be restored to its original condtion with new ADA door hardware.
M20	3 - 1	7 - 1	Full Lite Door	15 Lite door	This is not an original door, and was installed by Motgomery Parks during the building life cycle.	Install two doors each with 12 Lite 2 raised panel door. Simpson Door 7522 Thermal Sash. Painted to match color scheme of Carriage
M27	3 - 1	7 - 1	Single Door	NA	The door opening has been boarded up. No door exists currently.	Replace with 12 Lite 2 raised panel door. Simpson Door 7522 Thermal Sash. Painted to match color scheme of Carriage House.

M28	6 - 1	7 - 1	Double Door	NA	The door opening has been boarded up. No door exists currently.	Install two doors each with 12 Lite 2 raised panel door. Simpson Door 7522 Thermal Sash. Painted to match color scheme of Carriage
M105	3 - 0	7 - 4	Half Lite Door	NA	This door is severely damaged and cannot be salvaged.	Remove door and create opening for access to addition.
C106	7 - 10	8 - 2	Half Lite 2 panel raised doors	6 Lite	This door is severely damaged and cannot be salvaged.	Replace with Tilt-up style 6 Lite 2 raised panel garage doors.
C107	7 - 10	8 - 2	Solid Double Door	NA	This is not an original door, and was installed by Motgomery Parks during the building life cycle.	Replace with Tilt-up style 6 Lite 2 raised panel garage doors.
C108	7 - 10	8 - 2	Carriage House Fitness Door	6 Lite	This door is severely damaged and cannot be salvaged.	Replace with Tilt-up style 6 Lite 2 raised panel garage doors.
C110	3 - 0	7 - 2	Half Lite 2 Raised Panel Door	NA	The door is damaged and is missing parts. The door has signs of dry rot.	Replace with 6 Lite 2 raised panel door. Simpson Door 7624 Thermal Sash. Painted to match color scheme of Carriage House
C114	3 - 11	7 - 1	Half Lite Door with 3 Raised Vertical Panels	6 Lite	The door is damaged with cracks and missing pieces. The door is not salvageable.	Replace with 9 Lite 2 Raised Vertical Panel Door. Simpson Door 37914 Thermal Sash. Painted to match color scheme of Carriage
C117	2 - 5	7 - 1	Half Lite with 2 Raised Panels	8 Lite	The door on is the inside is boarded up. The exterior of the door is in poor condition with severe rot. The door is not salvageable	Replace with 6 Lite 2 raised panel door. Simpson Door 7624 Thermal Sash. Painted to match color scheme of Carriage House

C129	3 - 11	7 - 4	Barn Door	NA	The door is splintering and has rot that has been closed with metal. The door is not salvageable.	Create a false door replicating the barn door with cedar boards.
C134	2 - 8	6 - 8	Half Lite with 3 Raised Panels	6 Lite	The door is damaged and is not salvageable	Replace with 6 Lite 2 raised panel door. Simpson Door 7624 Thermal Sash. Painted to match color scheme of Carriage House.
M145			3 Raised Panel Door		This is an original door from the building and is need of repair. The door has severe paint damage and needs to be replaed.	Replace door with 2 Lite 3 raised panel door.
M146			NA	NA	The door has been boarded up. The door leads to the basement of the mansion.	Replace with solid 4 pannel door. Simpson Door 77144.

Addition

A201	3'	6' 8"	8 Light Patio Door		Outside Patio Door	Install full 10 lite patio door. Simpson Door 77010 Thermal Sash. Painted to match color scheme of new addition.
A202	3'	6' 8"	8 Light Patio Door		Outside Patio Door	Install full 10 lite patio door. Simpson Door 77010 Thermal Sash. Painted to match color scheme of new addition.
A203	3'	6' 8"	8 Light Patio Door		Outside Patio Door	Install full 10 lite patio door. Simpson Door 77010 Thermal Sash. Painted to match color scheme of new addition.
A204	3'	6' 8"	8 Light Patio Door		Outside Patio Door	Install full 10 lite patio door. Simpson Door 77010 Thermal Sash. Painted to match color scheme of new addition.

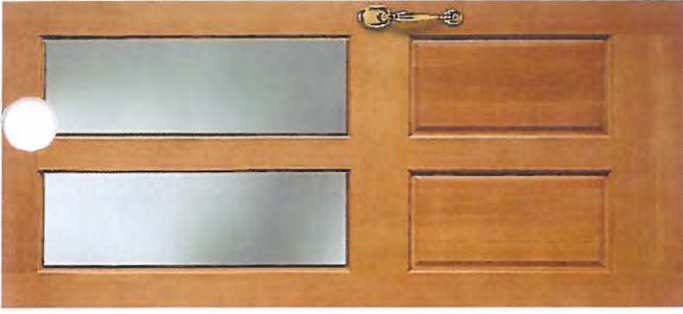
# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

## **Door Design**

**WARNER CIRCLE CONDOMINIUMS LLC**

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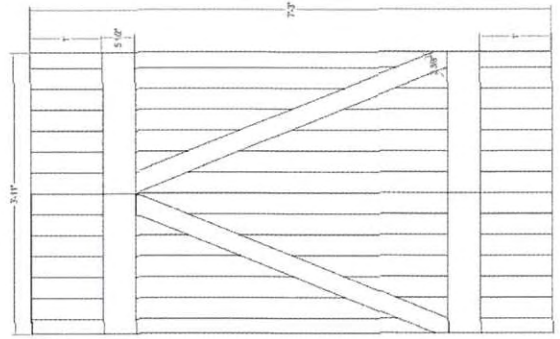
D1



D5



D2



D6



D3



D7



D4



D8



# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

## **Door Specifications**

**WARNER CIRCLE CONDOMINIUMS LLC**

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## Unbeatable Construction

- Mortise-and-tenon joinery with face-driven pins
- Two-piece laminated stile-and-rail construction
- Divided lite doors made with SDL construction
- Design pressure ratings of DP50 (additional hardware may be required in some applications)

## Wood Species Options

- Available in Western Hemlock, Douglas Fir, Sapele Mahogany and Nootka Cypress
- Hardwood tenon and matching species face pins

## Design Options

- Thickness - 1-3/4" or 2-1/4"
- Sticking Profiles - Shaker or Ovolo
- Panel Options - 1-7/16" Innerbond® double hip-raised panel or 3/4" flat panel
- Nantucket Collection doors come standard with a face pin with an option for no face pin

## Extended Warranty

- 10-year warranty on all Nantucket Collection doors
- No building overhang required. Refer to "High Exposure" finishing recommendations for best performance.

## Available Wood Species



WESTERN HEMLOCK



DOUGLAS FIR



SAPELE MAHOGANY



NOOTKA CYPRESS

## Profile Options

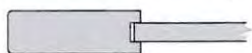
Ovolo with 1/8" Innerbond® Double Hip-Raised Panel (RP)



Ovolo with 3/4" Flat Panel (FP)



Shaker with 3/4" Flat Panel (FP)



Ovolo SDL Construction



Shaker SDL Construction



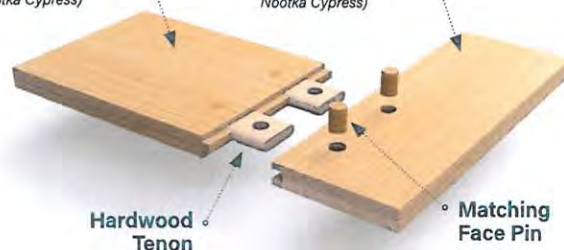
## Standard Joinery

### Solid Two-Piece Mortised Rail

(Available in Western Hemlock, Douglas Fir, Sapele Mahogany or Nootka Cypress)

### Solid Two-Piece Mortised Stile

(Available in Western Hemlock, Douglas Fir, Sapele Mahogany or Nootka Cypress)



## Optional Joinery

### Solid Two-Piece Mortised Rail

(Available in Western Hemlock, Douglas Fir, Sapele Mahogany or Nootka Cypress)

### Solid Two-Piece Mortised Stile

(Available in Western Hemlock, Douglas Fir, Sapele Mahogany or Nootka Cypress)





## 7042 TRADITIONAL

### DOOR SPECIFICATIONS (AS SHOWN):

**Wood Species:** Fir

**Glass:** Clear

**Profile:** Ovolo Sticking

**Panel Type:** 1-7/16" Innerbond DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.



## 7522 THERMAL SASH

### DOOR SPECIFICATIONS (AS SHOWN):

**Wood Species:** Fir

**Glass:** Clear

**Profile:** Ovolo Sticking

**Panel Type:** 1-7/16" Innerbond DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.



## 37914 THERMAL SASH (SDL)

### DOOR SPECIFICATIONS (AS SHOWN):

**Wood Species:** Fir

**Glass:** Clear

**Profile:** Ovolo Sticking

**Panel Type:** 1-7/16" Innerbond DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.



## 7624 THERMAL SASH

### DOOR SPECIFICATIONS (AS SHOWN):

**Wood Species:** Fir

**Glass:** Clear

**Profile:** Ovolo Sticking

**Panel Type:** 1-7/16" Innerbond DHRP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.



## 77010 NANTUCKET

### DOOR SPECIFICATIONS (AS SHOWN):

**Wood Species:** Fir

**Glass:** Clear

**Profile:** Ovolo Sticking

Rough opening needs to be 2" wider and 2 1/2" taller than your door.



## 77144 NANTUCKET

### DOOR SPECIFICATIONS (AS SHOWN):

**Wood Species:** Fir

**Profile:** Ovolo Sticking

**Panel Type:** 3/4" FP

Rough opening needs to be 2" wider and 2 1/2" taller than your door.

**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 2**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

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## **Work Item #2- Architectural/Landscape Feature: HVAC Service:**

Describe existing feature and its condition: The current heating and ventilation and air conditioning (HVAC) systems are obsolete from both an efficiency and comfort perspective. A forced air system (installed in the 1950s) centrally located in the basement only services the foyer area of the Mansion. These systems are all well past their useful life expectancy and not code compliant.

Describe, in detail, the proposed work and impact on existing feature: All new units and common spaces will have high-efficiency heat pump systems which will supply year-round heating and cooling and energy savings. Similarly, the Carriage House is currently served by a small number of radiators within the building, has no cooling system in place, and will have the same new high-efficiency heat pump systems as the Mansion. Both the Mansion and Carriage House will have bathroom ventilation with exterior venting. These ventilation systems will protrude vertically through the roof at the second and third floors and horizontally out of the side of exterior walls for the basement and first floor bathroom units within the Mansion. Specifically, a Bosch advanced inverter drive technology system is proposed which is ENERGY STAR rated and achieves up to 25 SEER. The Climate 5000 Ductless System delivers reliable temperature and humidity levels throughout the desired space by making automatic adjustments at sound levels as low as 20 dBA. The Bosch Climate 5000 is designed for easy installation and has the flexibility to fit virtually anywhere, and no needed ductwork creates enhanced ease of installation. The electrical, refrigerant, and condensate drain lines that connect the indoor and outdoor units run through a 3" diameter hole within an exterior wall, making it both unobtrusive and easy to install. Each mechanical system can accommodate two to five zones. There will be ceiling cassettes, wall mounted, and ducted over the bathrooms and kitchens. This is one of the least obtrusive systems available in the market. Submittals will accompany the re-submission. At the three large egress areas two compressors will be placed below grade for a total of six units with three compressors in the mechanical areaway of the new addition. This leaves the need to locate six compressors (for four units and two common areas) around the building and not more than 50 to 60 feet maximum. Thus, all compressors will be below grade at the mansion and proposed addition and hidden from public view with few exceptions. Finally, there will be three ground mounted compressors at the carriage house. All compressors not below grade will be hidden by landscaping. High efficiency ventless dryers have been selected reducing the need for additional exterior venting as well (See **Exhibit G) New HVAC systems specifications and outside locations drawing & CC) New Mechanical Vault Section**)



# A Single Solution to Heat or Cool Your Home

## The Bosch Climate 5000 Series

The Bosch Climate 5000 Ductless Series provides simple installation, maintenance, and cleaning. Shorter service times and high quality mean minimizing money spent while maximizing comfort and peace-of-mind. The Climate 5000 System utilizes a combination of efficient technologies to achieve up to a 28 SEER rating, reducing electricity usage and lowering your electric bill.<sup>(1)</sup>

### Features

- ▶ 100% heating capacity between -5°F and 5°F, depending on system configuration
- ▶ No additional accessory needed for Low Ambient Cooling operation down to -22°F with MAX Performance System (Maximum 107% Cooling capacity at -22°F)
- ▶ Whisper quiet operation: ODU as low as 53 dB, IDU as low as 23 dB<sup>(2)</sup>
- ▶ Wired wall thermostat, 24V Interface for use with 24V thermostat
- ▶ Intelligent Eye (Wall-Mounted Indoor Unit)<sup>(3)</sup>
- ▶ Factory installed base pan heater for all ODU models
- ▶ Built in condensate (lift) pump for Cassette & Ducted IDU's
- ▶ 10 year compressor & 10 year parts residential warranty<sup>§</sup>
- ▶ Compatible with the Bosch Connected Control (BCC) Wi-Fi Thermostat family'



#### Regular

**Operating Range**  
 Heating: -13°F - 86°F  
 Cooling: -13°F - 122°F

**Single Zone**  
 9K, 12K<sup>(4)</sup>, 18K, 24K

**Multi Zone**  
 18K, 27K, 36K, 48K

#### MAX Performance

**Operating Range**  
 Heating: -22°F - 86°F  
 Cooling: -22°F - 122°F

**Single Zone**  
 6K, 9K, 12K, 18K, 24K

**Multi Zone**  
 18K, 27K, 36K, 48K

#### Light Commercial

**Operating Range**  
 Heating: 5°F - 86°F  
 Cooling: 5°F - 122°F

**Single Zone**  
 30K, 36K, 48K, 60K

(1) Compared to 14 SEER wall-mounted systems. (2) With Silent mode. (3) Feature is only available on Generation 3 single zone system only (4) Available in 115V. \*Product sold separately & additional accessory required. §10 years parts residential warrant requires registration. Please go to [boschheatingandcooling.com](http://boschheatingandcooling.com) for full limited warranty details.



## A Highly Efficient Heating & Cooling Split System



**A**

### Wall Mounted IDU\*

Redesigned sleek and modern looking Wall Mounted indoor unit can be easily installed with minimum required maintenance. Self-cleaning function is available with Single Zone system. Now includes intelligent eye to improve your comfort level.



**B**

### Cassette IDU\*

4-Way Cassette indoor unit can be used with both open concept or drop down ceilings. Minimal maintenance is required and self-cleaning function is available with Single Zone system for 9K ~ 24K Btu models.



**C**

### Ducted IDU\*

Ducted IDU requires only little duct work and is available in both medium (9K ~ 48K) and high (60K) static models. Self-cleaning function is available with Single Zone system for 9K ~ 24K Btu models.



**D**

### Bosch ODU\*

The robust Bosch Climate 5000 System is available in both single and multi zones which utilizes just the right amount of energy to achieve ultimate comfort and maximum efficiency while keeping sound levels to a minimum.

\*Product sold separately



**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 3**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

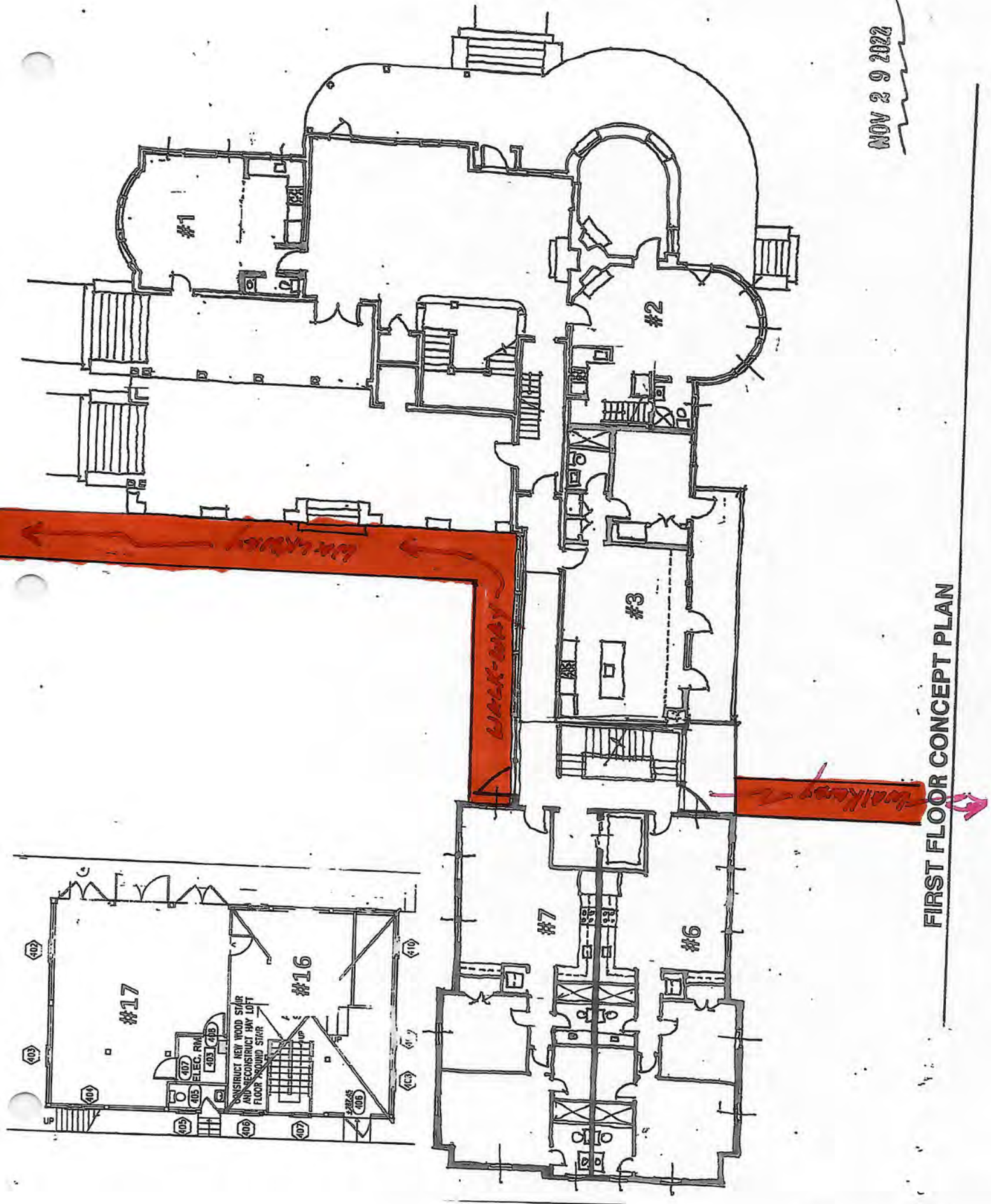
**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

**Work Item #3- Accessibility (ADA compliant) Ramp:**

Describe existing feature and its condition: When the Warner Circle Mansion was constructed and through subsequent improvements to the structures the ADA accessibility was not a consideration. Currently the building is not universally accessible and has no ramp or elevator.

Describe, in detail, the proposed work and impact on existing feature: Following passage of the Americans with Disabilities Act (ADA) of 1990, these matters of accessibility require addressing with a plan to add an access ramp to the south side of the building. A new external walk shall be provided for universal access to the building. A new walkway will run parallel to the back of the patio from the circular driveway parking area into the new addition and an internal elevator in new addition shall provide access to all floors as provided in concept plan. The ramp will run parallel to the stone patio turning 90 degrees (south) to turn into the new addition. Individuals with health conditions or mobility impairments will thus be able to access the building and elevator to the upper floors. There will be no need for a rail on either side of this ramp. Despite being exempt from ADA requirements, good stewardship and citizenship as builders begs the installation of these ADA accommodations. **(Please see exhibit H) Redlined Civil Engineering Site Plan with walkway shown**

NOV 29 2022



FIRST FLOOR CONCEPT PLAN

**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 4**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

**Work Item #4-Architectural/Landscape Feature: Carriage House Front Concrete**

Describe existing feature and its condition: There is a concrete pad/parking in front of the Carriage House. The concrete is severely cracked and falling apart. The concrete driveway in front of the Carriage House has been paved several times over the years. This constant driveway expansion has created various pavement sections and stormwater management issues.

Describe, in detail, the proposed work and impact on existing feature: All broken and cracked concrete will be removed and a new stamped concrete paver system will be installed to address the broken concrete and stormwater management issues. Further, movable vehicular barriers will be installed in front of the Carriage House. **(See attached photo #s 367 & 368)**



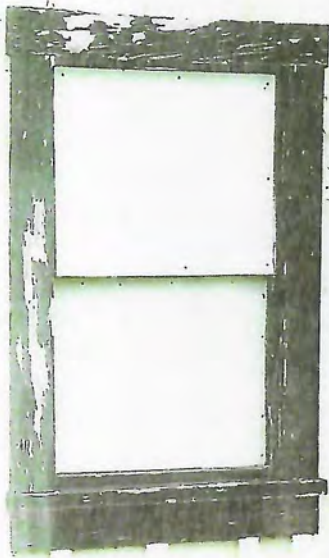
366



367



368



369



**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 5**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

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**Work Item #5 -Architectural/Landscape Feature: Carriage House Garage Doors:**

Describe existing feature and its condition: There are three large double door sections which are damaged and missing operating parts and glass. Once used daily, the doors are effectively in operational.

Describe, in detail, the proposed work and impact on existing feature: The three garage doors will be replaced with new custom fully operable doors having a similar aesthetic if not matching of the original based on the historic drawing evidence. **(See photo #s 106, 108, & and Exhibit I-- Custom Carriage House Doors)**

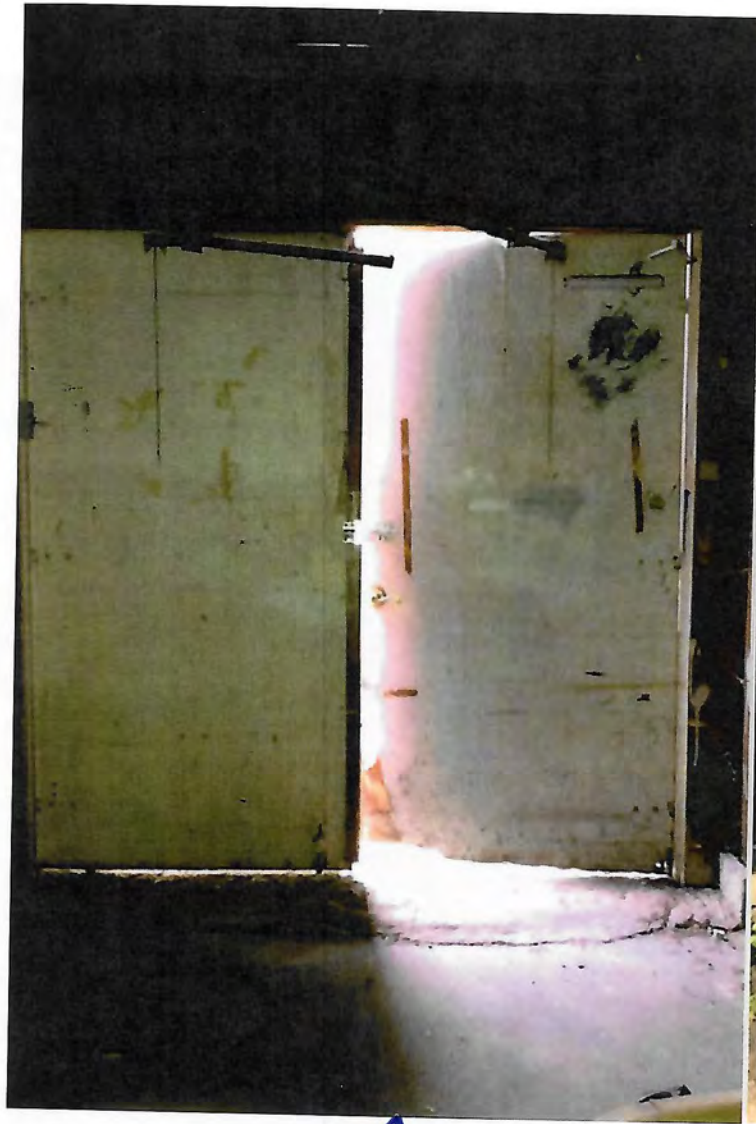
Door #	Page#	Photo #	Connected Unit	Connected Room	Width	Length	Door Style	Lite Pattern	Existing Condition	Proposed Work
106			Carriage House	Fitness Room	7 - 10	8 - 2	Half Lite 2 panel raised doors	6 Lite	This door is severely damaged and cannot be salvaged.	Replace with Carriage style 6 Lite 2 raised panel garage doors.
107			Carriage House	Fitness Room	7 - 10	8 - 2	Solid Double Door	NA	This is not an original door, and was installed by Montgomery Parks during the building life cycle.	Replace with Carriage style 6 Lite 2 raised panel garage doors.
108			Carriage House	Fitness Room	7 - 10	8 - 2	Carriage House Fitness Door	6 Lite	This door is severely damaged and cannot be salvaged.	Replace with Carriage style 6 Lite 2 raised panel garage doors.
114			Carriage House	Fitness Room	3 - 11	7 - 1	Half Lite Door with 3 Raised Vertical Panels	6 Lite	The door is damaged with cracks and missing pieces. The door is not salvageable.	Replace with 6 Lite 3 Raised Vertical Panel Door.
117			Carriage House	Fitness Room	2 - 5	7 - 1	Half Lite with 2 Raised Panels	8 Lite	The door on is the inside is boarded up. The exterior of the door is in poor condition with severe rot. The door is not salvageable	Repalce with 8 Lite 2 Raised Panel Door.



#106



#106



↑  
#107



↑  
#107



#108



#108









**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 8**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

**Work Item #8- Architectural/Landscape Feature: Carriage House Siding:**

Describe existing feature and its condition: The Carriage House siding is of board and batten cladding with material gaps and cracks. This siding was applied directly onto the building frame and is in fair to poor condition with no moisture or insulation protection. Board and batten siding was commonly used in barns or non-residential structures which do not require a need to be “weathertight”.

Describe, in detail, the proposed work and impact on existing feature: The current siding will be removed, and new code compliant sheathing and rain screens will be attached to the building frame and new board and batten siding installed. The new siding will be of the same appearance, texture, and dimensions as the original (**Carriage House siding specifications-- included in work item**).



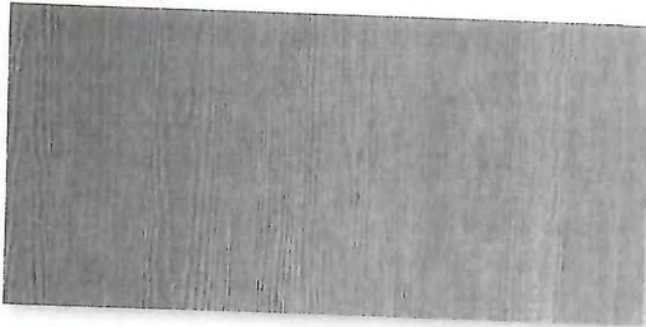
# HardiePanel®

Thickness 5/16 in

## SELECT CEDARMILL®, SMOOTH, STUCCO & SIERRA 8

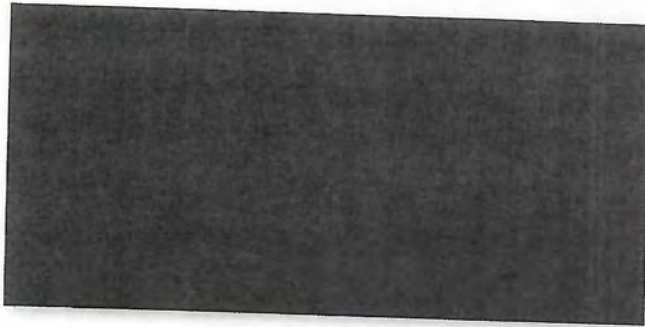
Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Prime Pcs/Pallet	50	50	50
ColorPlus Pcs/Pallet	50	—	50
Pcs/Sq	3.2	2.8	2.5

### SELECT CEDARMILL®



Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			✓
DREAM COLLECTION™	✓		✓
PRIME	✓	✓	✓

### SMOOTH



Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			✓
DREAM COLLECTION™	✓		✓
PRIME	✓	✓	✓

### STUCCO



Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			
DREAM COLLECTION™	✓		✓
PRIME	✓	✓	✓

### SIERRA 8



Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
STATEMENT COLLECTION™			
DREAM COLLECTION™			
PRIME	✓	✓	✓

# HardieTrim®

Length 12 ft boards

## NT3® BOARDS SMOOTH



### 4/4 SMOOTH

Thickness	.75 in				
Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	312	208	156	104	104
<b>STATEMENT COLLECTION™</b>	✓	✓	✓	AW	✓
<b>DREAM COLLECTION™</b>	✓	✓	✓	✓	✓
<b>PRIME</b>					

### 5/4 SMOOTH

Thickness	1 in					
Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	240	200	160	120	80	80
<b>STATEMENT COLLECTION™</b>	✓	✓	✓	✓	AW	✓
<b>DREAM COLLECTION™</b>	✓	✓	✓	✓	✓	✓
<b>PRIME</b>						

AW - Arctic White only. Not available in the standard trim product Statement Collection™ color offering.

## BATTEN BOARDS

### SMOOTH



### RUSTIC GRAIN®



### SMOOTH & RUSTIC GRAIN®

Thickness	.75 in	<b>STATEMENT COLLECTION™</b>	✓
Width	2.5 in	<b>DREAM COLLECTION™</b>	✓
Prime Pcs/Pallet	190	<b>PRIME</b>	✓
ColorPlus Pcs/Pallet	437		

**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 9**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

## **Work Item #9- Mansion House Siding and Sheathing:**

### **a). Siding and Shingles:**

Describe existing feature and its condition: The Manor House siding is mainly shingle and clapboard siding with material gaps and cracks. The existing siding will be removed and reinstalled. The cedar shingles will be replaced with the highest quality shingles that we know of while

Sidewalls don't have the leak potential that roofs do, you still must take precautions to keep water out from behind trim at corners and openings for windows and doors. This is done before any shingling starts. I slip strips of builder's felt before the building moisture/vapor barrier envelope is installed (around here, we call them splines) behind window and door side casings. The splines are cut from the felt roll with a utility knife. I make them about eight in. wide and long enough to extend from 3 in. above the header to 6 in. to 8 in. below the windowsill. Then we add a vapor barrier over the existing (un-rotted substrate). Incorrect use of vapor barriers leads to an increase in moisture-related problems. Vapor barriers were originally intended to prevent assemblies from getting wet. However, they often prevent assemblies from drying. Vapor barriers installed on the interior of assemblies prevent assemblies from drying inward. This can be a problem in any air-conditioned enclosure. This can be a problem in any below-grade space as well. Finally, the shingles will be replaced while the siding will be removed and re-used. While just about any wood can be used for sidewall shingling (all new shingles would be dipped in high-quality Olympic paint and primer), on Cape Cod (where I spent summers as a kid) white cedar is the preferred material because of the beautiful grey color it acquires as it ages and because it lasts 100 or 150 years old. While Red cedar is common in the West, it ages to a black or muddy brown color that doesn't seem to fit well in a Mid-Atlantic setting. I've used only two grades of shingles— extras and clears. Clears are fine for sidewalls. The different grade means that the shingles are knot-free, while clears will have knots 5 in. from the butt (when we completed no knots will be visible). All white cedar shingles come from Canada; some mills are better than others. I've found that Waska shingles (Clair International Development Corp. Ltd., Waska Cedar Shingle Mill, 2nd IND Ave., Box 118, Clair, New Brunswick, Canada) are consistently good-- <https://waska.com/en/our-products/white-cedar-shingles/factory-coated-shingles> Additionally there is a 25-year warranty when they are factory painted with two coats. The things to look for in a bundle of shingles are a full-in. butt thickness and a good mix of widths—bed sheets, 3-in. widths, and plenty of 6s and 9s. Bundles with a preponderance of narrow (2-in. or 3-in.) shingles, which we call paint paddles, are bad news and are not acceptable.

### **b). Sheathing:**

Describe existing feature and its condition: The exterior siding is cracked but in fair condition, however, there is not sheathing, vapor barrier, or rain screening. To maximize the longevity of this exterior cladding, the siding will have to be removed and reinstalled once the previous weatherproofing elements have been added. The exterior siding is a combination of cedar shakes and Douglas fir clapboard siding (longboards). The siding is presently in poor condition due to weathering and deferred maintenance. As a result, it is presumed water infiltration is occurring behind the cedar siding, with such infiltration having the potential to cause mold to form along with additional water damage inside the Mansion.

Describe, in detail, the proposed work and impact on existing feature: All exterior wood siding will be removed. New sheathing, rain screen, and reclaimed or new wood siding to match the original siding will be installed. The only way to remediate the condition above is to remove the current substrate and siding and to install new underlayment materials (the existing cedar shingles must be replaced in-kind, per standard #6). Additionally, for purposes of durability, efficiency, and resiliency, the ZIP System™ building enclosure system has transformed wood-framed building envelopes. Created as an alternative to the traditionally used wood sheathing with house wrap, the ZIP System™ sheathing and tape strike a balance between efficient installation and long-term water and air management. A Structural-rated wood panel with an integrated water-resistive barrier eliminates the need to install an additional weather barrier. Completed with advanced acrylic ZIP System™ tape at panel seams and flashing details, the system delivers continuous water and rigid air barrier in a simplified method. Code-compliant as an air and water barrier for roof and wall assemblies, as documented in ESR-1473, the system is backed by a 180-Day Exposure Guarantee and 30-Year Limited Warranty. Additionally, wood siding mainly benefits from a rain-screen, such as our proposed Slicker Rainscreen System, to provide drainage and ample space for air circulation to help keep the back of the cladding dry. This will create a watertight barrier between the interior and exterior expected to last for many years to come.





## Our Products > White Cedar Shingles

### Waska shingle products: Right for you

Waska offers all grades of Cedar shingles for your building needs.

**RR** Cedar shingles edges are squared to eliminate on-site shaving for time-saving installation. They are also rebuted to ensure a perfect finish for exceptional natural beauty and quality.

See your Waska authorized dealer for our latest shingle products. At Waska, workmanship is our best product.



### Grades of quality White Cedar shingles made by Waska include:

- **Extra Grade A (Blue Label):** no imperfections.
- **Clear Grade B (Red Label):** no imperfections up to its clear line.
- **Second Clear Grade C (Black Label):** sound knots on exposed sides.
- **Clear White (Brown Label):** sapwood shingles, no imperfections up to its clear line.
- **Utility Grade D (Green Label):** multipurpose .





▼ Natural • Factory Coated Shingles • Victorian Series ▼

*Note: This guide is as accurate as possible. However, Waska takes no responsibility for any damage or prejudice resulting from the use of any information it contains.*



Operating in two shifts year-round, Waska produces some 70,000 squares of white cedar shingles every year. These are sold in the United States, especially in the New England states, Mid-Western states and on the West Coast, as well as in Ontario, Quebec, and the Atlantic Provinces.



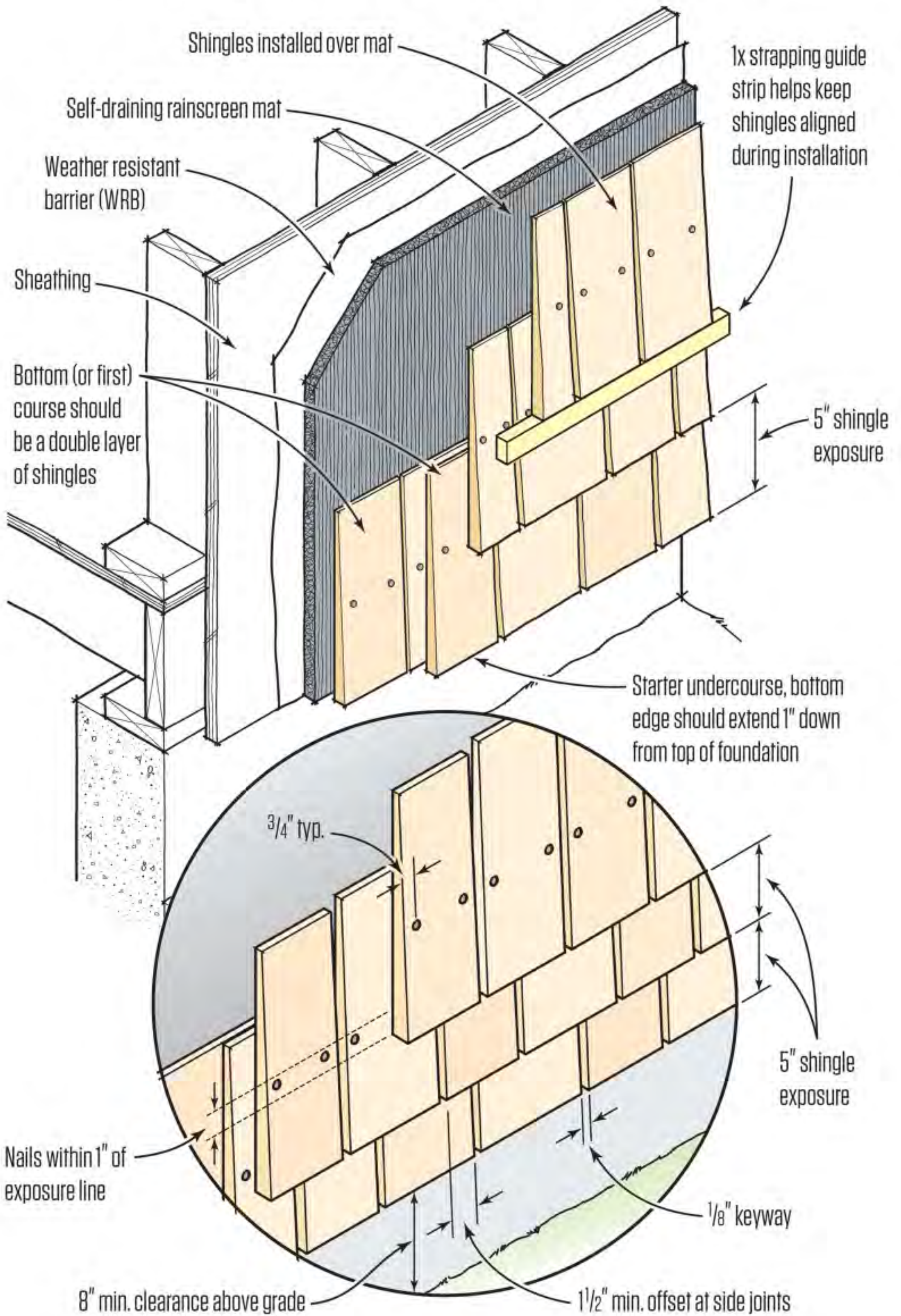
As for **quality control**, Waska is a member of the **MLB** (Maritime Lumber Bureau) which provides independent inspections, insuring the product follows industry criteria. Waska also manufactures and grades its shingles in accordance with the **CSA** (0118.2-08).

<a href="#">Home</a>	<a href="#">About WASKA</a>	<a href="#">Our Products</a>	<a href="#">Technical Information</a>	<a href="#">Project Photos</a>	<a href="#">FAQ</a>	<a href="#">Share Your Feedback</a>	<a href="#">Contact Us</a>	<a href="#">Get a price</a>
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	<a href="#">Commitment to quality</a>	<a href="#">Sample Request</a>	<a href="#">Warranties</a>					
	<a href="#">Community involvement</a>	<a href="#">Laths</a>	<a href="#">Best Product</a>					
	<a href="#">What's new?</a>	<a href="#">White Cedar Shingles</a>	<a href="#">Installation</a>					
	<a href="#">Jobs</a>	<a href="#">Fence Boards and Moulded Pickets</a>	<a href="#">Material Safety Data Sheet</a>					
		<a href="#">By-products</a>						

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Email: [info@waska.com](mailto:info@waska.com)  
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# Sidewall Shingle Installation Detail



**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 10**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

**Work Item #10-Architectural/Landscape Feature: Carriage House Rear Stairs to 2nd Floor:**

Describe existing feature and its condition: This is the only current access to the second floor of the Carriage House with the stairs constructed of pressure treated wood. While the stairs appear to have been more recently built, they are not up to current code and require reconstruction.

Describe, in detail, the proposed work and impact on existing feature: A new code-compliant external staircase will be installed with pressure-treated wood in the same appearance as the existing stairs but will be updated to meet current building code for life safety purposes

**(Carriage House back stairs and deck stair requirements included in work item).**

**Warner Circle Mansion and Carriage House**

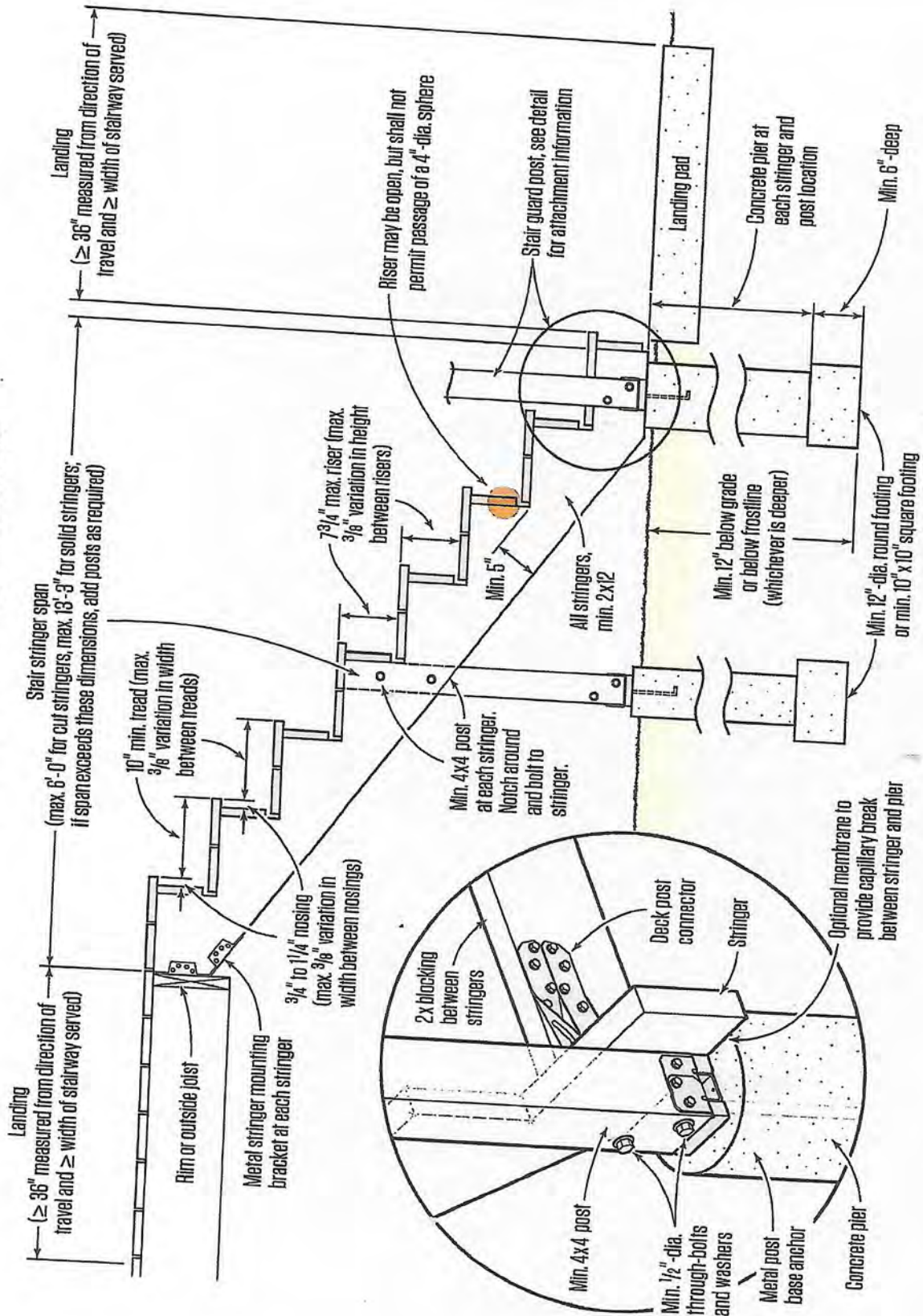
10231 Carroll Place, Kensington MD 20895

**Carriage House back stair & deck stair requirements**

**WARNER CIRCLE CONDOMINIUMS LLC**

4710 BAYARD BOULEVARD • BETHESDA • MD • 20816

# Deck Stair Requirements



**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 11**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

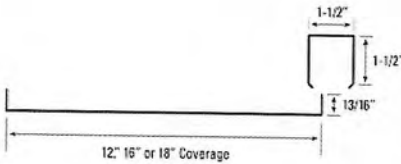
**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**



**Work Item #11 -Architectural/Landscape Feature: Carriage House Metal Roof:**

Describe existing feature and its condition: The Carriage House roof is metal over bare wood framing. Having been originally constructed as a functional carriage house, the need for high-quality construction was not a high-level concern at the time it was built. Thus, the current metal roofing is nailed directly to the roof joist frame with no underlayment or sheathing. This condition is entirely unacceptable by today's building standards/codes as well as for the future functional use of this structure.

Describe, in detail, the proposed work and impact on existing feature: The existing roof will be removed with special attention given to the roof's two existing cupolas. These cupolas will be removed and repaired/rebuilt in such a manner as to last many years while retaining their current appearance. The new roof underlayment/sheathing will be installed on the roof joists, with the addition of ice/water protection as well installed under the replacement roof. The new standing seam metal roof will mimic the existing shape and size to the existing one (**Carriage House metal roof specifications included in work item**).



## BOX-BATTEN

Roof

**Panel Coverage:** 12", 16", 18"

**Rib Height:** 1-1/2"

**Rib Features:** Snap-on batten cap

**Standard Gauges:** 24 ga., 26 ga.

**Optional Gauge:** 22 ga.

Like all Standing Seam Roof panels, Box Batten delivers a clean, linear elegance paired with unmatched quality and unrestricted thermal movement for a dependable, long-lasting and beautiful roof.

**Available Material:** Steel

**Available Substrate:** Solid Substrate

**Fasteners:** Concealed

**Standard Finishes:** Acrylic Coated  
Galvalume®, MS Colorfast45®, PVDF

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## AVAILABLE COLORS

Enter your **ZIP code** to see the colors available in your area.

ZIP



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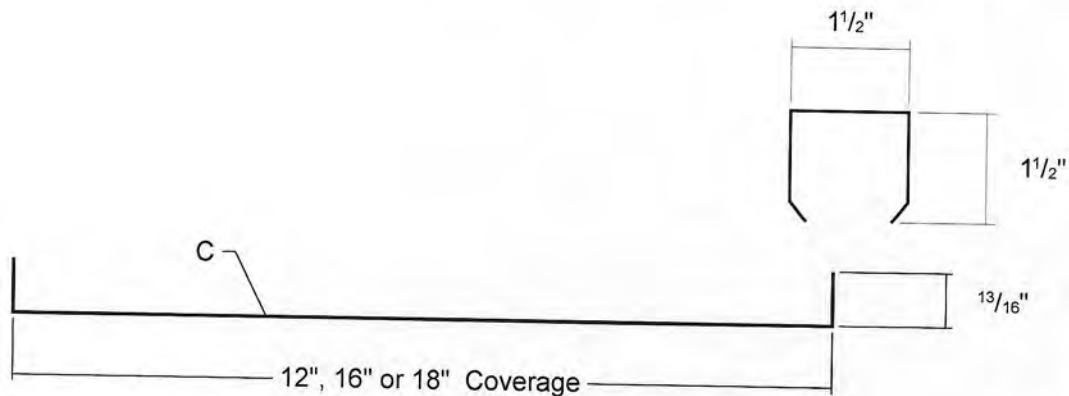
[+ WARRANTIES](#)

[+ OTHER DOCUMENTS](#)

[+ TESTING/APPROVALS](#)

# BOX-BATTEN

Condensed  
Technical  
Reference



ARCHITECTURAL  
PANEL

CONCEALED  
FASTENED

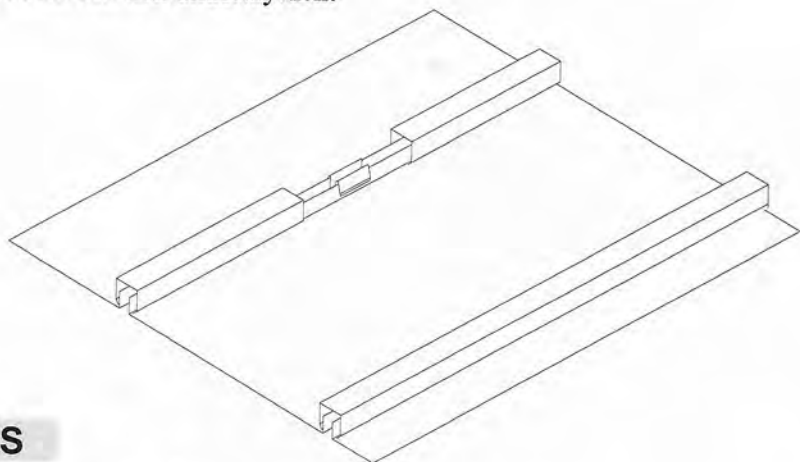
12", 16" OR 18"  
COVERAGE

MINIMUM  
SLOPE  
3:12

SOLID  
SUBSTRATE

## PANEL OVERVIEW

- ▶ Finishes: PVDF, MS Colorfast45® and Acrylic-Coated Galvalume®
- ▶ Corrosion Protection: AZ55 per ASTM A 792 for unpainted Galvalume®  
AZ50 per ASTM A 792 for painted Galvalume®  
G90 per ASTM A 653 for Galvanized
- ▶ Gauges: 26 ga and 24 ga standard; 22 ga optional
- ▶ 12", 16" or 18" panel coverage, Wide Batten Cap: 1 1/2" x 1 1/2"
- ▶ Panel Length: Minimum: 5'; Maximum: 45' recommended
- ▶ Architectural standing rib roof system
- ▶ Minimum roof slope: 3:12
- ▶ Applies over solid substrate with minimum 30# felt underlayment

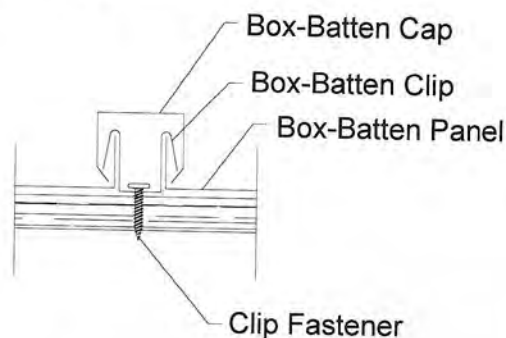


## TESTING AND APPROVALS

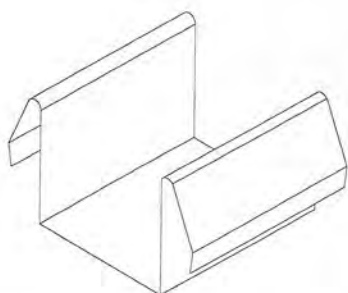
- ▶ UL 790 Fire Resistance Rating - Class A, per building code
- ▶ UL 263 Fire Resistance Rating - per assembly

**ms** metal sales™  
manufacturing corporation

### ATTACHMENT DETAIL



### PANEL CLIP



### FASTENING INFORMATION

#### ► Clips

Clip spacing is based upon the design loads, the spanning capacity of the panels, the fasteners and the support members.

Clips are 0.030" thick, G90 galvanized.

Clips can accommodate thermal expansion and contraction.

#### ► Fasteners

Overdriven fasteners will cause panel distortions.

Fasteners should extend 1/2" or more past the inside face of the support material.

#### Clip Fasteners:

- Over wood deck: #10-12 Pancake Head Wood Screw
- Over metal deck: #14-13 Deck Screw

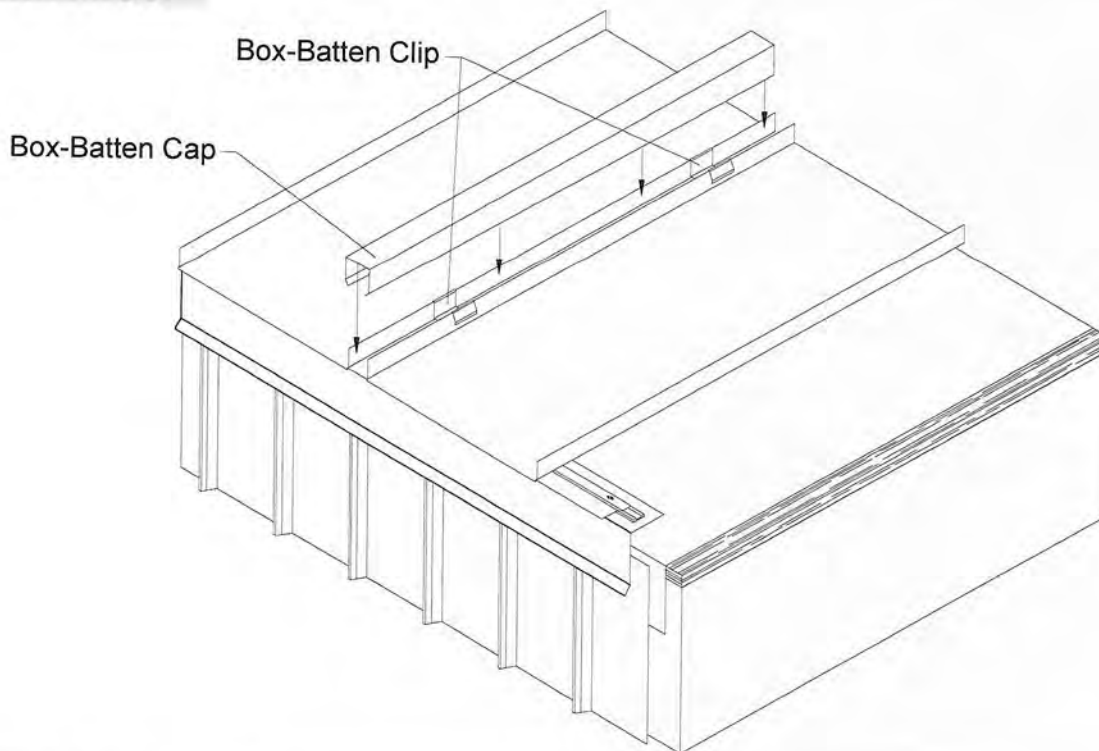
#### Concealed End Fasteners:

- Over wood deck: #10-12 Pancake Head Wood Screw
- Over metal deck: #14-13 Deck Screw

#### Trim Fasteners:

- 1/4"-14 x 7/8" XL Stitch Screw
- 1/8" x 3/16" Pop Rivet

### BASIC INSTALLATION



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[metalsales.us.com](http://metalsales.us.com)

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Rogers, MN 800.328.9316

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Sellersburg, IN 800.999.7777  
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Temple, TX 800.543.4415  
Woodland, CA 800.759.6019

**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 13**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

### **Work Item #13-Architectural/Landscape Feature: Slate Roof:**

Describe existing feature and its condition: Currently the building has signs of leaking under the slate roof. Missing, cracked, and loose slate tiles are present. Some slate tiles are entirely missing, and some are currently held in place by a single nail. The flashing used at the time of the last installation has deteriorated and rusted with the expectation to fail soon. The slate roof cone appears to be in good condition and will be left in its current condition. Despite a roof inspection report dated 10-10-2013, which stated the roof was in good to fair repair (though chimneys were then in poor repair at time of report), the condition appears to have deteriorated in the ensuing years since the report and based on recent observations from roofing subcontractor, the roof could now be characterized as in poor condition.

Describe, in detail, the proposed work and impact on existing feature: Except the front turret dome, all roof slate will be removed, and new underlayment installed as needed. New (real) slate will be installed on the roof. All slate roofing will be carefully removed, and any needed roof substrate work (water damage) will be repaired as noted above. New ice and water shielding will be installed, and the reclaimed slate shingles will be installed, or new materials of similar color and shape will be used to replicate the existing slate roof appearance as closely as possible. Additionally, copper flashing, which has a life expectancy of than 100+ years if allowed to expand and contract freely, will be used at the roof penetrations (bath and plumbing vents). All other flashings will be copper at the valleys and around the two chimneys.

Finally, removal of all dry-rotted sheathing will be replaced with new structurally rated sheathing panels to achieve sheer strength sufficient to meet high-wind code requirements.

The slate roof cone will be reinforced from the inside to create long term structural integrity along with the rest of the renovated roofing members.

**(Slate specifications included in work item)**



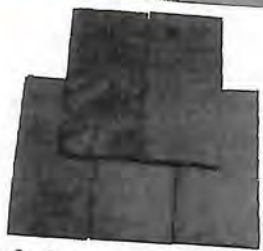
	Average Breaking Load (lbs)	Water Absorbtion (%)	Depth of Softening (Inches)
ASTM - C406 - 10 Specification	575 min.	0.25 max	0.002 max
Vermont Unfading Gray	1270	0.04	0

When Split	1 Year
Medium gray tone with marks of black	Slight changes of less than 10% to gray tones

**Breaking Load:** The Slate is put under a defined amount of increasing pressure until the slate ruptures.

**Water Absorbtion:** A sample of slate is weighed, then it is soaked in water for a fixed period of time, then dried, and re-weighed. The weights are proportioned.

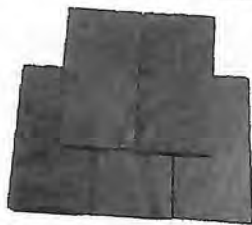
**Depth of Softening:** A slate sample is treated with acid to determine the acid penetration depth into the slate.



### Unfading Classic Black Slate

Rich in color with a smooth uniform texture that makes it suitable for both formal and traditional architectures. Commonly used as a substitution for "Buckingham Slate", "Monson Black," "PA Black Slate", or "Banger Slate."

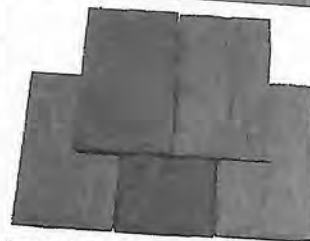
[Request More Info](#)



### Vermont Gray / Black Slate

Consistent in color, yet over time this Semi-Weathering Black slate weathers to tones and tans and buffs when exposed to the elements. This slate is commonly referred to in the industry as a "Vermont Black" or a "Clear Black."

[Request More Info](#)



### SemiWeathering Gray / Green Slate

Semi-Weathering Gray / Green will weather 10% to 20% to buff and tans. This should be expected if purchasing this slate color. This product is often referred to as "Semi-Weathering Gray" or "Semi-Weathering Green."

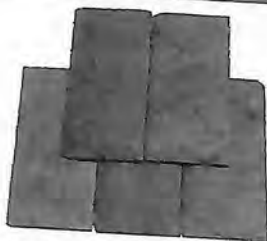
[Request More Info](#)



### Buckingham Slate

One of the best slates in the United States. It is commonly used for high end residential and government buildings.

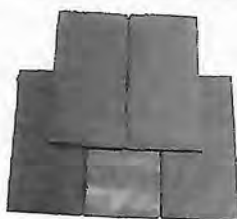
[Request More Info](#)



### Vermont Unfading Gray Slate

Vermont Unfading Gray carries a slight hue of green to the gray. The light colored stone is slightly textured and will add years of longevity to any structure.

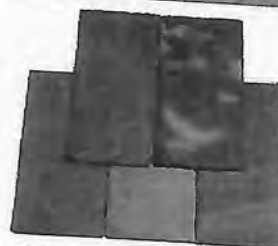
[Request More Info](#)



### Vermont Unfading Purple Slate

Unfading Purple is a beautiful purple slate with dotting of green. This slate is produced in small quantities, so lead time and availability can sometimes be a problem. The size of the job will determine the delivery of this slate.

[Request More Info](#)



### Vermont Mottled Green / Purple Slate

Mottled Green / Purple is a slate uniformly blended with green and purple; each piece contains almost equal parts of both green and purple. The slate is often used in blends with other slate colors.

[Request More Info](#)



### Vermont Unfading Red Slate

Unfading Red is a truly unique appearance often used as an accent due to its small pieces and color.

[Request More Info](#)



**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 14**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

#### **Work Item #14 -Architectural/Landscape Feature: Basement Egress Window Wells:**

Describe existing feature and its condition: Current basement has small (36" W x 18"H) windows (12 total). 4 of these windows will need to be enlarged for egress, since windows are connected to bedrooms and therefore not code compliant. Per the county code each bedroom below grade needs an emergency egress window for life safety

Describe, in detail, the proposed work and impact on existing feature: At each needed egress window, the basement foundations stone wall will require the stone wall be cut out to an opening of 3' W x 5' H to accommodate each egress window to achieve required size and sill height. This new window will allow for the occupant to exit the basement in case of an emergency. A new window well will also be excavated out to provide the needed light and air where natural light is required. The minimum net glazed area shall be not less than 8% of the floor area of the room or rooms served. With new plans utilizing the basement for living spaces, matters of life safety must be addressed. To meet this requirement of the lower-level dwelling spaces, new window well egress will be added in the basement level (See floor plans for specific locations). Additional egress requirements include, whether it is an egress window or an egress door, must open to the outside and open easily without the use of keys or tools. It must also follow code requirements for the height and width of basement egress windows. Egress opening requirements include:

- A window with a minimum width of opening of 36"
- A window with minimum height of opening of 6"
- A sill height no higher than 44" above the floor.
- A window-well floor space of 9 square feet with minimum dimensions of 36 inches wide and long.
- Permanent ladder or steps if the window well depth is more than 44 inches.
- Hinged or removal metal grate to cover the window well for fall protection and code compliance.

These windows will meet county code requirements while the window wells will not disturb the exterior appearance of the historic structure above as they are below grade.

# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

## **WORK ITEM 15**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

**Work Item #15-Architectural/Landscape Feature: Front Porch 2nd Floor Balcony:**

Describe existing feature and its condition: Above the front door to the Mansion, there is a small exterior second floor balcony. The balcony was at one time both functional and accessible, but currently is not accessible and thereby precluding its function otherwise. Once a prominent feature of the Mansion, the balcony has evolved into more of a liability in its present condition. Having no dedicated water drainage system, the roof portion collects water which can then potentially leak into the Mansion. In addition, plywood has been installed over the windows blocking access to the balcony.

Describe, in detail, the proposed work and impact on existing feature: Remove all roof coatings on the wooden roof deck. Repair any roof decking and paraffin walls. The deck will then be recovered with an approved covering to waterproof the deck and manage rain/moisture collection with a new dedicated roof/floor drain, and curb to remedy the current drainage issues. The windows at the terrace will be reopened and code compliant guardrail system added to reintroduce access to the roof balcony for future use and enjoyment.

**(See photo #s 48,49, & 320)**

**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 16**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

**Work Item #16 Architectural/Landscape Feature: Stone Foundation of Mansion:**

Describe existing feature and its condition: The existing stone foundation of the Mansion is in reasonably good condition, though needs to be pointed up and clear sealed. There are visible cracks in the foundation joints between the stones.

Describe, in detail, the proposed work and impact on existing feature: Where needed, repair and touch up of foundation mortar joints with "O" type mortar. All areas needing point up will be patched per established recommendations. Foundation walls offer a design and construction challenge to protect the building from moisture infiltration. To mitigate water infiltration, drainage composites are designed to guide the water down the foundation wall eliminating the potential moisture penetration into the building and for which a J•Drain™ system will be installed on the inside of the foundation wall only. On the exterior the existing landscaping will be removed, and the earth dug to the basement floor level where all joints will be tuck pointed. The shrubs trees around the existing foundation will need to be removed, stored, and replanted, and when moving a shrub or small tree, I use the "b&b" method, nursery shorthand for "balled and burlapped." Simply put, it is digging a root ball from the earth and wrapping it in burlap to hold it together. With this method, you can dig a plant out of the ground when it's dormant and replant it when the timing's right (and after the walls have been tuck pointed).



04 DIVISION  
MORTAR

# PORTLAND LIME & SAND MASONRY MORTAR



## Great Workability. Increased Productivity.

SPEC MIX® Portland Lime & Sand Mortar is a dry preblended mortar mix containing portland cement, hydrated lime and dried masonry sand formulated for superior bond, water retention and board life. Available in Types M, S and N, each meets ASTM C 270, ASTM C 1714 and CSA A179 requirements. SPEC MIX Portland Lime & Sand is available in standard or custom colors. In addition to custom mix designs that are available for specific applications or properties, the standard Portland Lime & Sand Mortar is designed to be compatible with the characteristics of the specified masonry unit. It is acceptable for all types of masonry construction.

SPEC MIX Portland Lime & Sand is produced under strict manufacturing standards, and complete quality control measures are implemented with each batch. A digital printout displaying the proper proportions per batch may be kept as a permanent record. Submittals are available upon request for certification to applicable ASTM, TMS, and CSA standards.

### TYPICAL MATERIALS

PORTLAND CEMENT  
HYDRATED LIME  
SAND  
PIGMENT



TYPE M (PL-02)  
TYPE S (PL-03)  
TYPE N (PL-04)  
COLOR (PL-05)

AVAILABLE  
IN COLOR



## PORTLAND LIME & SAND MASONRY MORTAR

### INSTALLATION/APPLICATION

Mortar type should correlate with the particular masonry unit to be used. The specifier should evaluate the interaction of the mortar type and masonry unit specified. That is, masonry units having a high initial rate of absorption will have greater compatibility with mortar that has high water retentivity. The material properties of mortar that influence the structural performance of masonry are compressive strength, bond strength and elasticity. Because the compressive strength of masonry mortar is generally less important than bond strength, workability and water retentivity, the latter properties should be given principal consideration in mortar selection. Select mortar based on the design requirements and with consideration of code and specification provisions affected by the mortar.

A sample of the proposed product will be provided by the manufacturer for architectural approval and testing, if required. Preparation of a panel with all materials and systems employed in the final project is imperative. Retain the mock-up or field sample through the completion of the project.

Allow mortar to cure a minimum of 7 days but no more than 28 days before cleaning. Consult manufacturer of the masonry units and cleaning chemicals for further instructions to ensure proper washing procedures.

Clean masonry only with a national proprietary cleaning agent (following the manufacturer's instructions) or potable water. SPEC MIX products must be kept dry, covered and protected from weather and other damage.

### SIZES AND EQUIPMENT

SPEC MIX Portland Lime & Sand Mortar is available in 80 lb (36.2 kg) packages for easy hand loading or in 3,000 lb (1,360.7 kg) reusable bulk bags to be used with the various SPEC MIX silo systems. When using the silo system, once the bulk bags of mortar are delivered to the project site, the portable silo is loaded with a jobsite forklift and the product is dispensed into a mechanical batch mixer. (See silo operations manual.)

### MIXING INSTRUCTIONS

**WEAR IMPERVIOUS GLOVES**, such as nitrile.

- Mixing is best accomplished by using a mechanical mixer to ensure optimal workability and performance.
- Use clean, potable water; add the amount of water consistent with optimum workability which provides adequate water to satisfy the initial rate of absorption of the masonry units.
- Mixing times are four to five minutes when using a mechanical batch mixer and should be

### ASTM C 270 PROPERTY SPECIFICATIONS (laboratory prepared)

Type	Average compressive strength at 28 days, minimum PSI	Water retention, minimum %	Air content, maximum %
M	2,500	75	12
S	1,800	75	12
N	750	75	14*

\* When structural reinforcement is incorporated in cement-lime mortar, the maximum air content shall be 12%

### CSA A179 PROPERTY SPECIFICATIONS (laboratory prepared)

Type	Minimum compressive strength at 28 days, MPa	Water retention, minimum %	Air content, maximum %
M	17.5	70	18
S	12.5	70	18
N	5	70	18

### ESTIMATED YIELDS

	80 lb (36.2 kg) bags	3,000 lb (1,360.7 kg) bags
4 in Block	14 to 16	525 to 600
6 in Block	11 to 13	410 to 485
8 in Block	10 to 12	375 to 450
10 in Block	10 to 12	375 to 450
12 in Block	9 to 11	335 to 410
Modular Brick	37 to 39	1,385 to 1,460
Queen Sized Brick	31 to 33	1,160 to 1,235
King Sized Brick	25 to 27	935 to 1,010
Utility Brick	22 to 24	825 to 900



**Note:** The yields given above are approximate and depend on labor practices, site conditions and design of work. Yields include typical waste. Some areas such as FL, CA, OR, and WA experience higher yields due to construction practices. Please contact your local representative for more specific yield information in your area.

- held consistent from batch to batch.
- Maintain the same mixing procedures to maintain consistency throughout the project.
- Tool mortar joints when the surface is thumb-print hard. Keep tooling times consistent.
- Hand mix mortar only with written approval by the specifier who should outline procedures.
- Use mortar within 2.5 hours after initial mixing.
- Retemper mortar only when mixing water is lost due to evaporation.
- Whenever possible, do not retemper colored SPEC MIX masonry mortars by adding additional water; retempering may affect color consistency.

### LIMITATIONS

SPEC MIX Portland Lime & Sand Mortar should be installed in accordance with the provisions of the local building code and applicable ASTM, TMS, and CSA standards. Good workmanship coupled with proper detailing and design assures durable, functional, watertight construction. Follow proper cold-weather and hot-weather masonry procedures at temperatures below 40 °F (4 °C) or above 100 °F (38 °C) respectively.

### LIMITED WARRANTY

#### IN THE UNITED STATES

**NOTICE:** Obtain the applicable LIMITED WARRANTY at [www.specmix.com/product-warranty](http://www.specmix.com/product-warranty) or send a written request to SPEC MIX, LLC, Five Concourse Parkway, Atlanta, GA 30328, USA.

**AVISO:** Obtenga la GARANTÍA LIMITADA correspondiente en [www.specmix.com/product-warranty](http://www.specmix.com/product-warranty) o envíe una solicitud por escrito a SPEC MIX, LLC, Five Concourse Parkway, Atlanta, GA 30328, USA.

#### IN CANADA

**NOTICE:** Obtain the applicable LIMITED WARRANTY at [www.specmix.com/product-warranty](http://www.specmix.com/product-warranty) or send a written request to SPEC MIX, LLC, Five Concourse Parkway, Atlanta, GA 30328, USA.

**AVIS:** Obtenez la GARANTIE LIMITÉE applicable sur [www.specmix.com/produit-garantie](http://www.specmix.com/produit-garantie). Ou envoyez une demande écrite à SPEC MIX, LLC, Five Concourse Parkway, Atlanta, GA 30328, USA.

### TECHNICAL SUPPORT

- CONTACT YOUR LOCAL SPEC MIX® MANUFACTURER
- VISIT [WWW.SPECMIX.COM](http://WWW.SPECMIX.COM)
- CONTACT SPEC MIX®  
PHONE: 888-733-2649 FAX: 651-454-5315



**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 17**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

**Work Item #17-Architectural/Landscape Feature: Lightning Rods:**

Describe existing feature and its condition: Lightning rods on Mansion are in poor condition or missing entirely. Unfortunately, the lightning rods are not currently fully functional or in place because of past roof repairs and neglect.

Describe, in detail, the proposed work and impact on existing feature: All lightning protection will be upgraded to current codes and standards. While the new slate roof is being installed, a complete and fully functioning lightning rod system like what was previously in place will be installed with special care not to damage the slate roof.

**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 19**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

**Work Item #19- Architectural/Landscape Feature: New Interior Life Safety Stairwell and tower (affecting rear exterior at brick terrace):**

The existing grand staircase in the lobby area of Mansion is not sufficient to provide the life safety egress from the third floor to the ground floor. This necessitates the need for installation of an additional interior staircase to provide this emergency exit just to the west of the existing grand staircase. The addition of these stairs will create the single exterior alteration in the renovation of the Mansion. While the final elevation detail drawing of the tower has not yet been completed, it is reflected on the current floorplans. This installation also provides the opportunity to restore the area to look more like that of the 10-15-1914 drawing by Frederic McKenney. Since that drawing, a door on the patio level has been added, as well as a large unsightly louvred exhaust vent which would be replaced by a window to recreate the previously existing one.

The affected exterior area will be relatively minor and is provided in the south elevation drawing and will look like an original feature of the house unless directed by HPC to create a distinct feature as in the case with the proposed addition. The exterior of the stair tower will be kept distinctly different from the mansion exterior using smooth stucco. (Refer to elevation plans for location of the tower, exterior finish specification attached.)



# Stolit<sup>®</sup> Milano

An easy-to-apply, workable finish used to achieve distinctive looks

Facades



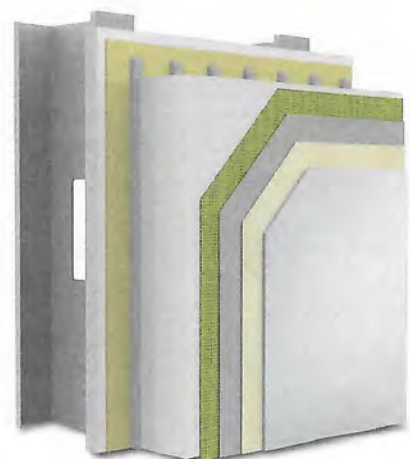
Interiors



Stolit<sup>®</sup> Milano is a high quality, versatile specialty finish used with various techniques incorporating color, texture, profiles, and effects to create one-of-a-kind custom finishes for decorative interior walls or a protective finish for building exteriors.



Stolit Milano is a very fine, sandable and extremely workable finish for interior or exterior wall surfaces that yields more coverage than comparable products on the market. In just two to three coats, this finish can achieve multiple decorative looks, from a fine grit texture to the industrial feel of ultra-smooth metal panels. Highly breathable and mildew resistant, Stolit Milano can also be top coated to provide additional abrasion protection.



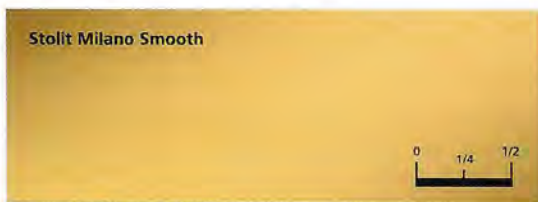
StoTherm<sup>®</sup> ci EPS  
with an ultra-smooth Stolit Milano



## Traditional Fine Texture vs. Stolit Milano Ultra-Smooth Finish



Stolit Milano is a unique surface achieved with Stolit Milano finish.



Color samples are for representation only. To confirm color choices, request a sample from your Sto representative.

## Stolit Milano Benefits:

### Exceptional Design Versatility

- Use to achieve a variety of aesthetic impressions – from ultra smooth Venetian plaster or metal, to concrete and even wood when applied using StoSignature® application techniques
- Suitable for both interior and exterior wall applications
- Integral color of finish results in a longer lasting, more uniform look
- May be tinted in a range of colors from the Sto Color System

### A More Cost-Effective, Time Efficient Application

- Easy 2-coat process to achieve an ultra-smooth exterior finish
- Provides more coverage than other 'smooth' finishes
- Low maintenance due to product's moisture resistance and vapor permeability
- May be top coated for enhanced abrasion resistance

### Safe for Applicators, Gentle on the Planet

- Ready-mixed product requiring no additives – minimizes waste and potential errors
- Better workability results in reduced worker fatigue
- Water based, low VOC

## Easy 5-Step Application for a Beautiful, Ultra-Smooth Finish.

1. Scrape or stone the base coat to remove trowel lines and other surface imperfections and remove surface dust.
2. Apply StoPrime® uniformly by spray or roller and allow to dry.
3. Apply a uniform coat of Stolit Milano by trowel and allow to dry.
4. After the product has dried, sand any trowel lines or imperfections with 100-150 grit sand paper and remove surface dust.
5. Apply second uniform coat of Stolit Milano by trowel and allow to dry.

### Sto Americas

#### Sto Corp.

3800 Camp Creek Pkwy  
Building 1400, Suite 120  
Atlanta, GA 30331  
USA

Phone 1-800-221-2397  
www.stocorp.com

#### ATTENTION

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Contact your Sto Sales Representative for more information. Please visit us at [www.stocorp.com](http://www.stocorp.com) or call us toll-free at 800-221-2397.

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**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington

Maryland-20895

**WORK ITEM 20**

**WARNER CIRCLE MANSION CONDOMINIUMS LLC**

4710 BAYARD BOULEVARD • BETHESDA • MD • 20816

## **Work Item #20- Sitework:**

### **Driveway:**

Describe existing feature and its condition: The circular driveway surrounds the Mansion connecting the front driveway and the carriage house as well as rear vehicular exit of the property. Likely once a dirt path around the Mansion and connecting the Carriage House this driveway now has a width of 10 to 19 feet and is a macadam surface.

Describe, in detail, the proposed work and impact on existing feature: The east side of the circular driveway will be enlarged from the minimum of 14' to a minimum width of 20' for sufficient Fire Department Access (FDA). This expansion of the driveway surfaces will be of similar blacktop/macadam surfacing as currently in place.

### **Site plan:**

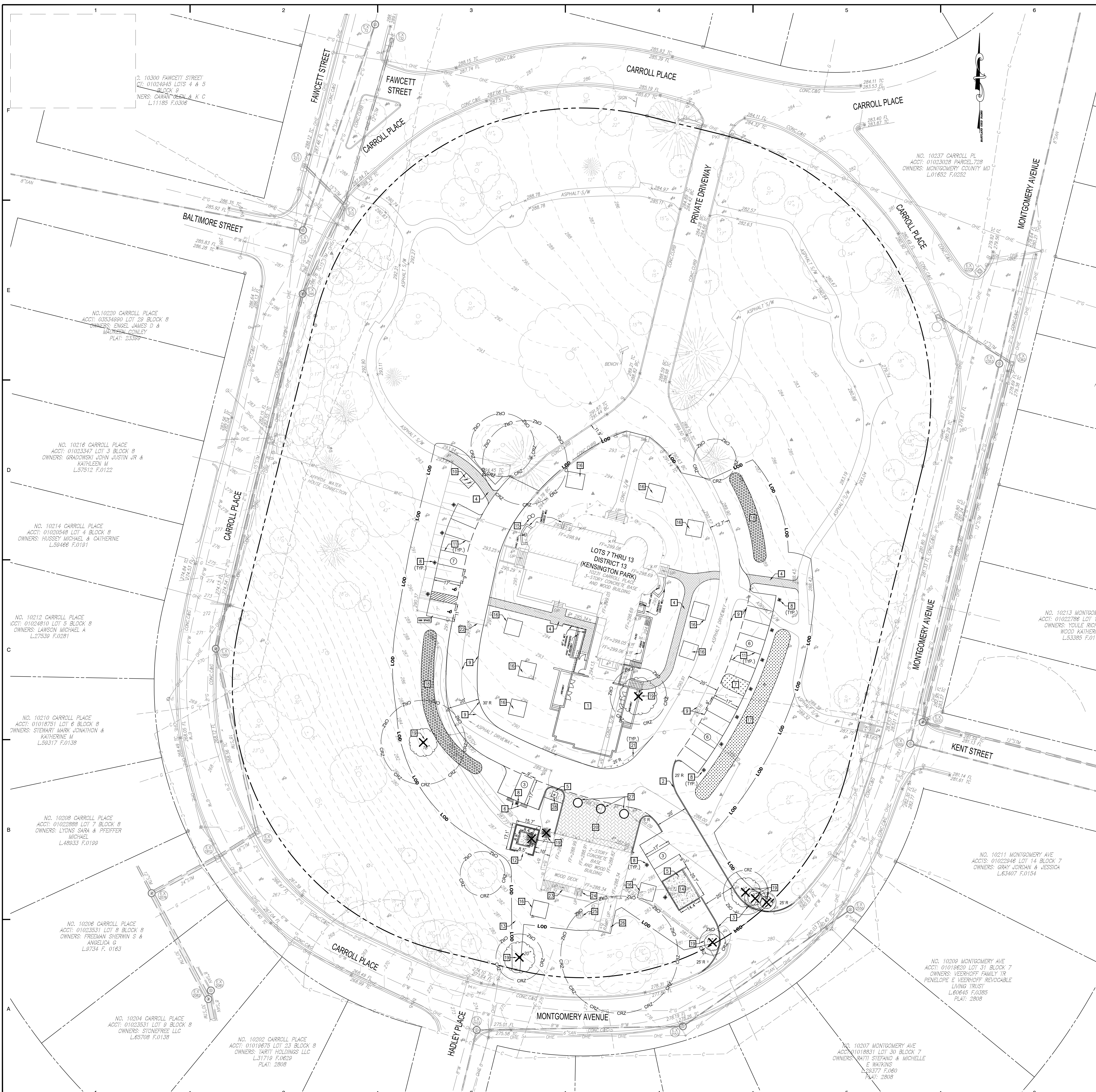
Describe existing feature and its condition: The current site plan is a mix of older features relating to past uses and most of the prior site plan characteristics do not conform to current requirements. The new site plan will address all out-of-date characteristics.

Describe, in detail, the proposed work and impact on existing feature: The new items addressed in the updated site plan include:

1. New building addition
2. New concrete curb and gutter
3. New Concrete Apron
4. New Sidewalk
5. New Concrete Pavement
6. Electric Charging Stations
7. New planting areas—landscape plan to follow
8. New parking lamp posts
9. New fire lane extension—per MOCO standards
10. New Bike Rack
11. New Residence Parking per MOCO standards
12. New Pepco transformer vault/box
13. New Pepco power line underground
14. New Dumpster/Recycling area with gate trash corral
15. New HVAC Vault
16. New drywells per MOCO standards
17. New Bio-retention per MOCO standards
18. New Swale per MOCO standards
19. New fire hydrant (to be located)
20. New fire department connections (to be located)
21. Movable vehicular protection planter (to be located)



Consultants:



**SITE LEGEND:**

- NEW PRESSED CONCRETE [Pattern]
- NEW BIORETENTION [Pattern]
- NEW BIO-SWALE [Pattern]
- NEW HVAC VAULT [Pattern]
- NEW CONCRETE SIDEWALK [Pattern]

- SITE KEYNOTES:**
- 1 NEW APARTMENT BUILDING. REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
  - 2 NEW CONCRETE CURB AND GUTTER PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 3 NEW CONCRETE APRON PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 4 NEW SIDEWALK PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 5 NEW CONCRETE PAVEMENT PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 6 NEW CHARGING STATION.
  - 7 NEW PLANTING AREA. REFER TO LANDSCAPE PLAN FOR DETAILS.
  - 8 NEW PARKING LAMP POSTS TO BE PUT ON DAYLIGHT SENSORS.
  - 9 NEW FIRELANE EXTENSION PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 10 NEW BIKE RACK PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 11 NEW RESIDENT PARKING PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 12 NEW MOUNTING PADS FOR PADMOUNT TRANSFORMER.
  - 13 NEW PEPCO POWER LINE UNDERGROUND TO BE BORED DIRECTIONAL TO PROTECT ADJACENT TREES.
  - 14 NEW DUMPSTER/RECYCLING CORRAL WITH GATE. SEE SITE DETAIL SHEET FOR DETAILS.
  - 15 DOUBLE 12" HOLLIES.
  - 16 NEW DRYWELL PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 17 NEW BIORETENTION PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 18 NEW BIO-SWALE PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 19 EXISTING TREES TO BE REMOVED.
  - 20 NEW PRESSED CONCRETE SURFACE.
  - 21 NEW SAFETY BOLLARD PER MONTGOMERY STANDARDS AND SPECIFICATIONS.
  - 22 ARCHAEOLOGICAL FIND: OLD CURBING TO REMAIN IN PLACE.
  - 23 REBUILD WOOD STAIRS PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 24 ADD HANDRAIL REFER TO ARCHITECTURAL PLAN FOR DETAILS.
  - 25 ARCHAEOLOGICAL FIND: OLD WELL TO REMAIN IN PLACE.
  - 26 EXISTING RAMP TO BE DEMOLISHED.
  - 27 CIRCULAR PLANTER/VEHICLE BARRIER.
  - 28 MAILBOX: PEDESTAL ON CONCRETE PAD.

Client:  
**WARNER CIRCLE MANSION CONDOMINIUMS, LLC**  
 C/O LAWRENCE SMITH  
 4955 BUTTERWORTH PLACE, NW  
 WASHINGTON, DC 20016  
 240.498.4502  
 lawrence@washingtonlandmark.com

Project:  
 10231 CARROLL PLACE  
 BLOCK 1  
**KENSINGTON PARK**  
 13th ELECTION DISTRICT  
 KENSINGTON  
 MONTGOMERY COUNTY,  
 MARYLAND 20895

No.	Date	Issue/Revision
1	08/20/23	CGW
2	08/20/23	ASA
3	08/20/23	RER

Project No.: 22-089 Date: May 24 '23

Scale: 1" = 20'

Sheet Title:  
**Site Plan**

Sheet No.:  
**CIV0105**

**GENERAL NOTES:**

- Dry wells may receive water from roof downspouts only.
- Length, width, and depth of each dry well to be as specified by the design engineer on the approved plan.
- Manufactured used is not acceptable. Refer to the MDCPS Standard Specifications.
- With the inspector's approval, dry well locations may be field adjusted for site conditions. All adjustments must meet the minimum setbacks.
- Impervious liners may be used when specified by the design engineer and shown on the plan.
- Overflow pipes may be used when specified by the design engineer and shown on the plan. They shall be set at a minimum 2' above the top of the well. The outlet to daylight the overflow invert shall be shown.
- Pop-up emitters may be used when specified by the design engineer and shown on the plan.

**SECTION VIEW:**

**OBSERVATION WELL/ CLEANOUT CAP DETAIL:**

**IN-LINE FILTERING DEVICE DETAIL:**

**LAYOUT GUIDANCE:**

- Downspouts shall be shown on the plan view.
- Convenience (spaced) from the observation well to the dry well shall be shown on the plan view, including connections from other downspouts. Standard, readily-available bends shall be used at crossings.
- When possible there should be only one connection pipe entering the dry well. It should be contained and should enter at 90 degrees.
- The interior of PVC perforated pipe shall be designed and shown on the plan to maximize distribution within the dry well.
- When dry wells length is greater than 10 feet, consider locating the perforated pipe along the longest dimension.
- The observation well with cleanout cap shall be shown on the plan view.

**MINIMUM SETBACKS:**

- 5 feet from property lines. Zone from ROW
- 15 feet from adjacent building/proprietor
- 15 feet from finished foundations
- 25 feet from another dry well
- 25 feet from electric trench or tank
- 100 feet from primary well location or open top perforated well
- 50 feet from alternate well location or closed top perforated well
- 50 feet to avoid basement seepage
- As applicable with other county requirements

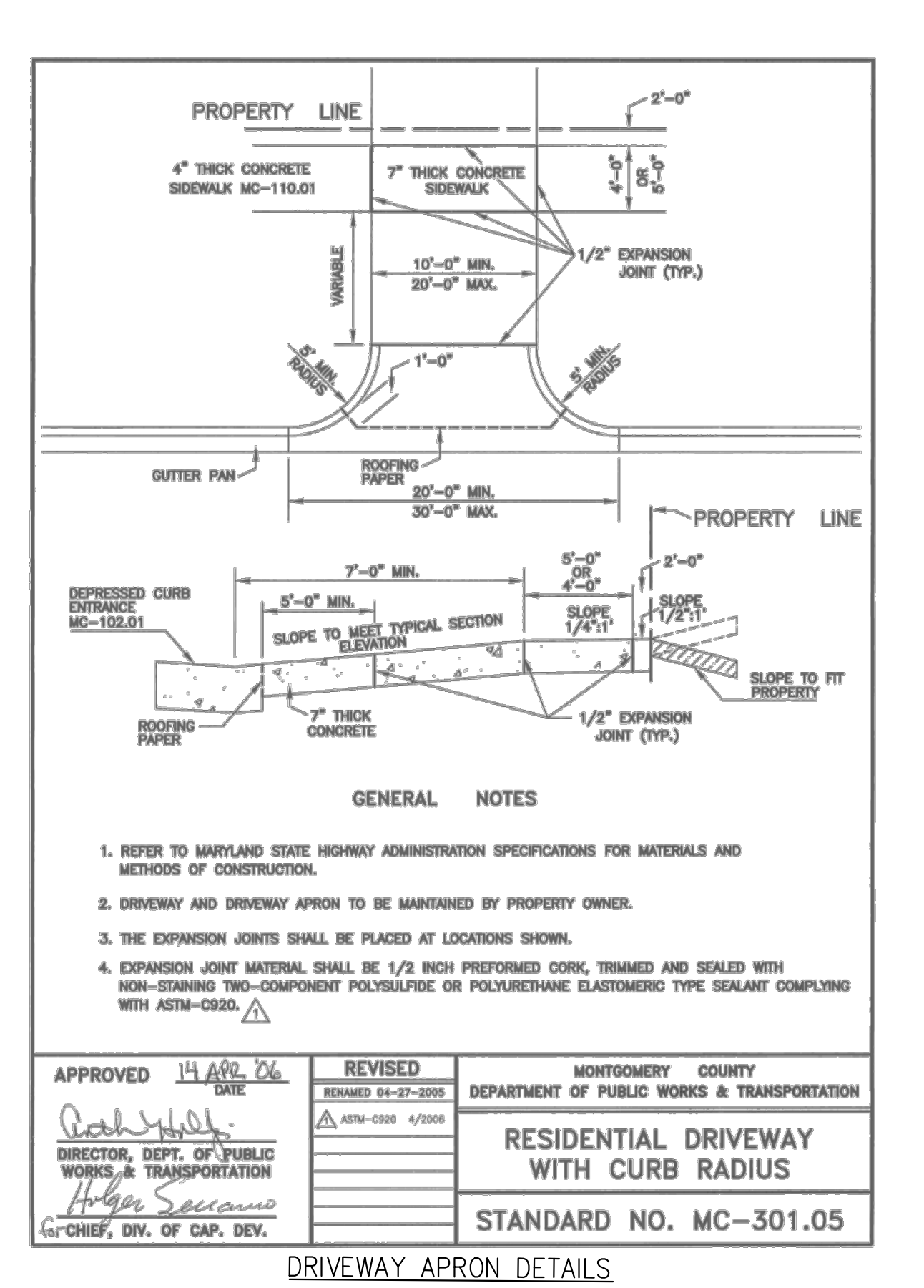
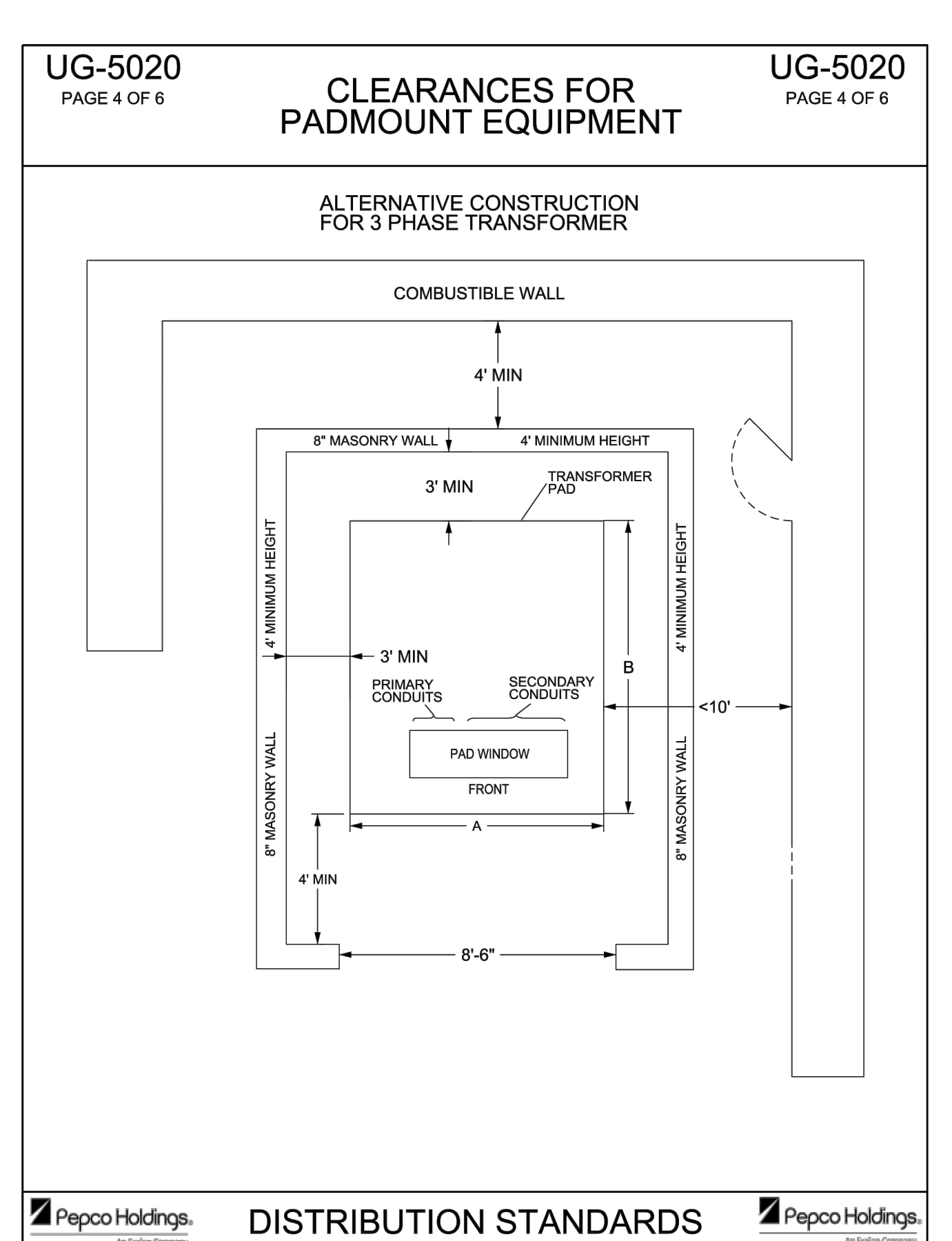
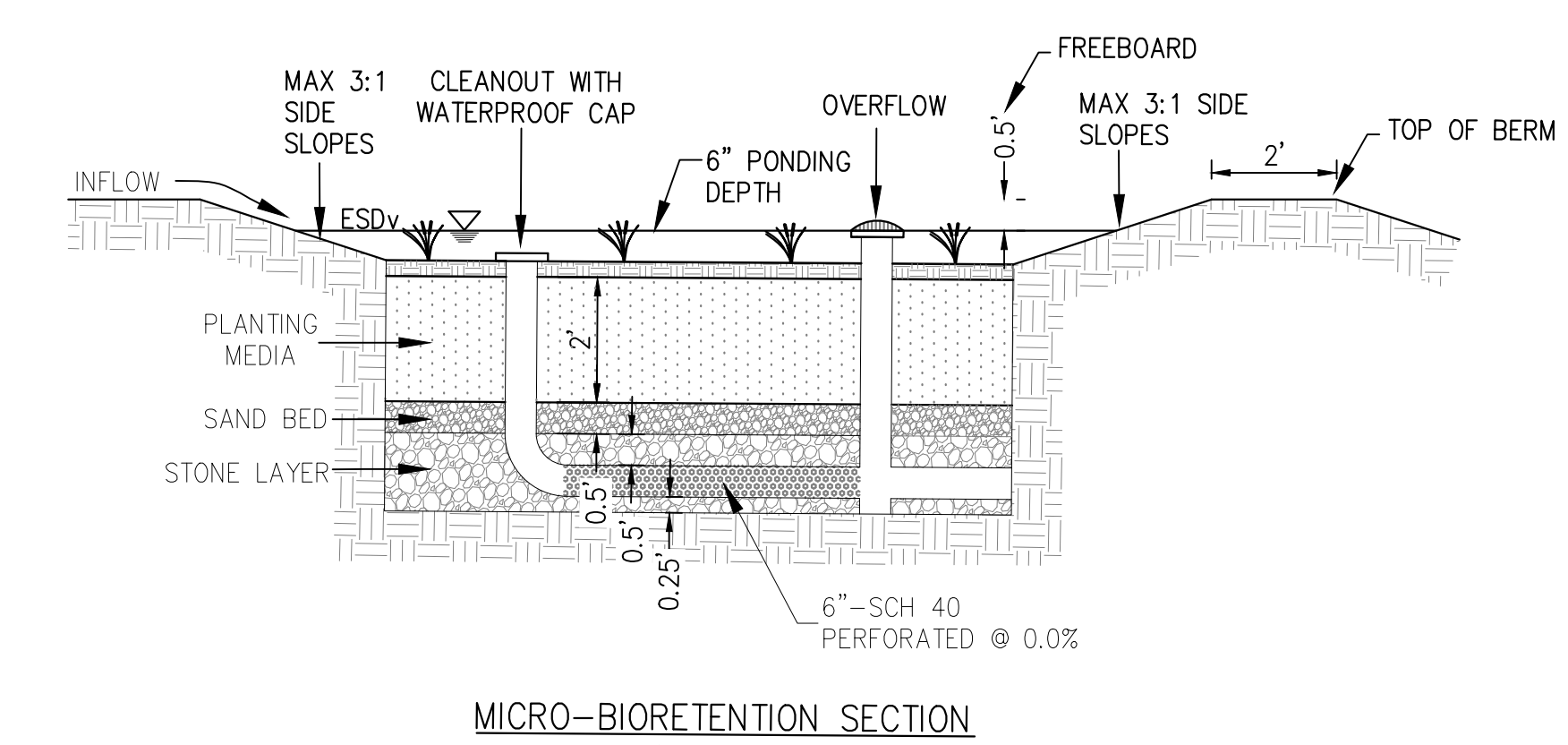
**PERFORATED PVC PIPE:**

- Schedule 40 PVC
- 2-3/8 inch holes
- 4\"/>
- 90° around pipe

**EXAMPLE LAYOUTS - PLAN VIEW:**

**DRY WELL FOR ROOF RUNOFF DETAIL**

DATE: SEPTEMBER 2021  
 SCALE: NONE



**Lumark**  
**Prevail Discrete LED**  
 Area / Site Luminaire

**Product Features:**

- Area / Site Luminaire
- Product Certifications: ETL, DLC, PSE, IESNA, UL, VESA
- Product Specifications: Ordering Information, Mounting Details, Optical Configurations, Product Specifications, Energy and Performance Data
- Control Options: WaveLink

**Interactive Menu:**

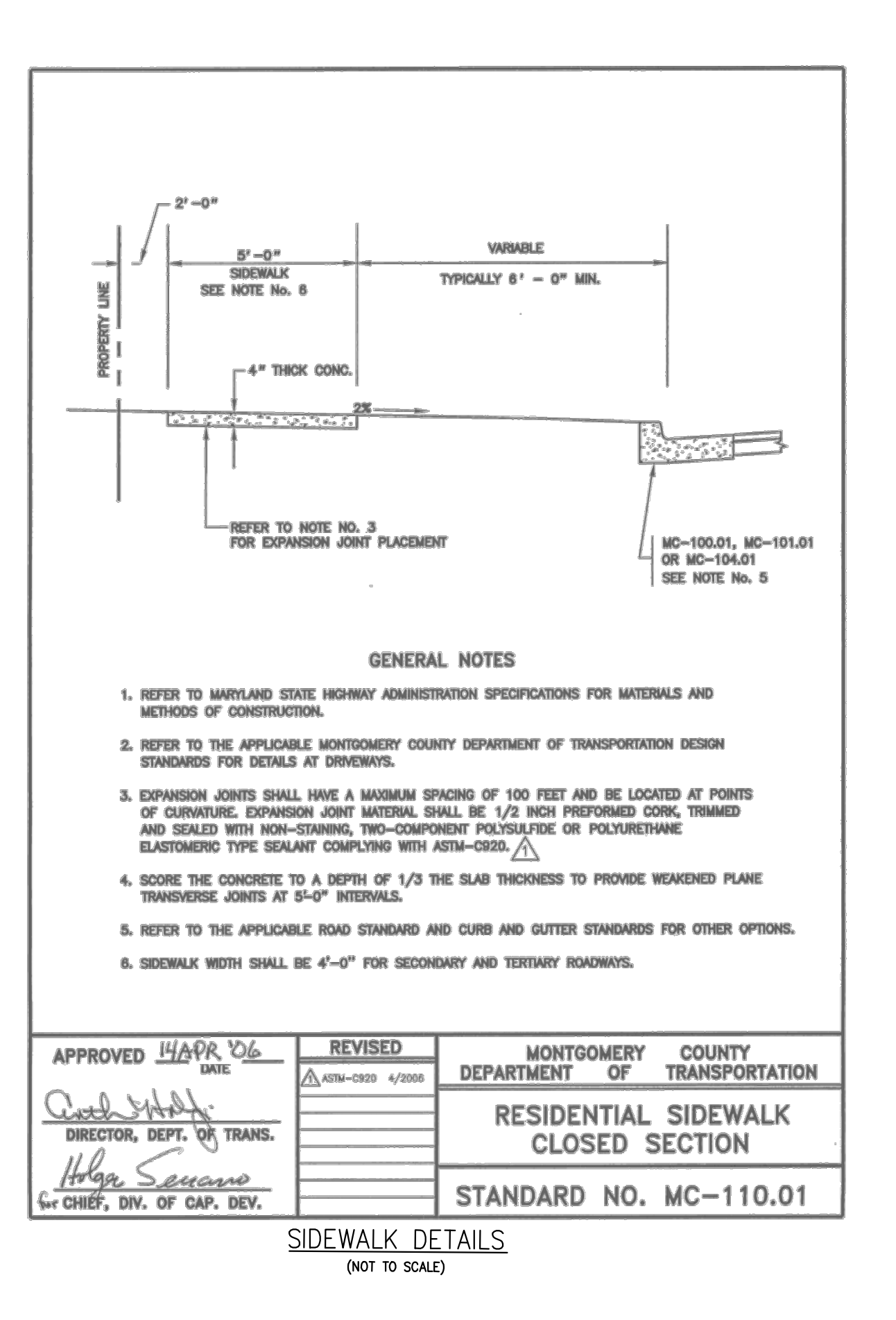
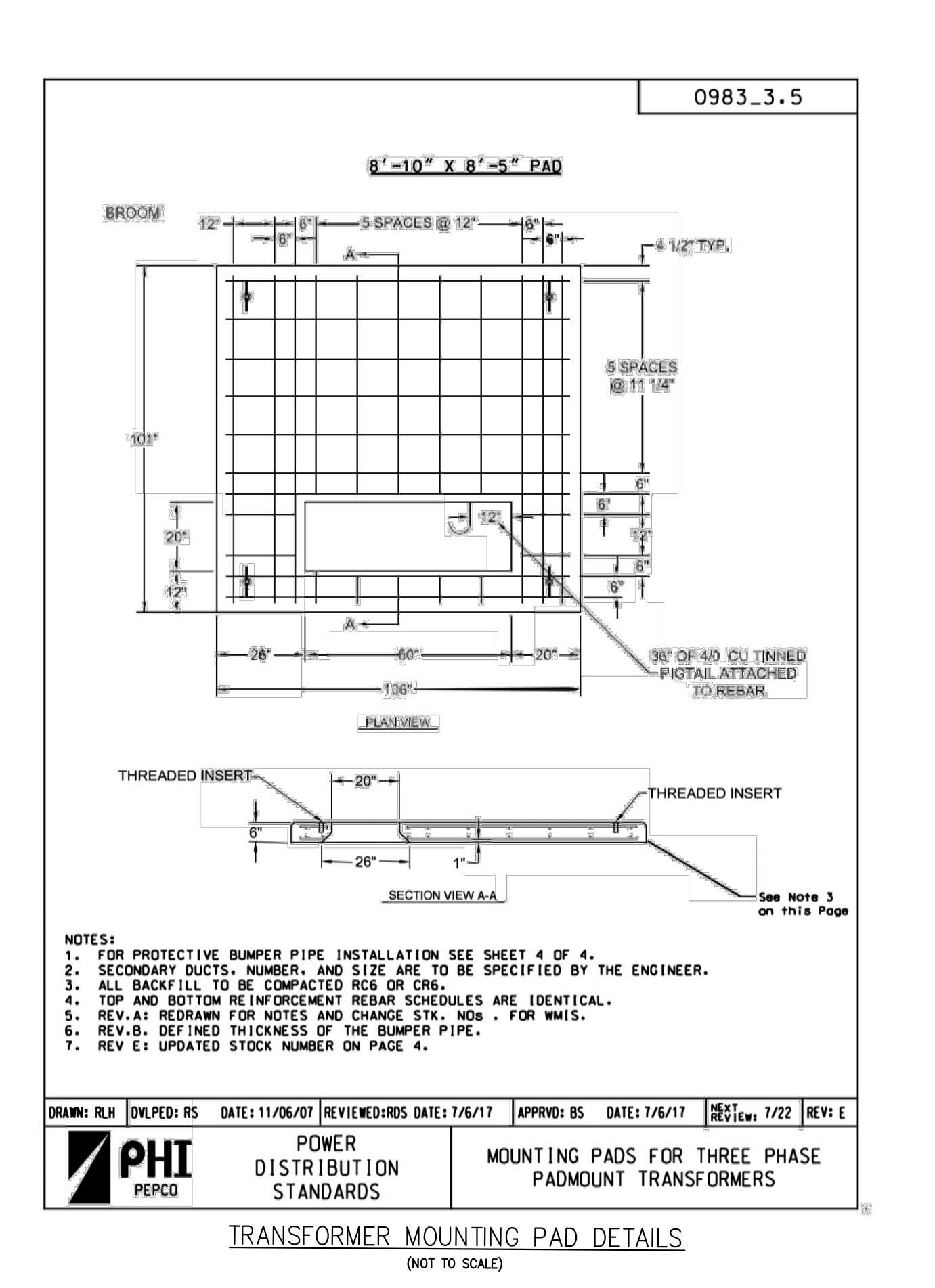
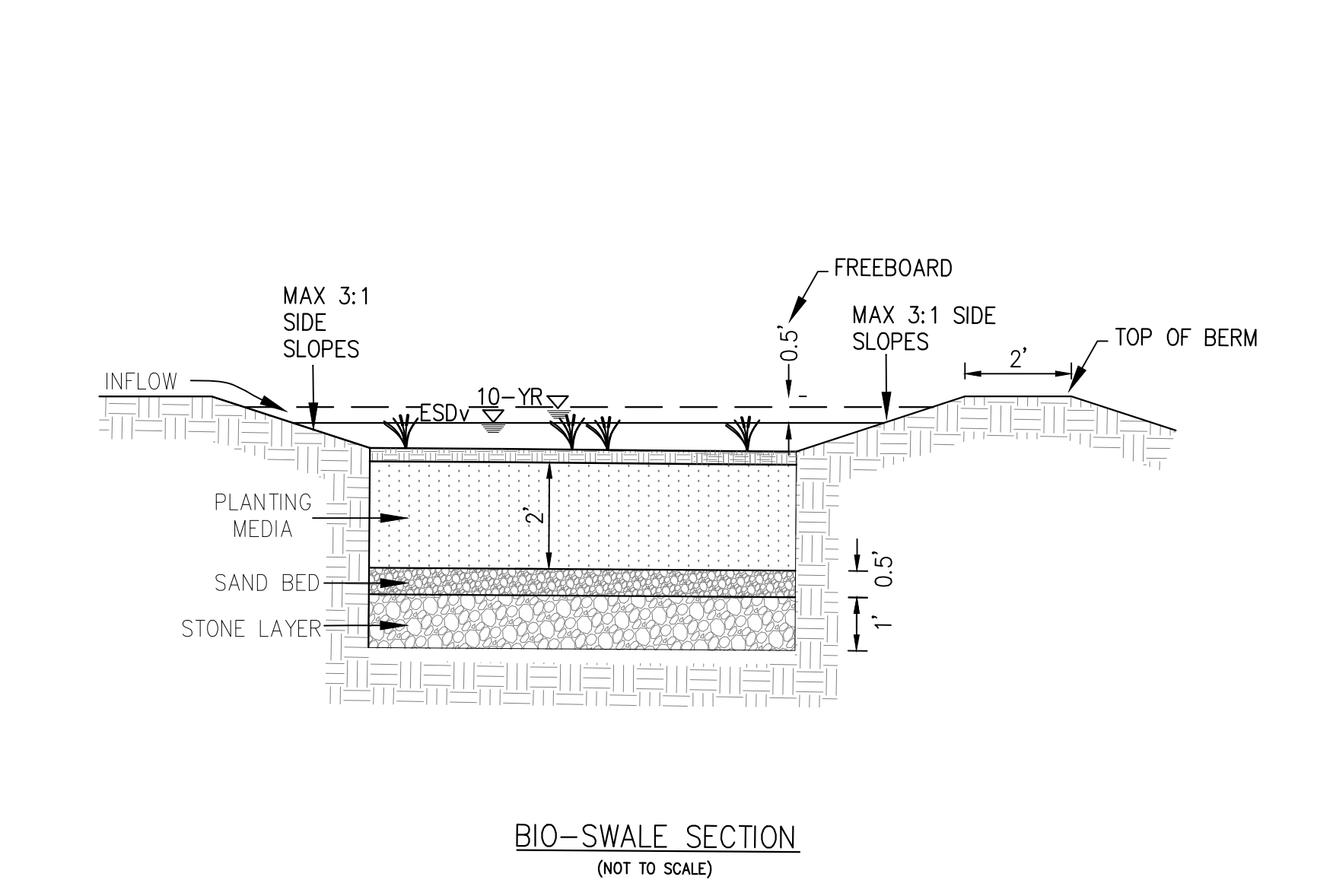
- Ordering Information
- Mounting Details
- Optical Configurations
- Product Specifications
- Energy and Performance Data
- Control Options

**Quick Facts:**

- Direct mounted discrete light engine for improved optical uniformity and instant start-up
- Lumen packages range from 4,300 - 68,000 nominal lumens (3000-5000)
- Replaces T8W up to 1,000W HID equivalents
- Efficiencies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

**Dimensional Details:**

**DRYWELL SECTION**  
 (NOT TO SCALE)



**Lumark**  
**Prevail Discrete LED**

**Mounting Details:**

- SA-OM Pole Mount Arm (PRV & PRV-P)
- SA-OM Wall Mount Arm (PRV-XL)
- WA-OM Wall Mount Arm (PRV-S & PRV-P)
- WA-OM Wall Mount Arm (PRV-XL)
- MA-OM Mast Arm (PRV & PRV-P)
- MA-OM Mast Arm (PRV-XL)
- ADJA-Adjustable Arm Pole Mount (PRV & PRV-P)
- ADJA-Adjustable Arm Pole Mount (PRV-XL)
- ADJA-WM-Adjustable Arm Wall Mount (PRV & PRV-P)
- ADJA-WM-Adjustable Arm Wall Mount (PRV-XL)
- ADJS-Adjustable Slipfitter 3 (PRV & PRV-P)
- ADJS-Adjustable Slipfitter 3 (PRV-XL)

**COOPER Lighting Solutions**



**BIO-SWALE INSTALLED EXAMPLE**

**Aluminum Poles**

Catalog #	Type
SSA Square Straight Aluminum	Square

**DESIGN CONSIDERATIONS - VIBRATIONS AND NON-GROUND MOUNTED INSTALLATIONS**

**ORDERING INFORMATION**

Model Name	Material	Height	Width	Weight	Notes
SSA-Square	Aluminum	10-12'	12-18"	150-200 lbs	Standard height and width
SSA-Square	Aluminum	15-20'	12-18"	250-350 lbs	Standard height and width
SSA-Square	Aluminum	25-30'	12-18"	400-500 lbs	Standard height and width

**ANCHORAGE DATA**

**COOPER Lighting Solutions**



**Lumark**  
**Prevail Discrete LED**

**Mounting Details:**

- SA-OM Pole Mount Arm (PRV-M)
- Versatile Mount System
- WA-OM Wall Mount Arm (PRV-M)
- ADJS-Adjustable Slipfitter (PRV-M)
- MA-OM Mast Arm (PRV-M)
- SPZ-Adjustable Slipfitter 2-3/8" (PRV-M)
- FMA-Fixed Mast Arm (PRV-M)
- DM-DM Pole Mount Arm (PRV-M)

**COOPER Lighting Solutions**

Client:  
 WARNER CIRCLE MANSION CONDOMINIUMS, LLC  
 C/O LAWRENCE SMITH  
 4955 BUTTERWORTH PLACE, NW  
 WASHINGTON, DC 20016  
 240.498.4502  
 lawrence@washingtonlandmark.com

Project:  
 10231 CARROLL PLACE  
 BLOCK 1

**KENSINGTON PARK**

13th ELECTION DISTRICT  
 KENSINGTON  
 MONTGOMERY COUNTY,  
 MARYLAND 20895

No. Date Issue/Revision  
 Designed By: CGW  
 Drawn By: ASA  
 Checked By: RER

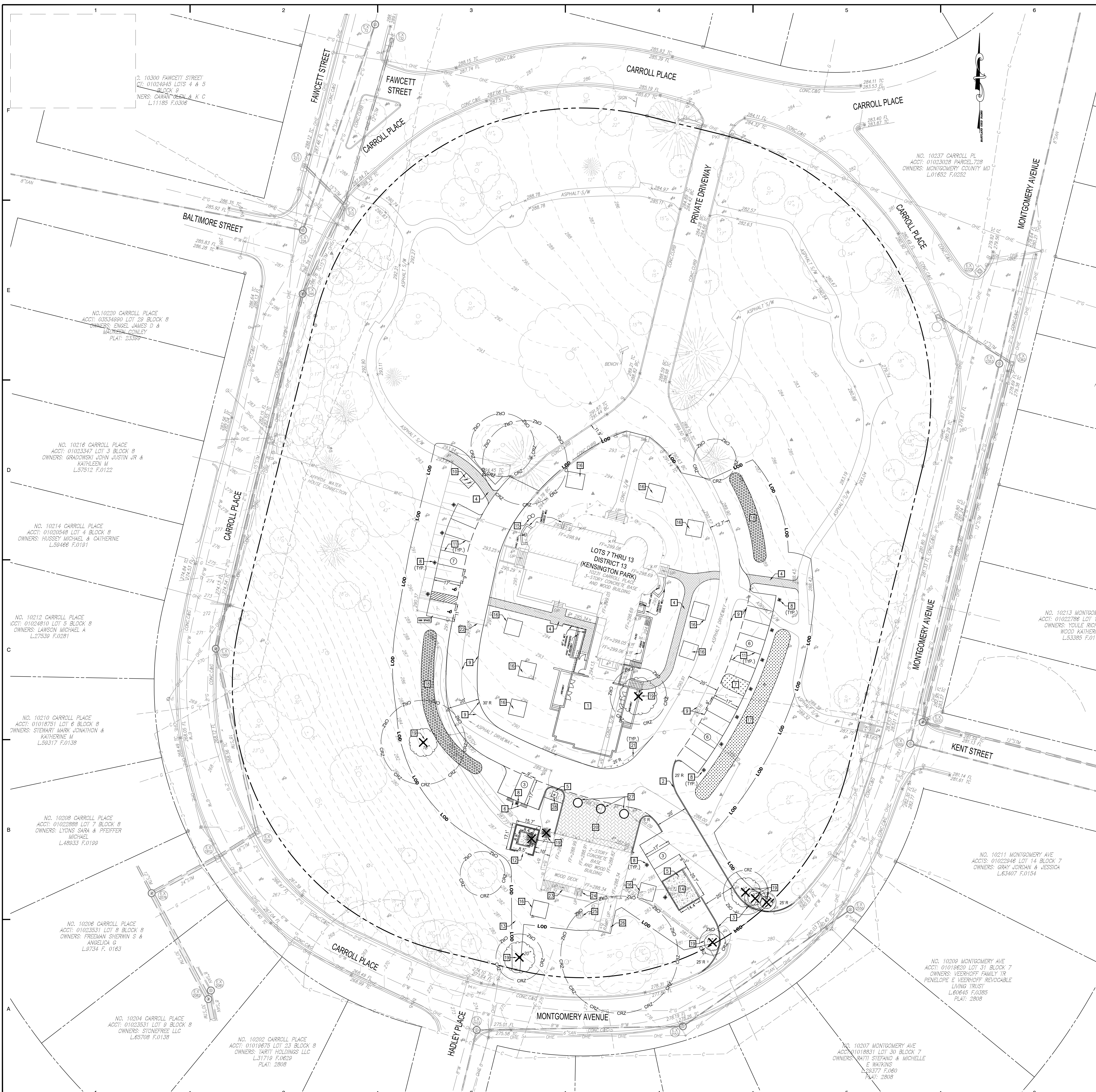
Project No.: 22-089 Date: May 24 '23

Scale:  
 1" = 1'

Sheet Title:  
**Site Details**

Sheet No.: **CIV0502**

Consultants:



**SITE LEGEND:**

- NEW PRESSED CONCRETE [Pattern]
- NEW BIORETENTION [Pattern]
- NEW BIO-SWALE [Pattern]
- NEW HVAC VAULT [Pattern]
- NEW CONCRETE SIDEWALK [Pattern]

- SITE KEYNOTES:**
- 1 NEW APARTMENT BUILDING. REFER TO ARCHITECTURAL DRAWING FOR DETAILS.
  - 2 NEW CONCRETE CURB AND GUTTER PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 3 NEW CONCRETE APRON PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 4 NEW SIDEWALK PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 5 NEW CONCRETE PAVEMENT PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 6 NEW CHARGING STATION.
  - 7 NEW PLANTING AREA. REFER TO LANDSCAPE PLAN FOR DETAILS.
  - 8 NEW PARKING LAMP POSTS TO BE PUT ON DAYLIGHT SENSORS.
  - 9 NEW FIRELANE EXTENSION PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 10 NEW BIKE RACK PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 11 NEW RESIDENT PARKING PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 12 NEW MOUNTING PADS FOR PADMOUNT TRANSFORMER.
  - 13 NEW PEPCO POWER LINE UNDERGROUND TO BE BORED DIRECTIONAL TO PROTECT ADJACENT TREES.
  - 14 NEW DUMPSTER/RECYCLING CORRAL WITH GATE. SEE SITE DETAIL SHEET FOR DETAILS.
  - 15 DOUBLE 12" HOLLIES.
  - 16 NEW DRYWELL PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 17 NEW BIORETENTION PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 18 NEW BIO-SWALE PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS. SEE SITE DETAIL SHEET FOR DETAILS.
  - 19 EXISTING TREES TO BE REMOVED.
  - 20 NEW PRESSED CONCRETE SURFACE.
  - 21 NEW SAFETY BOLLARD PER MONTGOMERY STANDARDS AND SPECIFICATIONS.
  - 22 ARCHAEOLOGICAL FIND: OLD CURBING TO REMAIN IN PLACE.
  - 23 REBUILD WOOD STAIRS PER MONTGOMERY COUNTY STANDARDS AND SPECIFICATIONS.
  - 24 ADD HANDRAIL REFER TO ARCHITECTURAL PLAN FOR DETAILS.
  - 25 ARCHAEOLOGICAL FIND: OLD WELL TO REMAIN IN PLACE.
  - 26 EXISTING RAMP TO BE DEMOLISHED.
  - 27 CIRCULAR PLANTER/VEHICLE BARRIER.
  - 28 MAILBOX: PEDESTAL ON CONCRETE PAD.

Client:  
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 240.498.4502  
 lawrence@washingtonlandmark.com

Project:  
 10231 CARROLL PLACE  
 BLOCK 1  
**KENSINGTON PARK**  
 13th ELECTION DISTRICT  
 KENSINGTON  
 MONTGOMERY COUNTY,  
 MARYLAND 20895

No.	Date	Issue/Revision
CGW	ASB	Checked By: RER
Project No.: 22-089		Date: May 24 '23

Scale:  
 1" = 20'

Sheet Title:  
**Site Plan**

Sheet No.:  
**CIV0105**

**GENERAL NOTES:**

- Dry wells may receive water from roof downspouts only.
- Length, width, and depth of each dry well to be as specified by the design engineer on the approved plan.
- Manufactured used is not acceptable. Refer to the MDCPS Standard Specifications.
- With the engineer's approval, dry well locations may be field adjusted for site conditions. All adjustments must meet the minimum setbacks.
- Impervious liners may be used when specified by the design engineer and shown on the plan.
- Overflow pipes may be used when specified by the design engineer and shown on the plan. They shall be set at a minimum 2% slope. If the outlet is to daylight the outlet invert shall be shown.
- Pop-up emitters may be used when specified by the design engineer and shown on the plan.

**SECTION VIEW:**

**OBSERVATION WELL/ CLEANOUT CAP DETAIL:**

**IN-LINE FILTERING DEVICE DETAIL:**

**LAYOUT GUIDANCE:**

- Downspouts shall be shown on the plan view.
- Convenience (spaced) from the observation well to the dry well shall be shown on the plan view, including connections from other downspouts. Standard, readily-available bends shall be used at crossings.
- When possible there should be only one connection pipe entering the dry well. It should be contained and should enter at 90 degrees.
- The interior of PVC perforated pipe shall be designed and shown on the plan to maximize distribution within the dry well.
- When dry wells length is greater than its width, consider locating the perforated pipe along the longest dimension.
- The observation well with cleanout cap shall be shown on the plan view.

**MINIMUM SETBACKS:**

- 5 feet from property lines. Zero from ROW
- 15 feet from adjacent buildings
- 15 feet from finished foundations
- 25 feet from another dry well
- 25 feet from electric trench or tank
- 100 feet from primary well location or open top perforated well
- 50 feet from alternate well location or closed top perforated well
- 50 feet to avoid basement seepage
- As applicable with other county requirements

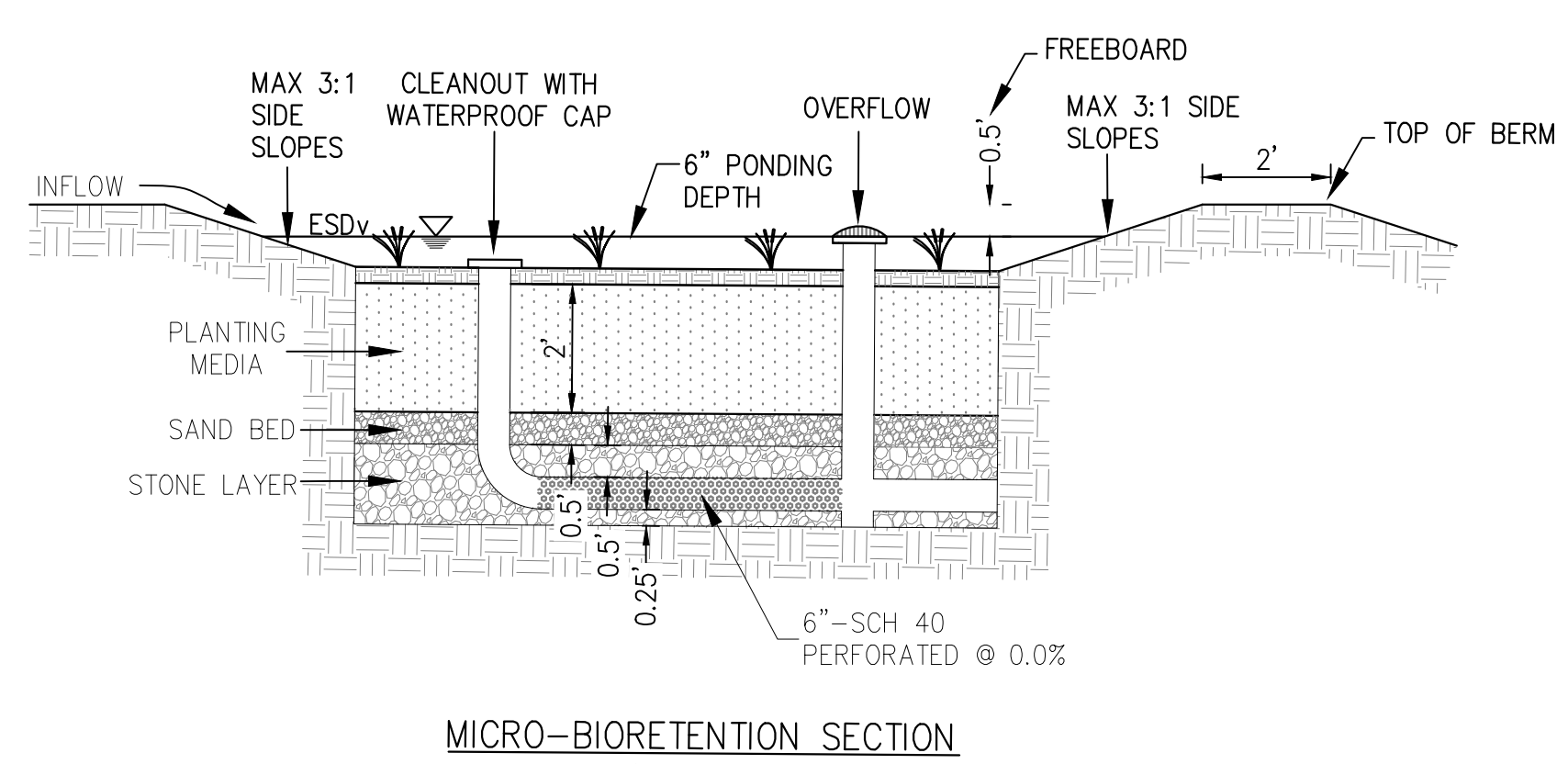
**PERFORATED PVC PIPE:**

- Schedule 40 PVC
- 2-3/8 inch holes
- 4\"/>
- 30\"/>

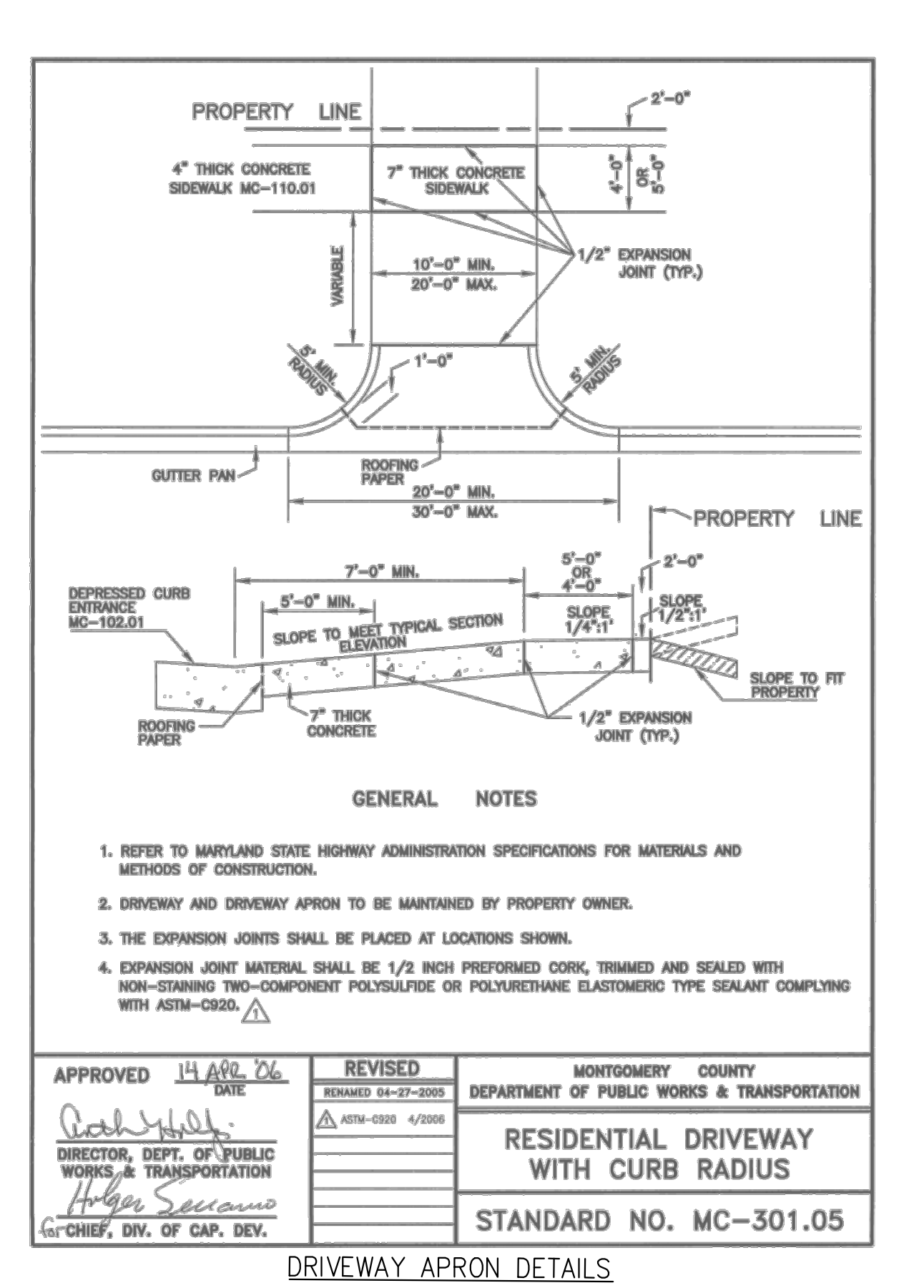
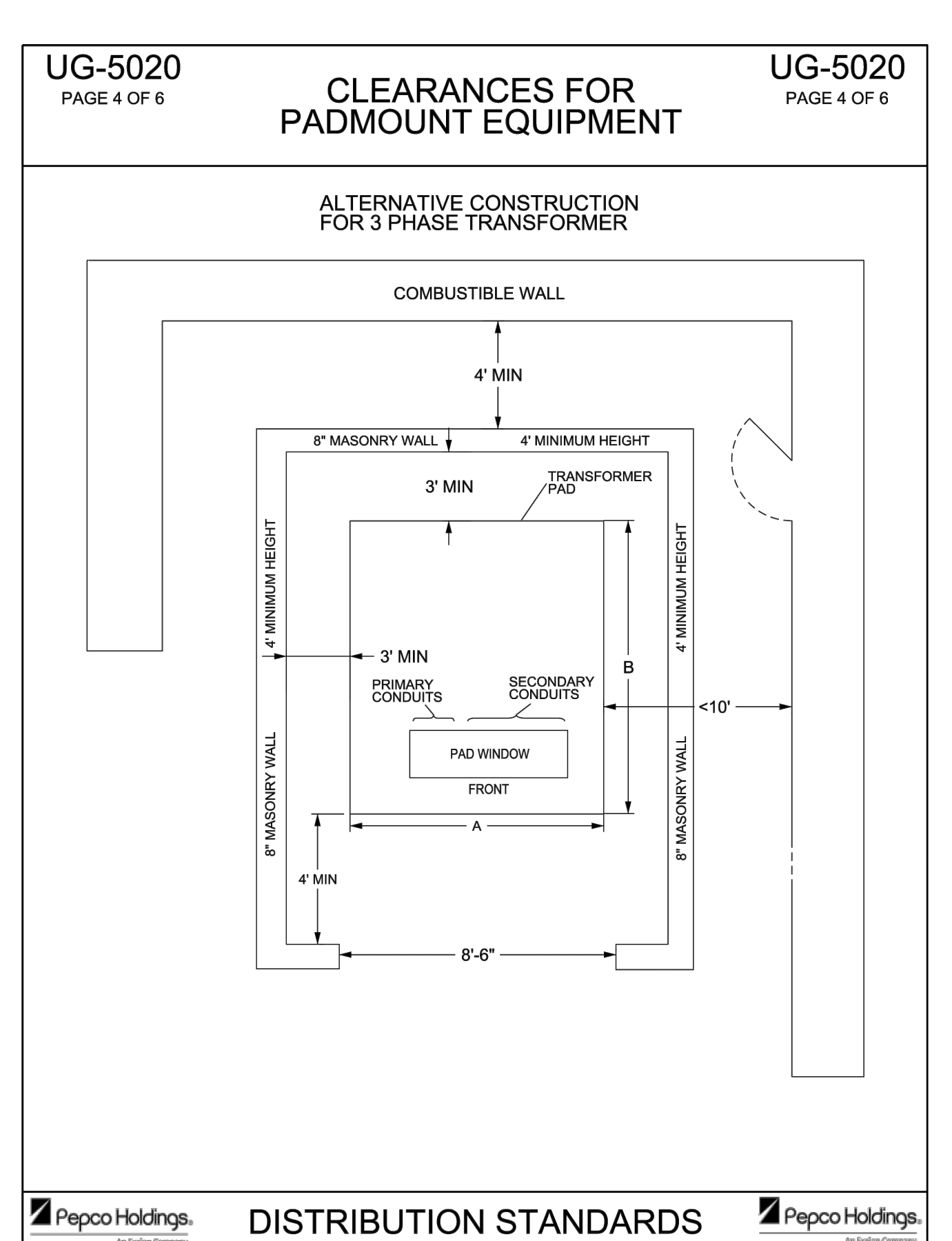
**EXAMPLE LAYOUTS - PLAN VIEW:**

**DRY WELL FOR ROOF RUNOFF DETAIL**

DATE: SEPTEMBER 2021  
 SCALE: NONE



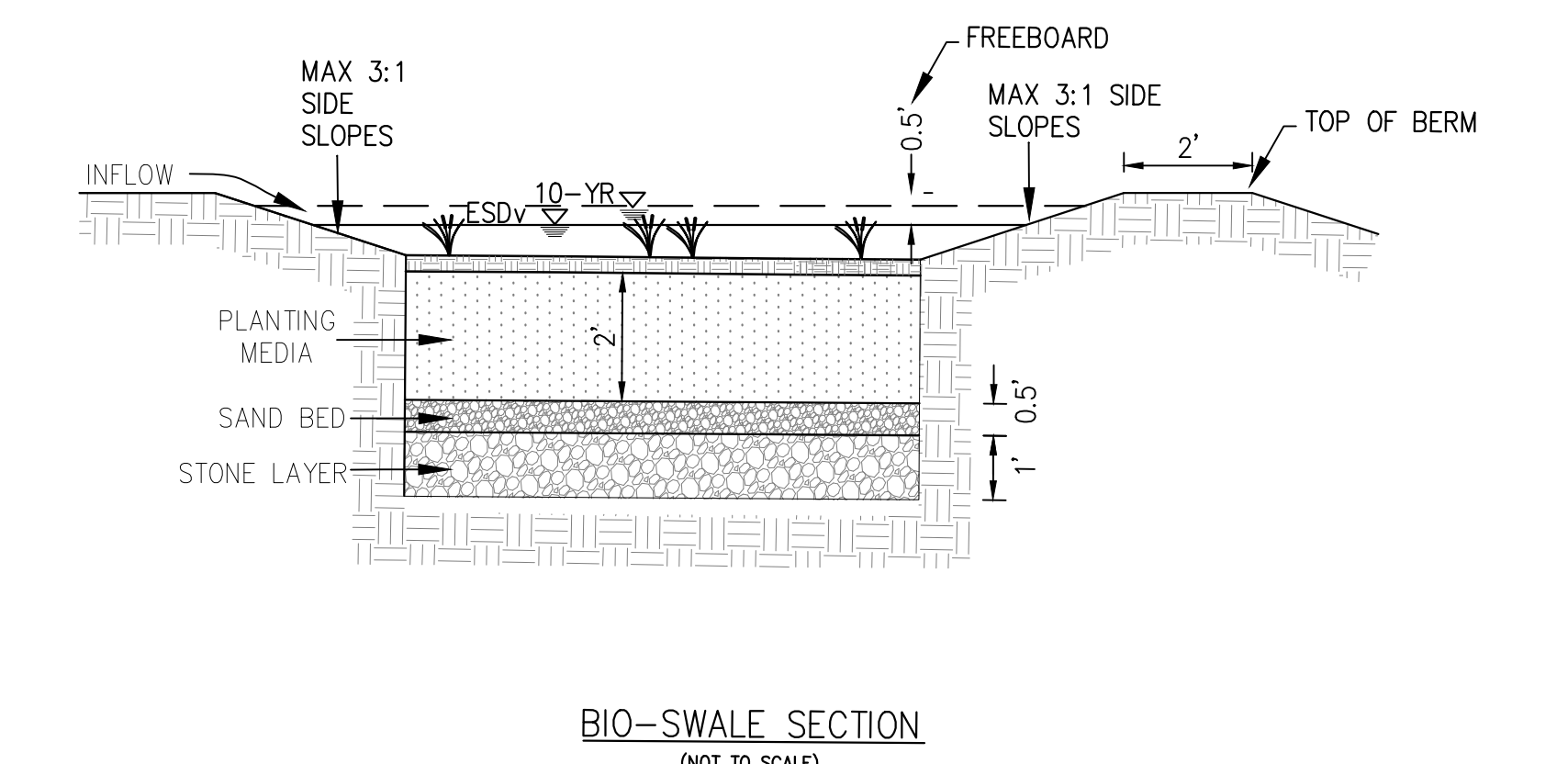
MICRO-BIORETENTION INSTALLED EXAMPLE



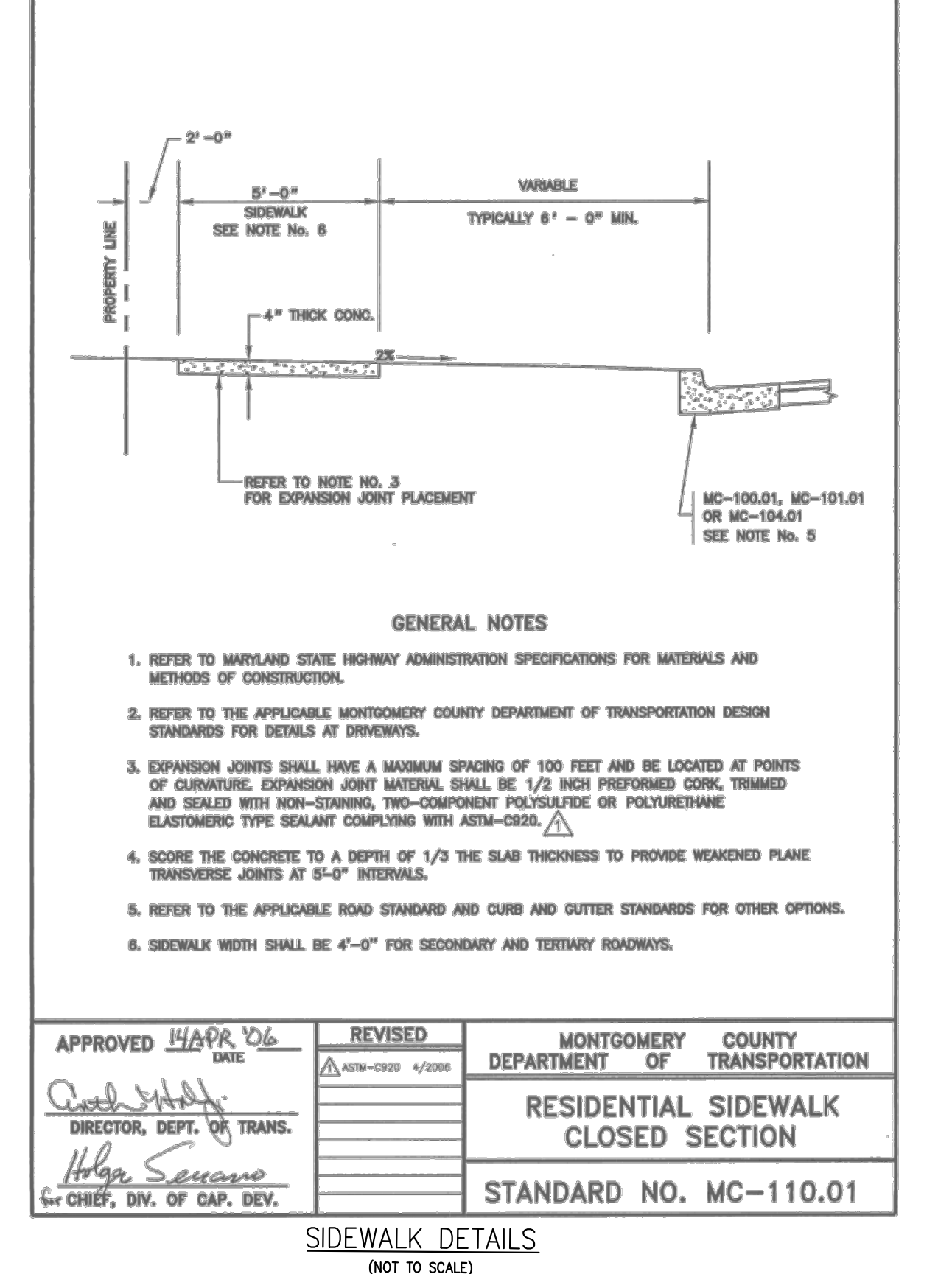
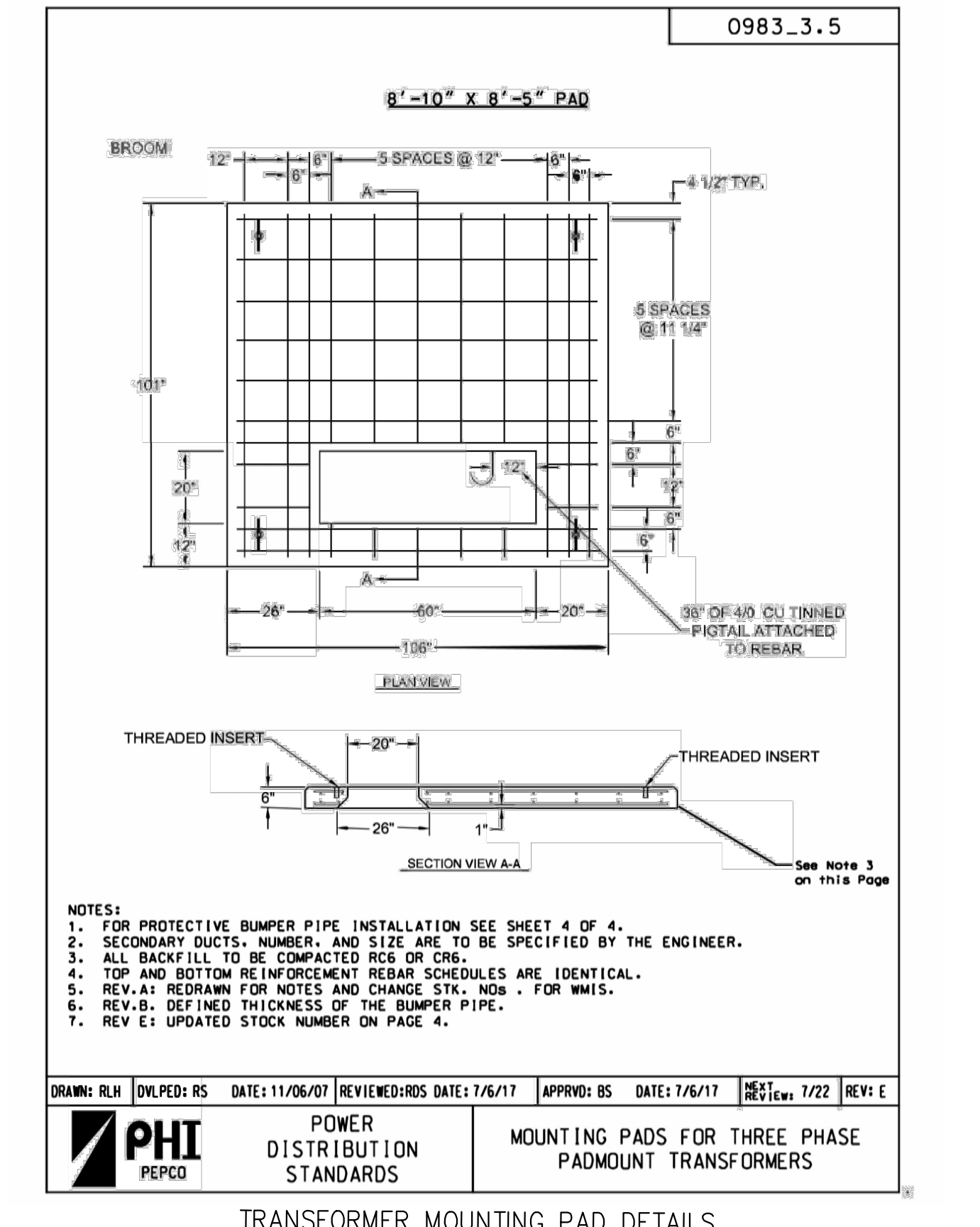
DRYWELL SECTION (NOT TO SCALE)



DRYWELL INSTALLED EXAMPLE



BIO-SWALE INSTALLED EXAMPLE



PRESSED CONCRETE INSTALLED EXAMPLE



MAILBOX INSTALLED EXAMPLE



DUMPSTER WALL WITH FENCE INSTALLED EXAMPLE

**Aluminum Poles**

Catalog #	Type
SSA Square Straight Aluminum	Square

**SSA SQUARE STRAIGHT ALUMINUM**

**DESIGN CONSIDERATIONS - VIBRATIONS AND NON-GROUND MOUNTED INSTALLATIONS**

**ORDERING INFORMATION**

Model Name	Material	Color	Finish	Mounting Type	Height	Notes
SSA-Square	Aluminum	Black	Matte	Ground	10-12	Standard

**ANCHORAGE DATA**

Model Name	Material	Height	Wind Speed	Seismic	Notes
SSA-Square	Aluminum	10-12	120 mph	ASCE 7-10	Standard

**Lumark**  
**Prevail Discrete LED**

Area / Site Luminaire

**Product Features**

- Ordering Information
- Mounting Details
- Optical Configurations
- Product Specifications
- Energy and Performance Data

**Product Certifications**

- UL
- ETL
- IC
- CE
- RoHS
- REACH

**Connected Systems**

- WaveLink

**Lumark**  
**Prevail Discrete LED**

**Mounting Details**

**SA-OM Pole Mount Arm (PRV & PRV-P)**

**SA-OM Wall Mount Arm (PRV-XL)**

**WA-OM Wall Mount Arm (PRV-S & PRV-P)**

**WA-OM Wall Mount Arm (PRV-XL)**

**MA-OM Mast Arm (PRV & PRV-P)**

**MA-OM Mast Arm (PRV-XL)**

**ADJA-Adjustable Arm Pole Mount (PRV & PRV-P)**

**ADJA-Adjustable Arm Pole Mount (PRV-XL)**

**ADJA-WM-Adjustable Arm Wall Mount (PRV & PRV-P)**

**ADJA-WM-Adjustable Arm Wall Mount (PRV-XL)**

**ADJS-Adjustable Slighter 3 (PRV & PRV-P)**

**ADJS-Adjustable Slighter 3 (PRV-XL)**

**Lumark**  
**Prevail Discrete LED**

**Mounting Details**

**SA-OM Pole Mount Arm (PRV-M)**

**Versatile Mount System**

**WA-OM Wall Mount Arm (PRV-M)**

**ADJS-Adjustable Slighter (PRV-M)**

**MA-OM Mast Arm (PRV-M)**

**SFS-Adjustable Slighter 3-24\"/>**

Client:

WARNER CIRCLE MANSION CONDOMINIUMS, LLC  
 C/O LAWRENCE SMITH  
 4955 BUTTERWORTH PLACE, NW  
 WASHINGTON, DC 20016  
 240.498.4502  
 lawrence@washingtonlandmark.com

Project:

10231 CARROLL PLACE BLOCK 1

**KENSINGTON PARK**

13th ELECTION DISTRICT  
 KENSINGTON  
 MONTGOMERY COUNTY,  
 MARYLAND 20895

No. Date Issue/Revision

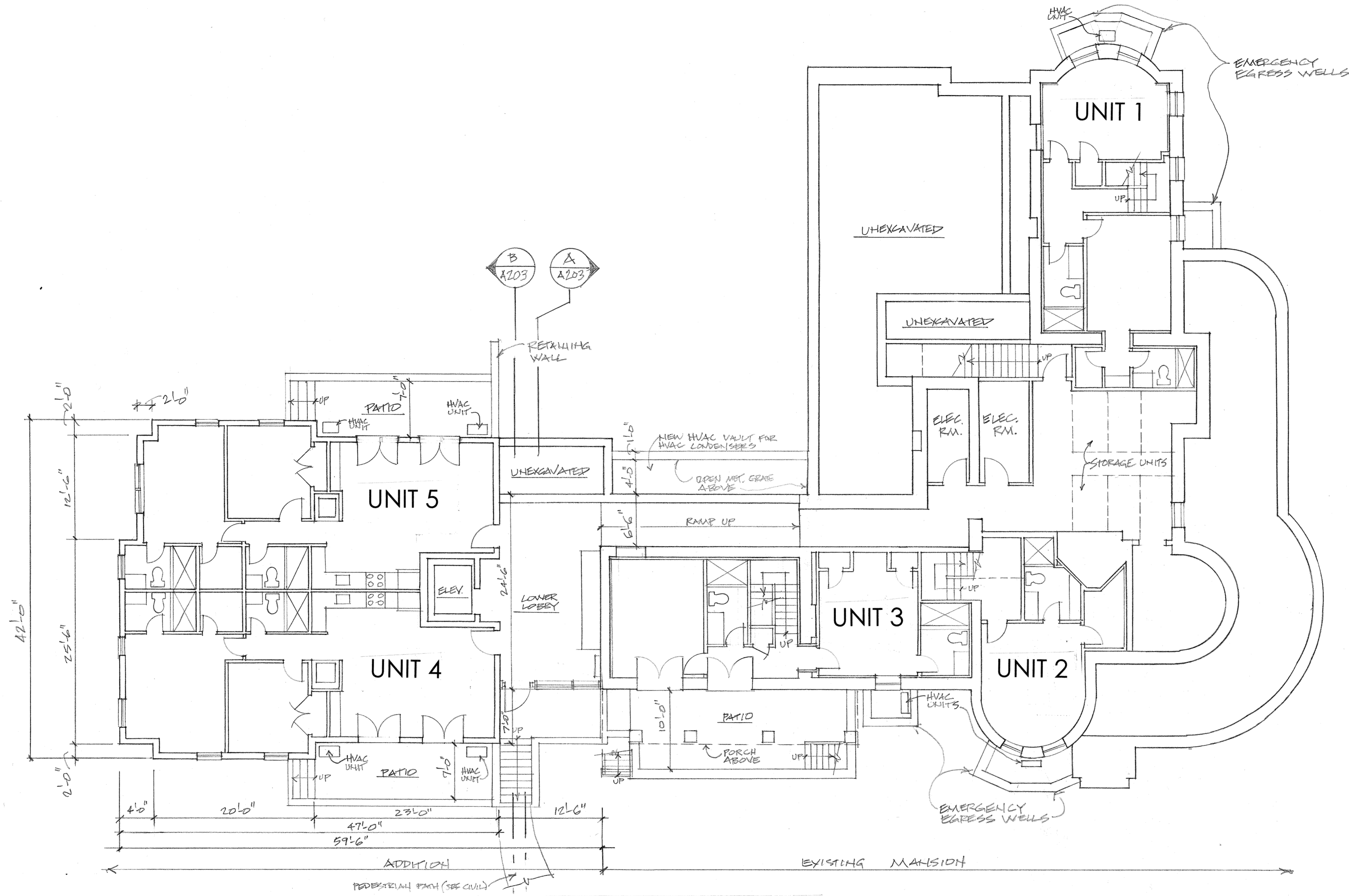
Designed By: CGW  
 Drawn By: ASA  
 Checked By: RER

Project No.: 22-089 Date: May 24 '23

Scale: 1" = 1'

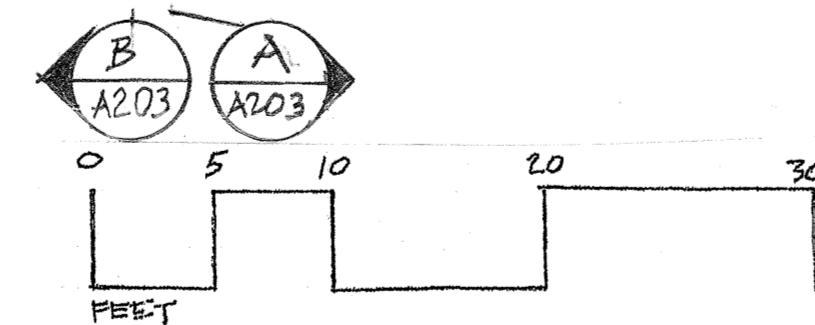
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Sheet No.: **CIV0502**

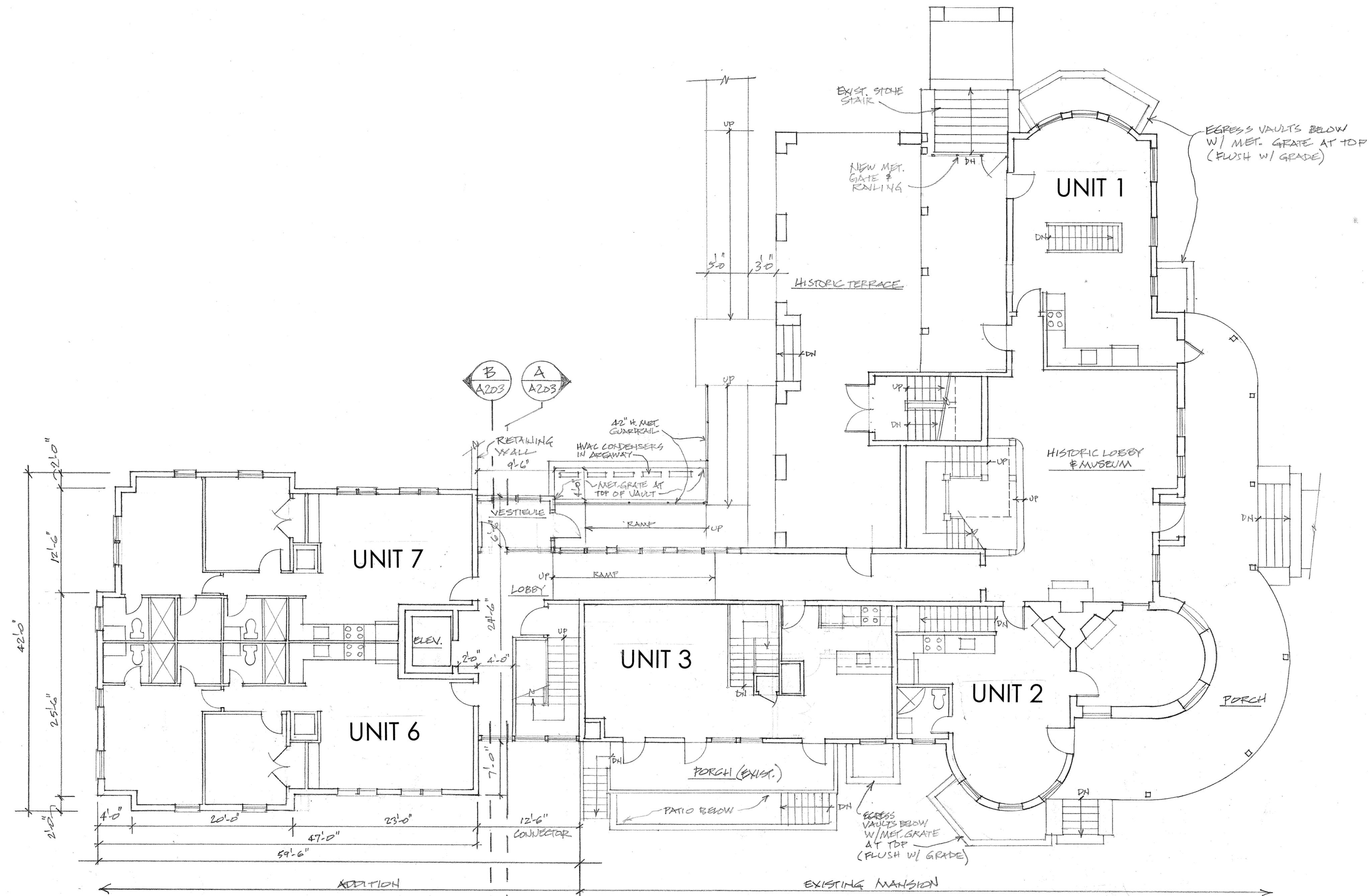


**BASEMENT LEVEL FLOOR PLAN**

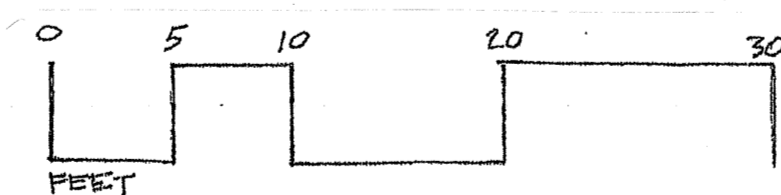
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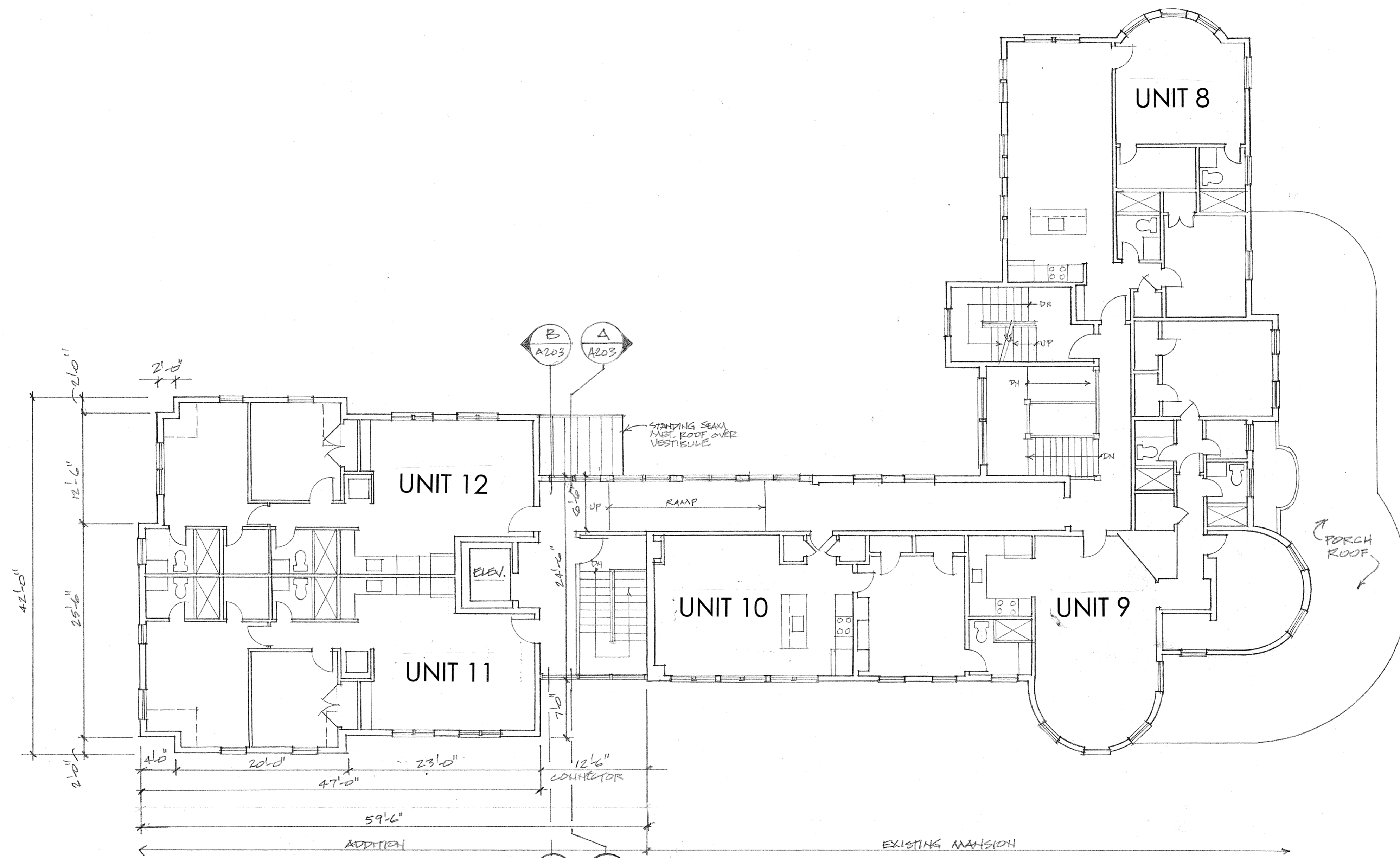
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PROJECT NUMBER: 2218		BASEMENT LEVEL PLAN - MANSION # ADDITION



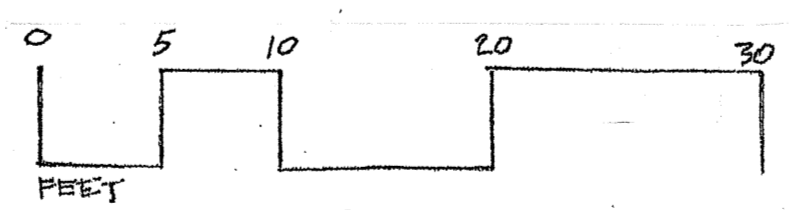
**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



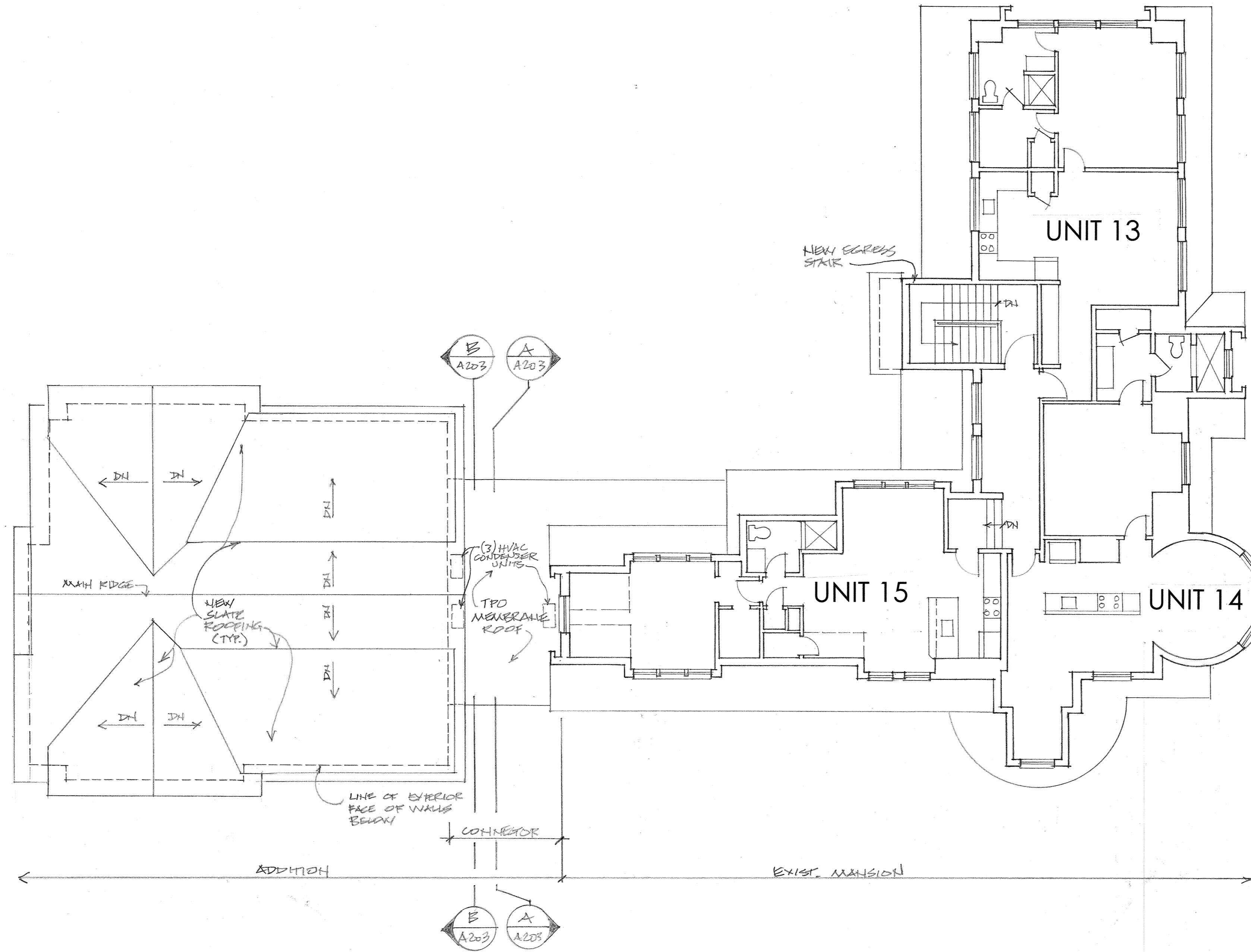
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PROJECT NUMBER: 2218	FIRST FLOOR PLAN - MANSION ADDITION		



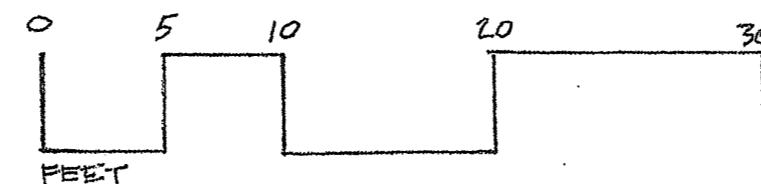
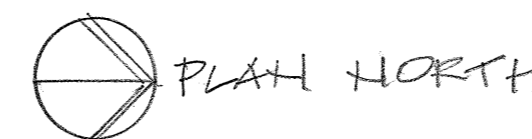
**SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



SHEET NUMBER: <b>A102</b> PROJECT NUMBER: 221B	WARNER MANSION RENOVATION AND ADDITION 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com	REVISIONS: 5/2/23 FOR THE REVIEW 5-23-23 JHC	DATE: 3-31-23
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**THIRD FLOOR/ROOF PLAN**  
SCALE: 1/8" = 1'-0"



REVISIONS:  
5/1/22 HFE  
4/11/22 BCL/HBY  
5-23-23 HFE

DATE: 3-31-23

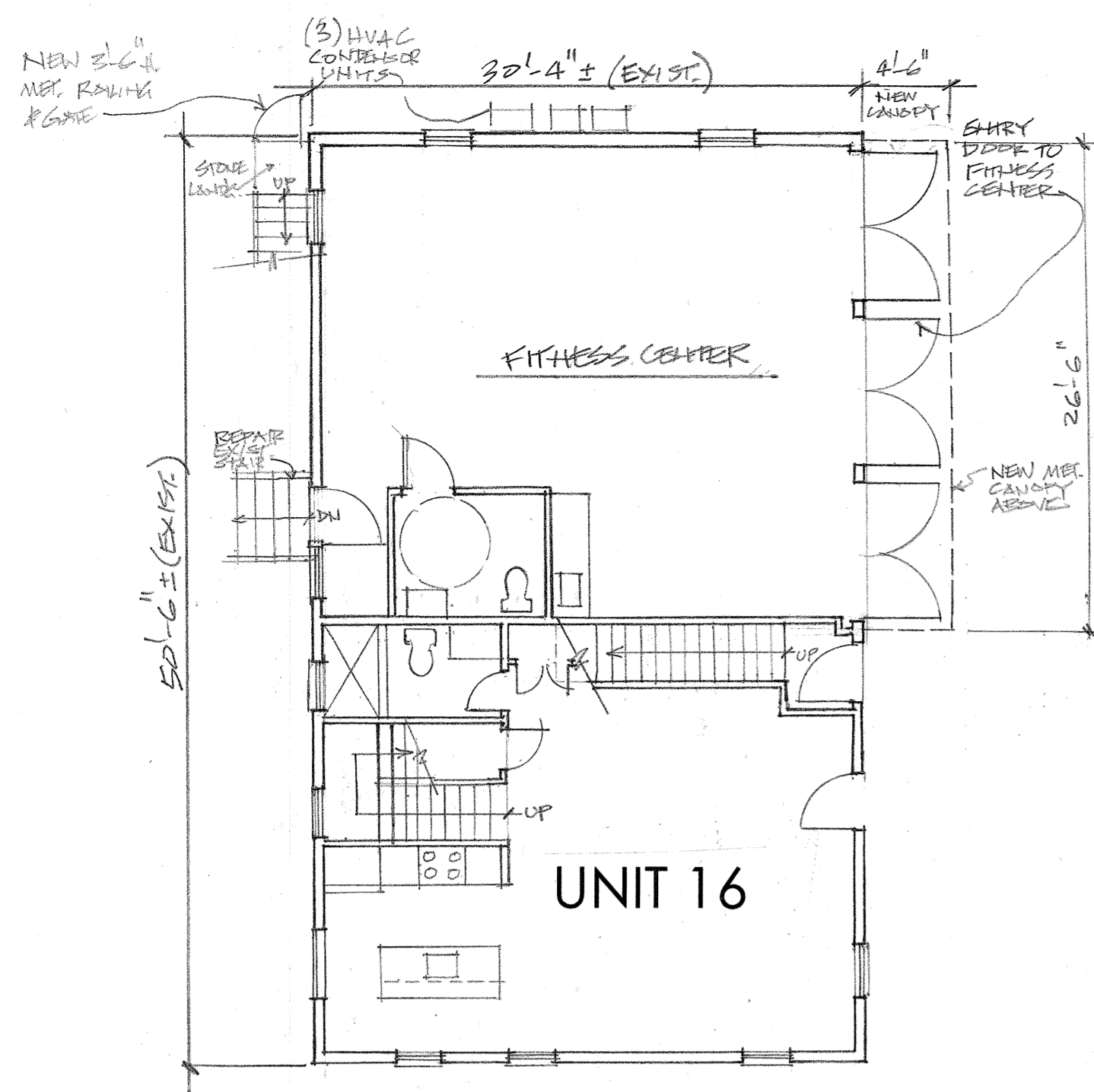
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10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895  
MORRIS ARCHITECTS  
13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878  
TEL: 301-527-1002 morrisarc@aol.com

THIRD FLOOR / ROOF PLAN- MANSION & ADDITION

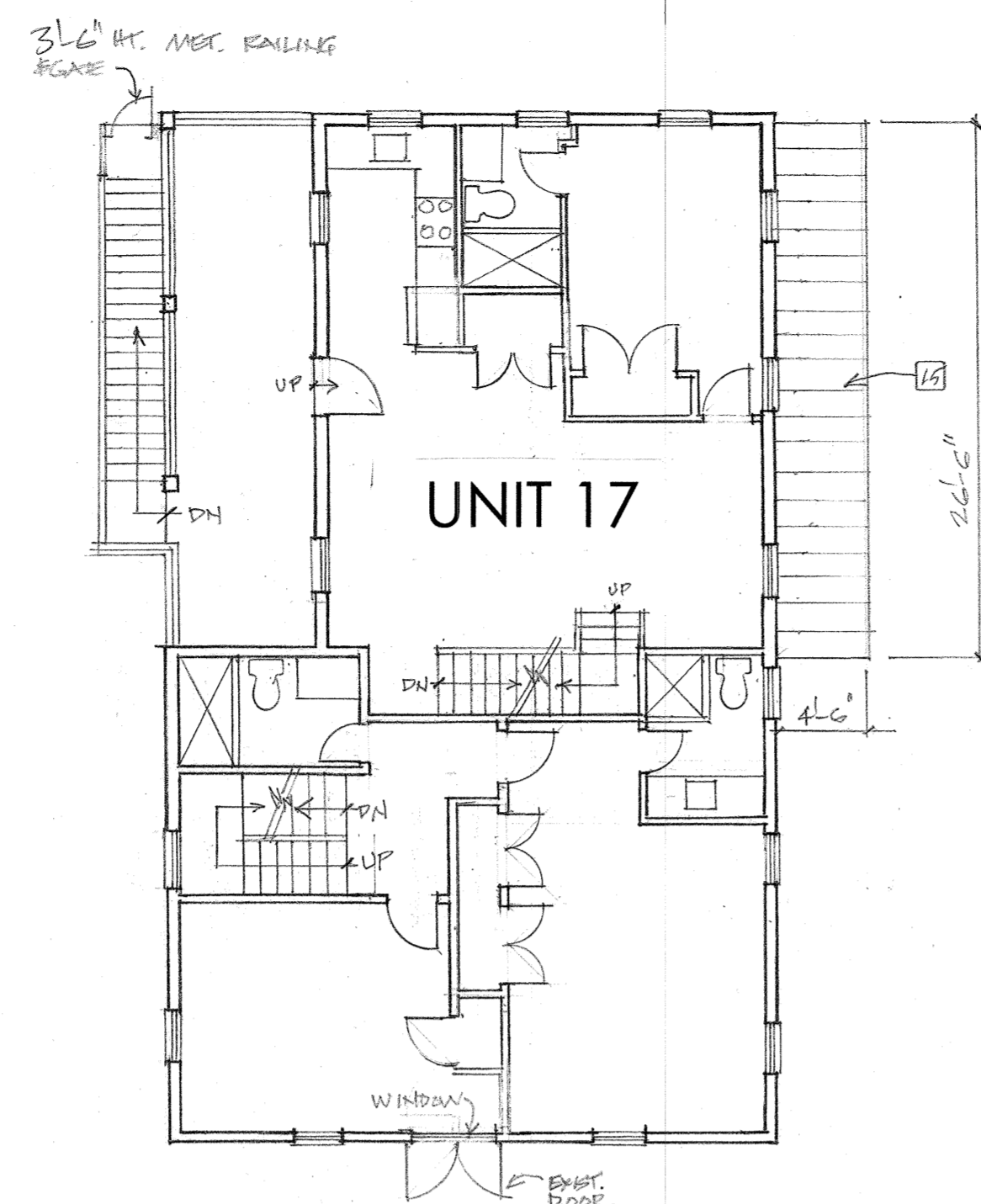
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PROJECT NUMBER:  
2218

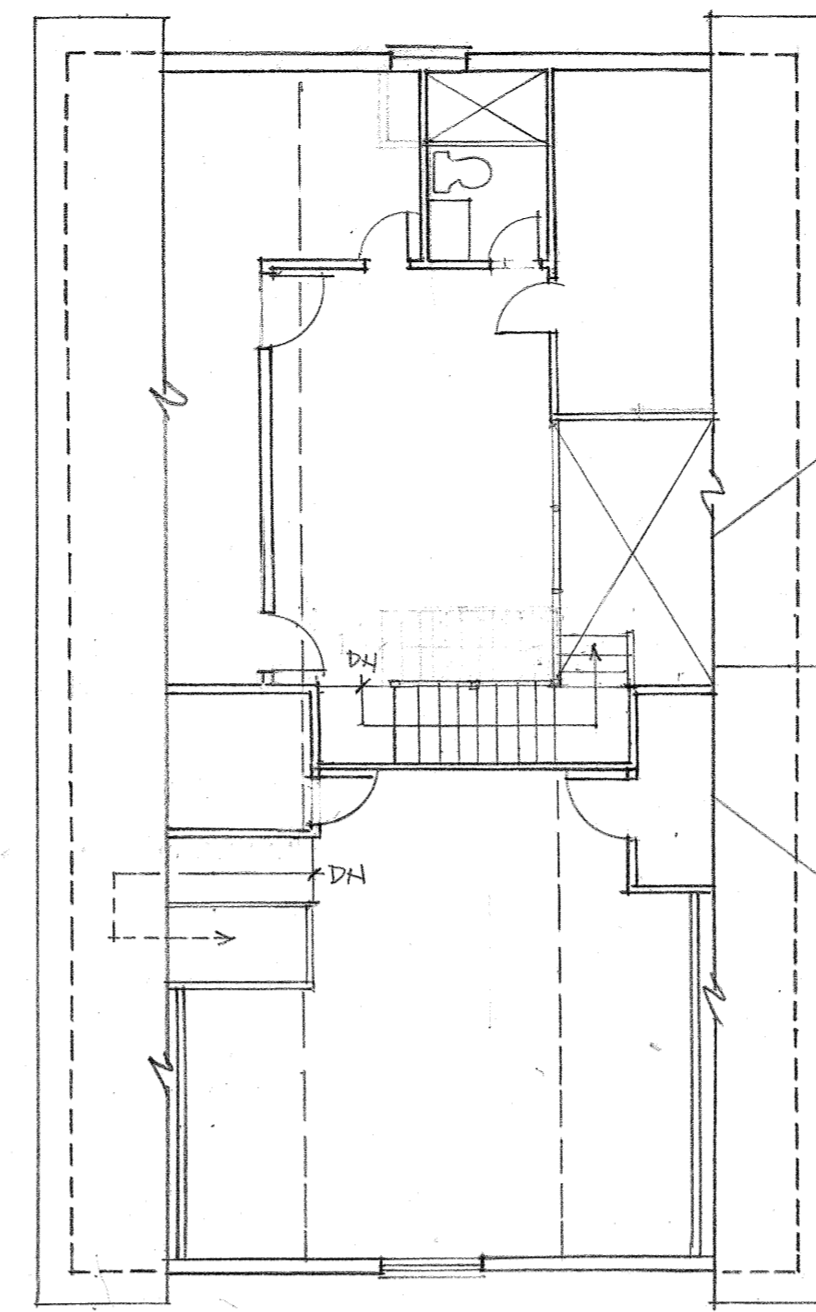




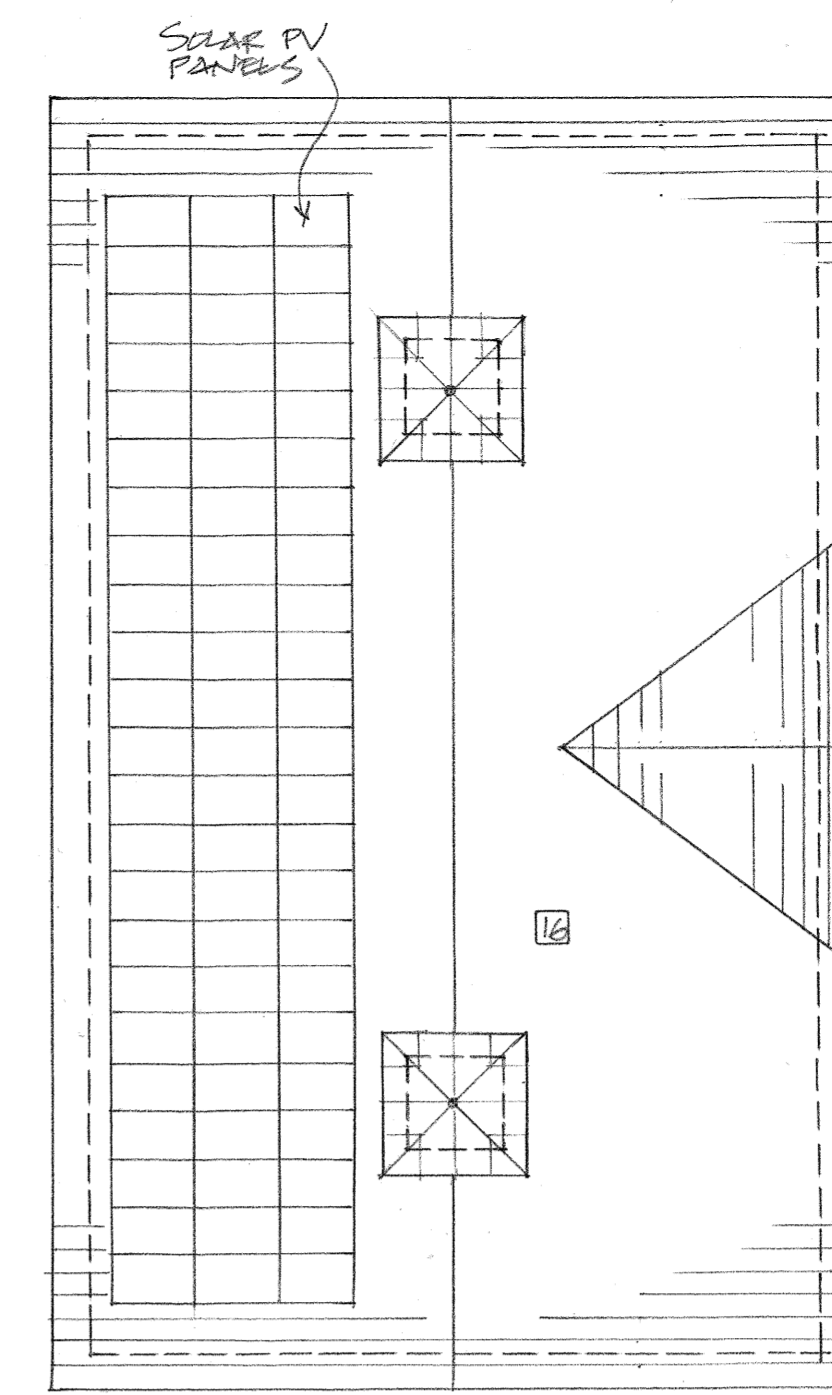
**CARRIAGE HOUSE FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE LOFT FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

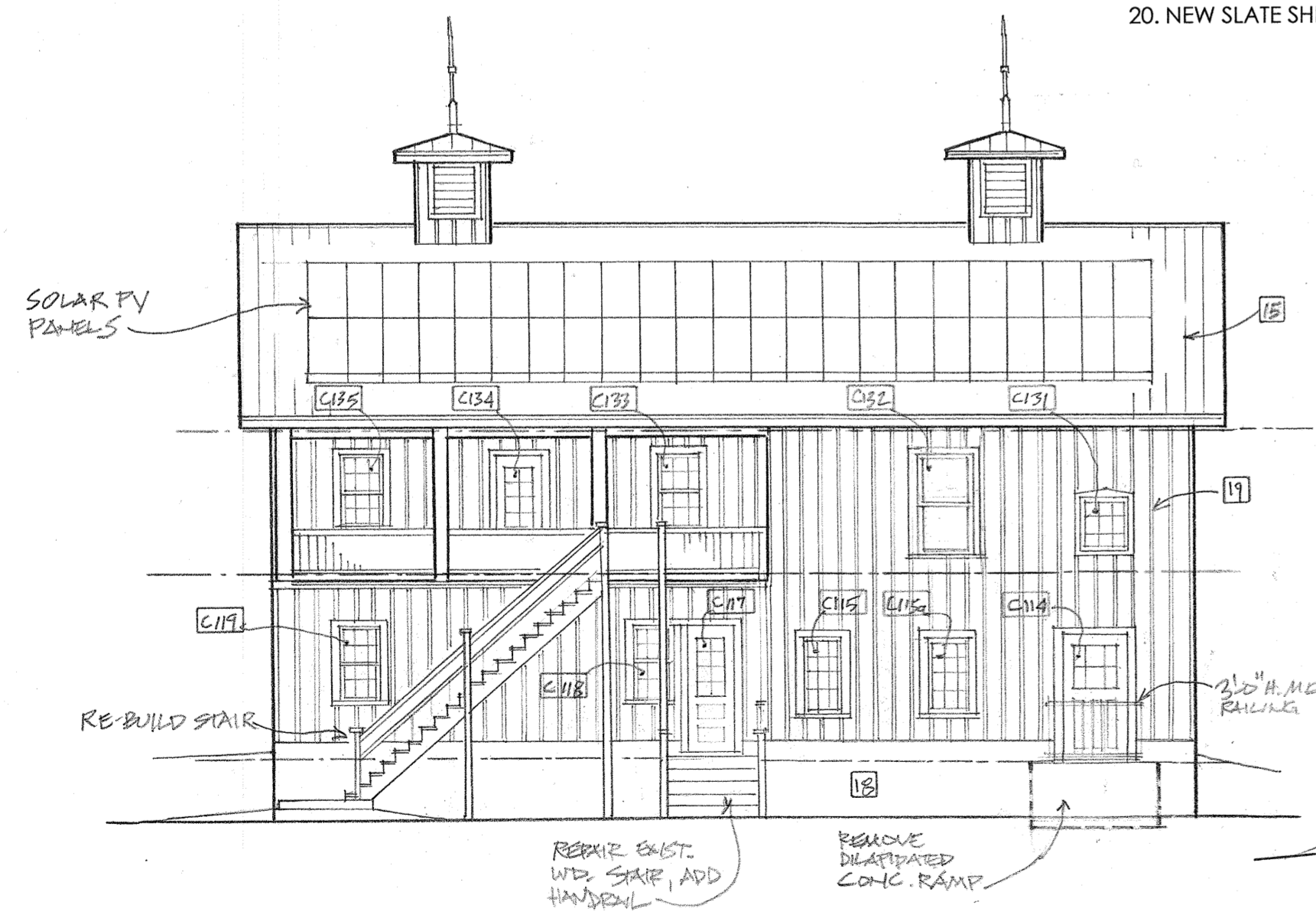
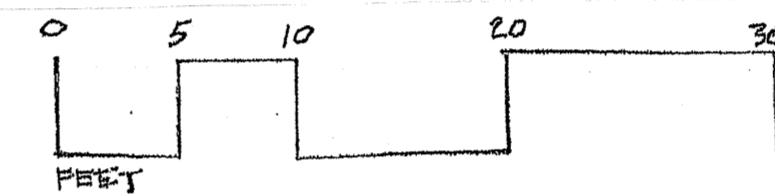


**CARRIAGE HOUSE ROOF PLAN**  
SCALE: 1/8" = 1'-0"

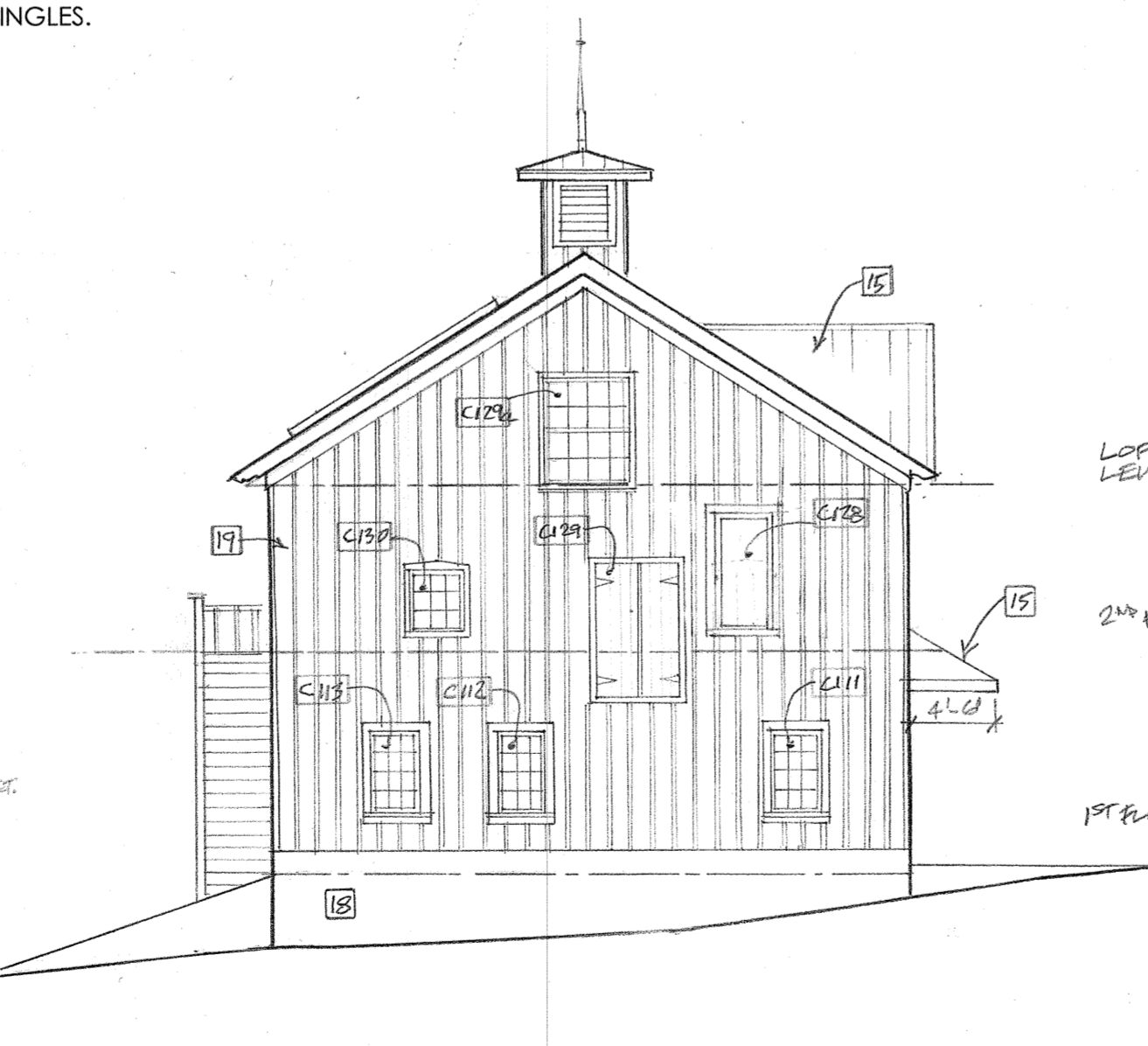


**KEYED NOTES**

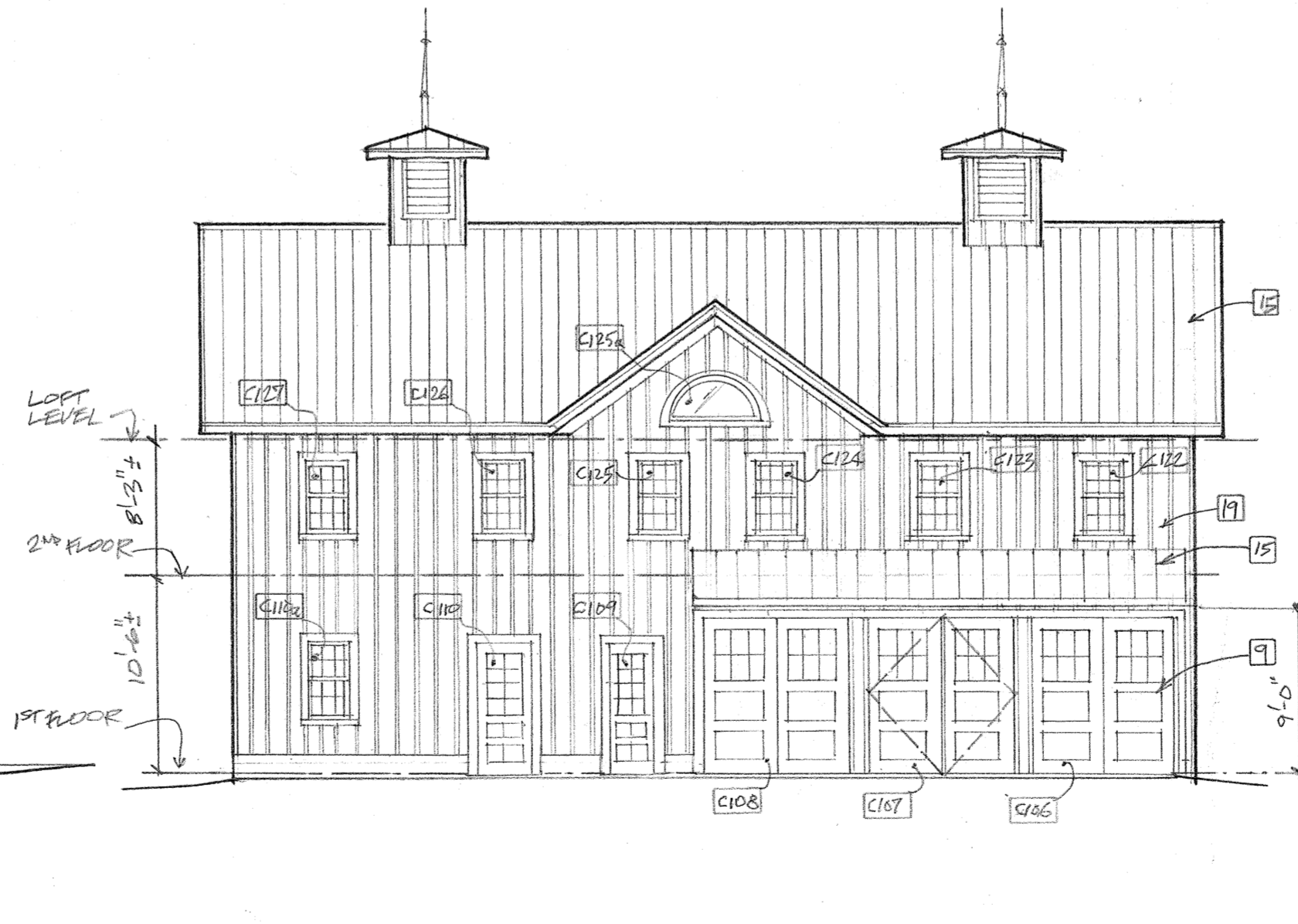
1. RESTORE STONE STEPS
2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS REPLACEMENT OF BROKEN OR MISSING TILES.
5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
7. NEW STAIR TOWER FOR EGRESS COMPLIANCE.
8. ADD NEW LIGHTNING ROD, WIRE, GLASS.
9. CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING.
10. RESTORE GUTTER AND D.S.
11. HARDIE CEMENT BOARD SIDING, 5" EXPOSURE TO MATCH EXISTING.
12. HARDIE CEMENT BOARD SHAKES, 5" EXPOSURE TO MATCH EXISTING.
13. COMPOSITE TRIM BOARD.
14. RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION.
15. STANDING SEAM METAL ROOFING.
16. FLAT SEAM METAL ROOFING.
17. FIXED WINDOW SYSTEM WITH METAL WINDOW FRAMES.
18. PARGING TO MATCH EXISTING.
19. BOARD & BATTEN SIDING.
20. NEW SLATE SHINGLES.



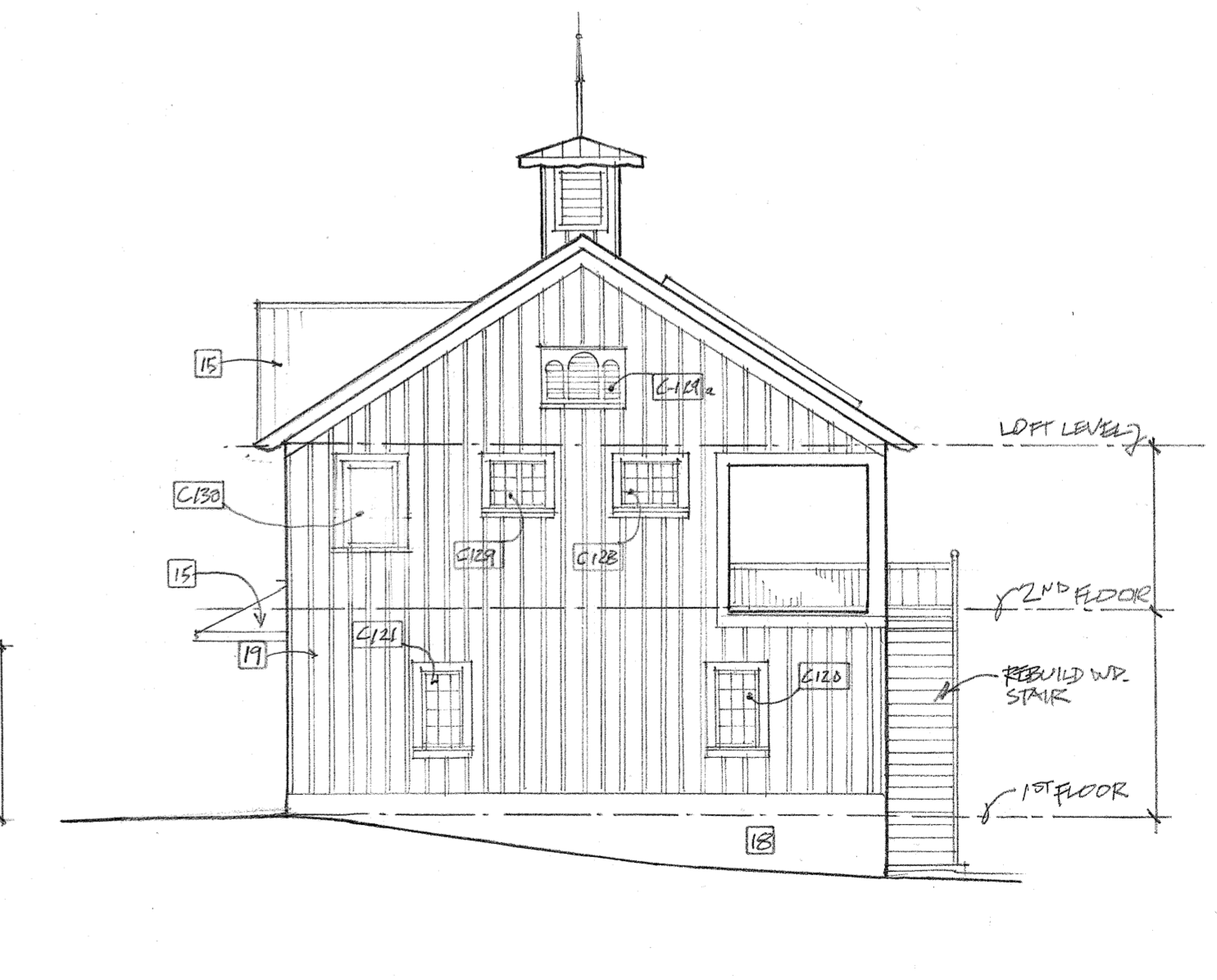
**CARRIAGE HOUSE SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**CARRIAGE HOUSE NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

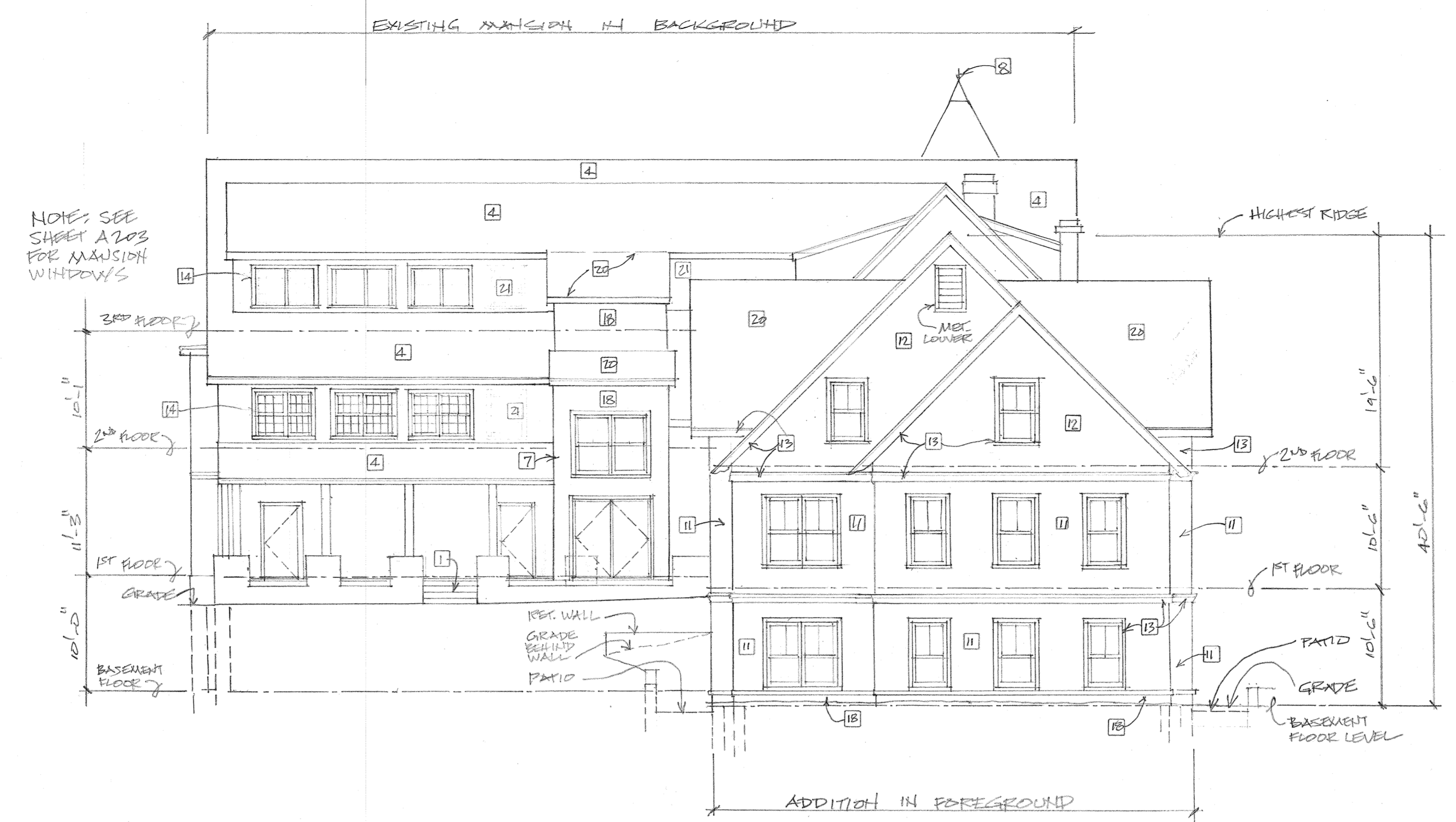


**CARRIAGE HOUSE WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

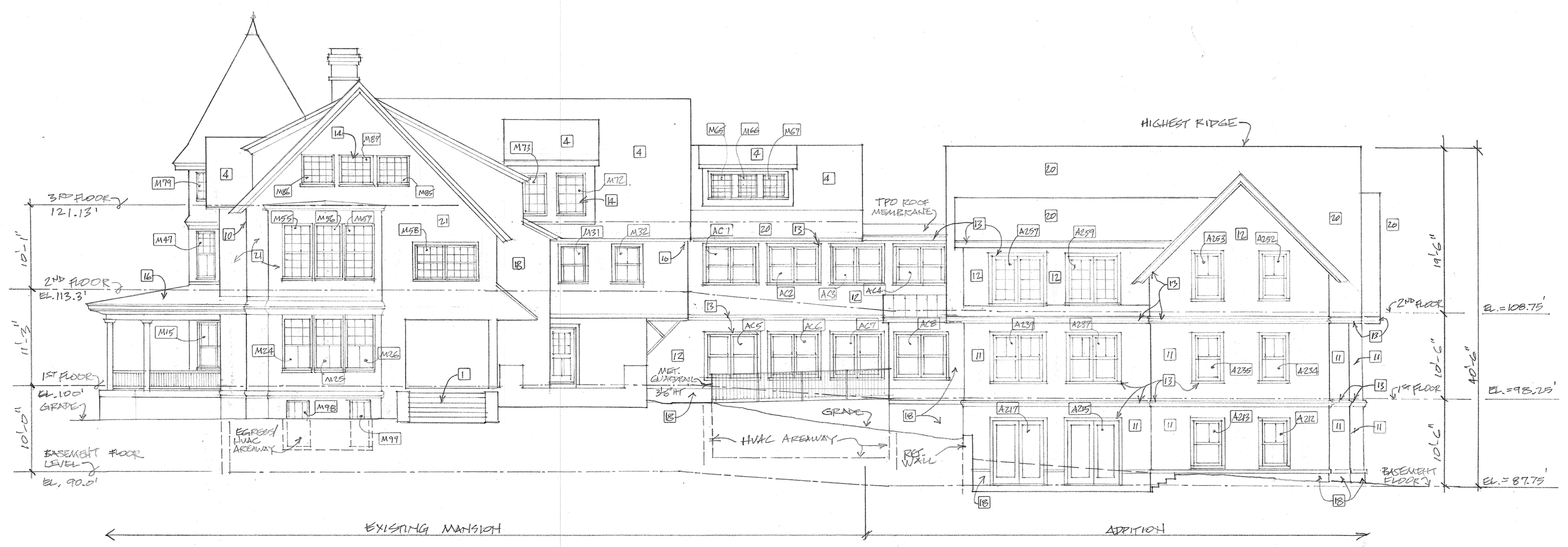
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	WARNER MANSION CARRIAGE HOUSE RENOVATION 10204 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com	
PROJECT NUMBER: 2218	CARRIAGE HOUSE PLANS & ELEVATIONS	

KEYED NOTES

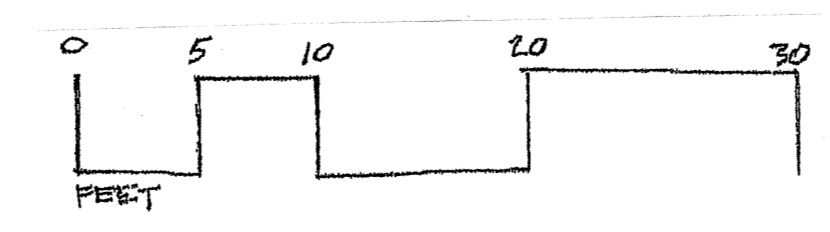
1. RESTORE STONE STEPS
2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS RELACEMENT OF BROKEN OR MISSING TILES.
5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
7. NEW STAIR TOWER FOR EGRESS COMPLIANCE.
8. ADD NEW LIGHTNING ROD, WIRE, GLASS.
9. CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING.
10. RESTORE GUTTER AND D.S.
11. HARDIE CEMENT BOARD SIDING, 5" EXPOSURE TO MATCH EXISTING.
12. HARDIE CEMENT BOARD SHAKES, 5" EXPOSURE TO MATCH EXISTING.
13. COMPOSITE TRIM BOARD.
14. RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION.
15. STANDING SEAM METAL ROOFING.
16. FLAT SEAM METAL ROOFING.
17. FIXED WINDOW SYSTEM WITH METAL WINDOW FRAMES.
18. PARGING TO MATCH EXISTING.
19. BOARD & BATTEN SIDING.
20. NEW SLATE SHINGLES.
21. REPLACE CEDAR TO MATCH EXIST.



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

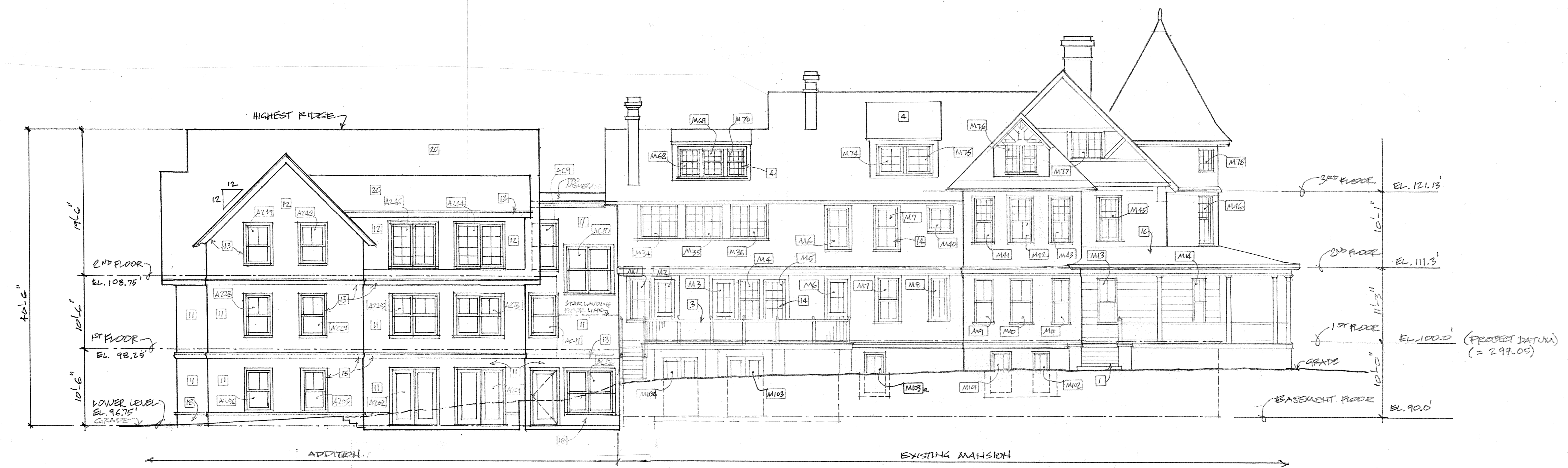


<p>REVISIONS: 5/3/23 - FOR HPC REVIEW 5-23-23 - HPC</p>	<p>DATE: 5/31/23</p>
<p><b>WARNER MANSION RENOVATION AND ADDITION</b> 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 <b>MORRIS ARCHITECTS</b> 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com</p>	
<p><b>A200</b></p>	
<p>PROJECT NUMBER: 2218</p>	
<p><b>WEST and SOUTH ELEVATIONS</b></p>	

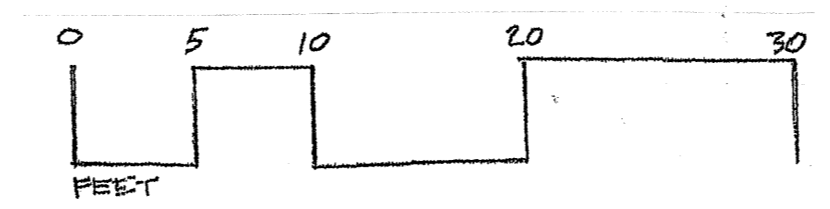


**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

- KEYED NOTES**
1. RESTORE STONE STEPS
  2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
  3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
  4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS RELACEMENT OF BROKEN OR MISSING TILES.
  5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
  6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
  7. NEW STAIR TOWER FOR EGRESS COMPLIANCE.
  8. ADD NEW LIGHTNING ROD, WIRE, GLASS.
  9. CONSTRUCT NEW CARRIAGE HOUSE DOORS TO MATCH EXISTING.
  10. RESTORE GUTTER AND D.S.
  11. HARDIE CEMENT BOARD SIDING, 5" EXPOSURE TO MATCH EXISTING.
  12. HARDIE CEMENT BOARD SHAKES, 5" EXPOSURE TO MATCH EXISTING.
  13. COMPOSITE TRIM BOARD.
  14. RE-FRAME WINDOW OPENING TO HISTORICAL CONFIGURATION.
  15. STANDING SEAM METAL ROOFING.
  16. FLAT SEAM METAL ROOFING.
  17. FIXED WINDOW SYSTEM WITH METAL WINDOW FRAMES.
  18. PARGING TO MATCH EXISTING.
  19. BOARD & BATTEN SIDING.
  20. NEW SLATE SHINGLES.
  21. REPLACE CEDAR SHINGLES TO MATCH EXIST. (TYPE)



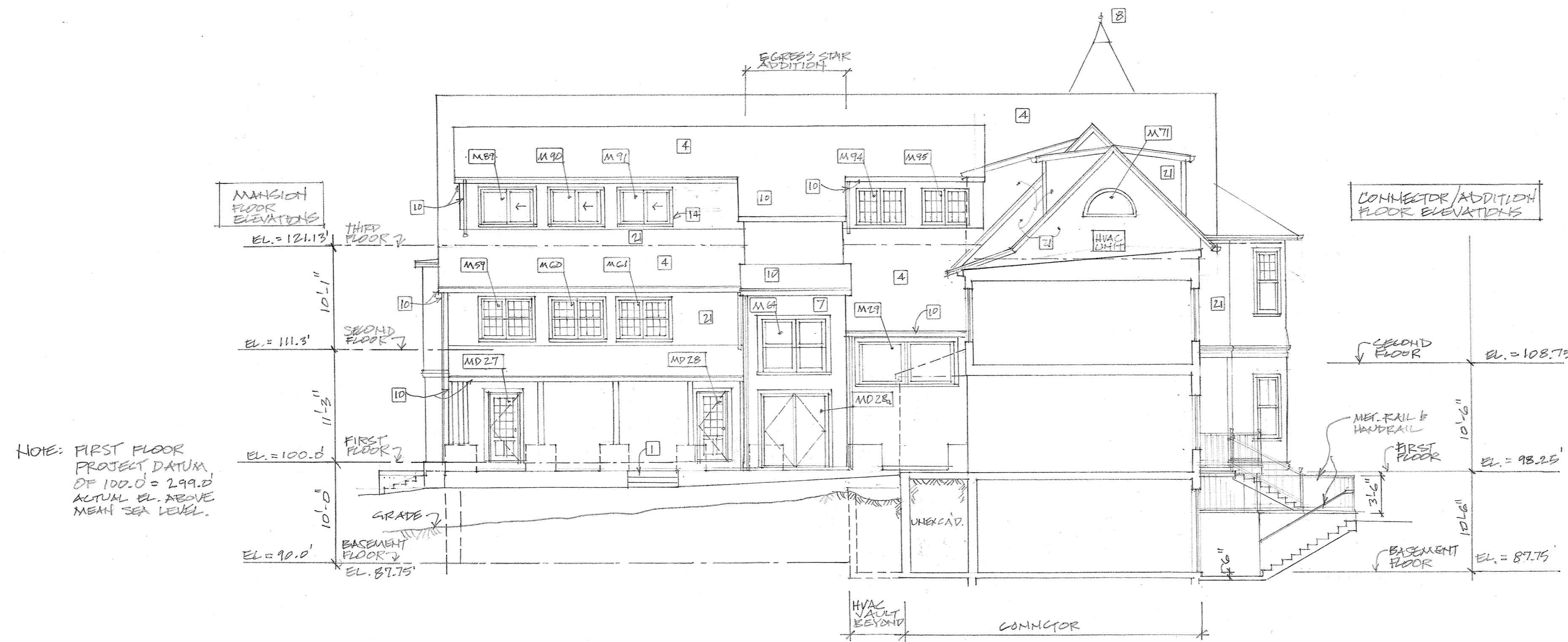
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



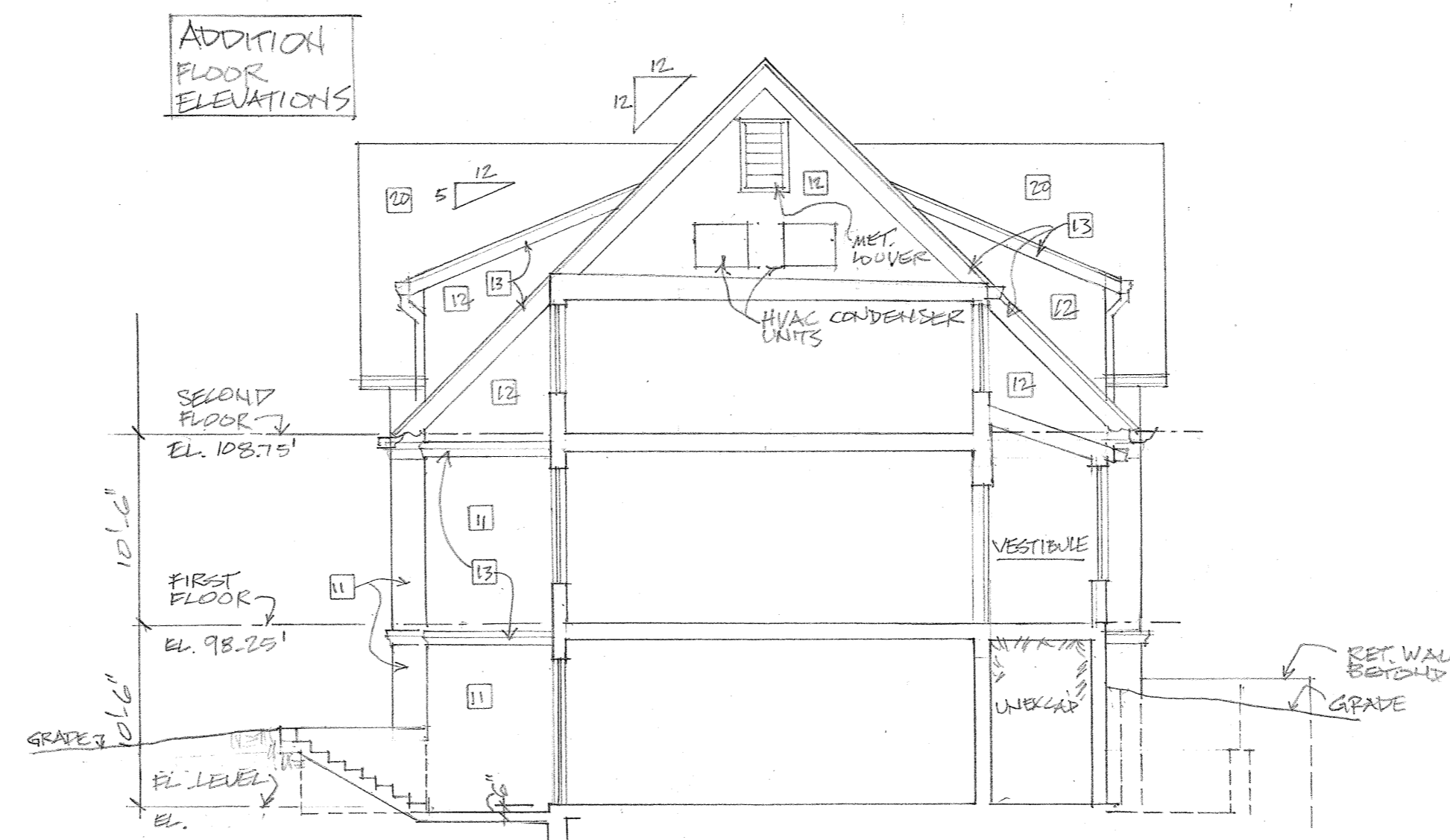
SHEET NUMBER: <b>A201</b>	REVISIONS: 1. 11/21/23 2. 11/21/23 3. 11/21/23	DATE: 3-31-23
	WARNER MANSION RENOVATION AND ADDITION 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com	
PROJECT NUMBER: 2218	NORTH # EAST ELEVATIONS	

KEYED NOTES

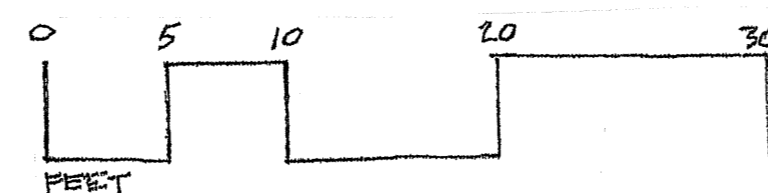
1. RESTORE STONE STEPS
2. RECONSTRUCT 2<sup>ND</sup> FLOOR BALCONY, INCLUDING WATERPROOFING, BALUSTRADE, RECONSTRUCT AND EXTEND ROOF ABOVE.
3. RECONSTRUCT SIDE PORCH, STAIR, RAILINGS, SCREENING, AND LATTICE.
4. RESTORE EXISTING SLATE ROOFING, INCLUDING ALL SURFACE AREA AS RELACEMENT OF BROKEN OR MISSING TILES.
5. RECONSTRUCT DECORATIVE CHIMNEY TOP.
6. RECONSTRUCT BASEMENT ACCESS DOOR AND CONNECTION TO EXISTING STAIRS.
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18. PARGING TO MATCH EXISTING.
19. BOARD & BATTEN SIDING.
20. NEW SLATE SHINGLES.
21. REPLACE CEDAR SHINGLES TO MATCH EXIST.



**MANSION SOUTH ELEVATION / SECTION A-A**  
SCALE: 1/8" = 1'-0"



**ADDITION NORTH ELEVATION / SECTION B-B**  
SCALE: 1/8" = 1'-0"



SHEET NUMBER: <b>A203</b>	REVISIONS:	DATE: 5-23-23
	WARNER MANSION RENOVATION AND ADDITION 10212 MONTGOMERY AVENUE, KENSINGTON, MD 20895 MORRIS ARCHITECTS 13320 TRAVILAH ROAD / NORTH POTOMAC, MD 20878 TEL: 301-527-1002 morrisarc@aol.com	
PROJECT NUMBER: 2218	PARTIAL ELEVATIONS	

# **Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

## **1 Survey Table**

**WARNER CIRCLE CONDOMINIUMS LLC**

**4710 BAYARD BOULEVARD • BETHESDA • MD • 20816**

Window #	Page#	Window #	Connect ed Unit	Connected Room	Width	Length	Window Style	Window Type	Existing Condition	Proposed Work
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WARNER CIRCLE MANSION CONDO DEVELOPMENT  
10231 Carroll Place, Kensington MD 20815

WINDOW SURVEY 11/29/22

11/29/2022

M1	1	W9	3	Kitchen, living room	2 - 9	5 - 6	Double Hung	6/6	This window was replaced by Montgomery Parks in the early 2000's. The window is not an original historical window	Replace with 6/6 JELDWEN Sitrine Clad window
M4	4	W9	3	Kitchen, living room	3 - 0	5 - 6	Double Hung	6/6	This window was replaced by Montgomery Parks in the early 2000's. The window is not an original historical window	Replace with 6/6 JELDWEN Sitrine Clad window
M5	4	W9	3	Kitchen, living room	3 - 0	5 - 6	Double Hung	6/6	This window was replaced by Montgomery Parks in the early 2000's. The window is not an original historical window	Replace with 6/6 JELDWEN Sitrine Clad window
M7	6	W7	3	Bedroom	3 - 0	4 - 5	Double Hung	2/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/2 Clad window
M8	7	W7	2	Bathroom	2 - 10	6 - 1	Double Hung	2/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/2 Clad window
M9	8	W2	2	Kitchen, living room	2 - 10	6 - 1	Double Hung	2/1	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/1 Clad window
M10	9	W2	2	Kitchen, living room	2 - 10	6 - 1	Double Hung	2/1	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/1 Clad window

M11	10	W2	2	Kitchen, living room	2 - 10	6 - 1	Double Hung	2/1	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/1 Clad window
M13	12	W2	2	Bedroom	3 - 0	6 - 2	Double Hung	2/1	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/1 Clad window
M14	13	W3	2	Bedroom	3 - 0	6 - 2	Double Hung	2/1	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	The window will be carefully removed and the taken in for restoration. Trim will be reinstalled once window restoration has been completed. An internal storm pane will be installed on the interior.
M15	14	W3	2	Bedroom	3 - 0	6 - 2	Double Hung	2/1	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	The window will be carefully removed and the taken in for restoration. Trim will be reinstalled once window restoration has been completed. An internal storm pane will be installed on the interior.
M16	15	W3	Museum	Museum	3 - 4	6 - 4	Double Hung	2/1	The windows are damaged and missing parts. Some of the window pieces need to be replaced.	The window will be carefully removed and the taken in for restoration. Trim will be reinstalled once window restoration has been completed. An internal storm pane will be installed on the interior.
M18	17	W3	Museum	Museum	2 - 10	5 - 8	Double Hung	2/1	The windows are damaged and missing parts. Some of the window pieces need to be replaced.	The window will be carefully removed and the taken in for restoration. Trim will be reinstalled once window restoration has been completed. An internal storm pane will be installed on the interior.
M19	18	W3	Museum	Museum	2 - 10	5 - 8	Double Hung	2/1	The windows are damaged and missing parts. Some of the window pieces need to be replaced.	The window will be carefully removed and the taken in for restoration. Trim will be reinstalled once window restoration has been completed. An internal storm pane will be installed on the interior.
M21	20	W9	1	Kitchen, living room	2 - 5	3 - 6	Double Hung	6/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	The window will be carefully removed and the taken in for restoration. Trim will be reinstalled once window restoration has been completed. An internal storm pane will be installed on the interior.
M22	21	W9	1	Kitchen, living room	3 - 7	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDWEN Sitrine Clad window

M23	22	W9	1	Kitchen, living room	3 - 6	5 - 11	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDOWEN Silestone Clad window
M24	23	W9	1	Kitchen, living room	3 - 0	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window panes are broken and the window has been covered with a sheet of plywood	Replace with 6/6 JELDOWEN Silestone Clad window
M25	24	W9	1	Kitchen, living room	3 - 0	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window panes are broken and the window has been covered with a sheet of plywood	Replace with 6/6 JELDOWEN Silestone Clad window
M26	25	W9	1	Kitchen, living room	3 - 0	5 - 10		9/2	The window opening has been boarded and the interior drywalled.	Replace with 9/2 JELDOWEN Silestone Clad window
M29	28	W12	Museum	Museum	4 - 10	3 - 8		Fixed	The window design does not match the Fredrick Kenny drawings a different design. These windows are not historical and were replaced at an unknown date.	New Jeldwen Clad 1/1 fixed window with a Transom above.
M30	28	W12	Museum	Museum	4 - 10	3 - 8	Double Hung	Fixed	The window design does not match the Fredrick Kenny drawings a different design. These windows are not historical and were replaced at an unknown date.	New Jeldwen Clad 1/1 fixed window with a Transom above.
M31	29	W7	Hallway 2nd floor	2nd Floor Hallway	3 - 0	5 - 2	Double Hung	2/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/2 JELDOWEN Silestone Clad window
M32	30	W7	Hallway 2nd floor	2nd Floor Hallway	3 - 0	5 - 2	Double Hung	2/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/2 JELDOWEN Silestone Clad window
M33	31	W7	10	Kitchen/Living room window removed	2 - 6	4 - 5	Double Hung	1/1	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim. The window is not an original historical window	Replace with 2/2 JELDOWEN Silestone Clad window



M33-2	31	W7	10	Kitchen/Living room window removed	2 - 6	4 - 5	Double Hung	1/1	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim. The window is not an original historical window.	Replace with 2/2 JELDZEN Sitrine Clad window
M34-3	33	W7	10	Kitchen/Living room window removed	2 - 6	4 - 5	Double Hung	2/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim. The window is not an original historical window.	Replace with 2/2 JELDZEN Sitrine Clad window
M34-4	32	W28	10	Kitchen/Living room window removed	3 - 5	4 - 5	Double Hung	8/8	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 8/8 JELDZEN Sitrine Clad window
M34-2	34	W28	10	Kitchen/Living room window removed	3 - 5	4 - 5	Double Hung	8/8	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 8/8 JELDZEN Sitrine Clad window
M34	35	W9	10	Kitchen/Living room window	2 - 4	4 - 5	Double Hung	6/6	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDZEN Sitrine Clad window
M35	36	W9	10	Kitchen/Living room window	2 - 4	4 - 5	Double Hung	6/6	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDZEN Sitrine Clad window
M36	37	W9	10	Kitchen/Living room window	2 - 4	4 - 5	Double Hung	6/6	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDZEN Sitrine Clad window
M37	38	W9	10	Kitchen/Living room window	2 - 4	4 - 5		6/6	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDZEN Sitrine Clad window
M38	38		10	Kitchen/Living room window			Double Hung		The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	

M39	39	W7	10	Bedroom	3 - 11	5 - 2	Double Hung	2/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/2 JELDOWEN Silestone Clad window
M39-1	N/A		10							Window as in original Mc Kenny drawings. Window is missing today.
M40	40	W7	10	Bathroom	3 - 0	3 - 2	Double Hung	2/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 2/2 JELDOWEN Silestone Clad window
M41	41	W5	9	Kitchen/Living room window	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M42	42	W5	9	Kitchen/Living room window	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M43	43	W5	9	Kitchen/Living room window	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M44	44	W5	9	Kitchen/Living room window	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M45	45	W5	9	Bedroom	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M46	46	W5	9	Bedroom	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window

M47	47	W5	9	Bedroom	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M48	48	W5	9	Bathroom	2 - 10	7 - 2	Double Hung	9/2	The window has missing parts and the bottom sash is missing. Window exterior has signs of rot.	Replace with 9/2 JELDOWEN Silestone Clad window
M49	48	W5	9	closet	2 - 10	7 - 2	Double Hung	9/2	The window has missing parts and the bottom sash is missing. Window exterior has signs of rot.	Replace with 9/2 clad window with two way opening bottom sash. For access to balcony.
M50	49	W5	9	Bedroom	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M51	50	W5	9	Bedroom	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M52	51	W9	8	Bedroom	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M53	52	W9	8	Bathroom	3 - 7	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M54	53	W9	8	Bathroom	3 - 5	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window
M55	54	W9	8	Bedroom	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDOWEN Silestone Clad window

M56	55	W9	8	Bedroom	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDWEN Sitrine Clad window
M57	56	W9	8	Bedroom	2 - 11	5 - 10	Double Hung	9/2	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 9/2 JELDWEN Sitrine Clad window
M58	57	W9	8	Kitchen/Living room window	2 - 8	3 - 8	Double Hung	6/6	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDWEN Sitrine Clad window
M59	58	W9	8	Kitchen/Living room window	2 - 5	4 - 5	Double Hung	6/6	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDWEN Sitrine Clad window
M60	58	W9	8	Kitchen/Living room window	2 - 5	4 - 5	Double Hung	6/6	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDWEN Sitrine Clad window
M61	59	W9	8	Kitchen/Living room window	2 - 5	4 - 5	Double Hung	6/6	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDWEN Sitrine Clad window
M62	59	W9	8	Kitchen/Living room window	2 - 5	4 - 5	Double Hung	6/6	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 6/6 JELDWEN Sitrine Clad window
M63	60	W8	8	Kitchen/Living room window	3 - 1	3 - 5	Double Hung	12/12'	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Replace with 12/12 JELDWEN Sitrine Clad window
M64	61	W7	2nd floor Hallway	Stairwell	2 - 11	5 - 10	Exhaust/louver	2/2	The window opening houses metal louver, and is boarded up on inside. Exterior trim is deteriorating and shows signs of dry rot.	Replace with 4 lite Fixed Jeldwen sitrine clad window. With putty 5/8's muntins

M65	62	W20	15	Bedroom	3 - 0	4 - 0	Fixed window	1 lite	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	Install new 1 lite awning window with transom above
M66	62	W20	15	Bedroom	3 - 0	4 - 0	Fixed window	1 Lite	The window are not original and were replaced during the building life cycle	Install new 1 lite awning window with transom above
M67	62	W20	15	Bedroom	3 - 0	4 - 0	Fixed window	1 Lite	The window are not original and were replaced during the building life cycle	Install new 1 lite awning window with transom above
M68	63	W20	15	Bedroom	3 - 0	4 - 0	Fixed window	1 Lite	The window are not original and were replaced during the building life cycle	Install new 1 lite awning window with transom above
M69	63	W20	15	Bedroom	3 - 0	4 - 0	Fixed window	1 Lite	The window are not original and were replaced during the building life cycle	Install new 1 lite awning window with transom above
M70	63	W20	15	Bedroom	3 - 0	4 - 0	Fixed window	1 Lite	The window are not original and were replaced during the building life cycle	Install new 1 lite awning window with transom above
M71	64	W16	15	Bedroom	4 - 5	3 - 3	Fixed 1/2 round window	1 Lite	The window has signs has dry rot and has deteriorating exterior trim.	New Arch JELDWEN Fixed windows will be installed
M72	65	W15	15	3rd floor hallway	2 - 7	3 - 5	Double Casement	4 Lite	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	The window sill is less than 18" from the floor, this window needs to be tempered and have fire safety latches. The window will be replaced with a 4 Lite double JELDWEN Casement.
M73	65	W15	15	3rd floor hallway	2 - 7	3 - 5	Double Casement	4 Lite	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	The window sill is less than 18" from the floor, this window needs to be tempered and have fire safety latches. The window will be replaced with a 4 Lite double JELDWEN Casement.

M74	66	W13	15	Kitchen/Living room window	2 - 8	4 - 2	Double Casement	3 Lite	The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	The window will be located in a bedroom, for egress this window will have to be operable and functioning properly. Replace with 3 Lite Double JELDOWEN Casement
M75	66	W13	15	Kitchen/Living room window	2 - 8	4 - 2	Double Casement		The window has signs of dry rot and is inoperable. The window has been painted shut with deteriorating exterior trim.	The window will be located in a bedroom, for egress this window will have to be operable and functioning properly. Replace with 3 Lite Double JELDOWEN Casement
M76	67	W13	14	Kitchen/Living room window	4 - 5	3 - 1	Double Casement	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	The window sill is less than 18" from the floor, this window needs to be tempered and have fire safety latches. The window will be replaced with a 3 Lite double JELDOWEN Casement.
M77	68	W13	14	Kitchen/Living room window	4 - 5	3 - 6	Double Casement	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	The window sill is less than 18" from the floor, this window needs to be tempered and have fire safety latches. The window will be replaced with a 3 Lite double JELDOWEN Casement.
M78	69	W13	14	Kitchen/Living room window	2 - 11	2 - 9	Double Casement	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	The window sill is less than 18" from the floor, this window needs to be tempered and have fire safety latches. The window will be replaced with a 3 Lite double JELDOWEN Casement.
M79	70	W13	14	Kitchen/Living room window	2 - 11	2 - 9	Double Casement	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	The window sill is less than 18" from the floor, this window needs to be tempered and have fire safety latches. The window will be replaced with a 3 Lite double JELDOWEN Casement.
M80	71	W14	14	Bedroom	4 - 9	3 - 1	Double Casement	6 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6 Lite Clad Double JELDOWEN Casement
M81	72	W13	14	Bathroom	2 - 9	2 - 9	Double Hung	2 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 3 Lite Clad Double JELDOWEN Casement.
M81-2	73	W18	13	Kitchen/Living room window	5'8"	3'7"	NA	NA	The windows are not original and section of the window are boarded up.	Replace with 1 lite sliding JELDOWEN Clad sliding window

M82	74	W18	13	Kitchen/Living room window	5 - 8	3 - 7	Double Hung	2/2	The windows are not original and section of the window are boarded up.	Replace with 1 lite sliding JELDZEN Clad sliding window
M83	75	W18	13	Bedroom	5 - 8	3 - 1	Double Hung	2/2	The windows are not original and section of the window are boarded up.	Replace with 1 lite sliding JELDZEN Clad sliding window
M84	75	W18	13	Bedroom	5 - 8	3 - 1	Double Hung	2/2	The windows are not original and section of the window are boarded up.	Replace with 1 lite sliding JELDZEN Clad sliding window
M85	76	W18	13	Bedroom	5 - 8	3 - 1	Double Hung	2/2	The windows are not original and section of the window are boarded up.	Replace with 1 lite sliding JELDZEN Clad sliding window
M86	77	W18	13	Bedroom	4 - 1	3 - 7	Double Hung	2/2	The windows are not original and section of the window are boarded up.	Replace with 1 lite sliding JELDZEN Clad sliding window
M87	77	W18	13	Bedroom	4 - 1	3 - 7	Double Hung	2/2	The windows are not original and section of the window are boarded up.	Replace with 1 lite sliding JELDZEN Clad sliding window
M88	78	W18	13	Bathroom	4 - 1	3 - 7	Double Hung	2/2	The windows are not original and section of the window are boarded up. Based on the window opening the original windows may have been casements	Replace with 1 lite sliding JELDZEN Clad sliding window
M89	79	W18	13	Bathroom	5 - 8	3 - 7	Double Hung	2/2	The windows are not original and section of the window are boarded up. Based on the window opening the original windows may have been casements	Replace with 1 lite sliding JELDZEN Clad sliding window
M90	80	W18	13	Closet	5 - 8	3 - 7	Double Hung	2/2	The windows are not original and section of the window are boarded up. Based on the window opening the original windows may have been casements	Replace with 1 lite sliding JELDZEN Clad sliding window

M91	81	W18	13	Kitchen	5 - 8	3 - 7	Double Hung	2/2	The windows are not original and section of the window are boarded up. Based on the window opening the original windows may have been casements	Replace with 1 lite sliding JELDOWEN Clad sliding window
M92	82	W18	13	Kitchen/Living room window	5 - 8	3 - 7	Double Hung	2/2	The windows are not original and section of the window are boarded up. Based on the window opening the original windows may have been casements	Replace with 1 lite sliding JELDOWEN Clad sliding window
M93	83	W9	3rd Floor stairwell	Stairwell	4 - 9	3 - 7	Double Hung	2/2	The window currently installed may not be the original. The Frederic Kenny drawings show a different style window.	Replace with 6/6 Clad Double Hung JELDOWEN.
M94	84	W26	3rd floor hallway	3rd floor hallway Unit 303 & 302	4 - 9	3 - 7	Casement	9 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 9 lite clad JELDOWEN Double Casement
M95	85	W26	3rd floor hallway		4 - 9	3 - 7	Casement	9 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 9 lite clad Double JELDOWEN Casement
M96	86	W9	1		3 - 0	1 - 5	basement awning	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	This window is located in the basement bedroom and needs to have a safe means of egress. Window opening will be enlarged and the a new 3'X5' window will be installed. On the outside a window well with a
M96-2	87	W1	1	Bedroom	3 - 0	1 - 5	basement awning	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 3 lite JELDOWEN Clad Awning windows.
M97	88	W1	3rd floor hallway Unit 303 & 302	3rd floor hallway Unit 303 & 302	3 - 0	1 - 5	basement awning	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 3 lite JELDOWEN Clad Awning windows.
M98	89	W1	1	Bedroom	3 - 0	1 - 5	basement awning	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 3 lite JELDOWEN Clad Awning windows.



M99	90	W9	1	Bedroom	3 - 0	1 - 5	basement awning	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	This window is located in the basement bedroom and needs to have a safe means of egress. Window opening will be enlarged and the a new 3'X5' window will be installed. On the outside a window well with a
M100	91	W9	2	Bedroom	3 - 0	1 - 5	NA	NA	The window is missing and the opening has been boarded.	This window is located in the basement bedroom and needs to have a safe means of egress. Window opening will be enlarged and the a new 3'X5' window will be installed. On the outside a window well with a
M101	91	W1	2	Bedroom	3 - 0	1 - 5	basement awning	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 3 lite JELDWEN Clad Awning windows.
102 VACANAT N/A										
M103	92	W9	3	Bedroom	3 - 1	2 - 0	basement awning	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	This window is located in the basement bedroom and needs to have a safe means of egress. Window opening will be enlarged and the a new 3'X5' window will be installed. On the outside a window well with a
M104	93	W1	3	Bedroom	3 - 1	2 - 0	Double Hung	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	This window will converted into patio doors for life safety issues with this unit.
M105-2	95	N/A	3	Kitchen/Living room window	3 - 1	2 - 0	basement awning	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	We are closing this window since the hallway needs to built above it.
M105-3	96	N/A	3	Kitchen/Living room window	3 - 1	2 - 0	basement awning	3 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	We are closing this window since the hallway needs to built above it.
C109	100	W9	Carriage House 1st floor hallway	Vestibule	2 - 5	4 - 0	Double Hung	6-Jun	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDWEN Sitrine Clad window

C110-2	102	W9	16	Lower unit bedroom	2 - 5	4 - 0	Double Hung	6-Jun	Window is missing, the opening has been boarded up	Replace with 6/6 JELDZEN Silestone Clad window
C111	103	W9	16	Lower unit bedroom	2 - 5	4 - 0	NA	NA	Window is missing, the opening has been boarded up	Replace with 6/6 JELDZEN Silestone Clad window
C112	104	W9	16	Kitchen/Living room window	2 - 5	4 - 0	Double Hung		Window is missing, the opening has been boarded up	Replace with 6/6 JELDZEN Silestone Clad window
C113	105	W9	16	Kitchen/Living room window	2 - 5	4 - 0	Double Hung		Window is missing, the opening has been boarded up	Replace with 6/6 JELDZEN Silestone Clad window
C115	107	W9	16	Kitchen/Living room window	2 - 5	4 - 0	Double Hung		Window is missing, the opening has been boarded up	Replace with 6/6 JELDZEN Silestone Clad window
C116	108	W9	16	Kitchen/Living room window	2 - 5	4 - 0	Double Hung		Window is missing, the opening has been boarded up	Replace with 6/6 JELDZEN Silestone Clad window
C118	110	W9	Fitness Center	Fitness Center	2 - 5		Double Hung	6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Silestone Clad window
C119	111	W9	Fitness Center	Fitness Center	2 - 5		Double Hung	6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Silestone Clad window
C120	112	W9	Fitness Center	Fitness Center	2 - 5		Double Hung	6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Silestone Clad window

C121	113	W9	17	Fitness Center	2 - 5		Double Hung	6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Sitrine Clad window
C122	114	W9	17	Upstairs unit Bedroom	2 - 5	4 - 0	Double Hung	6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Sitrine Clad window
C123	115	W9	17	Living room	2 - 5	4 - 0	Double Hung	6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Sitrine Clad window
C124	116	W9	16	Living room	2 - 5	4 - 0	Double Hung	6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Sitrine Clad window
C125	117	W9	16	Upstairs unit Bathroom	2 - 5	4 - 0	Double Hung	6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Sitrine Clad window
C126	118	W9	16	Upstairs unit Bedroom	2 - 5	4 - 0	Double Hung	6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Sitrine Clad window
C127	119	W9	16	Upstairs unit Bedroom	2 - 5	4 - 0		6/6	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDZEN Sitrine Clad window
C128	120	W9	16	Upstairs unit Bedroom	2 - 10	3 - 0	Louvered		A wood louver has been inserted into the current opening. The is not original, the Frederik Kenny plans show a different style window that matches the rest of the	Replace with 6/6 JELDZEN Sitrine Clad window
C129-2	122	W25	16	Kitchen/Living room window	4-0	3-0	Louvered		Vented louvers with decorative exterior trim. Fredrick Kenny plans do not show this louver. Was added after 1914. Date unknown.	Exterior louver trim will replicated in kind. With a fixed window behind the louvers.

C130	123	W9	16	Upper unit Kitchen	2 - 10	4 - 0	Louvered		A wood louver has been inserted into the current opening. The is not original, the Frederik Kenny plans show a different style window that matches the rest of the	Replace with 6/6 JELDOWEN Sitrine Clad window
C131	124	W9	16	Upper unit Kitchen	2 - 10	4 - 0	Louvered		A wood louver has been inserted into the current opening. The is not original, the Frederik Kenny plans show a different style window that matches the rest of the	Replace with 6/6 JELDOWEN Sitrine Clad window
C132	125	W9	16	Upper unit Living & dining room	2 - 10	4 - 0	Louvered		A wood louver has been inserted into the current opening. The is not original, the Frederik Kenny plans show a different style window that matches the rest of the	Replace with 6/6 JELDOWEN Sitrine Clad window
C132-2		N/A	16							Window missing from McKenney orginial plans.
C133	126	W9	17	Upper unit Living & dining room	2 - 5	4 - 0	Double Hung		The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDOWEN Sitrine Clad window
C135	128	W9	17	Upper unit Kitchen	2 - 5	4 - 0	Casement		The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6/6 JELDOWEN Sitrine Clad window
C136	129	W25	17	Upper unit Kitchen	3 - 1	2 - 4	Casement	6 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6 Lite JELDOWEN Clad Double Casement
C137	130	W25	17	Upper unit bathroom	3 - 1	2 - 4	Casement	6 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6 Lite JELDOWEN Clad Double Casement
C138	131	W21	17	Upper unit bedroom	3 - 1	2 - 4	Double Hung	6 Lite	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Replace with 6 Lite JELDOWEN Clad Double Casement

C139	132									Left Blank intentionally
M140	133	W7	1st Floor Hallway	1st floor hallway	2 - 10	3 - 5	Double Hung	2/2	The windows are damaged and missing parts. The wood encasing the windows have dry rot and are not salvageable.	Window will be replaced with Door way into new addition hallway.
M141	134	W11	3	1st floor hallway	2'0"	3'2"	Double Hung	2/2	The windows are not original and section of the window are boarded up. Based on the window opening the original windows may have been casements	Replace with 1/1 JELDWEN Clad Double Hung to match historic Photo
M142	135	W11	3	1st floor hallway	2'0"	3'2"	Double Hung	2/2	The windows are not original and section of the window are boarded up. Based on the window opening the original windows may have been casements	Replace with 1/1 JELDWEN Clad Double Hung to match historic Photo
M143	136	W11	3	1st floor hallway	2 - 10	3 - 5	Double Hung	2/2	The windows are not original and section of the window are boarded up. Based on the window opening the original windows may have been casements	Replace with 1/1 JELDWEN Clad Double Hung to match historic Photo
M144	137	W11	3	1st floor hallway	2 - 10	3 - 5	Double Hung	2/2	The windows are not original and section of the window are boarded up. Based on the window opening the original windows may have been casements	Replace with 1/1 JELDWEN Clad Double Hung to match historic Photo

Window # 145 -199 has been left intentionally blank

A200		W2	4	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A205		W2	4	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A206		W2	4	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window

A207		W2	4	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A208		W2	4	Bathroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A209		W2	5	Bathroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A210		W2	5	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A211		W2	5	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A212		W2	5	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A213		W2	5	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A218		W2	5	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A222		W2	6	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window

A223		W2	6	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A224		W2	6	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A225		W2	6	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A226		W2	6	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A227		W2	6	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A228		W2	6	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A229		W2	6	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A230		W2	6	Bathroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A231		W2	7	Bathroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window

A232		W2	7	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A233		W2	7	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A234		W2	7	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A235		W2	7	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A236		W2	7	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A237		W2	7	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A238		W2	7	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A239		W2	7	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A240		W2	7	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window



A243		W2	11	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A244		W21	11	Living room	2' 6"	4'	Casement	6 Light	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 6 Lite JELDWEN Clad Casement Window
A245		W21	11	Living room	2' 6"	4'	Casement	6 Light	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 6 Lite JELDWEN Clad Casement Window
A246		W21	11	Living room	2' 6"	4'	Casement	6 Light	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 6 Lite JELDWEN Clad Casement Window
A247		W21	11	Living room	2' 6"	4'	Casement	6 Light	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 6 Lite JELDWEN Clad Casement Window
A248		W2	11	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A249		W2	11	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A250		W2	11	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A251		W2	12	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window

A252		W2	12	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A253		W2	12	Bedroom	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window
A254		W21	12	Living room	2' 6"	4'	Casement	6 Light	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 6 Lite JELDWEN Clad Casement Window
A255		W21	12	Living room	2' 6"	4'	Casement	6 Light	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 6 Lite JELDWEN Clad Casement Window
A256		W21	12	Living room	2' 6"	4'	Casement	6 Light	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 6 Lite JELDWEN Clad Casement Window
A257		W21	12	Living room	2' 6"	4'	Casement	6 Light	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 6 Lite JELDWEN Clad Casement Window
A258		W2	12	Living room	2' 6"	4'	Double Hung	2/1	The addition does not exist currently. New windows will be added to the building to match the windows of the mansion.	Install new 2/1 JELDWEN Clad Double Hung Window

**Warner Circle Mansion and Carriage House**

10231 Carroll Place, Kensington MD 20895

**2 Annotated Elevations**

2F

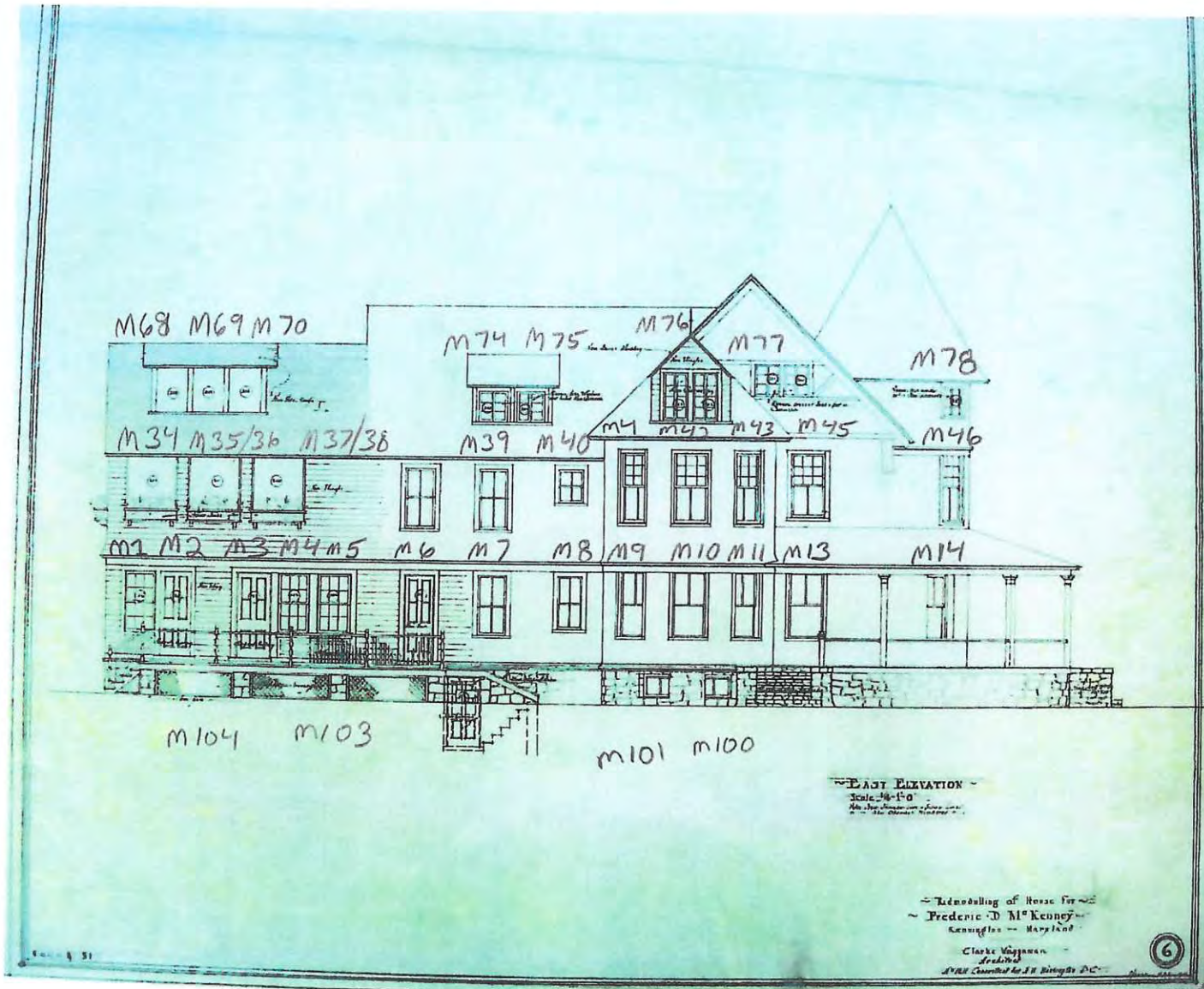


B

S



E



No. 17

W

