

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	26105 Frederick Road, Clarksburg	Meeting Date:	6/14/2023
Resource:	Non-Contributing Resource Hyattstown Historic District	Report Date:	6/7/2023
Applicant:	William McBride	Public Notice:	5/31/2023
Review:	HAWP	Tax Credit:	Partial
Permit Number:	1029753	Staff:	John Liebertz

PROPOSAL: Fire damage repair, roof repair, window replacement, chimney replacement, other alterations

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Hyattstown Historic District
STYLE: New Traditional Gothic Revival
DATE: 1999



Figure 1: The subject property (yellow star) at 26105 Frederick Road. The red line is the historic district boundary.

PROPOSAL

The applicant proposes to: 1) remove the two existing octagonal windows on the east elevation and install two, double-hung, vinyl-clad, wood-sash windows; 2) replace the two fire and smoke damaged gothic-arched, single-light, wood-sash, dormer windows with gothic-arched, single-light, vinyl-clad, wood-sash dormer windows; and 3) install a new enclosed chimney stack with board-and-batten wood siding and a shed asphalt shingle-clad roof (that aligns with the porch roof) pierced by an exposed metal chimney flue/pipe.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Hyattstown Historic District. These documents include the historic preservation review guidelines in the *Vision of Hyattstown (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below. The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

Vision of Hyattstown

The Hyattstown Historic District is architecturally significant as a collection of 19th century buildings exhibiting a variety of architectural styles in a town-like setting. Although the majority of buildings are vernacular in form, four Colonial Revival, four Bungalows, three Gothic Revival, three Federal and one Federal Revival style buildings complete the district. The buildings share a uniformity of scale within their building type; narrow lots and shallow setbacks; construction materials and level of architectural detail. The majority of Hyattstown's resources date from 1798 to 1925, with several dating to the first lots sold and platted in the town.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied;
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The County Council designated the Hyattstown Master Plan Historic District in the *Master Plan for Historic Preservation* in 1986. The Historic Preservation Commission approved the Historic Area Work Permit (HAWP) #10-59-99C for the construction of the subject non-contributing resource in 1999.¹ The former property owner designed the dwelling to reflect the Gothic Revival architectural style utilized during the district’s period of significance. The house is setback from Frederick Road and has limited visibility from the public rights-of-way due to its placement, adjacent houses, and foliage (*Figure 2*).



Figure 2: View of the north and east elevations, 2023 (left), and aerial view showing the subject house (red arrow) in relation to Frederick Road (right).

Gothic-Arched Dormer Windows

Staff finds the replacement of the two existing dormer windows (subject to fire/smoke damage) to be consistent with the applicable guidelines and recommends approval. According to the property owners, these windows were salvaged from another property and installed in the subject house at the time of construction. The proposed new vinyl-clad, wood-sash windows would match the design and dimensions of the existing window and would have no adverse effect to the character of the historic district. Furthermore, these windows are not visible from Frederick Avenue.

¹ For more information, see

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640003/Box020/10-59-99C_Hyattstown%20Historic%20District_26105%20Frederick%20Road_08-18-1999.pdf.

Octagonal Windows



Staff finds the replacement of the fixed octagonal windows with double-hung, vinyl-clad, wood-sash windows to be consistent with the applicable guidelines and recommends approval (*Figure 3*). The octagonal windows are located on the rear (east) elevation of the house and are not visible from the public rights-of-way. The replacement of these windows should be approved as a matter of course as it would have no adverse effect on the character of the streetscape.

Figure 3: View of the east elevation, 2023. The red arrows point to the octagonal windows to be replaced. Source: Montgomery Planning.

Installation of New Chimney

Staff finds the installation of the new chimney to be consistent with the applicable guidelines and recommends approval. The base of the proposed chimney stack would match the existing configuration but terminate at a shed roof that matches the height and pitch of the existing porch roof. A metal chimney flue/pipe would pierce the shed roof and extend above the ridge of the roof to meet building code requirements. The use of a metal chimney flue/pipe is appropriate for new construction and non-contributing resources in rural towns. Also, visibility of the chimney would be limited due to the placement of the house and its setback from Frederick Road. Therefore, the proposal would not adversely affect the character defining streetscape of the historic district and would have the added benefit of remedying the current unsafe building condition.

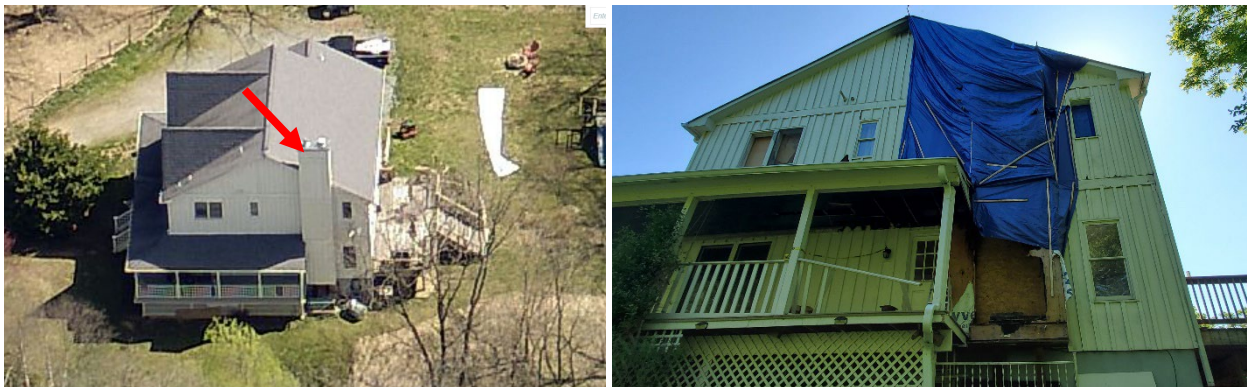


Figure 4: Aerial view showing the no longer extant chimney on the west elevation, 2021 (left), and the present-day view of the west elevation absent the chimney (right). The red arrows point to the chimney. Source: Montgomery Planning.

After full and fair consideration of the applicant's submission, staff finds the proposal consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), (3), (4), and (5), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation* #9 and #10 outlined above.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (4), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #9 and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or john.liebertz@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

FOR STAFF ONLY: HAWP# 1029753 DATE ASSIGNED

#1029753

APPLICANT:

Name: William McBride

E-mail: bmcbride4@gmail.com

Address: 26105 Frederick Road

City: Clarksburg Zip: 20871

Daytime Phone: 2409940014

Tax Account No.:

AGENT/CONTACT (if applicable):

Name:

E-mail:

Address:

City: Zip:

Daytime Phone:

Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? X Yes/District Name Hyattstown No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 26105 Street: Frederick Road

Town/City: Clarksburg Nearest Cross Street: Old Hundred Road

Lot: 77 Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other: Fire Rehab Construction

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

04.29.23

Signature of owner or authorized agent

Date

1029753

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address 26105 Frederick Road Clarksburg, MD 20871	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Serina Parwani 26101 Frederick Road Clarksburg, MD 20871	Wayne Hawse 26111 Frederick Road Clarksburg, MD 20871
26025 Frederick Road, Clarksburg 20871	26029 Frederick Road, Clarksburg 20871

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Single family home set approximately 250 feet from Rt. 355 in historic Hyattstown. The dwelling caught fire on 12/19/22. The chimney and much of the side of the house facing 355 were lost during the fire. The house has a nice sized Magnolia Gran Flora tree in front of the house. The porch wraps around 3 sides of the home. The front roofline of the house has two gables.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The house will be rehabbed following the fire. This includes inside construction, HVAC replacement; partial roof replacement; and partial porch roof replacement. The second floor wood windows as well as wood rear and side doors will be replaced with like materials. Wood board and batten siding will be replaced with like materials. Siding and window frames will be painted with like color.

We need to change three features of the house from the current design.

Our proposal is:

- ~~1. Change the two arched windows in the attic with rectangular wood windows.~~
2. Change the two octagonal windows in the bathrooms with rectangular wood windows.
3. Change the construction of the chimney to match the height and pitch of the covered porch with bare chimney pipe extending up the exterior of the house.
4. Replace the two gothic-arched dormer windows in-kind.

Work Item 1: Attic Windows

Description of Current Condition:
The arched windows located in the gable were heat and smoke damaged in the fire; obscured view from Frederick Road

Proposed Work:
Replace these windows with wood arched windows

Work Item 2: Octagonal Windows

Description of Current Condition:
Non-functional octagonal windows; not visible from Frederick Road

Proposed Work:
Replace these windows with wood rectangular windows that match the smaller window size and function found on 1st floor in the east side of house.

Work Item 3: Chimney

Description of Current Condition:
Wood encased chimney that extended 3 feet above roof line was completely lost during the fire. Obscured view from Frederick Road.

The fire started in the wood encased chimney between the 1st and 2nd floor. The chimney was serviced on 11/02/22. The fire inspector indicated no fault.

Proposed Work:
To reduce risk of future fires: Replace full length double walled metal chimney; Wood encasement will match the height and pitch of the covered porch that abuts it. Bare chimney pipe secured to the house to 3 feet above roof line.

Window to be replaced with Anderson 400 Gothic arched window. Match the existing size.

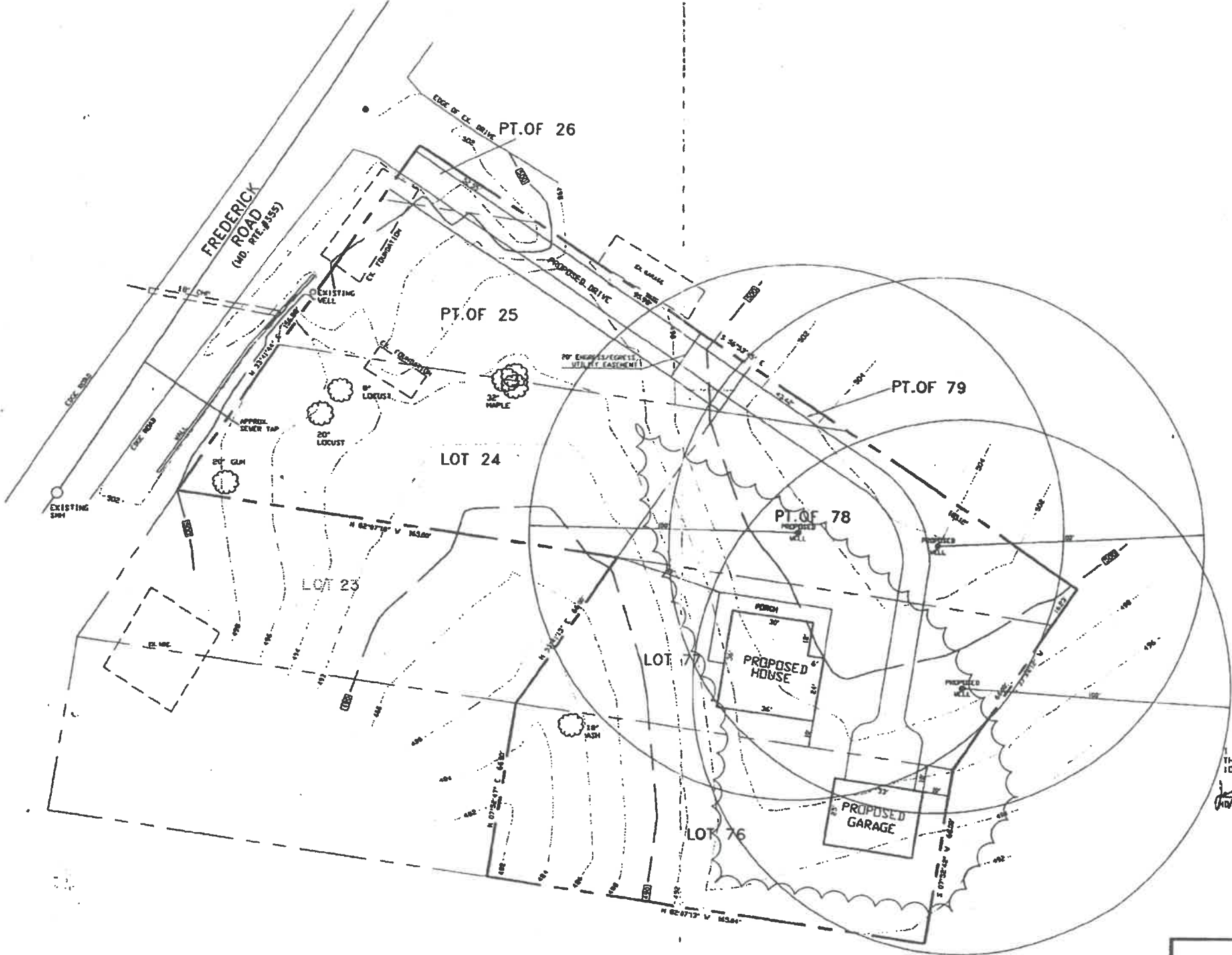
Window to be replaced with Anderson 400 Gothic arched window. Match the existing size.







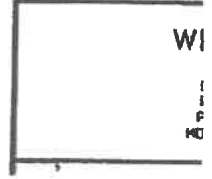




PROFESSIONAL SURVEYOR

SURV

I HEREBY CERTIFY
 THAT THERE ARE
 NO OTHER INTERESTS
 IN THE PROPERTY
 DESCRIBED HEREIN
 EXCEPT AS SHOWN
 ON THIS PLAN
 AND AS NOTED
 THEREON
 [Signature]
 REG. PROFES



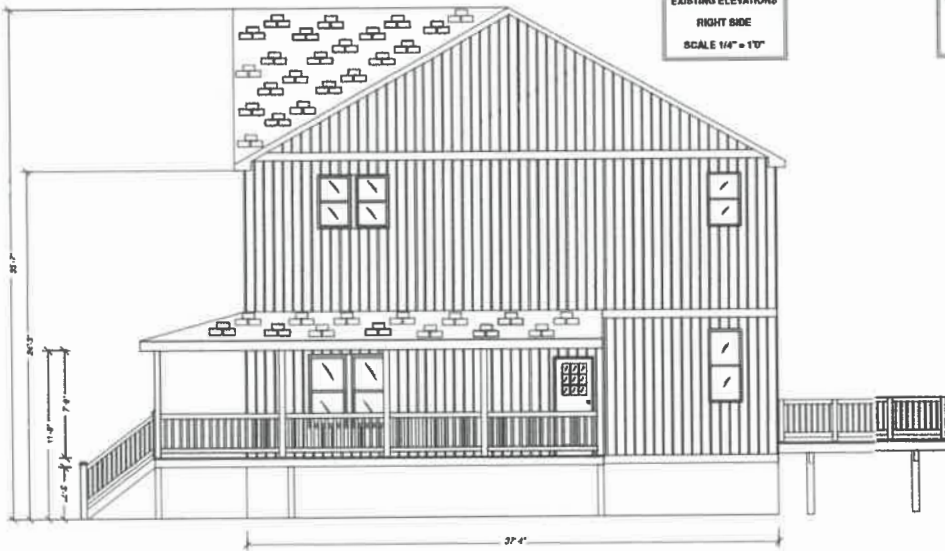
EXISTING ELEVATIONS
FRONT
SCALE 1/4" = 1'0"



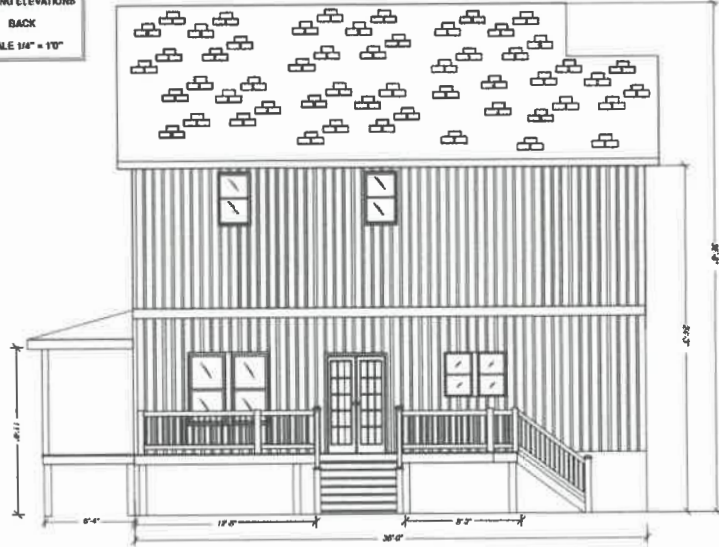
EXISTING ELEVATIONS
LEFT SIDE
SCALE 1/4" = 1'0"



EXISTING ELEVATIONS
RIGHT SIDE
SCALE 1/4" = 1'0"



EXISTING ELEVATIONS
BACK
SCALE 1/4" = 1'0"



GENERAL NOTES

PROJECT NAME: 2516 FREDRICK RD
CLARKSBURG, MD 20871

OWNER: SUNS LOWE'S HOME DESIGNS INC
4556 BLACKFOOT DR
BALTIMORE MD 21208
301.522.2118

PROJECT	DATE
1/4" = 1'	3/11/2023
SCALE	AMANDA
	DRAWN BY
DRW NO.	
	A 2
	SHEET 1 OF 1

26105 Frederick Road, Clarksburg, MD 20871

FIRE DAMAGE STRUCTURAL REPAIR DESIGN

APRIL 4, 2023

PROJECT INFORMATION

EXISTING USE:
RESIDENTIAL DETACHED DWELLING
PROPOSED USE:
RESIDENTIAL DETACHED DWELLING
SCOPE OF WORK:
FIRE-DAMAGED STRUCTURAL REPAIR

DESIGN CRITERIA

A. CODES AND STANDARDS

1. BUILDING CODE 2018 OF MARYLAND & AMENDMENTS
2. INTERNATIONAL BUILDING CODE 2018 (IBC 2018)
3. INTERNATIONAL RESIDENTIAL CODE 2018 (IRC 2018)
4. ASCE7-16
5. ANSI/AWC NDS-2018

B. DESIGN LOADS

1. RISK CATEGORY II
2. LIVE LOADS
 - FLOOR LIVE LOAD 40 PSF
 - ROOF LIVE LOAD 30 PSF
3. SUPER DEAD LOAD 15 PSF
- DEAD LOAD MATERIAL SELF-WEIGHT
4. SNOW LOADS
 - GROUND SNOW $P_g=30$ PSF
 - SNOW IMPORTANCE FACTOR $I_s=1.0$
 - SNOW EXPOSURE FACTOR $C_e=0.9$
 - SNOW THERMAL FACTOR $C_t=1.2$
 - ROOF SNOW LOAD $P_f=25.2$ PSF
 - SNOW DRIFT PER ASCE7
5. WIND LOAD
 - WIND SPEED 115 MP
 - EXPOSURE B
 - INT PRESSURE COEFF. $-/-0.18$

GENERAL NOTES:

1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING
 - A. GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS
 - B. BUILDING CODE AS SPECIFIED, AND BY ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS
 - C. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODICALLY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATION AND/OR RECOMMENDATIONS
 - 2. ON-SITE VERIFICATION OF ALL DIMENSIONS & CONDITIONS SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR & HIS SUBCONTRACTORS
 - 3. THE CONTRACTOR SHALL COMPARE & COORDINATE ALL DRAWINGS: WHEN IN THE OPINION OF THE CONTRACTOR, A DISCREPANCY EXISTS HE/SHE SHALL PROMPTLY NOTIFY ENGINEER IN WRITING, BEFORE PROCEEDING WITH THE WORK OR HE/SHE SHALL BE RESPONSIBLE FOR THE RESULTS OF HIS ACTIONS
 - 4. IN THE EVENT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE FULLY SHOWN ON DRAWINGS, CURRENT NATIONAL, STATE & LOCAL CODES, ORDINANCES, REGULATIONS OF AGREEMENT SHALL GOVERN
 - 5. ALL DEBRIS TO BE REMOVED FROM SITE
 - 6. ALLEY AND/OR STREETS/SIDEWALKS SHALL BE SWEEP CLEAN AT ALL TIMES DURING CONSTRUCTION
 - 7. ENGINEER WILL NOT BE RESPONSIBLE FOR & WILL NOT HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS IN CONNECTION WITH WORK PERFORMED BY CONTRACTORS & SUBCONTRACTORS

MATERIAL SPECIFICATIONS:

TIMBER

1. ALL TIMBER SHALL BE SOUTHERN PINE #2 OR BETTER, UON
2. ANY TIMBER WITHIN 6" ABOVE GRADE SHALL BE PRESSURE TREATED W/ GALVANIZED OR ZINC-COATED FASTENERS.
3. BASIS OF DESIGN FOR CONNECTION ACCESSORIES AND FASTENERS IS SIMPSON STRONG-TIE PRODUCTS, UON FOLLOW MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS
4. MECHANICAL PROPERTIES OF ENGINEERED WOOD MATERIALS FOR ALLOWABLE STRESS DESIGN SHALL BE (PSI)
LVL BEAMS- $G=125,000$; $E=2 \times 10^{10}$; $F_b=2,600$; $F_t=1,895$; $F_{c \perp}=750$; $F_{c \parallel}=2,510$; $F_v=285$; $S_G=0.5$
PSL COLUMN- $G=112,500$; $E=1.8 \times 10^{10}$; $F_b=2,400$; $F_t=1,995$; $F_{c \perp}=545$; $F_{c \parallel}=2,500$; $F_v=190$; $S_G=0.5$
PSL BEAMS- $G=125,000$; $E=2 \times 10^{10}$; $F_b=2,900$; $F_t=2,300$; $F_{c \perp}=625$; $F_{c \parallel}=2,900$; $F_v=290$; $S_G=0.5$

ABBREVIATIONS

- B.O.D = BASIS OF DESIGN
B.O.F = BOTTOM OF FOOTING
C.I.P = CAST IN PLACE
CONC = CONCRETE
CONN = CONNECTION
CONT = CONTINUOUS
DET = DETAIL
OC = ON CENTER
EE = EACH END
EL = ELEVATION
ES = EACH SIDE
EXST = EXISTING
GF = GROUND FLOOR
PAF = POWDER ACTUATED FASTENER
SD = SIMPSON STRONG DRIVE
SDS = SIMPSON STRONG DRIVE SCREW
SIM = SIMILAR
SOG = SLAB ON GRADE
SP = SOUTHERN PINE
TOD = TOP OF DECK
TOFF = TOP OF FINISH FLOOR
TOG = TOP OF GROUND LEVEL
TOS = TOP OF SLAB
TYP = TYPICAL
UON = UNLESS OTHERWISE NOTED
VIF = VERIFY IN FIELD
W/ = WITH
W/O = WITHOUT
WWF = WELDED WIRE FABRIC

PSE

PERINOZ STRUCTURAL ENGINEERING, LL

17934 SHADLEY BRIDGE PL.
CLARKSBURG, MD 20871
(301) 888-7549
info@psse-structural.com

PROFESSIONAL CERTIFICATION
HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 54919, EXPIRATION DATE: 2024-12-2



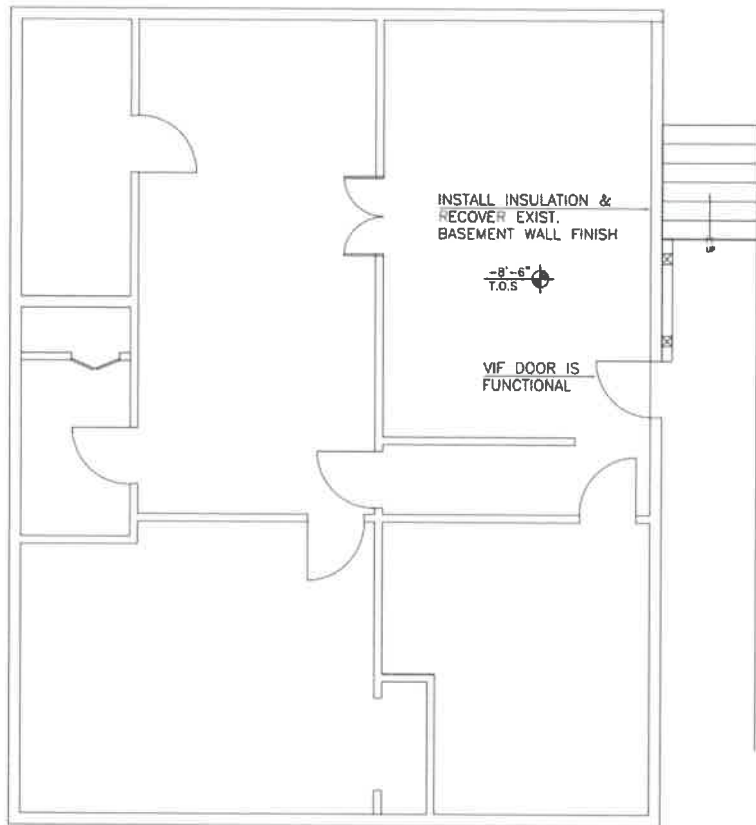
No.	REVISION/ISSUE	DATE
2	PERMIT SET	2023-04-0
1	REVIEW SET	2023-02-1

PROJECT ADDRESS AND SCOPE:

26105 Frederick Road,
Clarksburg, MD 20871

FIRE DAMAGE REPAIR

DESIGNED BY: AP	SHEET
DRAWN BY: ZA	0-00
CHECKED BY: AP	GENERAL NOTES
PAGE	1 OF 10



BASEMENT FLOOR LAYOUT PLAN

NOTES:
 1. BASEMENT WALL SHALL HAVE A MINIMUM R VALUE OF 10.

SCALE: 3/16" = 1'

PIRMOZ STRUCTURAL ENGINEERING, LLC
 17724 SHAWLEY BRIDGE PL.,
 SUITE 103 26632
 (301) 488-1240
 info@pirmoz-structural.com

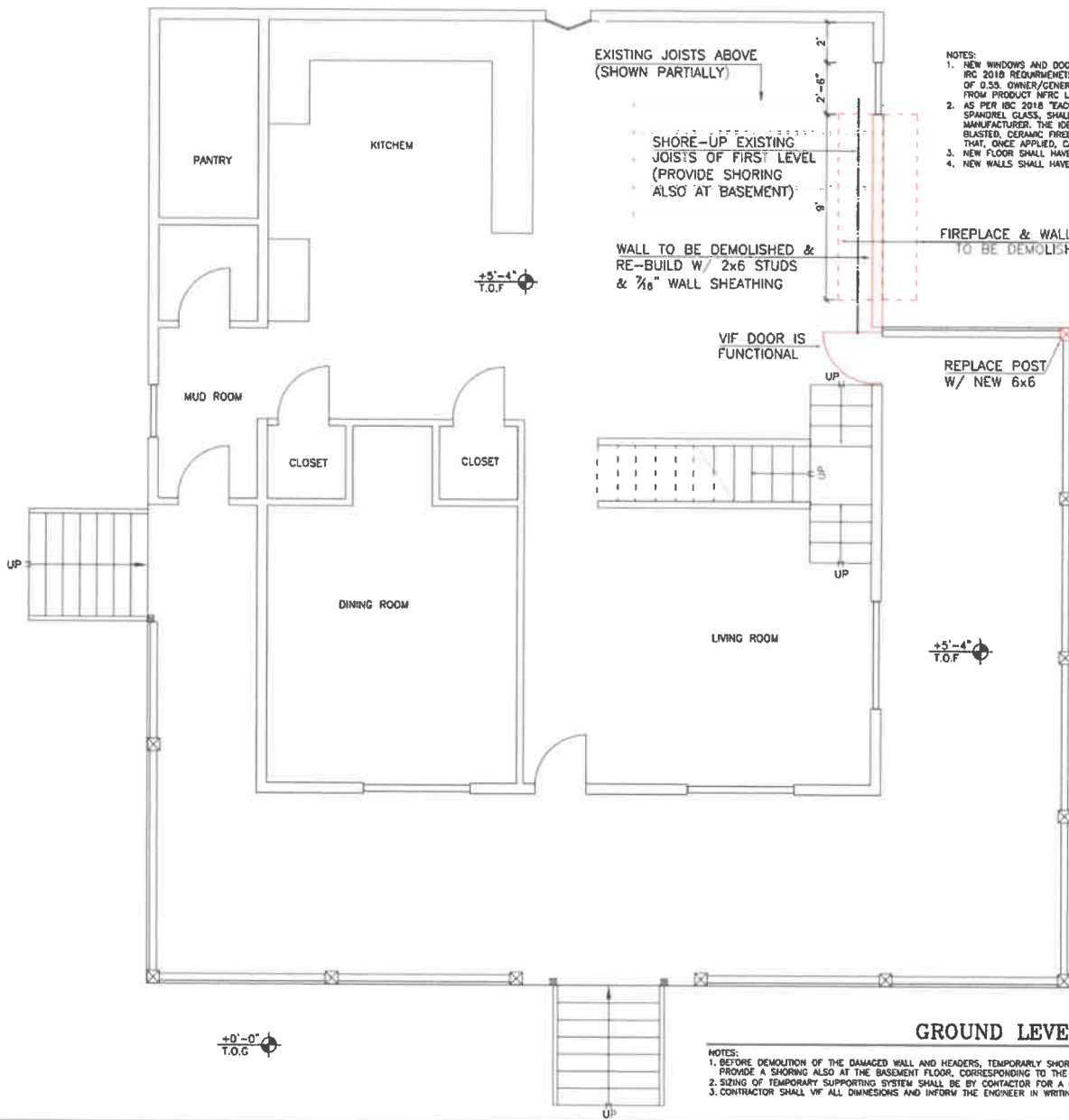
PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE
 DOCUMENTS WERE PREPARED OR
 APPROVED BY ME, AND THAT I AM A
 FULLY LICENSED PROFESSIONAL
 ENGINEER UNDER THE LAWS OF THE
 STATE OF MARYLAND, LICENSE NO.
 4919, EXPIRATION DATE: 2024-12-2



2	PERMIT SET	2023-04-0
1	REVIEW SET	2023-02-1
No.	REVISION/ISSUE	DATE

PROJECT ADDRESS AND SCOPE:
 88106 Frederick Road,
 Clarksburg, MD 20871
FIRE DAMAGE REPAIR

DESIGNED BY: AP	SHEET
DRAWN BY: ZA	A-1
CHECKED BY: AP	BASEMENT PLAN
PAGE	2 OF 10



EXISTING JOISTS ABOVE (SHOWN PARTIALLY)

SHORE-UP EXISTING JOISTS OF FIRST LEVEL (PROVIDE SHORING ALSO AT BASEMENT)

WALL TO BE DEMOLISHED & RE-BUILD W/ 2x6 STUDS & 7/8" WALL SHEATHING

FIREPLACE & WALL TO BE DEMOLISH

VIF DOOR IS FUNCTIONAL

REPLACE POST W/ NEW 6x6

- NOTES:
1. NEW WINDOWS AND DOORS SHALL BE STANDARD AND MEETING IBC AND IRC 2018 REQUIREMENTS WITH A MAXIMUM U FACTOR OF 0.32 AND SHGC OF 0.55. OWNER/GENERAL CONTRACTOR TO VERIFY U AND SHGC FACTORS FROM PRODUCT NFRC LABEL.
 2. AS PER IBC 2018 EACH PANE OF TEMPERED GLASS, EXCEPT TEMPERED SPANDREL GLASS, SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION MARK SHALL BE ACID ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR OF A TYPE THAT, ONCE APPLIED, CANNOT BE REMOVED WITHOUT BEING DESTROYED.
 3. NEW FLOOR SHALL HAVE A MINIMUM R OF 10.
 4. NEW WALLS SHALL HAVE A MINIMUM R VALUE OF 20 OR (13+5).

GROUND LEVEL FLOOR LAYOUT PLAN

SCALE 3/16" = 1'

- NOTES:
1. BEFORE DEMOLITION OF THE DAMAGED WALL AND HEADERS, TEMPORARILY SHORE-UP THE JOISTS SUPPORTED BY THESE MEMBERS TO BE REMOVED. PROVIDE A SHORING ALSO AT THE BASEMENT FLOOR, CORRESPONDING TO THE SHORING ABOVE, TO CREATE A CONTINUOUS LOAD-PATH TO GROUND.
 2. SIZING OF TEMPORARY SUPPORTING SYSTEM SHALL BE BY CONTRACTOR FOR A LINEAR LOAD OF MIN. 1,500 PLF AND MAXIMUM DEFLECTION OF 1/16".
 3. CONTRACTOR SHALL VIF ALL DIMENSIONS AND INFORM THE ENGINEER IN WRITING OF ANY DISCREPANCIES.



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 17934 SHARPLEY BRIDGE PI.
 CLNEY, MD 20632
 301-838-1560
 info@pinnoz-structural.com

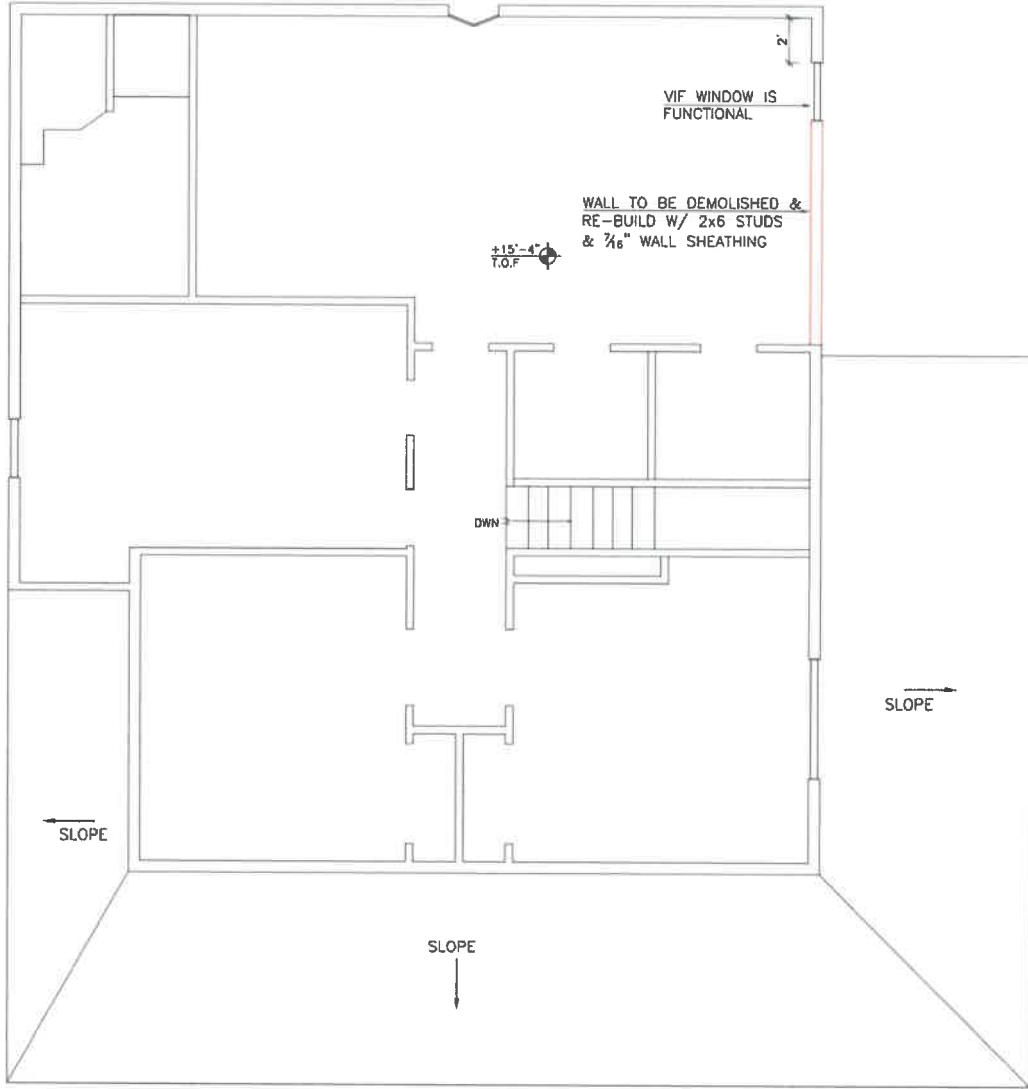
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No.	REVISION/ISSUE	DATE
2	PERMIT SET	2023-04-0
1	REVIEW SET	2023-02-1

PROJECT ADDRESS AND SCOPE:
 20105 Frederick Road,
 Clarkburg, MD 20871
FIRE DAMAGE REPAIR

DESIGNED BY: AP	SHEET
DRAWN BY: ZA	A-2
CHECKED BY: AP	GROUND FLOOR PLAN
PAGE	3 OF 10



FIRST FLOOR LAYOUT PLAN

SCALE: 3/16" = 1'



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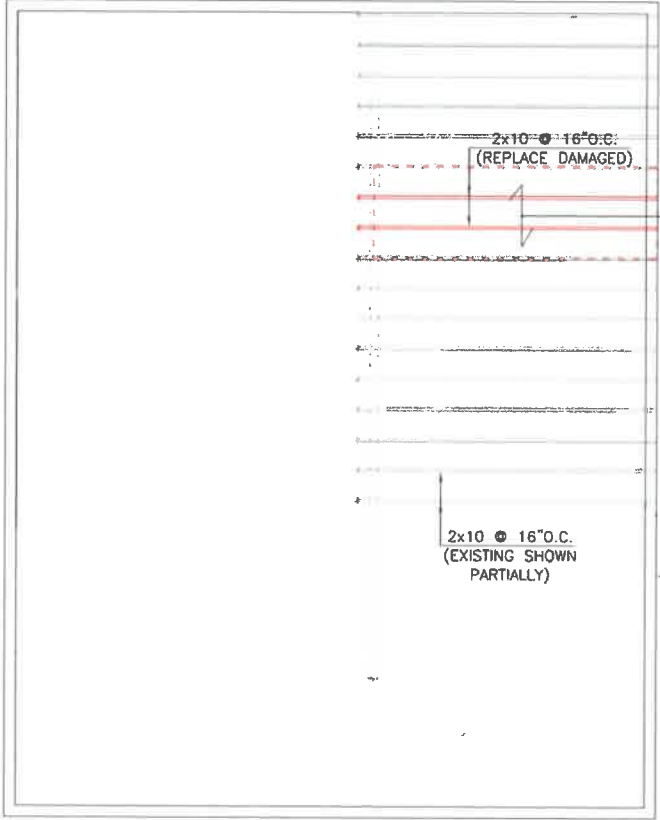
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2x10 @ 16" O.C.
 (REPLACE DAMAGED)

RECOVER FLOOR SHEATHING. NEW SHEATHING SHALL MATCH EXISTING

2x10 @ 16" O.C.
 (EXISTING SHOWN PARTIALLY)

EXIST BASEMENT WALL

GROUND FLOOR FRAMING PLAN

- NOTES:
1. FLOOR SHEATHING SHALL BE MIN. 3/4" WOOD STRUCTURAL PANELS CONTINUOUS OVER TWO OR MORE SPANS.
 2. USE T & G CLIPS OR BLOCKINGS AT PANEL EDGES.
 3. SHEATHING EXPOSURE DURABILITY CLASSIFICATION SHALL BE EXTERIOR.
 4. FLOOR SHEATHING SHALL BE GLUED AND FASTENED TO SUPPORTS W/ 6d COMMON NAILS @ 4" O.C.

SCALE: 3/16" = 1'

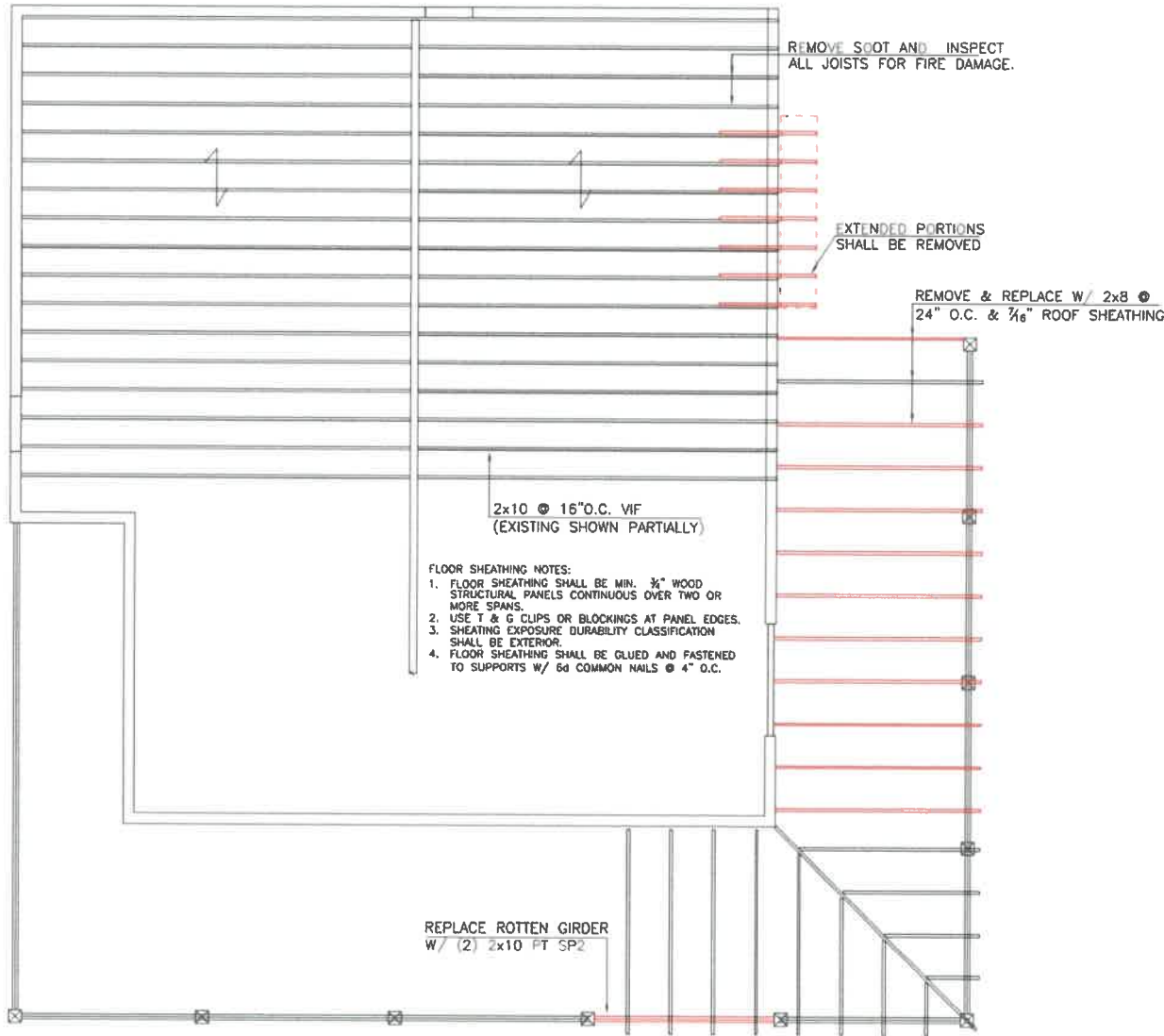
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FIRE DAMAGE REPAIR

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DRAWN BY: ZA	S-1
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PAGE	5 OF 10



FIRST FLOOR FRAMING PLAN

NOTES:
 1. JOISTS SHALL BE EITHER REPLACED OR SANDED TO REMOVE CHAR & SOOT FOR FURTHER INSPECTION. ANY JOIST W/ A TOTAL CHAR THICKNESS OF 3/8" ON ITS BOTH SIDES SHALL BE REPLACED OR REINFORCED BY INSTALLING A SAWN LUMBER OF THE SAME SIZE.

SCALE: 3/16" = 1'



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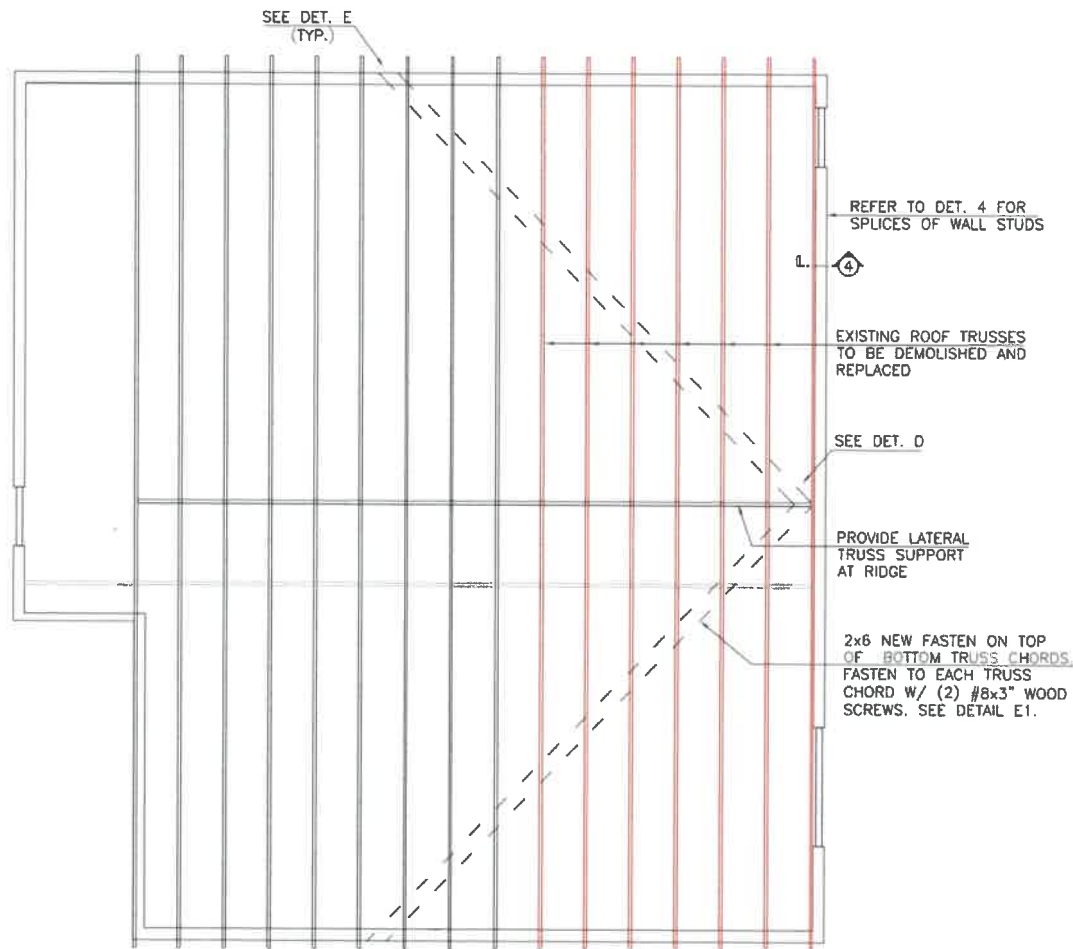
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PAGE	6 OF 10



ROOF FRAMING PLAN

SCALE: 3/16" = 1'

NOTES:

1. INDICATED TRUSSES ARE MINIMUM TO BE REPLACED. INSPECT FOR FURTHER DAMAGE. ANY TRUSS W/ A CHAM THICKER THAN 1/8" SHALL BE REPLACED.
2. ROOF TRUSSES SHALL BE FIELD-MEASURED BY TRUSS MANUFACTURER/FABRICATOR PRIOR TO DESIGN AND FABRICATION.
3. ROOF TRUSSES ARE PREFABRICATED AND TO BE DESIGNED FOR 45 TOTAL GRAVITY LOAD (15 PSF DEAD AND 30 PSF LIVE LOAD) AND AXIAL FORCE OF 500LB FROM LATERAL WIND PRESSURE IMPOSED FROM CLADDING.
4. TRUSS MANUFACTURER SHALL SUPPLY ROOF TRUSS FRAMING LAYOUTS AND DESIGN DETAILS. CONTRACTOR SHALL SUBMIT SIGNED & STAMPED TRUSS DESIGN & DRAWINGS FOR EDR REVIEW AND RECORD.
5. ALL TRUSSES SHALL BE INSTALLED PER THE MANUFACTURER'S DRAWINGS AND DETAILS.
6. ALL CONNECTORS AND HANGERS FOR THE TRUSSES SHALL BE PROVIDED BY THE TRUSS MANUFACTURER AND SHALL BE INSTALLED PER THE MANUFACTURER'S DETAILS AND SPECIFICATIONS.
7. ROOF TRUSSES SHALL HAVE DESIGN CERTIFICATION SIGNED AND STAMPED BY A MARYLAND LICENSED STRUCTURAL ENGINEER AND SHALL CARRY THE MANUFACTURER'S STAMP.
8. TRUSSES SHALL NOT BE FIELD-ALTERED WITHOUT PRIOR WRITTEN APPROVAL FROM THE BUILDING PERMIT DEPARTMENT OR THE ENGINEER'S CALCULATIONS.
9. ALL TRUSS MEMBERS SHALL BE CONTINUOUS. METAL SPLICES SHALL BE DESIGNED FOR FULL MEMBER CAPACITIES. WOOD SPLICES ARE NOT ALLOWED.
10. ROOF SHEATHING SHALL BE MIN. 3/4" WOOD STRUCTURAL PANELS WITH CLIPS ON EDGES AND CONTINUOUS OVER TWO OR MORE SPANS.
11. ROOF SHEATHING EXPOSURE DURABILITY CLASSIFICATION SHALL BE EXTERIOR.
12. INSTALL BLOCKINGS AT ALL EDGES FOR ROOF SHEATHING.
13. ROOF SHALL HAVE MINIMUM R VALUE OF 49.

PE

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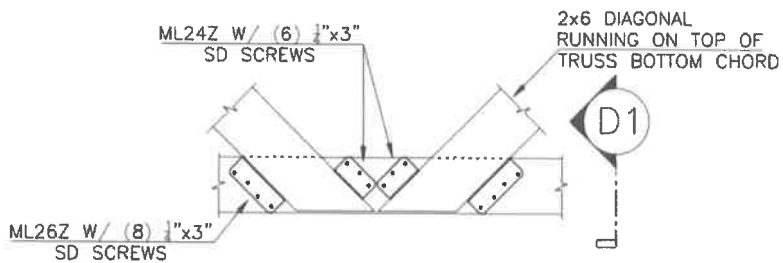
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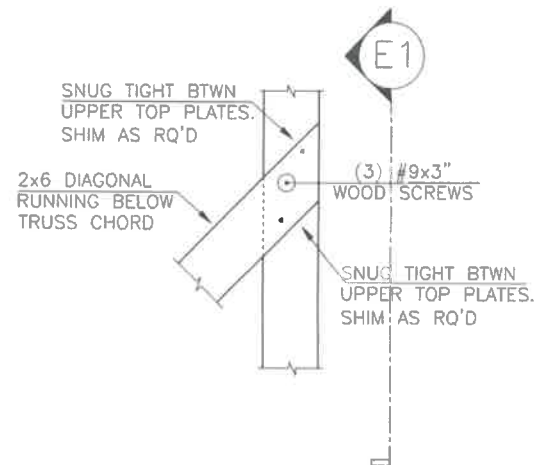
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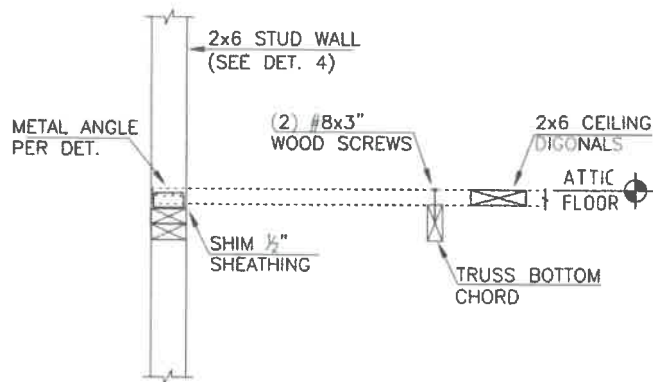
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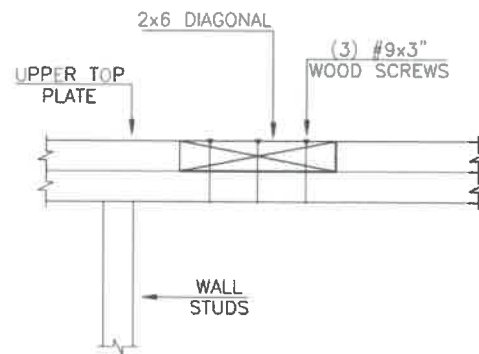
D DIAGONAL TO HEADER CONN. DET. SCALE 1"-1"



E DIAGONAL TO WALL CONN. DET. SCALE 1"-1"



D1 ATTIC FLOOR AT SIDE WALL SCALE 1"-1"
NOTES
1. ATTIC FLOOR SHALL BE DESIGNED FOR 10 PSF LIVE LOAD



E1 DIAGONAL TO WALL SIDE VIEW SCALE 1"-1"



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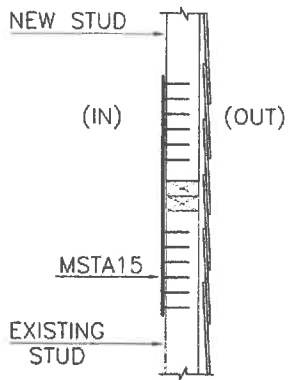
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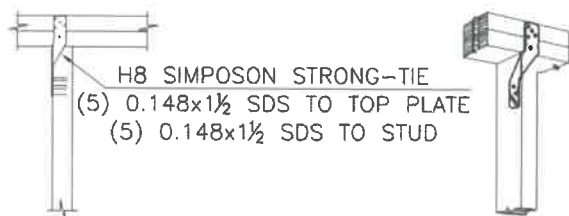
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FIRE DAMAGE REPAIR		

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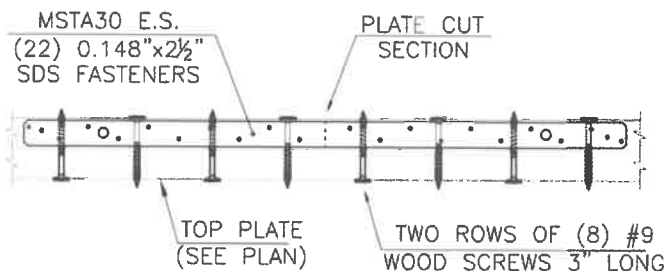
NEW STUD SPLICE FOR EAST ELEVATION

SCALE: 1"=1'



TYP. STUD TO TOP PLATE CONN.

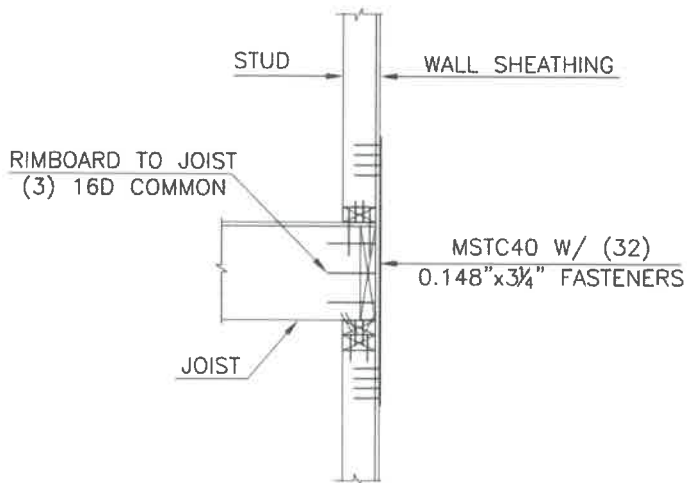
SCALE: 1"=1'



TYP. TOP & BOTT. PLATE SPLICE DET.

NOTES

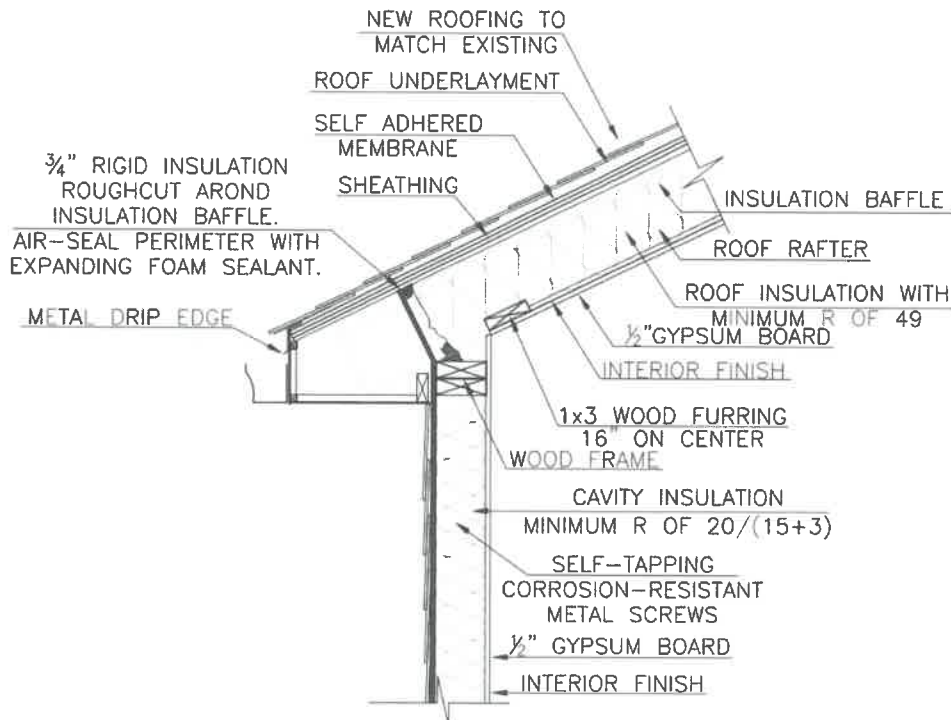
1. INSTALL STRAP ON EVERY SPICED LOCATION.



TYP. STORY TO STORY CONN. DET.

REFER TO FASTENER SCHEDULE FOR COMPLETION OF INFORMATION

SCALE: 1"=1'



TYP. ROOF AND WALL INSULATION DET.

SCALE: 1"=1'

BE

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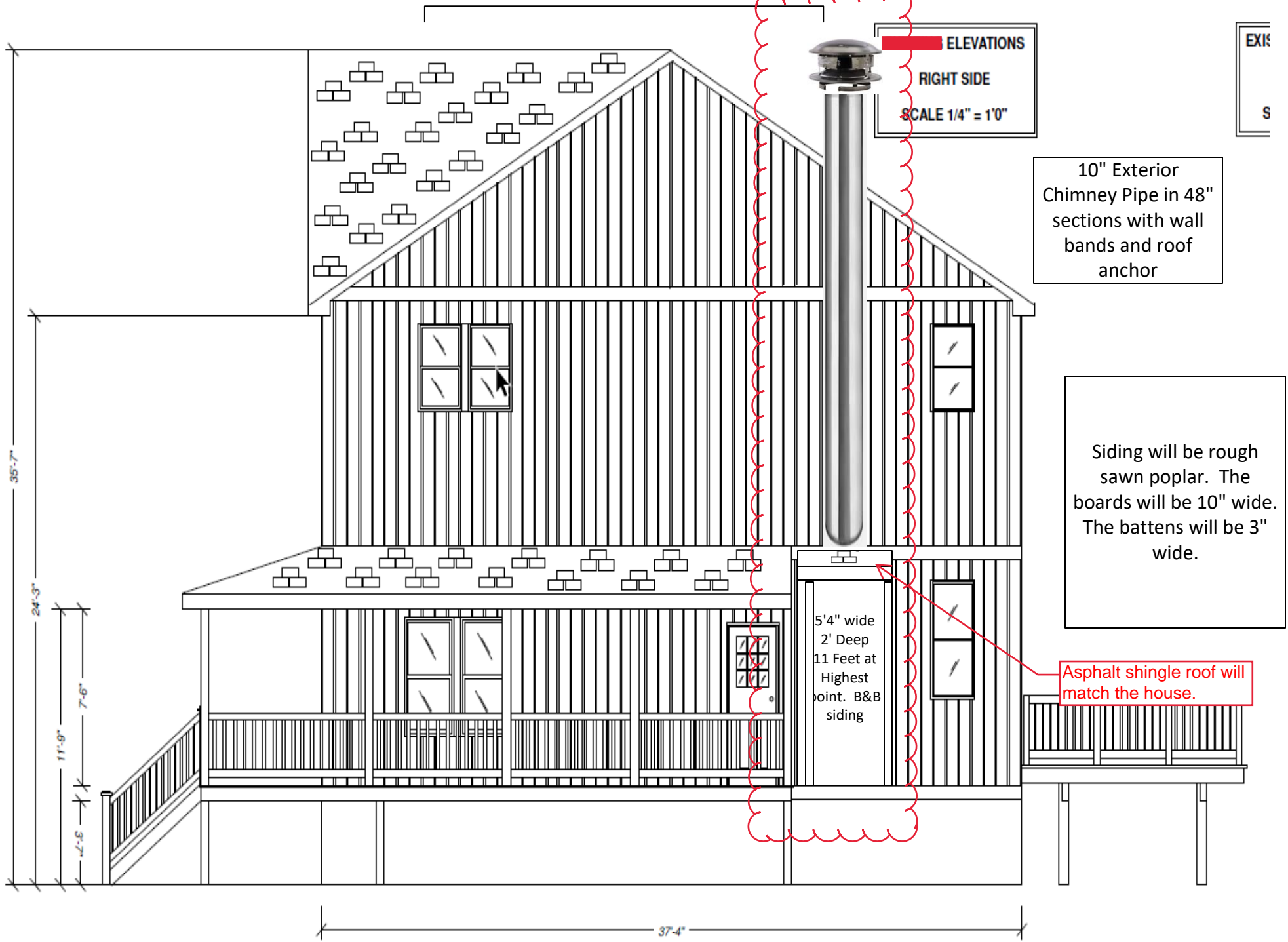
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FIRE DAMAGE REPAIR

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PAGE	9 OF 10



New shorter chimney matching the height and pitch of the patio roof with exposed chimney pipe.

Current Octagonal
Windows are 2' x
2'
Replacement
Windows will
match the
Mudroom window
which is 25 5/8" x
36 7/8"

ELEVATIONS
LEFT SIDE
SCALE 1/4" = 1'0"



Selkirk Metalbestos All Fuel Class A Chimney Pipe

The Selkirk Metalbestos Chimney System is ideal for venting residential heating appliances burning wood, #2 oil, and natural and LP gas. Manufactured with stainless steel inner and outer pipe.

[Read more](#)



Product Options



Size *

Selkirk Metalbestos Through the Wall Kit

Use this product page to add all of the standard components for a through-the-wall installation with Selkirk Metalbestos Class A chimney system. All you need to do is add the length of pipe needed.

[Read more](#)

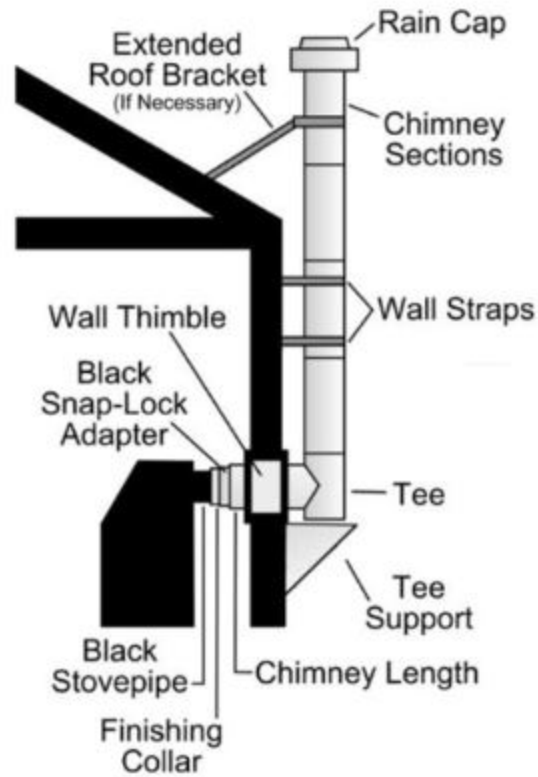
Product Options

Size *

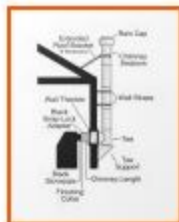
Quantity

 [Add to Cart](#)

As low as **\$1,331.99**



Note: See description for included parts



400 SERIES



THE WINDOWS
CONTRACTORS
TRUST THE MOST.*

*2020 Andersen brand survey of U.S. contractors.

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For warranty information, visit andersenwindows.com/warranty.



Andersen Corporation, including its subsidiaries, has been named a 2021 ENERGY STAR Partner of the Year – Sustained Excellence Award winner, the highest honor given by ENERGY STAR, for continued leadership in protecting the environment through superior energy efficiency achievements.



*ENERGY STAR® is a registered trademark of the U.S. Environmental Protection Agency.



AMERICA'S MOST LOVED BRAND OF WINDOWS & DOORS.*

You want to give your customers a home they love, and we're here to make that easy for you. That's why we're proud to offer you products that rate #1 in quality and performance,** and to be the #1 trusted and recommended window and door brand† by pros.

400 SERIES PRODUCTS

Our most popular choice with homeowners and the windows contractors trust the most! Easy to install, low maintenance and with fewer callbacks, the 400 Series can be your go-to for pretty much any project.

*2020 Andersen brand surveys of U.S. contractors, builders and realtors.

**2020 Andersen brand surveys of U.S. contractors, builders and architects.

†2020 Andersen brand survey of U.S. contractors.

RELIABLE & ENERGY EFFICIENT

As our best-selling products, the 400 Series product line offers a distinct blend of design, reliability and trade confidence. Designed for easy installation for replacement, remodel or new construction projects, 400 Series products feature our Perma-Shield® exterior cladding that revolutionized the window industry. They're also backed by our renowned limited warranty and the largest service network in the industry.

ENERGY-SAVING GLASS FOR ANY CLIMATE

Andersen makes windows and patio doors with options that make them ENERGY STAR® v. 6.0 certified throughout the United States.

Visit andersenwindows.com/energystar for more information and to verify that the product with your glass option is certified in your area.



RIGOROUSLY TESTED

The exclusive Andersen Perma-Shield system gives our windows and doors a tough, protective shell that safeguards the wood inside. It repels water, resists dents* and stays beautiful for years.

LOW MAINTENANCE, NEVER NEEDS PAINTING

The Perma-Shield exteriors on Andersen 400 Series windows and doors offer superior weather resistance and are virtually maintenance free.



OPTIONS FOR THE HARSHTEST WEATHER

400 Series windows with Stormwatch® Protection meet building code requirements in coastal areas.** Products with Stormwatch Protection are energy efficient, resist the effects of salt water, and stand up to hurricane-force winds and wind-borne debris.** For details, visit andersenwindows.com/coastal.



QUALITY SO SOLID, THE WARRANTY IS TRANSFERABLE*

Many other window and door warranties end when a home is sold, but our coverage – 20 years on glass, 10 years on non-glass parts – transfers from each owner to the next. And because it's not prorated, the coverage offers full benefits year after year, owner after owner. So it can add real value when you decide to sell your home.



BUILT FOR YEARS TO COME*

Our products are built strong to last long. We use the right materials in the right places, including solid wood, fiberglass and our own Fibrex® composite material. These give our windows and doors superior strength, stability and long-term beauty.

KEEPS THE WEATHER OUT

Our weather-resistant construction and careful selection of weatherstrip by product type seals out drafts, wind and water whatever the weather.

*Visit andersenwindows.com/warranty for details.

**See your local code official for code requirements in your area.

"ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.

PRODUCT OVERVIEW



Double-Hung Windows

Choose Woodwright® double-hung windows that replicate the look of traditional architecture or our best-selling tilt-wash double-hung windows that are extremely energy efficient. Both are available as full-frame or insert windows, and can be part of bay window combinations. Coordinating picture and transom windows are also available.



Specialty Windows

A collection of stylish shapes to help distinguish a home's style or create a delicate accent.



Woodwright full-frame windows come in a variety of shapes.



Our **Narroline® double-hung window conversion kit** can upgrade Andersen® Narroline double-hung windows to tilt-wash windows.



Complementary specialty windows offer 35 additional shapes and custom sizes.



Casement & Awning Windows

Casement and awning windows are energy efficient, and are built with our low-maintenance Perma-Shield® cladding. Available for new construction or replacement, as integral twin or triple units, or as part of bay or bow window combinations. Coordinating picture and transom windows are also available.



Gliding Windows

Superior energy efficiency, reliable performance and uncommon beauty. Both sash on our gliding windows open for improved ventilation.

Complementary casement windows come in a variety of shapes and in French casement options.



Frenchwood® Gliding & Hinged Inswing Patio Doors

Wide wood profiles provide the authentic craftsmanship of traditional French doors, and our Perma-Shield exterior cladding protects the unit and offers low maintenance. Add blinds-between-the-glass to conveniently control light and privacy. To learn more about other traditional- and contemporary-style Andersen door options, visit andersenwindows.com/doors.

Frame any Frenchwood patio door with **Frenchwood patio door sidelights and transoms.**



Complementary curved top patio doors, including Springline™ and arch hinged doors, are handcrafted and complement our 400 Series products.

GLASS OPTIONS

Andersen has the glass you need to get the performance you want. From SmartSun™ glass with HeatLock® coating that’s ENERGY STAR® certified in all climate zones* to PassiveSun® glass that helps heat homes in northern areas, there’s an option for every climate, project and customer. Check with your supplier for selections that meet ENERGY STAR requirements in your area.

GLASS		ENERGY		LIGHT	
		U-Factor How well a product prevents heat from escaping.	Solar Heat Gain Coefficient How well a product blocks heat caused by sunlight.	Visible Light Transmittance How much visible light comes through a product.	UV Protection How well a product blocks ultraviolet rays.
Low-E4®	Outstanding overall performance for climates where both heating and cooling costs are a concern.	● ● ● ○	● ● ● ○	● ● ● ○	● ● ● ○
Low-E4 with HeatLock® Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ○	● ● ● ○	● ● ● ○
SmartSun™	Thermal control similar to tinted glass, with visible light transmittance similar to Low-E4 glass.	● ● ● ○	● ● ● ●	● ● ● ○	● ● ● ●
SmartSun with HeatLock Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ●	● ● ● ●	● ● ○ ○	● ● ● ●
Sun	Outstanding thermal control in southern climates where less solar heat gain is desired.	● ● ● ○	● ● ● ●	● ○ ○ ○	● ● ● ○
PassiveSun®	Ideal for northern, passive solar construction applications where solar heat gain is desired.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
PassiveSun with HeatLock Coating	Applied to the room-side surface, it reflects heat back into the home and improves U-Factor values.	● ● ● ○	● ○ ○ ○	● ● ● ○	● ● ● ○
Clear Dual-Pane	High visibility with basic thermal performance.	● ○ ○ ○	○ ○ ○ ○	● ● ● ●	○ ○ ○ ○

Center of glass performance only. Ratings based on glass options as of May 2021. Visit andersenwindows.com/energystar for ENERGY STAR map and NFRC total unit performance data.

HEATLOCK TECHNOLOGY

Applied to the room-side glass surface, HeatLock coating reflects heat back into the home for improved performance.

STORMWATCH® PROTECTION

Most Andersen 400 Series windows are available with impact-resistant glass and structural upgrades to meet the tough building codes of hurricane-prone coastal areas. See your local code official for specific requirements.



ADDITIONAL GLASS OPTIONS

Tempered safety glass is standard on patio doors and required for larger window sizes.

Laminated glass is available for added strength, enhanced security and sound control.

Patterned glass lets in light while obscuring vision and adds a unique, decorative touch. Cascade and Reed patterns can be ordered with either a vertical or horizontal orientation.



ART GLASS

With art glass panels from Andersen, you can add interest, create focal points and make your work stand out. See page 173 or visit andersenwindows.com/artglass for more information.

TIME-SAVING FILM

We protect our products during delivery and construction with translucent film on the glass that peels away for a virtually spotless window.

For more details on our glass options, visit andersenwindows.com/glass.

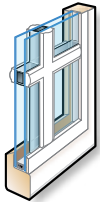


*Andersen 400 Series products only with SmartSun glass with HeatLock coating (argon gas blend), no grilles, no capillary breather tubes. Excludes patterned/textured glass. "ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.

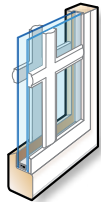


GRILLE OPTIONS

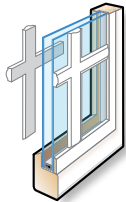
Grille patterns are available in widths and configurations to fit any architectural style or the taste of any customer. We can match virtually any existing grille pattern, and we'll even work with you and your customers to create custom patterns.



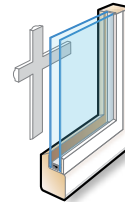
Permanent exterior
Permanent interior
with spacer



Permanent exterior
Permanent interior



Permanent exterior
Removable interior



Removable interior



Finelight
grilles-
between-
the-glass*

FULL DIVIDED LIGHT

Permanently applied to the interior and exterior of the window, with a spacer between the glass.

SIMULATED DIVIDED LIGHT

Permanent grilles on the exterior and interior, with no spacer between the glass. We also offer permanent exterior grilles with removable interior grilles.

CONVENIENT CLEANING OPTIONS

Removable interior grilles come off for easy cleaning. Finelight™ grilles-between-the-glass are installed between the glass panes, and feature a contoured profile in 1" (25) and 3/4" (19) widths.

Grille Bar Widths & Patterns



3/4" (19)



7/8" (22)



1 1/8" (29)



2 1/4" (57)

Actual width shown.

Our 2 1/4" (57) width grille can be positioned horizontally across the center of a casement window to simulate the look of a double-hung window.



To see all of the standard patterns available for a specific window or door, refer to the detailed product sections in this product guide.

*7/8" (22), 1 1/8" (29) and 2 1/4" (57) are not available in Finelight grilles-between-the-glass. Dimensions in parentheses are in millimeters.

WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

FEATURES

FRAME

- A** Perma-Shield® exterior cladding protects the frame – beautifully. Best of all, it's low maintenance and never needs painting.*
- B** For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex® material exterior.
- C** Natural wood stops are available in pine, maple, oak and prefinished white. Wood jamb liners add beauty and authenticity to the window interior.
- D** A factory-applied rigid vinyl flange on the head, sill and sides of the outer frame helps secure the unit to the structure.
- E** Multiple weatherstrip systems help provide a barrier against wind, rain and dust. The combination of spring-tension vinyl, rigid vinyl and flexible bulb weatherstrip is efficient and effective.
- F** For units with white exterior color, the exterior jamb liner is white. For all other units, the exterior jamb liner is gray.

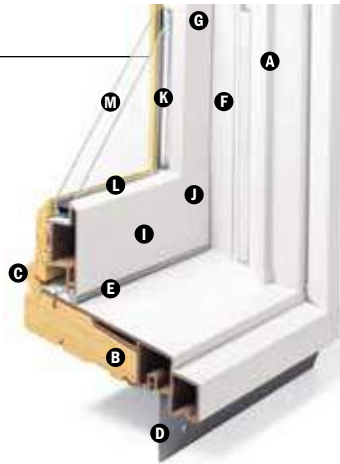
SASH

- G** Balancers in the sash enable contractors to screw through the jamb during installation without interfering with the window's operation.

Wood Jamb Liner



- H** Natural wood sash interior with classic chamfer detailing. Available in pine, maple, oak or prefinished white.
- I** Low-maintenance sash exterior provides long-lasting protection and performance. Sash exteriors on most units include Fibrex material.
- J** Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.



GLASS

- K** In addition to stainless steel glass spacers, black or white glass spacers are now available to allow the spacer to blend in with the unit color.
- L** Silicone bed glazing provides superior weathertightness and durability.
- M** High-Performance options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass
- Low-E4 Sun glass

Tempered and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction, and simplifies finishing at the job site.

Patterned Glass

Patterned glass options are available. See page 12 for more details.

HARDWARE



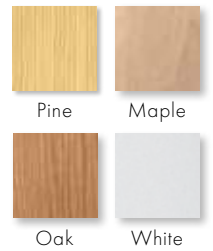
Standard lock and keeper design provides an easy tilt-to-clean feature integrated into the lock.

EXTERIOR & INTERIOR OPTIONS

EXTERIOR COLORS



INTERIOR OPTIONS



HARDWARE



Standard Lock & Keeper

Antique Brass | **Black** | Bright Brass
 Brushed Chrome | Distressed Bronze
 Distressed Nickel | Gold Dust
 Oil Rubbed Bronze | Polished Chrome
 Satin Nickel | Stone | White

OPTIONAL HARDWARE Sold Separately

CONTEMPORARY



Bar Lift

Available in all hardware finishes.
 Shown in **Distressed Nickel**.

ESTATE™



Hand Lift

Finger Lifts

Antique Brass | Bright Brass
 Brushed Chrome | Distressed Bronze
 Distressed Nickel | Oil Rubbed Bronze
 Polished Chrome | **Satin Nickel**

TRADITIONAL



Bar Lift



Hand Lift



Finger Lifts

Antique Brass | Black | Bright Brass | Brushed Chrome
 Distressed Bronze | Distressed Nickel | Gold Dust | **Oil Rubbed Bronze**
 Polished Chrome | Satin Nickel | Stone | White

CLASSIC SERIES™



Bar Lift



Hand Lift



Finger Lifts

Stone | **White**

Bold name denotes finish shown.

HARDWARE FINISHES



*Visit andersenwindows.com/warranty for details.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes.

See your Andersen supplier for actual color and finish samples.

Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless a finish is specified.

Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

Table of Woodwright® Double-Hung Window Sizes

Scale 1/8" (3) = 1'-0" (305) – 1:96

Notes on the next page also apply to this page.

Window Dimension	1'-9 5/8"	2'-1 5/8"	2'-5 5/8"	2'-7 5/8"	2'-9 5/8"	2'-11 5/8"	3'-1 5/8"	3'-5 5/8"	3'-9 5/8"
	(549)	(651)	(752)	(803)	(854)	(905)	(956)	(1057)	(1159)
Minimum Rough Opening	1'-10 1/8"	2'-2 1/8"	2'-6 1/8"	2'-8 1/8"	2'-10 1/8"	3'-0 1/8"	3'-2 1/8"	3'-6 1/8"	3'-10 1/8"
	(562)	(664)	(765)	(816)	(867)	(917)	(968)	(1070)	(1172)
Unobstructed Glass (lower sash only)	15 5/8"	19 5/8"	23 5/8"	25 5/8"	27 5/8"	29 5/8"	31 5/8"	35 5/8"	39 5/8"
	(397)	(498)	(600)	(651)	(702)	(752)	(803)	(905)	(1006)

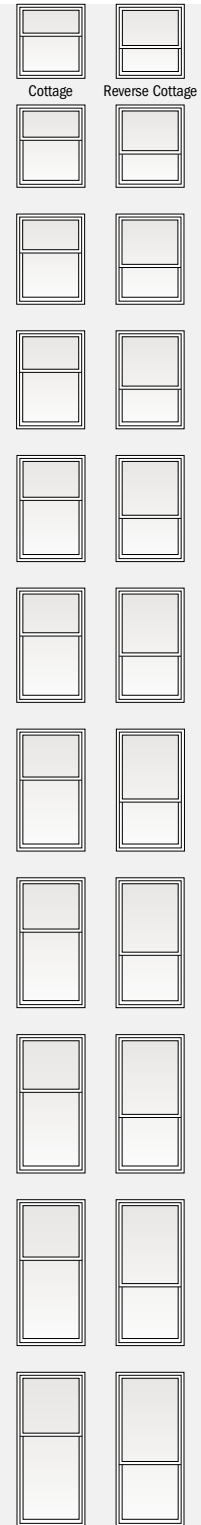
CUSTOM WIDTHS – 16 1/2" to 45 5/8"

CUSTOM HEIGHTS – 32" to 76 7/8"	CUSTOM WIDTHS – 16 1/2" to 45 5/8"								
	16 1/2"	18 1/2"	20 1/2"	22 1/2"	24 1/2"	26 1/2"	28 1/2"	30 1/2"	32 1/2"
3'-0 7/8" (937)	WDH18210	WDH20210	WDH24210	WDH26210	WDH28210	WDH210210	WDH30210	WDH34210	WDH38210
3'-4 7/8" (1038)	WDH1832	WDH2032	WDH2432	WDH2632	WDH2832	WDH21032	WDH3032	WDH3432	WDH3832
3'-8 7/8" (1140)	WDH1836	WDH2036	WDH2436	WDH2636	WDH2836	WDH21036	WDH3036	WDH3436	WDH3836
4'-0 7/8" (1241)	WDH18310	WDH20310	WDH24310	WDH26310	WDH28310	WDH210310	WDH30310	WDH34310	WDH38310
4'-4 7/8" (1343)	WDH1842	WDH2042	WDH2442	WDH2642	WDH2842	WDH21042	WDH3042	WDH3442	WDH3842
4'-8 7/8" (1445)	WDH1846	WDH2046	WDH2446	WDH2646	WDH2846	WDH21046	WDH3046°	WDH3446°	WDH3846°
5'-0 7/8" (1546)	WDH18410	WDH20410	WDH24410	WDH26410	WDH28410	WDH210410°	WDH30410°	WDH34410°	WDH38410°
5'-4 7/8" (1648)	WDH1852	WDH2052	WDH2452	WDH2652	WDH2852°	WDH21052°	WDH3052°	WDH3452°	WDH3852°
5'-8 7/8" (1749)	WDH1856	WDH2056	WDH2456	WDH2656°	WDH2856°	WDH21056°	WDH3056°	WDH3456°	WDH3856°
6'-0 7/8" (1851)	WDH18510	WDH20510	WDH24510°	WDH26510°	WDH28510°	WDH210510°	WDH30510°	WDH34510°	WDH38510°
6'-4 7/8" (1953)	WDH1862	WDH2062	WDH2462°	WDH2662°	WDH2862°	WDH21062°	WDH3062°	WDH3462°	WDH3862°

2:3 cottage or 3:2 reverse cottage sash ratio available for all widths and heights. Size tables for windows with cottage or reverse cottage sash are available at andersenwindow.com/sizing.

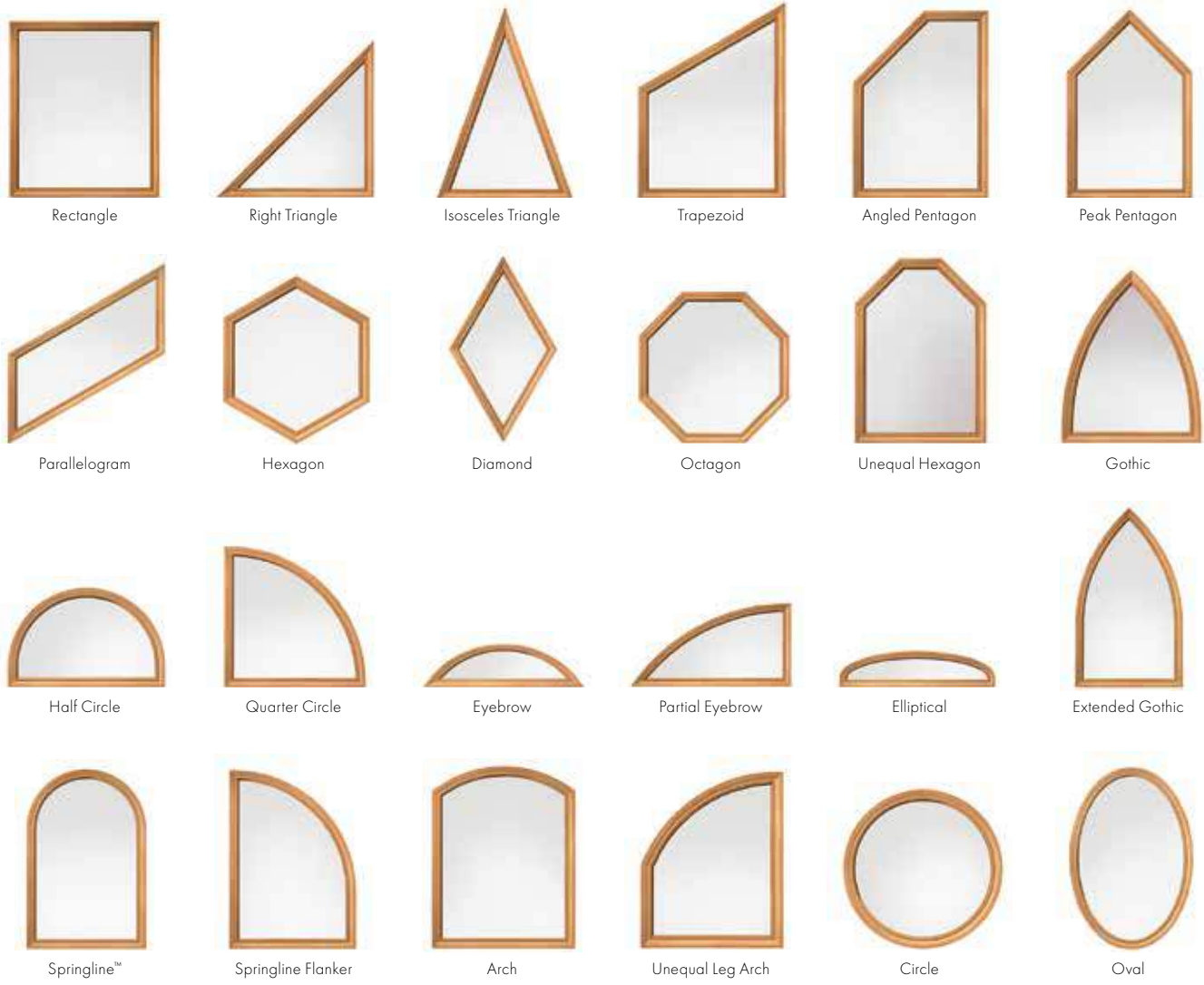
CUSTOM WIDTHS –
1'-4 1/2" (419) to 3'-9 5/8" (1159)

CUSTOM HEIGHTS –
3'-0 7/8" (937) to 6'-4 7/8" (1953)

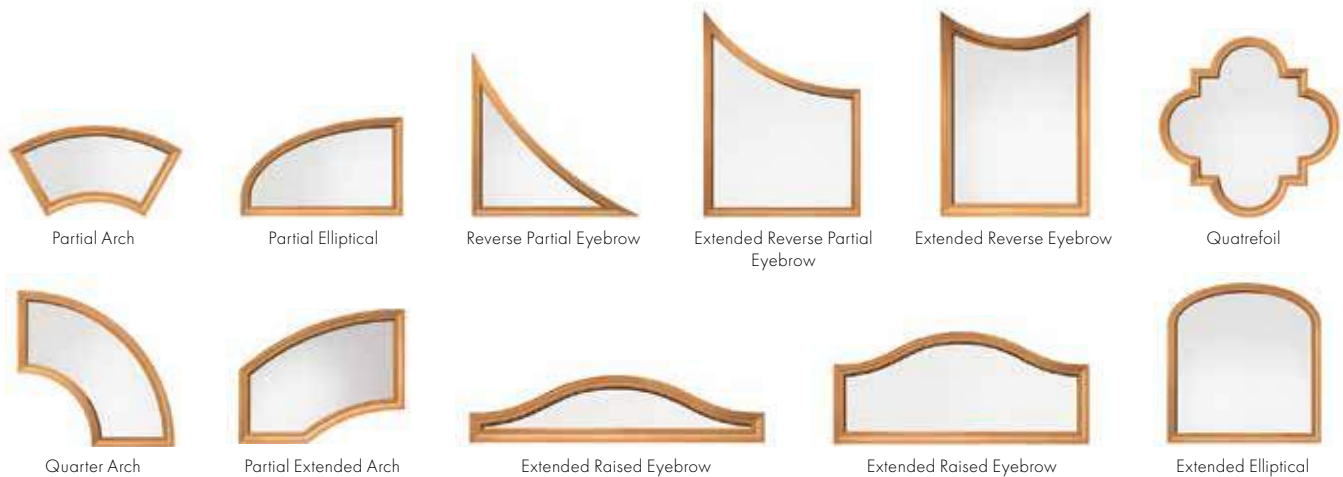


SHAPES

Andersen® complementary specialty windows are available in a variety of sizes. Fixed unit profiles may vary dependent upon shape. For specific sizes, details and joining information, contact your Andersen supplier.



The additional specialty window shapes below are available by special order.



400 Series
Complementary
Specialty Windows

EXTERIOR TRIM

FEATURES

EXTERIOR TRIM SYSTEM

Easier Installation

- Installs independently of water management system
- No nail holes to fill
- No visible fasteners
- No painting



Made of Fibrex® material that is an environmentally smart composite, containing 40% pre-consumer reclaimed wood fiber by weight.



EXTERIOR TRIM

- A** For exceptional long-lasting performance, exterior trim is made from Fibrex material or high-density urethane with low-maintenance exterior finishes.
- B** Sill nose profile, made from Fibrex material, is placed at the sill for a traditional look.
- C** Rigid vinyl exterior trim attachment strips (field applied) allow the trim to be securely fastened to the home.
- D** Trim surrounds are assembled with corner keys and stainless steel fasteners for stability and strength.

Profiles

Exterior trim is available in four profiles made from our Fibrex material. Profiles include 3 1/2" (89) flat casing, 4 1/2" (114) flat casing, 2" (51) brick mould and sill nose for the bottom trim piece. See profiles and sill options on the next page.

Thick trim profiles overlap the window frame to create clean lines without visible sealant joints.

Drip Cap

Full-length, color-matched aluminum drip cap is included with kits and surrounds.

End Caps

Provide a clean appearance when joining two trim members.

Corner Keys

Provide tight alignment of corner joints.



EXTERIOR TRIM OPTIONS

EXTERIOR TRIM COLORS



Design a window and view exterior trim installation guides at andersenwindows.com/exteriortrim.

Fasteners

Screws are made of high-quality stainless steel and provide corner joints with a secure, tight fit.

Head Trim Options

Three styles are available. All can be used above our flat casing and include an integrated installation flange. The decorative drip cap is made from our Fibrex material. Both the 2" (51) cornice and 3 3/8" (92) cornice are made from highly durable urethane material. See head trim options on the next page.

Specialty Trim

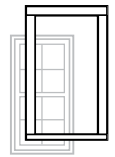


Made of highly durable factory-finished urethane material for selected shapes. Contact your Andersen supplier for availability.

INSTALLATION OPTIONS

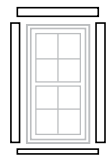
Preassembled Trim Surrounds

Factory-assembled surrounds install quickly and eliminate measuring, cutting, mitering and filling nail holes.



Precut Kits

Knock-down kits include precut and predrilled trim with all the necessary components for on-site assembly for windows.



Individual Trim Components

13' (3962) factory-finished trim lineals, end caps, corner keys, fasteners, metal drip caps and field attachment strips allow for field fabrication and assembly.



*See the 400 Series Limited Warranty for exterior trim applied to 400 Series products. Visit andersenwindows.com/warranty for details.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact duplication of colors. See your Andersen supplier for actual color samples.

PROFILES



2" (51) Brick Mould in dove gray with Terratone window



3 1/2" (89) Flat Casing in dark bronze with white window



4 1/2" (114) Flat Casing in canvas with forest green window

HEAD TRIM OPTIONS



Decorative Drip Cap with 3 1/2" (89) flat casing in red rock with Sandtone window



2" (51) Cornice with 3 1/2" (89) flat casing in red rock with Sandtone window



3 5/8" (92) Cornice with 3 1/2" (89) flat casing in red rock with Sandtone window

SILL OPTIONS



2" (51) Brick Mould with sill nose in dove gray with Terratone window

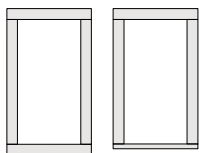


3 1/2" (89) Flat Casing with sill nose in dark bronze with white window

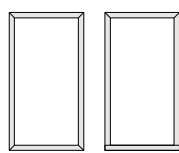


4 1/2" (114) Flat Casing with sill nose in canvas with forest green window

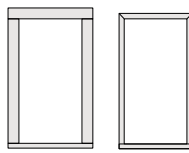
TRIM COMBINATIONS



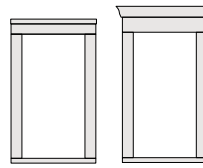
Flat Casing can be used on all four sides flush at the head and sill. Combine 3 1/2" (89) and 4 1/2" (114) flat casing or use with a flush sill nose.



Brick Mould can be used on all four sides or with a flush sill nose



Sill Nose can be used with flat casing or brick mould.



Decorative Drip Cap or **Cornices** can be used above flat casing at the head.

ACCESSORIES

INSTALLATION

Fibrex® Trim Board



Andersen offers a 3 1/2" (89) wide by 3/4" (19) thick cellular Fibrex trim board in 10' (3048) lengths. Available in the same 11 colors as the exterior trim system, this solid trim board can be ripped to size and can be fastened using nails or screws.

Coil Stock



Factory finished in any of our 11 exterior trim colors, our aluminum coil stock allows you to form your own profiles in the field. Made from .018" thick aluminum, coil stock is available in 24" (610) x 50' (15240) rolls. Color-matched 1 1/4" (32)-long stainless steel trim nails are also available and can be ordered in 1 lb/.454 kg boxes.

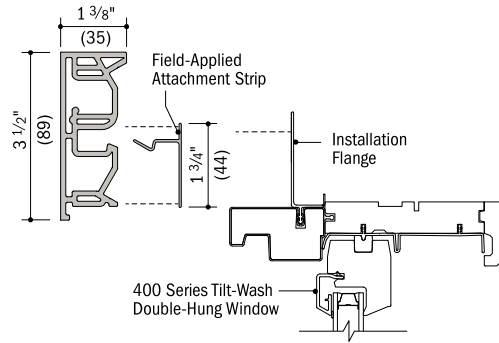
Exterior Trim

EXTERIOR TRIM

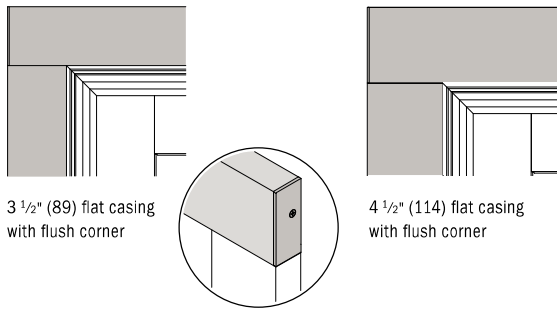
Window and Patio Door Attachment

Field-Applied Attachment Strip

Field-applied attachment strip fastens to framing through window or patio door installation flange and flashing tape with screws. Exterior trim connects securely to the field-applied attachment strip. Follow window and patio door installation guides for flashing instructions.



3 1/2" (89) and 4 1/2" (114) Flat Casing



3 1/2" (89) flat casing with flush corner

4 1/2" (114) flat casing with flush corner

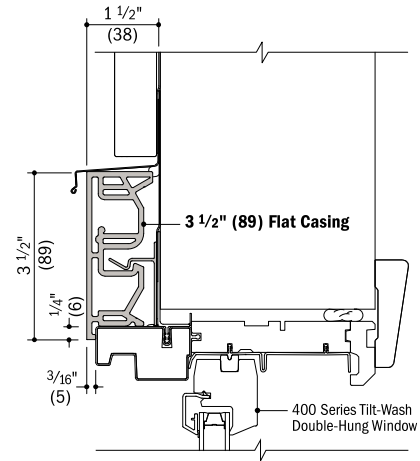
Formula for dimension of window/door plus exterior trim:

Add 4 1/4" (108) per side for 4 1/2" (114) flat casing

Add 3 1/4" (83) per side for 3 1/2" (89) flat casing

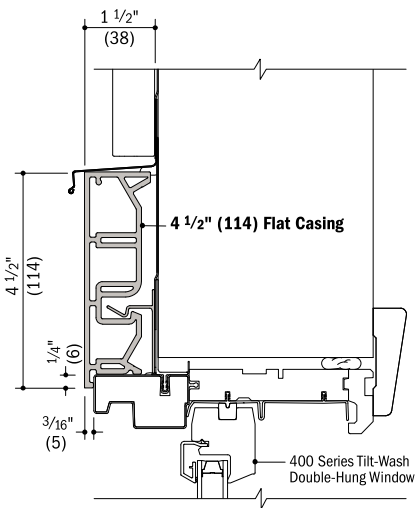
Trim Details

Scale 3" (76) = 1'-0" (305) – 1:4



Vertical Section

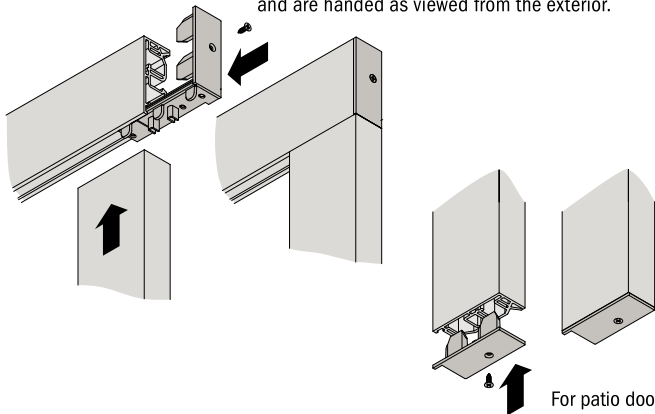
400 Series Tilt-Wash Double-Hung Window with 3 1/2" (89) Flat Casing



Vertical Section

400 Series Tilt-Wash Double-Hung Window with 4 1/2" (114) Flat Casing

End caps are used at corners for flat casing and are handed as viewed from the exterior.



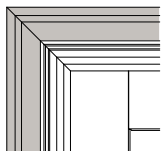
For patio doors, end caps are used at the sill.

*Dimensions in parentheses are in millimeters.

*Typical trim combinations shown. Additional combinations may also be used. Some restrictions apply. For more information, contact your Andersen supplier.

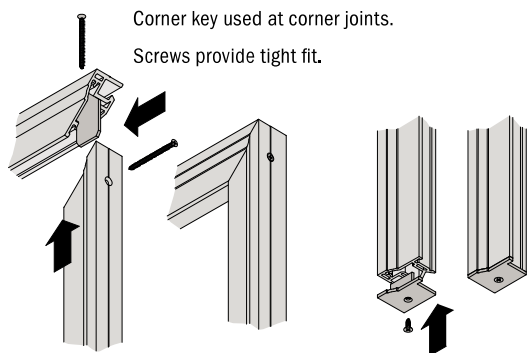
*Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.

Brick Mould



Brick mould with mitered corners

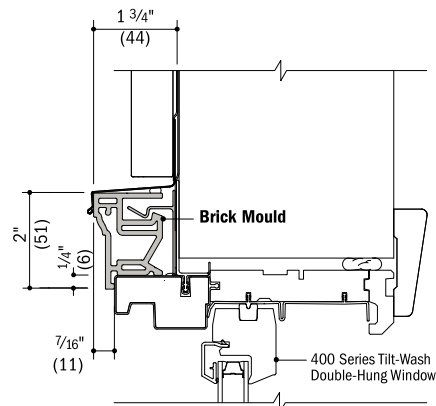
Formula for dimension of window/ door plus exterior trim:
Add 1 3/4" (44) per side for brick mould



For patio doors, end caps are used at the sill.

Trim Detail

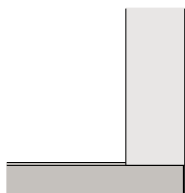
Scale 3" (76) = 1'-0" (305) – 1:4



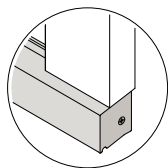
Vertical Section
400 Series Tilt-Wash Double-Hung Window with Brick Mould

Exterior Trim

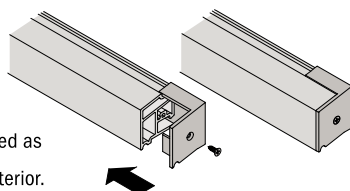
Sill Nose



Sill nose and 3 1/2" (89) flat casing with flush corner



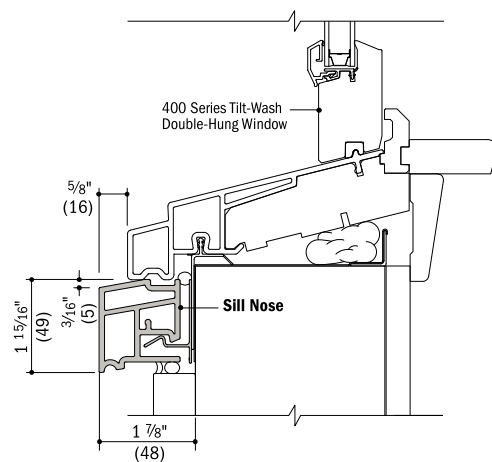
Formula for dimension of window plus exterior trim:
Add 1 15/16" (49) for sill nose



End caps are handed as viewed from the exterior.

Trim Detail

Scale 3" (76) = 1'-0" (305) – 1:4

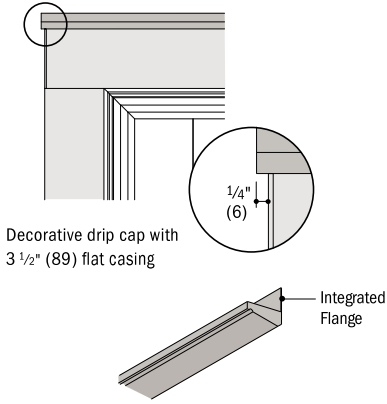


Vertical Section
400 Series Tilt-Wash Double-Hung Window with Sill Nose

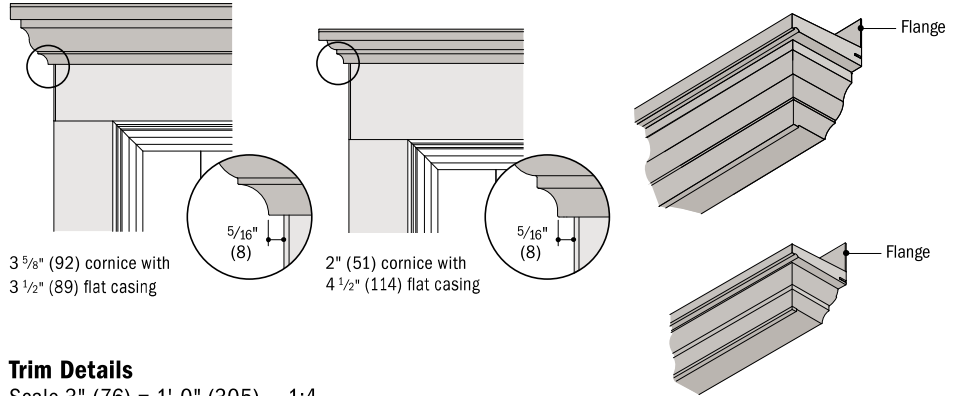
• Dimensions in parentheses are in millimeters.
• Typical trim combinations shown. Additional combinations may also be used. Some restrictions apply. For more information, contact your Andersen supplier.
• Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.

EXTERIOR TRIM

Decorative Drip Cap



Cornices

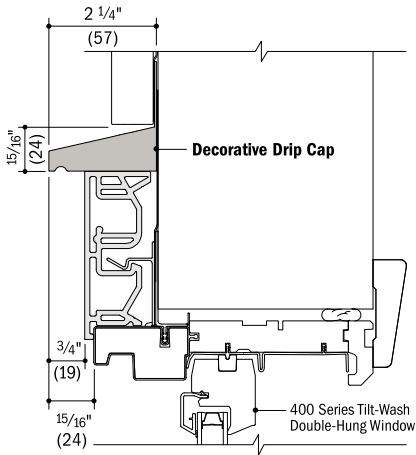


Trim Details

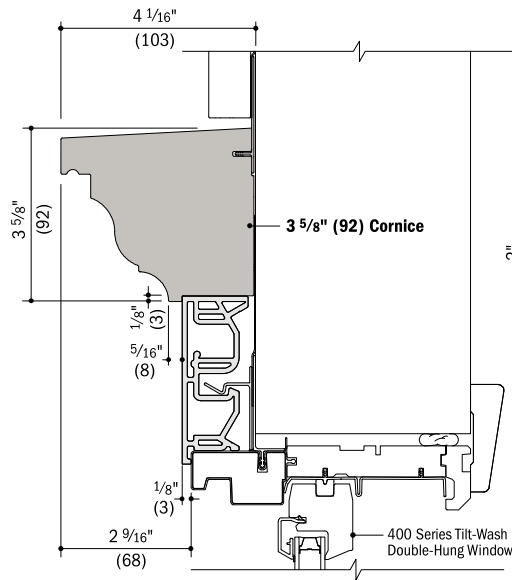
Scale 3" (76) = 1'-0" (305) – 1:4

Trim Detail

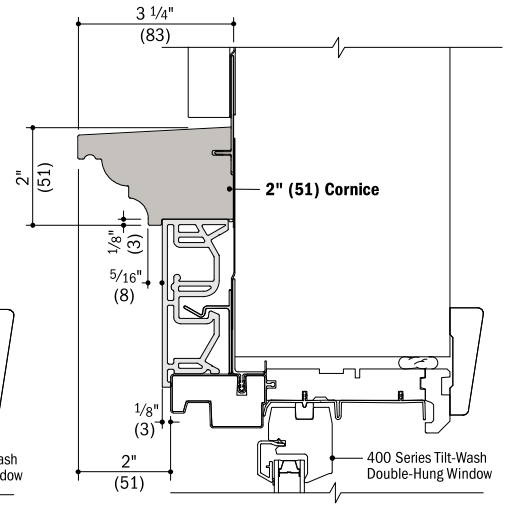
Scale 3" (76) = 1'-0" (305) – 1:4



Vertical Section
400 Series Tilt-Wash Double-Hung Window with 3 1/2" (89) Flat Casing and Decorative Drip Cap



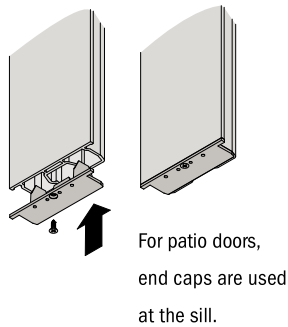
Vertical Section
400 Series Tilt-Wash Double-Hung Window with 3 1/2" (89) Flat Casing and 3 5/8" (92) Cornice



Vertical Section
400 Series Tilt-Wash Double-Hung Window with 3 1/2" (89) Flat Casing and 2" (51) Cornice

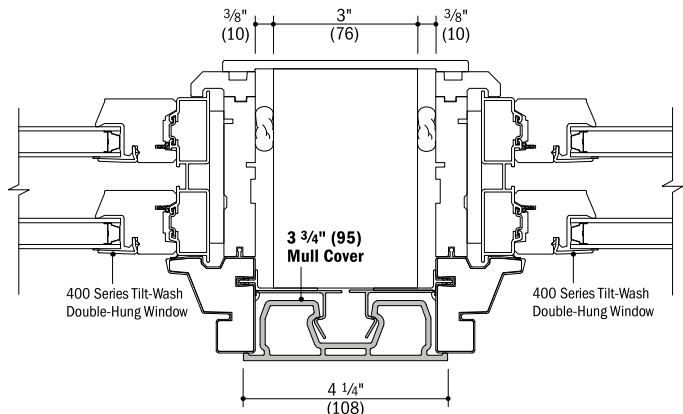
Mull Cover

3 3/4" (95) mull cover is available for installations where windows or patio doors have been installed into separate rough openings to obtain a joined appearance.



Separate Rough Openings Detail

Scale 3" (76) = 1'-0" (305) – 1:4



Horizontal Section
400 Series Tilt-Wash Double-Hung Windows and 3 3/4" (95) Mull Cover

- Dimensions in parentheses are in millimeters.
- Typical trim combinations shown. Additional combinations may also be used. Some restrictions apply. For more information, contact your Andersen supplier.
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to product installation guides at andersenwindows.com.
- Consult with an architect or structural engineer regarding minimum requirements for structural support members between adjacent rough openings.