

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7316 Carroll Ave., Takoma Park	<b>Meeting Date:</b>	6/28/2023
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	6/21/2023
<b>Applicant:</b>	Mark Schneider	<b>Public Notice:</b>	6/14/2023
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Case Number:</b>	1031025 (Painting) & (HAWP# for Sign Pending)	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Signage installation and exterior painting		

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**RECOMMENDATION**

Staff recommends that the Historic Preservation Commission **approve with one (1) condition** the HAWP application:

1. The approved exterior finish on the first floor needs to be either a limewash or whitewash to better protect the masonry below. Final approval authority for a specific treatment is delegated to Staff.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource to the Takoma Park Historic District  
**STYLE:** Colonial Revival/Commercial  
**DATE:** c.1931



*Figure 1: The subject property, identified by the yellow star, is located on the west side of Carroll Avenue and adjacent to a narrow alley.*

## **PROPOSAL**

The applicant proposes to install new signage and paint the lower portion of the building.

## **APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Design Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*) and the Secretary of the Interior's Standards for Rehabilitation (*The Standards*).

### ***Takoma Park Historic District Design Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required,

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

### ***Ordinance No. 1985-30***

#### **D. Exterior Walls**

- (1) All exterior building walls should be of the original architectural character of the building and in good condition.
- (2) All structural and decorative elements of building fronts and rear sides shall be repaired, replaced or uncovered in a workmanlike manner to match as closely as possible the original materials and construction of that building.
- (3) All miscellaneous elements on the exterior walls of the structures such as empty electrical boxes, conduits, pipes, unused sign brackets, alarm units, etc., shall be removed.
- (4) All brick walls shall be cleaned, repaired, and repointed as required. Brick walls shall be either preserved in their natural color or painted a color compatible with the colors of the neighboring structures. Cleaning of brick walls by means of sand or grit blasting shall not be permitted (since this destroys the protective coating of the brick and allows it to deteriorate).

#### **G. Signs and Commercial Advertising**

- (1) Signage materials shall be in harmony with the rest of the façade materials and be easily maintained, such as; treated fabric; natural or painted wood; metal; cut-out letters of metal, wood, or plastic, and

individual painted letters.

(2) Signs should be placed where they conceal the least amount of architectural detail.

(3) Signs may be a maximum of thirty (30) inches high and project no more than eight (8) inches from the outside face of the exterior wall. All signs shall be designed to be harmonious with the design of the building façade and the neighboring structures. The maximum allowable sign area shall be two times the frontage of the building in feet. Sign area shall be construed to include space between letters.

(8) Permanent signs on the building façade shall be limited to signs identifying the business.

#### I. Colors

(1) There should be continuous color treatment both in the overall base color and the trim accent color to create a unified appearance.

(2) All painting shall attempt to highlight existing architectural detailing of the building.

(3) Individual buildings should be one base color for cohesiveness. Building individuality is encouraged through accent colors, graphics, awnings, and signage.

#### ***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

#### ***Secretary of the Interior's Standards for Rehabilitation***

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **STAFF DISCUSSION**

The subject property is a two-story commercial structure fronting Carroll Ave. in the Takoma Junction section of the Takoma Park Historic District. Sometime around 1950, the storefront window on the ground floor was replaced and the bricks on the first floor were removed and Roman bricks were installed in their place. Staff finds the existing storefront appearance is not the building's historic appearance.

The applicant proposes two changes for the subject property. First, the applicant proposes to remove and replace the existing sign for a new tenant. Second, the applicant proposes to paint the ground floor exterior.

The existing sign is a contemporary painted rectangular wood board. Staff finds this sign has no historic significance. The proposed sign consists of 6” (six-inch tall) individually mounted aluminum letters. Staff finds the proposed lettering is consistent with the size of the building and is compatible with the character of the building and the requirements of the City ordinance for signs in Takoma Junction, which allows metal individually applied letters. Staff recommends the HPC approve the new sign under 24A-8(b)(1), (2), and (d).

The second change proposed is to repoint and paint the ground floor. Staff finds repointing the brick is a repair that does not require a HAWP, but is eligible for the County Historic Preservation Tax Credit. Staff does not recommend painting historically unpainted masonry, because it can trap moisture and lead to spawling and masonry degradation. However, the masonry at the subject property is not historic so while Staff does not recommend the applicant paint the exterior because painting unpainted masonry surfaces can trap moisture and cause material degradation and the paint cannot be completely removed, the proposed work will not impact historic fabric. Additionally, the City ordinance for the Takoma Junction allows painted masonry in the sections discussing exterior walls and color. Staff finds the proposal satisfies the requirements of the City ordinance and recommends the HPC approve the exterior finish under 24A-8(d) with the added condition that the proposed exterior finish be a limewash/whitewash which will breathe better to avoid damage to the brick below.



*Figure 2: Rendering provided with the application showing the building's proposed appearance.*

**STAFF RECOMMENDATION**

Staff recommends that the Commission **approve with one (1) condition** the HAWP application:

1. The approved exterior finish on the first floor needs to be either a limewash or whitewash to better protect the masonry below. Final approval authority for a specific treatment is delegated to Staff;

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes/District Name \_\_\_\_\_  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                     |
|   |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:



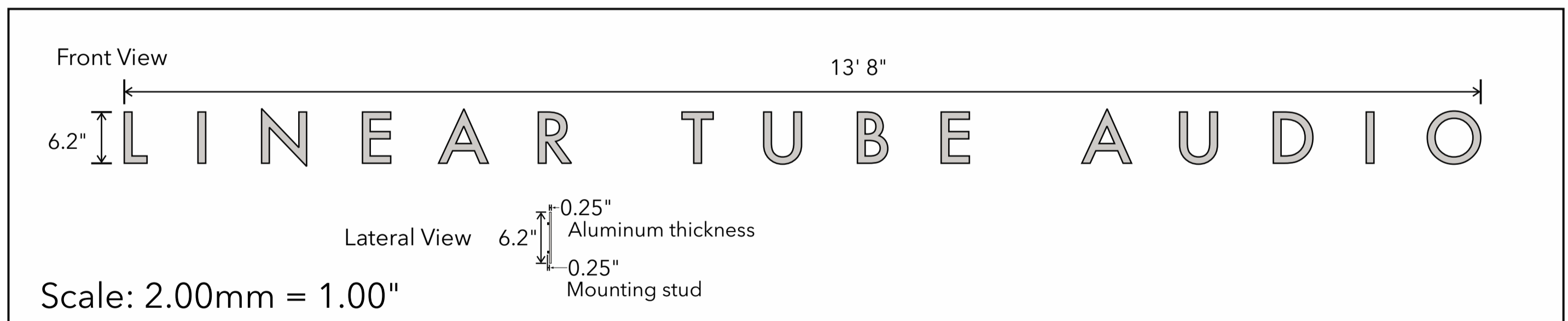
Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:



Scale: 1.00mm = 1.00"



Customer: Linear Tube Audio

Date: 3/8/2023

Scale: AS NOTED



LINEAR TUBE AUDIO

7316

7318

RICHARDSON  
SCHOOL OF MUSIC

7316

7318

106

URBAN HIGH



LTA  
LIVING FUTURE MUSIC

