

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8000 Hampden Lane, Bethesda	Meeting Date:	6/28/2023
Resource:	Contributing Resource (Greenwich Forest Historic District)	Report Date:	6/21/2023
Applicant:	Chuen-Yen Lau & Adam Sherwat	Public Notice:	6/14/2023
Review:	Historic Area Work Permit	Tax Credit:	n/a
Permit No.:	1029531	Staff:	Dan Bruechert
Proposal:	Accessory Structure Construction		

STAFF RECOMMENDATION

Staff recommends the HPC **deny** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Greenwich Forest Historic District

STYLE: Colonial Revival

DATE: 1938

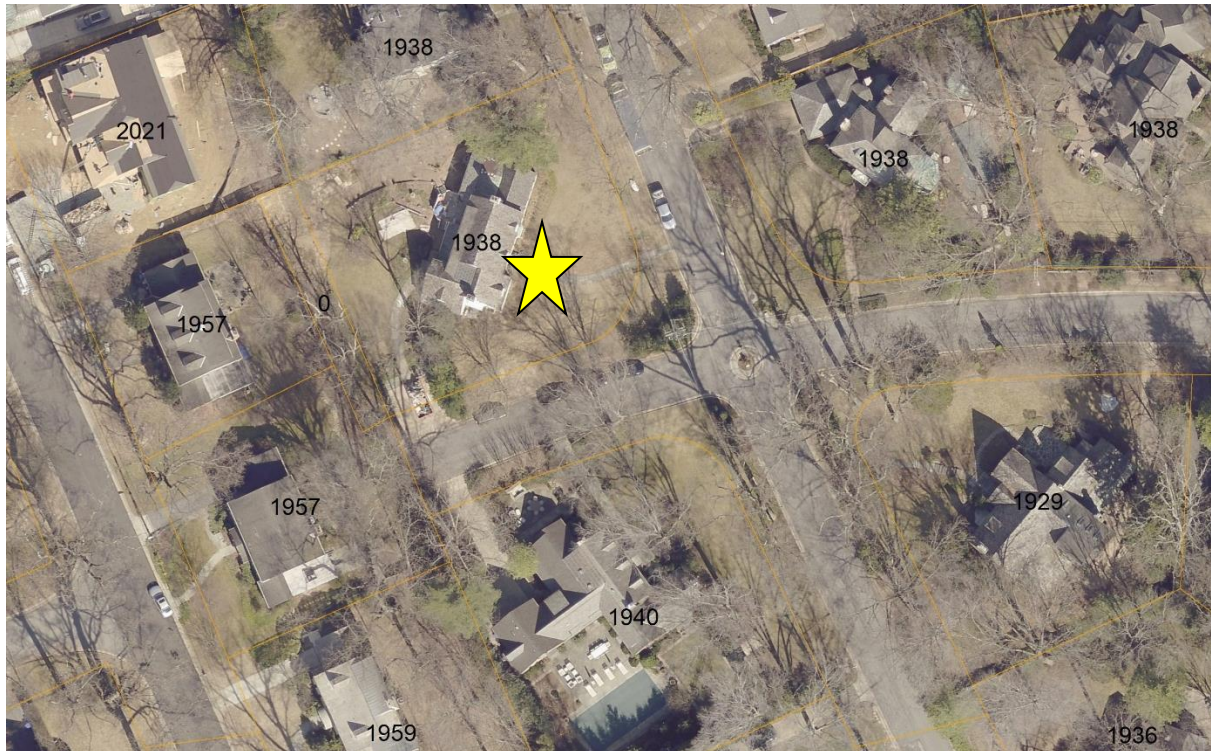


Figure 1: 8000 Hampden Lane, as indicated by the yellow star, is located at the northwest corner of the intersection of Hampden Lane and York Lane .

BACKGROUND

The HPC held a Preliminary Consultation on January 25, 2023, to consider the construction of a proposed accessory structure.¹ The HPC found the materials for the proposed structure were in keeping with the character of the house and surrounding district, but also agreed with Staff's finding that the proposed structure is too massive and too close to the house to be compatible with the character of the house and surrounding district.

The applicant has revised the design and submitted a new proposal.

PROPOSAL

The applicant proposes to construct a detached garage with an occupiable second story.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Greenwich Forest Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Greenwich Forest Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Greenwich Forest Historic District Guidelines

A. PRINCIPLES

The preservation of the following essential elements of Greenwich Forest is the highest priority in making decisions concerning applications for work permits. These Principles are not meant to stop or create unreasonable obstacles to normal maintenance, reasonable modifications, and the evolving needs of residents.

A2. The houses in Greenwich Forest create an integrated fabric well-suited to its forest setting. These Guidelines are intended to preserve this environment by ensuring that approved work permits include appropriate safeguards that protect the following three essential elements of this fabric:

- b. The *scale and spacing* of houses and their *placement* relative to adjacent houses and the public right-of-way. The original developers made decisions on these three elements to understate the presence of structures relative to the forest. For example, minimum side setbacks at the time were 7' but placement and spacing produced distances between houses that far exceeded the minimum 14'. Additions and new houses have, in almost all cases, preserved generous space between houses and minimized visual crowding with plantings.
- c. High quality building materials and high level of craftsmanship.

B. BALANCING PRESERVATION AND FLEXIBILITY

¹ The Staff Report and application materials for the January 25, 2023 Preliminary Consultation are available here: <https://montgomeryplanning.org/wp-content/uploads/2023/01/III.A-8000-Hampden-Lane-Bethesda.pdf> and the recording of the hearing is available here: https://mncppc.granicus.com/MediaPlayer.php?publish_id=3a489d5e-9d95-11ed-96ab-0050569183fa, the hearing begins at approximately 50:00.

Greenwich Forest represents a period in the evolution of Montgomery County worthy of preservation, but it has also changed in response to the needs of residents since it was created in the 1930s. These Guidelines seek a reasonable compromise between preservation and the needs of residents in several ways.

B1. Most of the houses in the Greenwich Forest Historic District are designated “contributing” because they contribute to the architectural and historic nature of the district. Contributing structures are shown in the map of the districts. These Guidelines are more specific for contributing structures.

B2. Other houses in the district are designated non-contributing either because (1) they were built more recently than contributing houses with other architectural styles (see Appendix 3) or (2) their original features have been significantly altered by subsequent modifications. Non-contributing structures are shown on the map of the District. The Guidelines provide greater flexibility for owners of non-contributing houses.

B3. These Guidelines reflect the reality that nearly all houses in Greenwich Forest have been modified since their construction. Owners are not expected to return their houses to their original configurations. The modifications they are permitted to make under these Guidelines are based on the current reality in the neighborhood, provided that those modifications are consistent with the Principles in these Guidelines.

B4. Property owners have additional flexibility under these Guidelines to make more extensive changes to the parts of their houses that are less visible from the public rights-of-way in front of their houses. The Guidelines accomplish this by stipulating different levels of review for specific elements on different parts of houses.

The *Guidelines* that pertain to this project are as follows:

D4. *Additions*: Additions to *contributing* and *non-contributing houses* are allowed. The style of an *addition* must be compatible and in keeping with the prevailing styles of that house. The style of the *addition* must be compatible with the style of the original house, unless the owner wishes to change the *architectural style* of both the house and addition to another style of a *contributing house* in Greenwich Forest (see Changes to *architectural style*, below). *Additions to contributing houses* must preserve as a recognizable entity the outline of the original house (not including subsequent additions). Side additions to *contributing houses* are allowed, but the limits of the original *façade* must be demarcated by stepping back the front plane of the addition and by a change in the addition’s

D5. Guidelines on dimensions. The total lot coverage of a house may not exceed 25% of the lot area, and accessory buildings may not exceed 5% of the lot area. The area of an accessory building may be increased 2%, to 7% of total lot coverage, if the lot coverage of the house and the accessory buildings added together does not exceed 30% of lot area.

Additions should try to preserve ample spacing between houses. For example, visual crowding between houses could be minimized by placing an addition toward the back of a property, placing an addition on the side of a property with greater distance to the adjacent house, or by screening additions with plantings...

D7. Building materials: Replacement of roofs, siding, and trim with original materials is strongly recommended and is considered maintenance that will not require an application for a work permit. Use of non-original "like materials" such as architectural asphalt shingles requires a work permit to ensure

that they match the scale, texture, and detail of the original materials and are consistent with the overall design of the existing house. For example, homeowners wishing to replace slate or tile roofs may use alternative materials that match the scale, texture, and detail of the roof being replaced. If an original slate or tile roof had been replaced with non-original material before July 1, 2011, the homeowner may replace the existing roof in kind or with another material consistent with the architectural style of that house.

D11. Runoff control: Proposals for work permits should consider rainwater runoff problems that may be created by additions and other property and structural alterations. Solutions to these problems should protect trees and maximize the on-property control of this runoff by drainage fields, installation of permeable rather than impermeable surfaces, and other available means.

D15. Tree removal: The preservation of the large mature trees in Greenwich Forest is a high priority of these Guidelines, but there are circumstances in which removal may be unavoidable. Trees smaller than 8" in diameter (measured at 5' height) may be removed without an application for a work permit. Larger trees may be removed without an application for a work permit if a certified arborist provides documentation to the decision-making body stating that the tree is dead, diseased, dying, or a hazard (e.g., a threat to public safety or the structural integrity of the house). Each tree removed for these reasons should be replaced by one tree in the manner described below.

In planning landscape modifications, additions, and replacement houses, homeowners may propose the removal of trees with diameters greater than 8" (measured at 5' height). If there is an obvious alternative siting that would avoid removal of mature trees, the application for a work permit should include a brief explanation of why that alternative was rejected. In such cases, the functional needs of the homeowner should be respected. If applications propose the removal of trees larger than 8" in diameter (measured at 5' height), the site plan for the proposed modification must include the installation of two replacement trees for each tree removed as a result of the modification. These proposals are subjected to strict scrutiny (see Appendix 1) to ensure that homeowners have not overlooked viable options that would avoid tree removal and that the plan for installing new trees adheres to the following guidelines. Each tree removed from the forest canopy must be replaced with two trees chosen from canopy species already established in the region (e.g., White Oak, Nuttall Oak, Scarlet Oak, Greenspire Linden, American Beech, Ash, and Tulip Poplar). If the forest canopy is well established over the site, one of the two replacement trees can be chosen from an understory species that is already established in the region (October Glory Red Maple, Red Sunset Red Maple, Black Gum, and Sycamore). Ornamental trees such as American Dogwood, Serviceberry or Amelanchier, and Eastern Redbud are native and desirable plantings, but they cannot be counted as replacement trees because they do not contribute to the canopy.

D17. Windows, dormers, & doors: Door and window replacements are acceptable, as long as the replacements are compatible with the architectural style of the house. Replacement windows with true or simulated divided lights are acceptable, but removable ('snap-in') muntins are not permitted on front-facing windows of contributing houses. Front-facing dormer additions to third floors are permitted on non-contributing houses and on contributing houses, if such additions do not involve raising the main roof ridge line (as specified in D5) and if the addition is compatible in scale, proportion, and architectural style of the original house.

According to the *Guidelines*, the three levels of review are as follows:

Limited scrutiny is the least rigorous level of review. With this level, the scope or criteria used in the review of applications for work permits is more limited and emphasizes the overall structure rather than materials and architectural details. The decision-making body should base its review on maintaining compatibility with the design, texture, scale, spacing and placement of surrounding houses and the impact of the proposed change on the streetscape.

Moderate scrutiny is a higher level of review than limited scrutiny and adds consideration of the preservation of the property to the requirements of limited scrutiny. Alterations should be designed so the altered structure does not detract from the fabric of Greenwich Forest while affording homeowners reasonable flexibility. Use of compatible new materials or materials that replicate the original, rather than original building materials, should be permitted. Planned changes should be compatible with the structure's existing architectural designs.

Strict scrutiny is the highest level of review. It adds consideration of the integrity and preservation of significant architectural or landscape features and details to the requirements of the limited and moderate scrutiny levels. Changes may be permitted if, after careful review, they do not significantly compromise the original features of the structure or landscape.

Sec. 24A-8. Same-Criteria for issuance.

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59.*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Standards 2, 9, and 10 most directly apply to the application before the commission:

- #2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

#9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

#10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story, side-gable house constructed out of painted brick and stone. On the right side of the house, there is a one-story side gable enclosed porch. The historic attached rear-loading two-car garage, located on the left side of the house, was enclosed and captured as interior space before the district was established. Like many of the houses on corner lots in Greenwich Forest, the subject property is oriented towards the intersection, not parallel to either street, so there is frontage along both Hampden Lane and York Lane. York Lane deadends at the subject property and the district boundary aligns with the rear property line. Recently, the applicants received a HAWP to replace the non-historic siding enclosing the right-side porch and replace sections of historic and non-historic roofing. The applicant proposes to construct an accessory structure/two-car garage with space for two cars and additional workshop space on the second floor.

The proposed structure measures 24' × 36' (twenty-four feet wide by thirty-six feet long), and the gable roof ridge is 19' 8" (nineteen feet, eight inches) tall with a long, shed dormer on the rear elevation. The structure will be placed in the southeast corner of the lot, to take advantage of the existing curb cut and off-street parking pad. To reduce the visual impact the proposed structure will have on the surrounding district, the applicant proposes to plant a vegetative screening on the north side of the building – note: the Greenwich Forest Historic District is unique in that it allows the HPC to consider vegetative screening in evaluating HAWP applications.

Materials for the proposed building include brick siding with a stone foundation, and slate roof. The siding for the shed dormer only notes “siding”, and its roof will be copper, presumably because the slope is too low for a slate or asphalt shingle. Staff finds the materials are appropriate for the district under A2, however, because the shed dormer roof is not at all visible from the right-of-way, Staff finds a membrane roof would be acceptable. At the Preliminary Consultation, the HPC concurred with Staff’s finding that the proposed materials were consistent with the *Design Guidelines* and 24A.

Greenwich Forest was developed as the first auto-dependent suburban development in Montgomery County. All of the houses were constructed with attached garages that were specifically oriented so that the garage doors did not face the public right-of-way. Over the years, the garages have been enclosed, modified, and reoriented throughout the district. This was likely done because the garage was pre-existing enclosed space within the house envelope.² Later, detached garages were constructed at several properties, some of which have been reviewed and approved by the HPC.³ The character of the district had changed to such a significant degree that the Design Guidelines address the size of potential accessory structures. The *Design Guidelines* are generally silent on other considerations for garages and accessory structures (i.e. massing, placement, materials, etc.). Much of the analysis that follows is reliant on considerations of both 24A and the Secretary of the Interior’s Standards for Rehabilitation.

² The garage at the subject property was enclosed before the district was established. Based on permitting records, this likely occurred in 1993.

³ Approved garages include [8012 Westover Rd.](#) and 7828 Hampden Ln. (These reports have not yet been digitized).



Figure 2: 1963 Sanborn Fire Insurance Map showing the subject property at 8000 Hampden Lane outlined in red.

For additional consideration and in addition to any other required building or zoning ordinance compliance, the *Guidelines* state that, “Greenwich Forest’s singular physical character is a neighborhood well known for its extraordinary landscape, finely designed and sited houses, and overall beauty. It is a planned environment that has retained its character from its original conception in the 1920s and for more than seventy years since the initiation of its development.”

Building Placement

The applicants proposed to construct the building addition in the southeast corner of the subject property. The southeast corner is where the existing curb cut and parking pad are (it was also the location where the historic driveway accessed the, now, enclosed historic garage). The front of the proposed garage will be setback 15’ (fifteen feet) from York Lane. The building will be setback 17’ (seventeen feet) from the rear property line.⁴ This placement means the eastern wall of the garage is 11’ 8” (eleven feet, eight inches) from the closest corner of the house.

Staff finds that constructing a garage accessible from York Lane is the preferred location for an accessory structure, if a compatible one is to be approved. It can take advantage of the existing curb cut and places the mass away from the right-of-way. Because of the building’s size, the building will not be permitted any closer to the rear property line (discussion of the building size continues in the next section). At the Preliminary Consultation, two of the Commissioners found the placement and orientation of the garage did not relate back to the historic building.

In the Staff Report for the Preliminary Consultation, Staff found the previous proposal crowded the historic house for several reasons, primarily because it was too close to the house and because the roof form placed so much of the mass immediately adjacent to the house. Staff additionally found that the garage projected too close to the street to maintain the character of the streetscape and surrounding district. The majority of the HPC agreed with these findings. Because the revised footprint was reduced

⁴ The typical building restriction at the rear property line is 5’ (five feet). The applicants state that the building needs to be placed an additional 12’ (twelve feet) from the rear property line to comply with the zoning requirements because of the building’s 36’ (thirty-six foot) depth.

from 36' (thirty-six feet) to 34' (thirty-four feet), the structure can be placed 2' (two feet) closer to the property boundary and is therefore 2' (two feet) further from the house. The building's mass (discussed below) was also revised to place more of the mass away from the house. The garage is still only set back from York Lane by 15' (fifteen feet) and projects beyond the house's left side wall plane. Even though the building length was shortened, and the overall size of the structure was reduced, the applicant did not move the house further from the right-of-way into the property. Instead, the additional space created by the smaller garage is retained in the subject property's backyard.



Figure 3: The January 2023 submission (left) and the revised design (right).

To reduce the structure's impact from the right of way, the applicants propose to plant evergreens between Hampden Ln. and the proposed structure. The Greenwich Forest *Design Guidelines* allow the HPC to consider the use of plantings to mitigate the visual impact of new construction in the district. Staff finds the revised design is a de minimis reduction in size that does little to reduce the visual impact the proposed garage will have on the historic, Contributing, resource. By crowding the house, the proposed structure contravenes 24A8(b)(1) and (2) and Standards 2 and 9.

Building Size

The proposed accessory structure's footprint measures 38' × 24' (thirty-eight feet by twenty-four feet), 846 ft² (eight hundred forty-six square feet), and is 19' 8" (nineteen feet, eight inches) tall. The proposed structure will cover 4.68% of the lot, which is less than the maximum allowed under the *Design Guidelines*. The garage ridge will be lower than the two closest house gables. The rear-facing gable closest to the garage is 23' (twenty-three feet) tall and the adjacent side gable is approximately 25' (twenty-five feet) tall.

Staff finds that building footprint is only one way of measuring and analyzing proposed construction. It is significant in Greenwich Forest because the *Design Guidelines* place a limit of 7% lot coverage for accessory structures. What Staff finds to be more significant is how much of the structure is visible from the public right-of-way and how that visibility impacts the character of the site and surrounding district. When viewed from directly to the northwest, the house will obscure most of the garage; but when viewed

from the north and east, the garage will be highly visible. Staff finds that the proposed structure's footprint is approximately 30% of the existing historic house's footprint and is not compatible with the scale and proportion of the historic house, as required by Standard 9.

Building Massing

At the Preliminary Consultation hearing, Staff's raised its concern that the accessory structure would crowd the historic house and detract from the surrounding streetscape both because of its proximity to the historic house and because of its roof form. A majority of the HPC concurred with Staff's position. The proximity of the garage was compounded by the massing of the cross-gable roof that created a nearly 20' (twenty foot) vertical wall plane 9' (nine feet) from the historic house.



Figure 4: The design presented at the January 25, 2023 Preliminary Consultation.

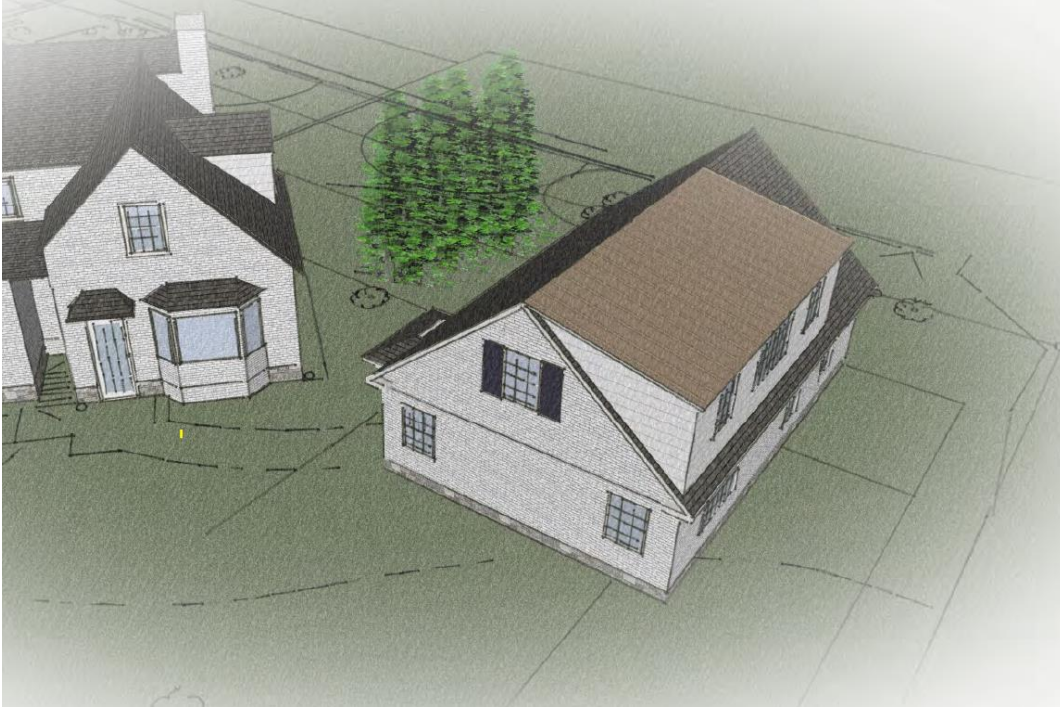


Figure 53: Revised design under consideration for this HAWP.

The revised design moves the garage so it is now 11' 8" (eleven feet, eight inches) from the house. Additionally, the reconfigured roof plan means the adjacent roof eave is only 8' (eight feet, plus the foundation height) above grade before the roof slopes away from the house. The revised design includes a 25' 2" (twenty-five foot, two inch) wide shed dormer on the side roof slope. This places the mass toward the rear of the lot, though it is very visible from the right of way.

Staff finds that the design revisions have reduced the proposed accessory structure's perceived and actual mass, however, Staff still finds the structure's massing overwhelms the historic house character and surrounding district as required by Standards 2 and 9.

Staff Additional Findings

Staff finds the revisions to the accessory structure are in keeping with the HPC's feedback from the January 2023 Preliminary Consultation, but do not go far enough to satisfy the requisite guidance. Staff finds reconfiguring the roof allows the proposed building to look less massive when viewed from inside the historic district, however, the building is still 36' (thirty-six feet) long and projects well beyond the side wall plane into the side yard. Staff identified four examples of other garages the HPC approved in the Greenwich Forest Historic District, see below (four garages were approved, but one of the approvals was a revision to a previously approved HAWP). All of these structures have smaller footprints and were placed to the rear of the historic houses. The largest of the approved garages, at 7828 Hampden Ln. is 27' × 22' 8" (twenty-seven feet deep by twenty-two feet, eight inches wide), had its size mitigated by being placed partially behind the house, and setback 125' (one hundred twenty-five feet) from the public right-of-way. The one-car garage approved at 8012 Westover Rd. measures 21' × 14' (twenty-one feet deep by fourteen feet wide) and is placed entirely behind the house. The HPC approved two garages at 7823 Overhill Rd. The first was 22' × 24' (twenty-two feet wide by twenty-four feet deep) and the second – and currently under construction – garage measures 16' × 24' (sixteen feet wide by twenty-four feet deep). While the garage at 7823 Overhill will be visible from the right-of-way, it is entirely behind the house and more than 120' (one hundred twenty feet) from the street.

Address	Width	Depth	Area	Distance from Street	Lot Coverage %
7828 Hampden Ln. (Approved, 2016)	22' 8"	27'	614 ft ²	125'	6.5%
8012 Westover (Approved, 2021)	14'	21'	294 ft ²	100'	2.6%
7823 Overhill Rd. (Approved, 2021)	22'	24'	528 ft ²	120'	4.4%
7823 Overhill Rd. (Revised and Approved, 2022)	16'	24'	384 ft ²	120'	3.2%
8000 Hampden Ln. (proposed)	24'	36'	864 ft ²	15'	4.88%

Staff finds the proposed garage is out of size, scale, and mass with the subject property and the character of the surrounding historic district and violates 24A-8(b)(1) and (2); and Standards 2 and 9. Therefore, Staff recommends the HPC deny the HAWP as prescribed in 24A-8(a).



Figure 4: View of 8000 Hampden Lane from the northeast.

STAFF RECOMMENDATION

Staff recommends the HPC **deny** the HAWP application under the Criteria for Issuance in Chapter

24A-8(a), having found the proposal would be inappropriate, inconsistent with, and detrimental to the preservation, enhancement, and ultimate protection of the historic resource and is incompatible in character with the historic resource and the purpose of Chapter 24A;

And with the Secretary of the Interior's Standards for Rehabilitation 2 and 9.

For Staff only:



HAWP# _____ Date assigned _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Adam Sherwat & Chuen-Yen Lau

E-mail: adamsherwat@yahoo.com

Address: 8000 Hampden Lane

City: Bethesda

Zip: 20814_

Tax Account No.: 00497536

Daytime Phone: 202-669-4898

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____

Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property: M:35-165

Is the Property Located within an Historic District? X Yes/District Name: Greenwich Forest
____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application. NO

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information. NO. However, please note that recording of a minor subdivision comprised of Lot 1, Block L, Greenwich Forest + Part of Lot 15, Block 12, English Village, Bradley Hills + Part of Lot 16, Block 12, English Village, Bradley Hills is in progress. The "Subdivision Record Plat Application" was submitted to Montgomery County on approximately 11/3/2022. The total area of the newly recorded parcel will be 18,471 square feet.

Building Number: 8000

Street: Hampden Lane

Town/City: Bethesda

Nearest Cross Street: York Lane

Lot: 1

Block: L

Subdivision: Greenwich Forest

Parcel: Unknown

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not

be accepted for review. Check all that apply:

New Construction XX

Deck/Porch

Shed/Garage/Accessory Structure XX

Solar

Addition Fence

Tree removal/planting

Demolition

Hardscape/Landscape

Window/Door

Grading/Excavation

Roof

Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <div style="border: 1px solid black; padding: 5px;"> <p>Adam Sherwat and Chuen-Yen Lau 8000 Hampden Bethesda, MD, 20814</p> </div>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<div style="border: 1px solid black; padding: 5px;"> <p>Bob and Debbie Bruskin 5619 York Lane Bethesda, MD 20814</p> </div>	<div style="border: 1px solid black; padding: 5px;"> <p>Belinda Lai and Steve Cowan 8004 Hampden Lane Bethesda, MD 20814</p> </div>
<div style="border: 1px solid black; padding: 5px;"> <p>Bruce Sidner and Nancy Butte 7836 Hampden Lane Bethesda, MD 20814</p> </div>	<p>8009 Hampden Lane Bethesda, MD 20814 7835 Hampden Lane Bethesda, MD 20814</p>
<p>8007 Aberdeen Road Bethesda MD 20814 8001 Aberdeen Road Bethesda, MD 20814 7837 Aberdeen Road Bethesda, MD 20814</p>	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

1938 Colonial Revival-style single family home, stone on front face, white brick on main house, siding on 1988 addition, slate roof. Two stories with partial basement. Has dormers on front and side. Two brick chimneys. Inside with wood floors, 3 fireplaces (2 marble and 1 stone), 4 bedrooms. Bifurcating stairwell to upstairs bedrooms. Outside has garden landscaping and slate and brick walkways.

Description of Work Proposed: Construction of an accessory structure consisting of a detached garage with a workshop. Please refer to the addendum titled "Accessory Structure Justification" describing the proposal in detail.

Work Item 1: Detached Garage/Workshop

Description of Current Condition:
No detached garage/workshop

Proposed Work: Construction of an accessory structure consisting of a detached garage with a workshop. Please refer to the addendum titled "Accessory Structure Justification" describing the proposal in detail.

Work Item 2:

Description of Current Condition:

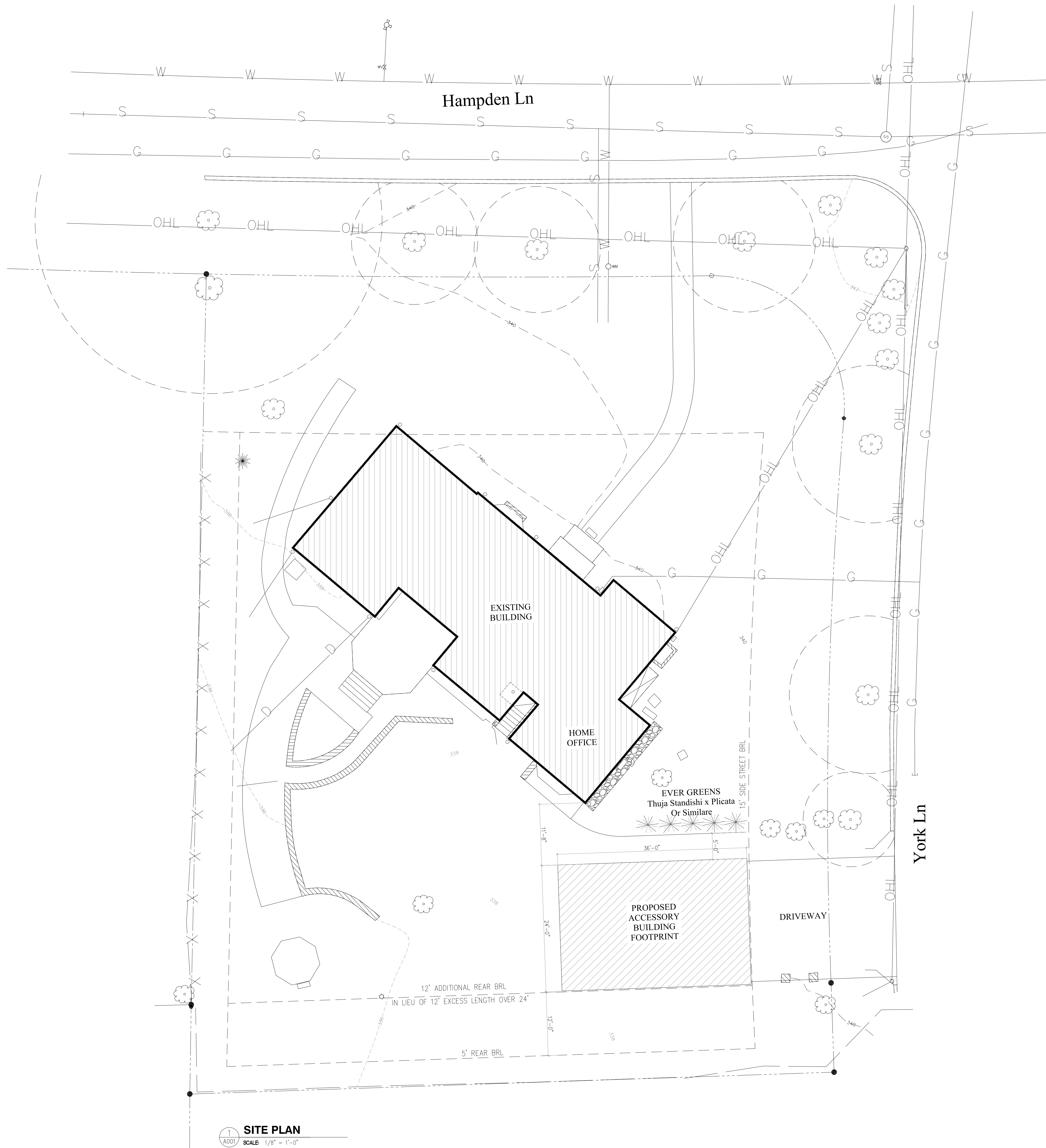
Proposed Work:

Work Item 3:

Description of Current Condition:	Proposed Work:
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**HISTORIC AREA WORK PERMIT CHECKLIST
OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



1 SITE PLAN
A001 SCALE: 1/8" = 1'-0"

Revised Option

- 1- Shortened building (2'-0"), results moving the building 2' closer to the rear property line.
- 2- Reduced mass by Eliminating the rear cross gable and utilizing a shed dormer on the rear roof slope of the accessory structure.

Professional Certification:
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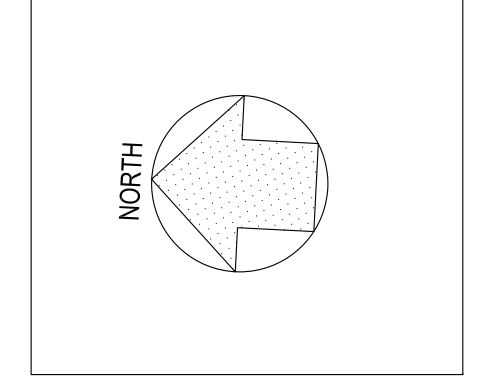
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(202) 860-7050

ACCESSORY STRUCTURE
LAU & SHERWAT
RESIDENCE
8000 HAMPDEN LN
BETHESDA, MD. 20814

CONCEPT SITE PLAN

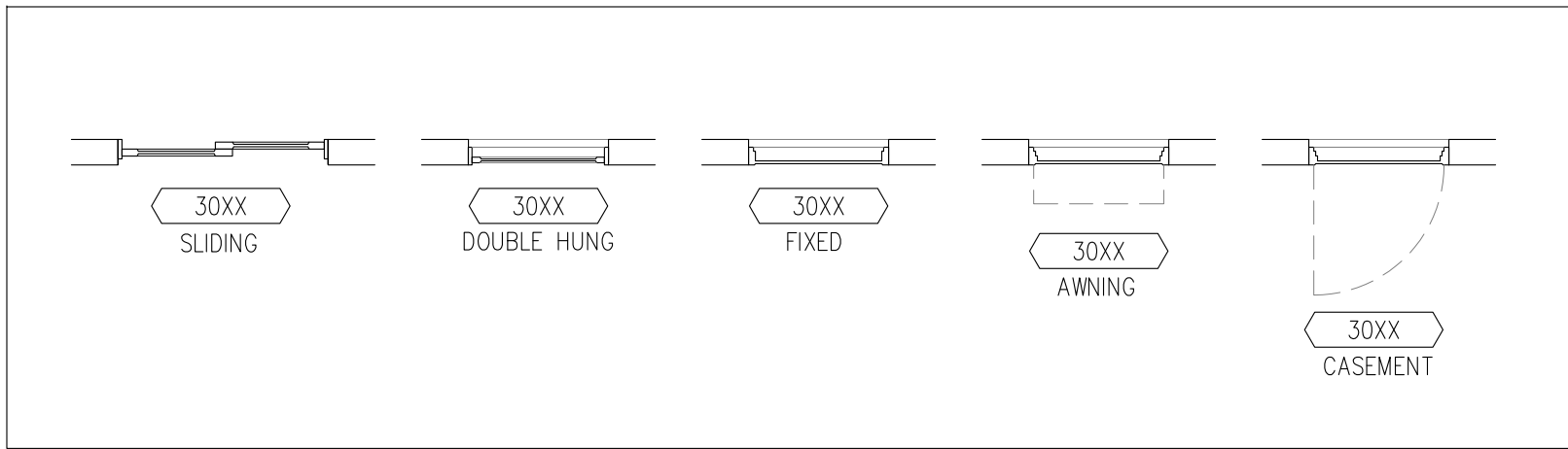


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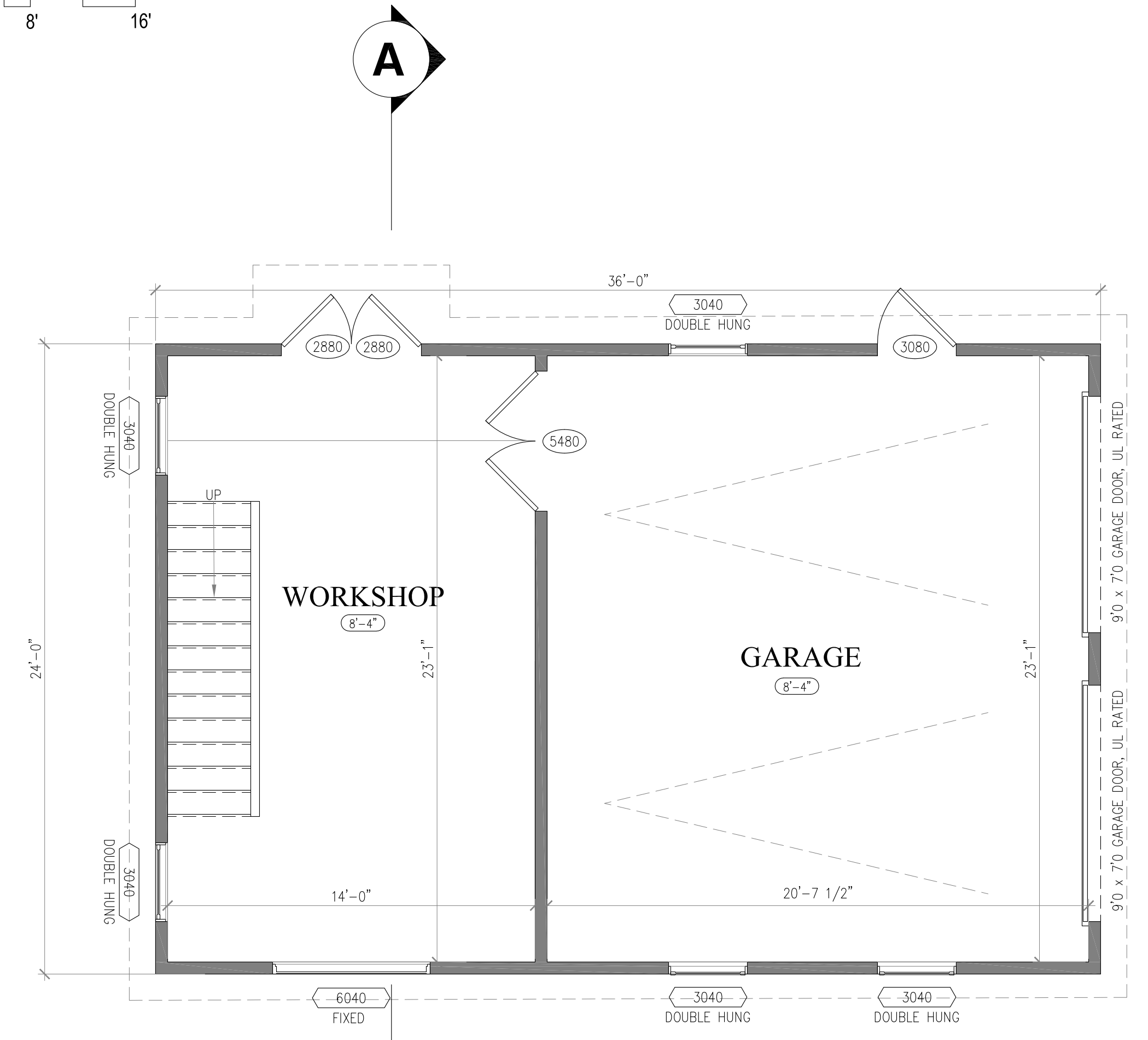
DATE:
03/24/2023

REVISIONS

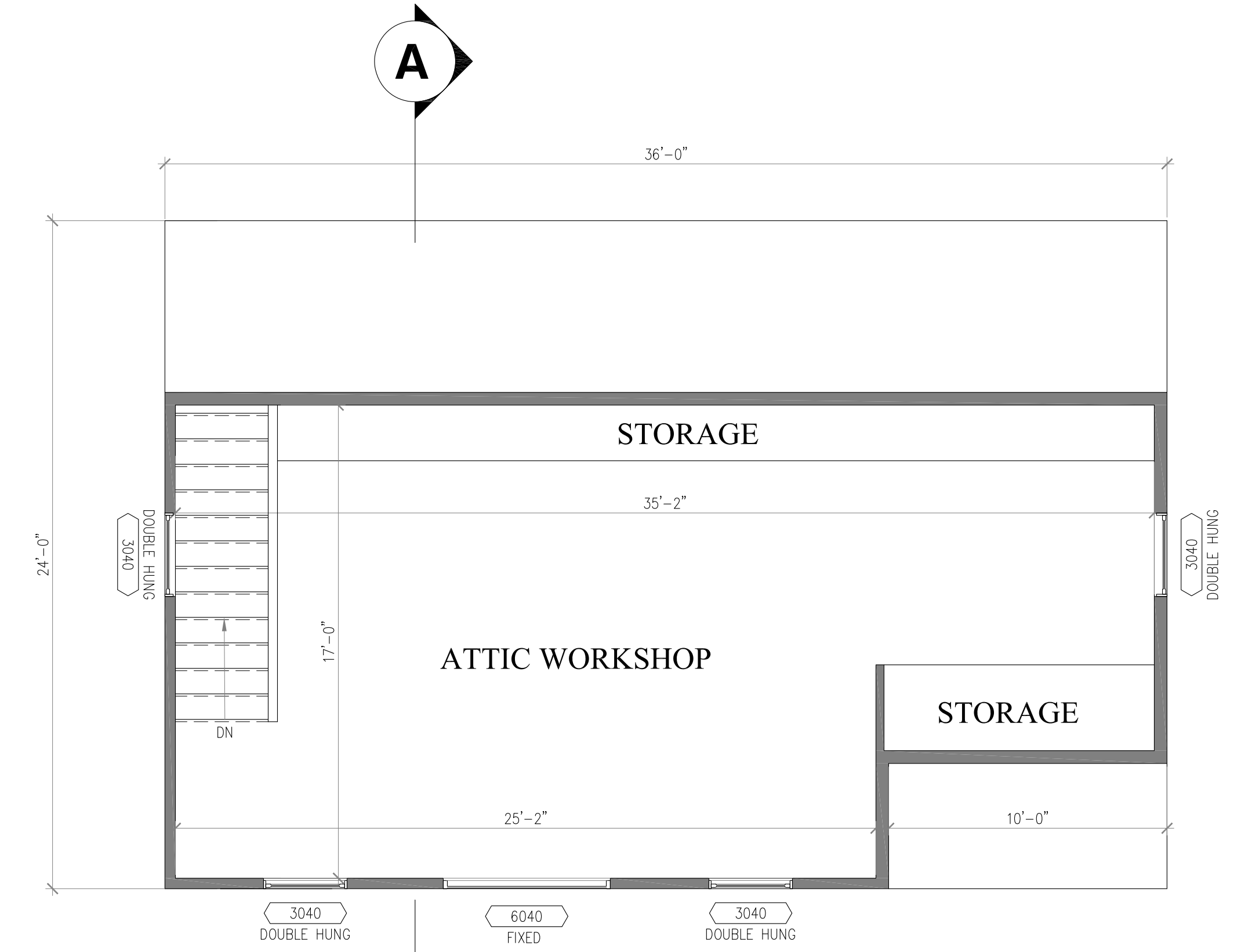
A001



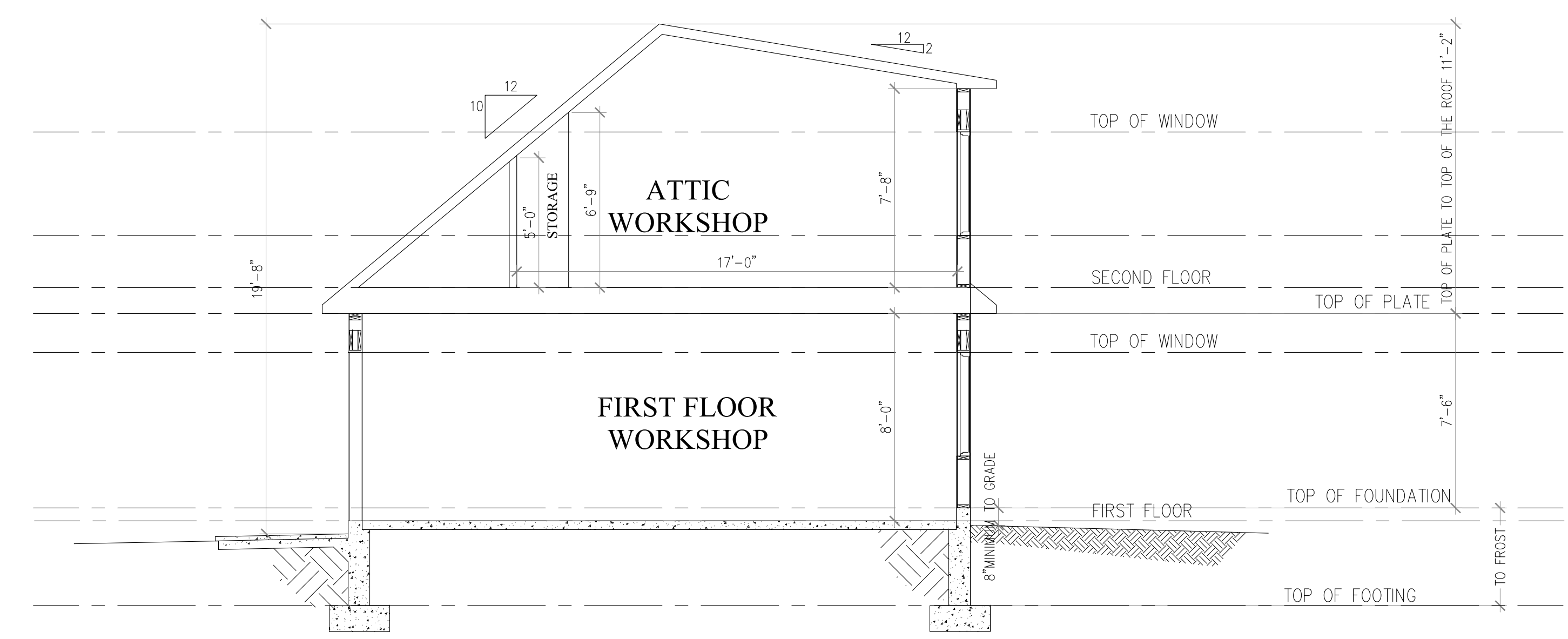
WINDOW GRAPHICS
SCALE: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN (ATTIC)
SCALE: 1/4" = 1'-0"



3 SECTION A-A
SCALE: 1/4" = 1'-0"

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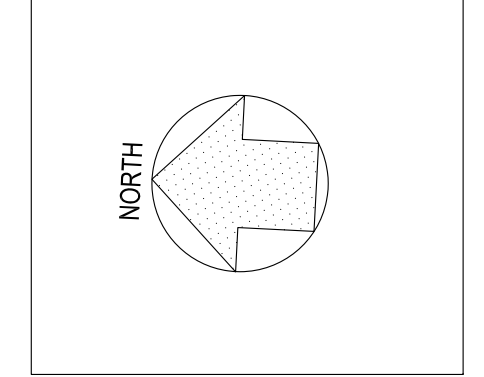
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FLOOR PLANS AND SECTION



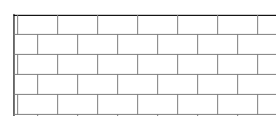
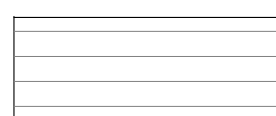

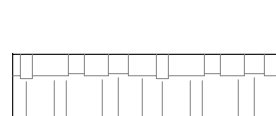

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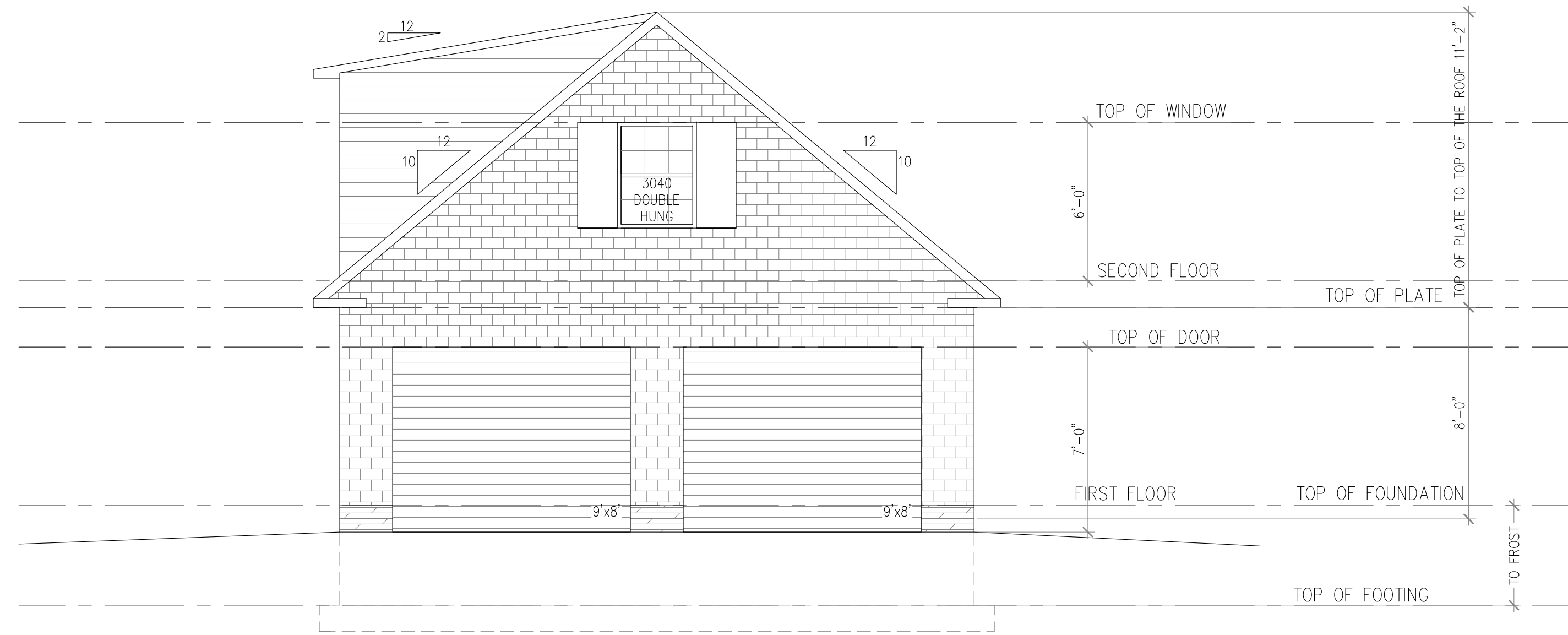
DATE:
03/24/2023

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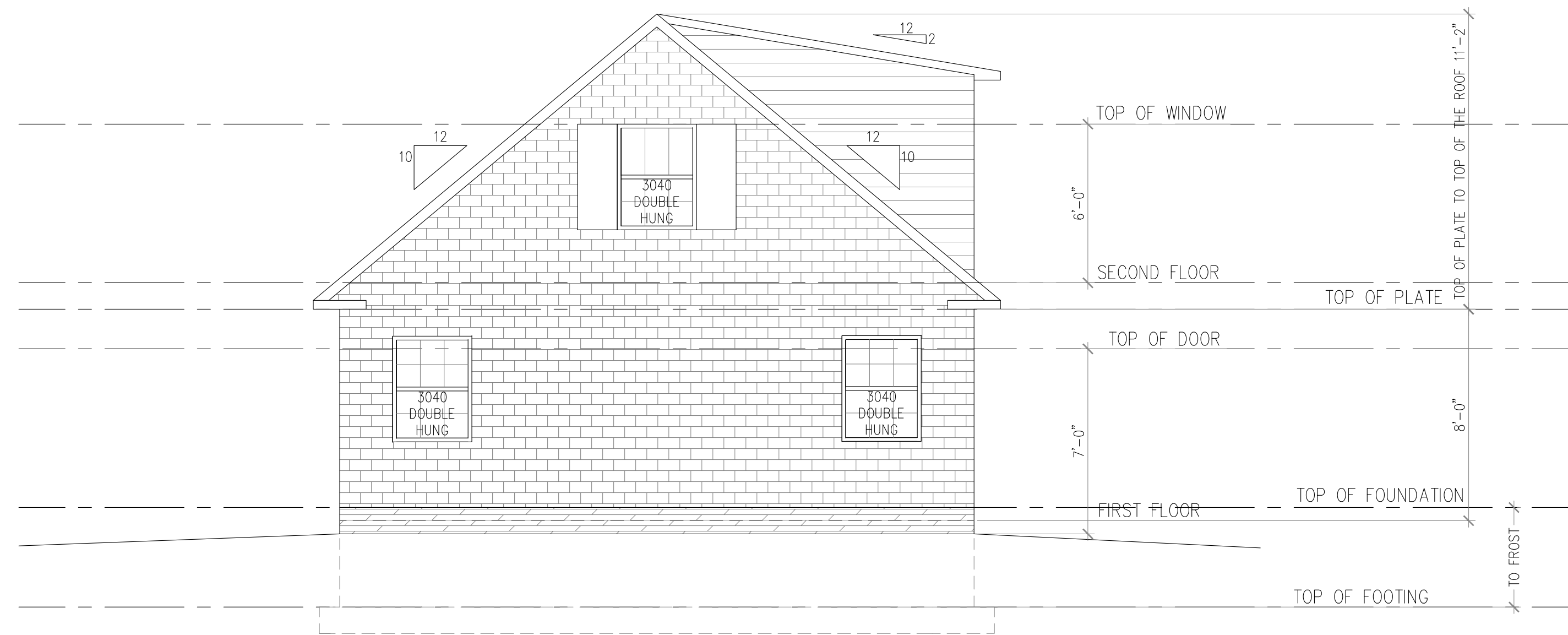
A002

FINISHES LEGEND:

- BRICK 
- SIDING 
- COPPER 
- SLATE 
- STONE 



1
A003 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



3
A003 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



2
A003 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4
A003 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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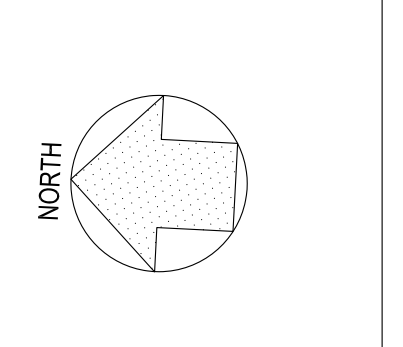
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ACCESSORY STRUCTURE
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ELEVATIONS

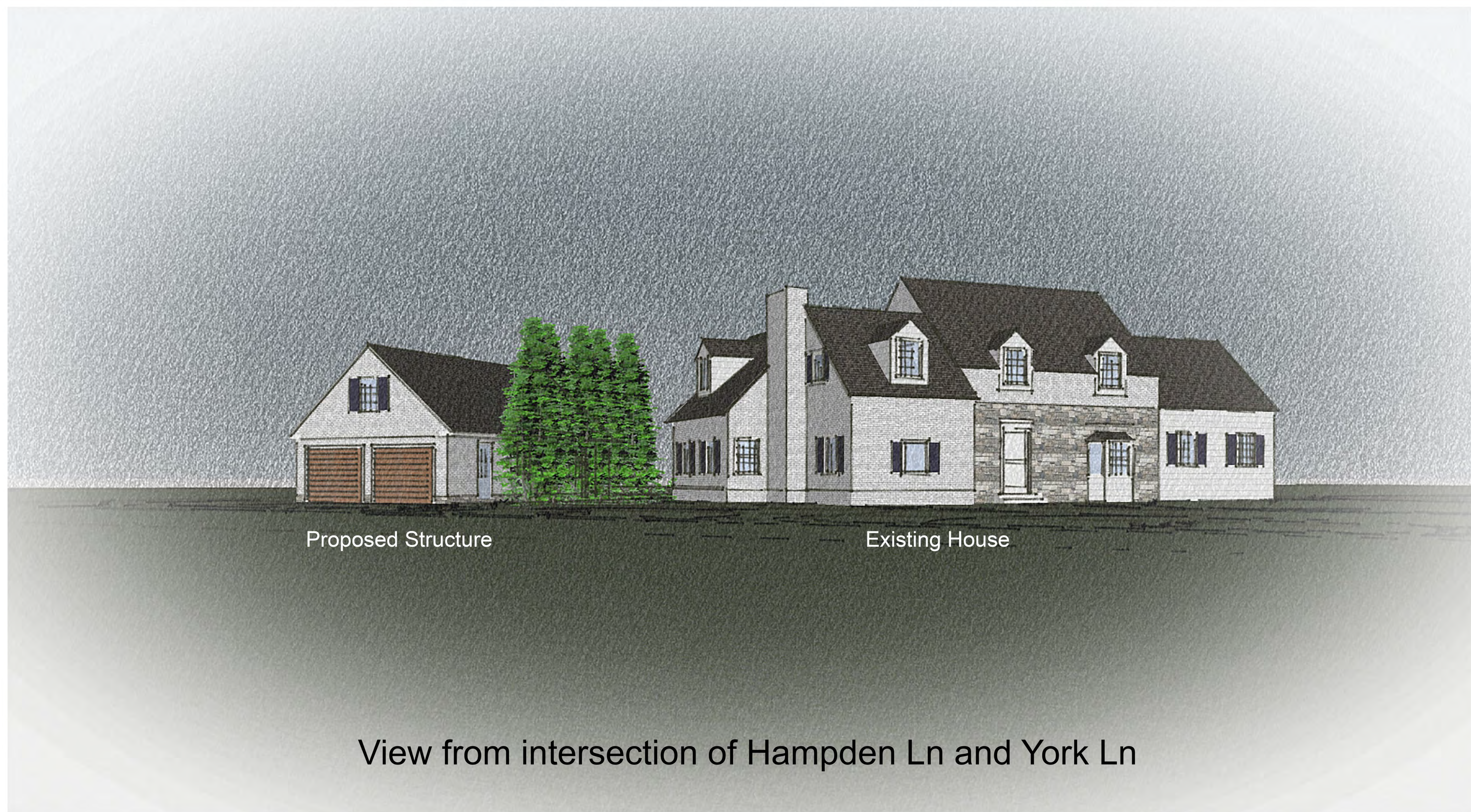


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REVISIONS

A003



Proposed Structure

Existing House

View from intersection of Hampden Ln and York Ln



View from Hampden Ln looking at the existing house

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3D SKETCH

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M.T

DATE:
03/24/2023

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DESIGN DEVELOPMENT
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A000

Dear Historic Preservation Committee (HPC) Members:

We propose building a single accessory structure consisting of a 2-car garage and workshop at 8000 Hampden Lane, Bethesda, MD 20814. The original 1 car garage was converted to living space by prior owners. We would like space to park 2 cars and to house tools which we use to maintain the historic home. The proposed design of the accessory structure addresses the relevant principles delineated in the *Greenwich Forest Historic District, Bureau of Animal Industry Building, Higgins Family Cemetery Amendment to the Master Plan for Historic Preservation, 2011* and current Montgomery County building requirements.

Prior to formally submitting this Historic Area Work Permit (HAWP), we requested a preliminary consultation with the HPC. The preliminary consultation meeting took place on January 25, 2023. The Commissioners found that the design and materials of the proposed structure were in keeping with the character of the house and the historic district (please see Principles A2, A3, and D4 below). The Commissioners also found that the position of the proposed structure with respect to its proximity to York Lane was acceptable, particularly as York Lane ends at our rear property line and the rear property line abuts a non-historic district. This location also minimizes the addition of new impermeable hardscaping and conserves green space consistent with the Greenwich Forest Historic District's principles (please see Principles A1 and D8 below). The HPC did provide specific recommendations with respect to reducing the mass and/or footprint of the structure. We have carefully considered the HPC's recommendations and have made the following substantive revisions to our initial design to address these recommendations:

1. The rear cross gable was eliminated, and the shed dormer was relocated to the rear roof slope of the accessory structure. As the HPC suggested, this revision simplifies the visible mass and relocates a significant portion of the roof mass to a location not visible from the house or the surrounding district. As the Commissioners noted, the neighborhood immediately behind 8000 Hampden Lane is not a historic district.
2. The length of the accessory structure was reduced by 2 feet. This allowed us to move the accessory structure 2 feet closer to the property line and away from the house. It also further decreased the mass of the structure.

The following information is provided in response to an HPC query generated during the preliminary consultation: The height of the side facing gable, on the left side (York Lane side) is approximately 23 feet and the height of the rear facing gable is approximately 25 feet.

As additional background, the following is a list of relevant principles from the *Greenwich Forest Historic District, Bureau of Animal Industry Building, Higgins Family Cemetery Amendment to the Master Plan for Historic Preservation, 2011* and how we have addressed them:

Principle A1: Greenwich Forest was conceived of, built, and to a great degree preserved as a park-like canopied forest ... The creation of extensive new impermeable hardscape surfaces should be avoided whenever possible.

- The accessory structure will be located as close to the side street as possible per county guidelines to limit hardscaping and preserve green space.

Principle A2: The houses in Greenwich Forest create an integrated fabric well-suited to its forest setting...Approved work permits include appropriate safeguards that protect the...essential elements of this fabric, including (c) high quality building materials and high level of craftsmanship.

- Brick walls on all sides, and siding on dormers will be used for consistency with the original home
- Slate and copper will be used for the roof, consistent with the original home

Principle A3: The neighborhood needs to evolve to meet the needs of its residents while maintaining the charm and architectural integrity that have been maintained since the 1930s. Introducing new architectural styles that are not already present in the neighborhood will detract from its integrated fabric.

- The accessory structure will be in the same style as original home – Colonial Revival

Principle B3: These Guidelines reflect the reality that nearly all houses in Greenwich Forest have been modified since their construction...The modifications they are permitted to make under these Guidelines are based on the current reality in the neighborhood, provided that those modifications are consistent with the Principles in these Guidelines.

- Based on our assessment, of 63 contributing homes in Greenwich Forest, 26 (41.3%) have garages visible from the street. (This number includes the approved garage for 7823 Overhill, currently under construction.) 7 of the 26 garages are original and 19 have been added. 6 of the 7 original garages have doors visible from the street. 14 are attached; 12 are detached. 8 are 1-car garages and 18 are 2-car garages. Several of the garage structures have attached living space. Garage doors are visible from the road on 24 of the 26 structures. Of the 19 added garages, 5 (two 1-car and three 2-car garages) were added after Greenwich Forest became historic.
- Adding an accessory structure with a 2-car garage at 8000 Hampden Lane would be consistent with the neighborhood.

Principle B4: Property owners have additional flexibility under these Guidelines to make more extensive changes to the parts of their houses that are less visible from the public rights-of-way in front of their houses.

- The accessory structure will be mostly obscured by the original house. The visible portion will be obscured by plantings (bushes/trees).

Principle D1: Changes to architectural style: Changes to the façades of contributing houses and additions are permitted if the new front elevation ... is suitable to and does not significantly alter the original outline, shape and scale of the original structure.

- The planned accessory structure will be detached and will not impact the original structure.

Principle D4: Additions to contributing and non-contributing houses are allowed...The style of an addition must be compatible and in keeping with the prevailing styles of that house...Additions to contributing houses must preserve as a recognizable entity the outline of the original house (not including subsequent additions). Side additions to contributing houses are allowed, but the limits of the original façade must be demarcated by stepping back the front plane of the addition and by a change in the addition's roofline.

- The accessory structure will be in the same Colonial Revival style as the original home. Similar materials will be used for the walls, shed dormer and roof.
- The façade of the original home will not be impacted by the detached accessory structure.
- Any visible portion of the accessory structure will be concealed by a wall of plantings.

Principle D5: Guidelines on dimensions: ...accessory buildings may not exceed 5% of the lot area. The area of an accessory building may be increased by 2%, to 7% of total lot coverage, if the lot coverage of the house and the accessory buildings added together does not exceed 30% of lot area...

- The total lot coverage of the planned accessory structure is 864 square feet, 4.68% of the total lot (18,471 square feet). This is below the standard allowable coverage of up to 5% of the lot area, and below the maximal allowable coverage of up to 7% [since the house (footprint ~2325 square feet) + accessory building would be <30% of total lot].

Principle D5 (continued): The elevation of the main or predominant ridgeline(s) of a contributing house as viewed from the front may not be increased...

- The ridgeline of the planned accessory structure is lower than that of the original house. It will be 19'8".

Principle D8. Driveways and parking areas: ...should minimize new hardscape areas and should not interrupt the setting visible from the public right-of-way.

- The accessory structure will be placed as close as possible to the original driveway to limit hardscaping and preserve as much of the existing green space as possible.

We have attached a power point with several pictures of garages in Greenwich Forest as examples.

We appreciated the HPC's helpful guidance at our preliminary consultation and appreciate your current review of our HAWP.

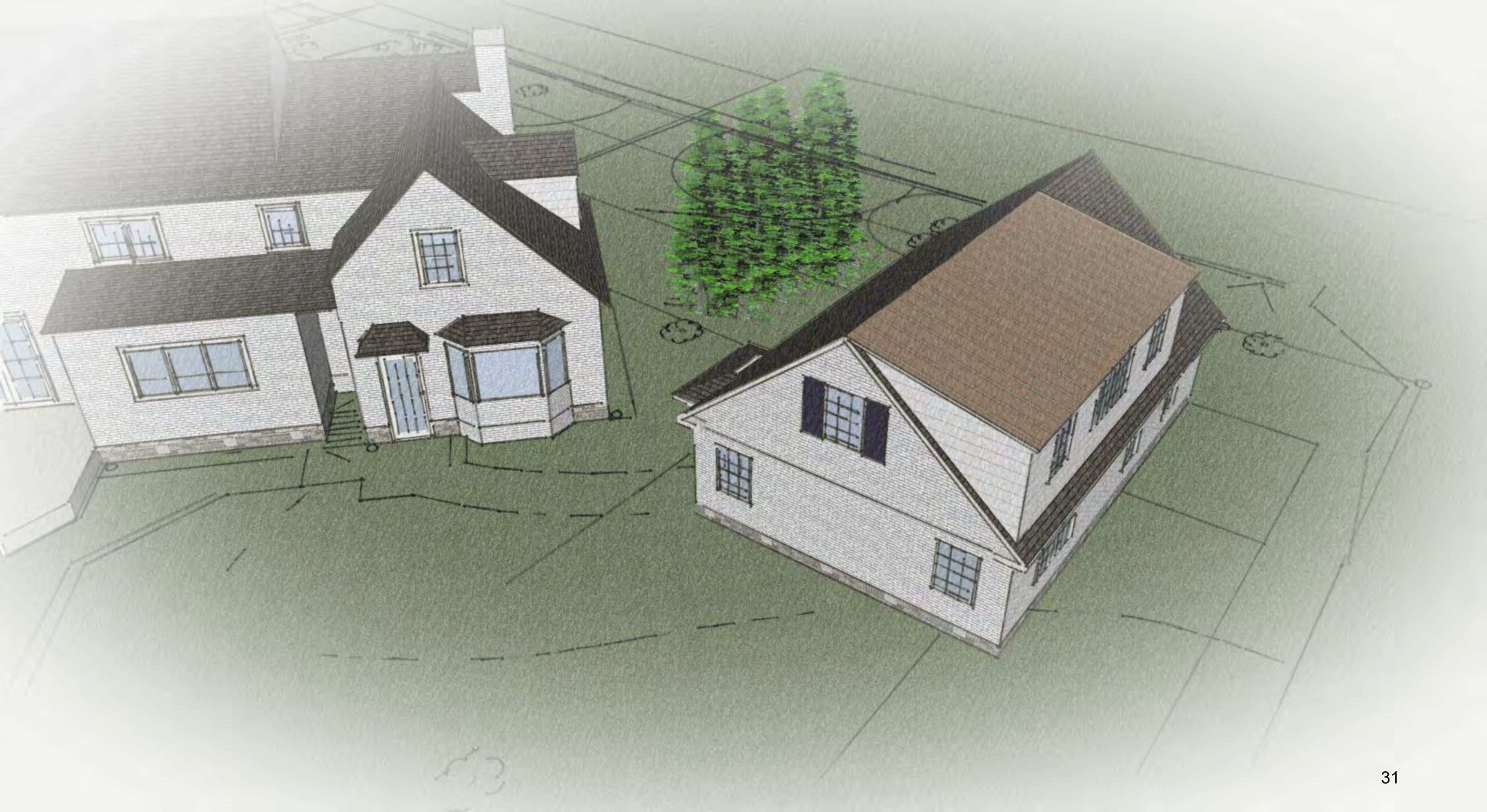
Sincerely,

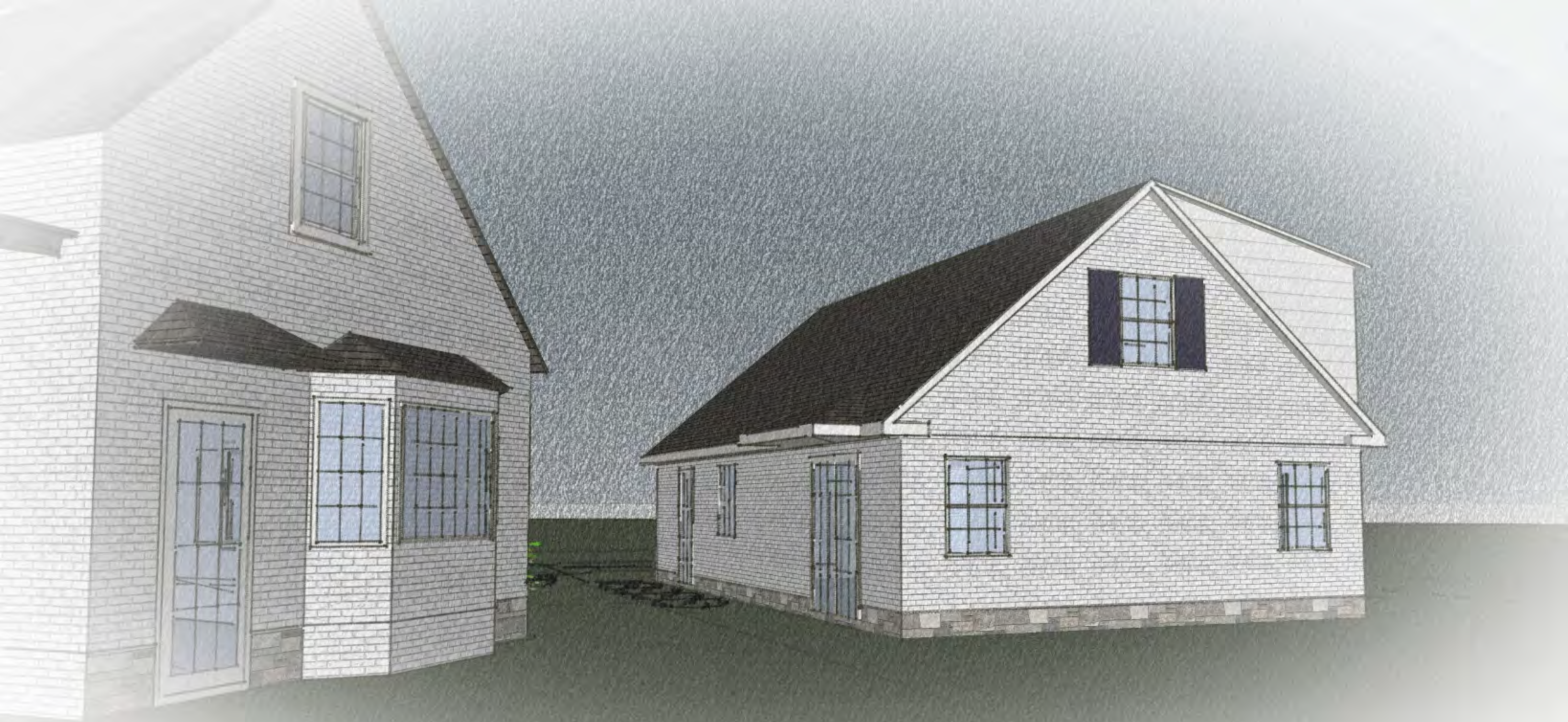
Chuen-Yen Lau and Adam Sherwat

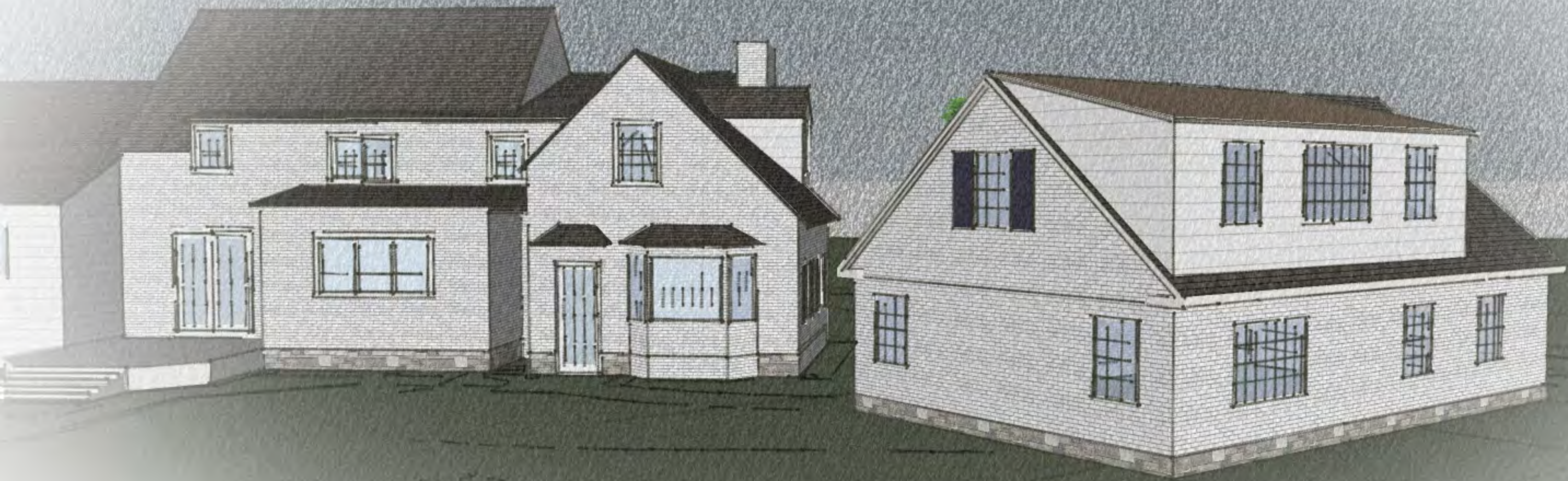


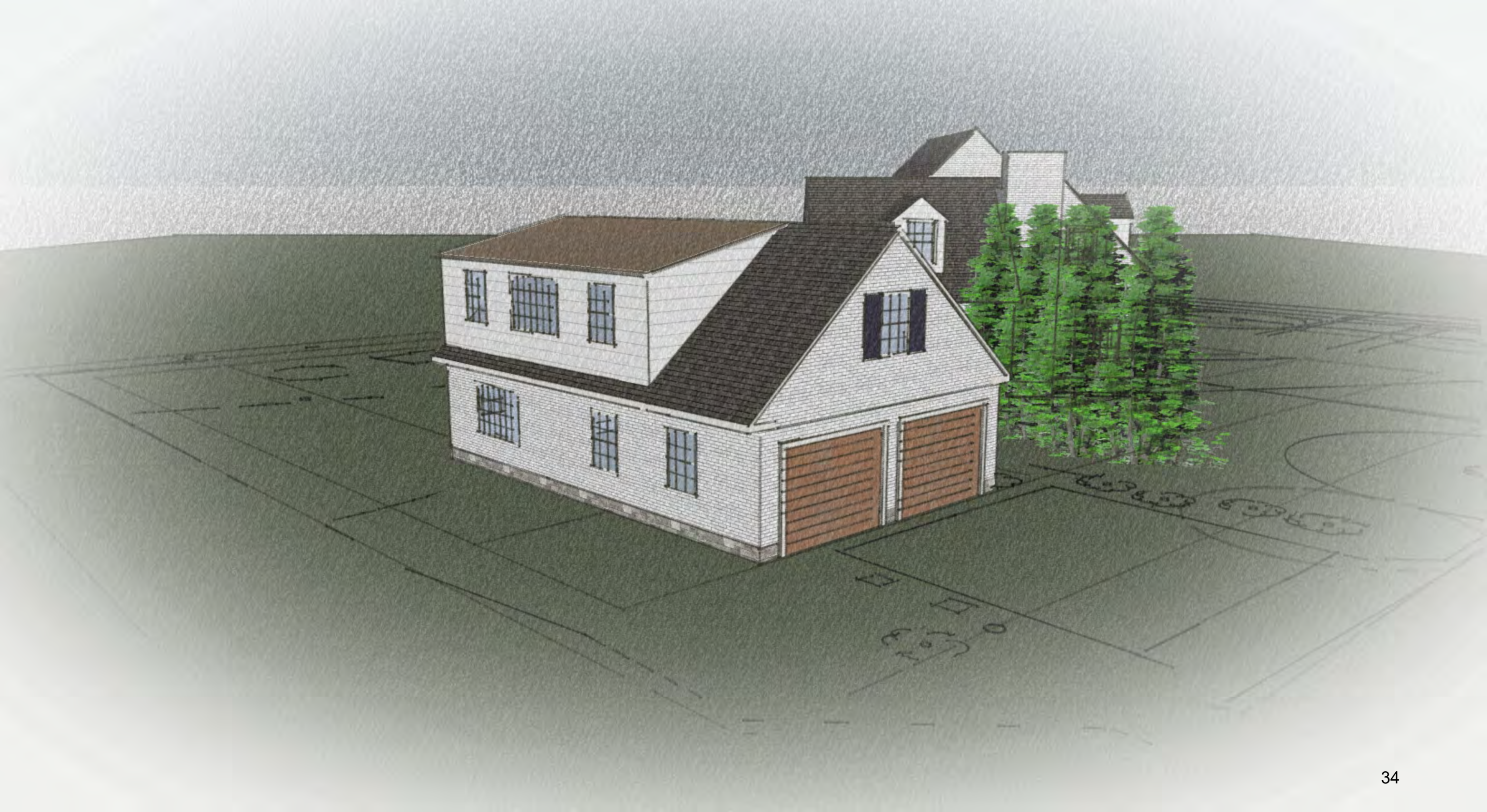


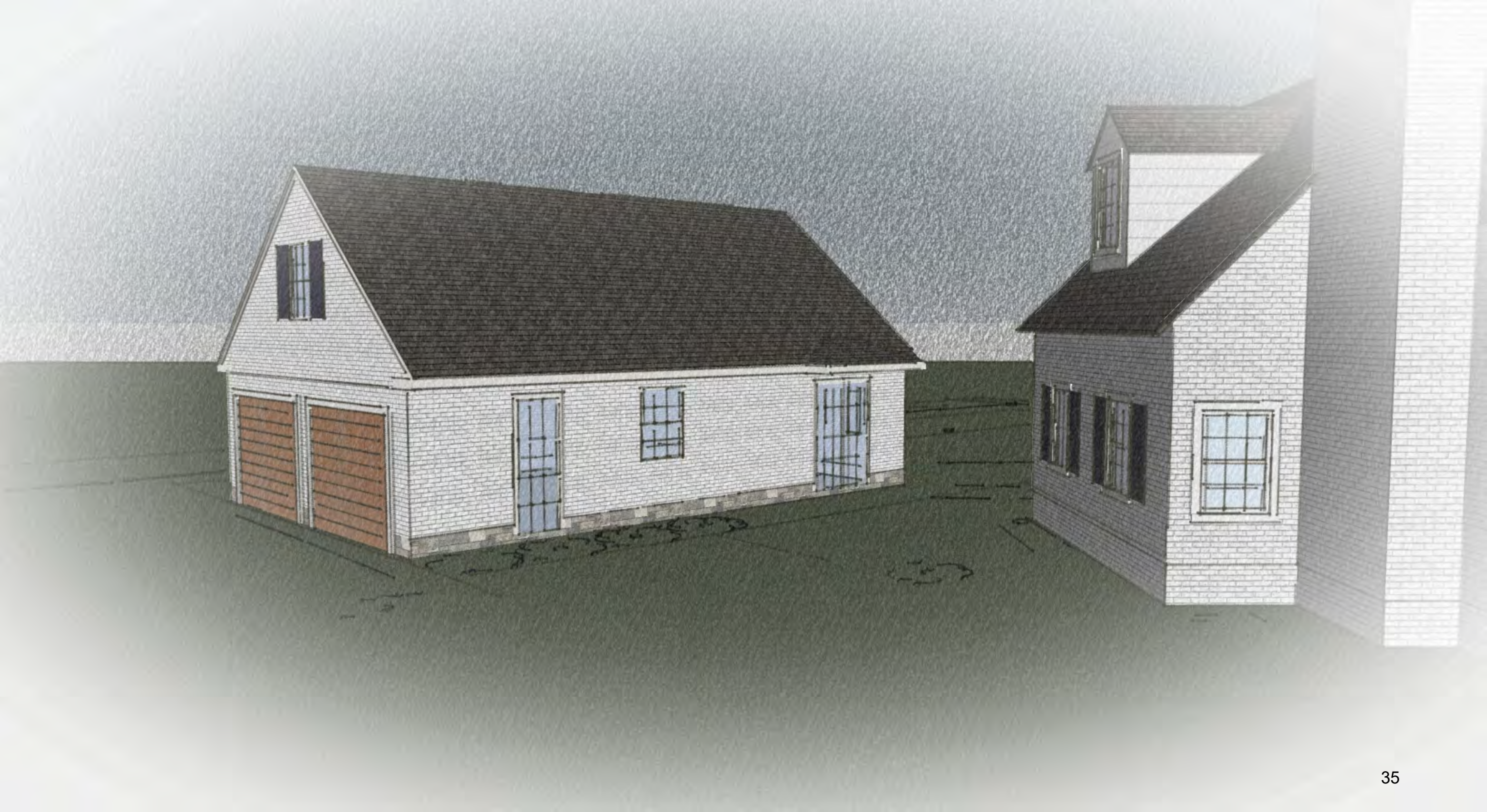












Examples of Contributing Greenwich Forest Homes with Garages Visible From Road

7817 Hampden

- 1st garage added after GF became historic in 2012
- 2 car garage with additional living space
- Visible from front of home
- Permit 703716 in 2015 was for 3093 square feet



7828 Hampden

- 2 car garage with additional living space
- Visible from front of home
- Permit 780673 in 2016 was for 1360 square feet



Backyard View showing roofline

7818 Hampden



Original Front-Facing 2 car garage

7800 Hampden



- Original side facing 2 car garage
- Visible from front elevation

5620 Lambeth



- Original 2 car garage
- Visible from front elevation
- Opens to back

7801 Hampden



5507 Wilson



Original 1 car garage
Opens to front of house

7818 Overhill



- Original 2 car garage
- Detached
- Doors on Front

5609 Midwood



2 car garage in original location
Door was relocated to front

7825 Overhill



7826 Overhill



7824 Overhill



2 car garage

5619 York



8000 Westover



2 car garage
Obscured with greenery

8004 Hampden



1 car garage in original position
Door relocated to front

7832 Hampden



7820 Hampden



2 car garage
Contributing home built 2007



Original Home

Summary

Address	Original	Added Before Historic*	Added After Historic (HAWP year)	1 or 2 car?	Garage Visible from Public Road	Doors Visible from Public Road	Attached
7821 Hampden	No	No	2015	1	yes	yes	no
7828 Hampden	No	No	2016	2	yes	yes	no
8013 Hampden	No	yes	no	1	yes	yes	no
8016 Hampden	No	yes	no	2	yes	yes	no
8020 Hampden	No	yes	no	2	yes	yes	no
7836 Hampden	No	yes	no	2	yes	yes	yes
7832 Hampden	No	yes	no	2	yes	yes	no
7820 Hampden	No	yes	no	2	yes	yes	yes
7818 Hampden	Yes	NA	NA	2	yes	yes	yes
7800 Hampden	Yes	NA	NA	2	yes	yes	yes
7801 Hampden	Yes	NA	NA	2	yes	yes	yes
7817 Hampden	No	no	2015	2	yes	yes	yes
8004 Hampden	No	Yes	no	1	yes	yes	yes
7823 Overhill	No	No	2021	2	yes	yes	no
7824 Overhill	No	yes	no	2	yes	yes	no
7825 Overhill	No	yes	no	2	yes	yes	no
8003 Overhill	No	yes	no	1	yes	no	no
7818 Overhill	Yes	NA	NA	2	yes	yes	no
7826 Overhill	No	yes	no	1	yes	yes	yes
8000 Overhill	Yes	NA	NA	1	yes	yes	yes
8000 Westover	No	yes	no	2	yes	yes	yes
8012 Westover	No	No	2021	1	yes	yes	no
5619 York	No	yes	no	2	yes	yes	yes
5620 Lambeth	Yes	NA	NA	2	yes	no	yes
5609 Midwood	No	yes	no	2	yes	yes	yes
5507 Wilson	yes	NA	NA	1	yes	yes	yes
Total n	26						
Total yes	7	14	5	1 car: 8	26	24	14
Total no	19	5	14	2 car: 18	0	2	12



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 4/28/2023

Application No: 1029531
AP Type: HISTORIC
Customer No: 1398840

Comments

Construction of an Accessory Structure

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 8000 Hampden LN
Bethesda, MD 20814

Homeowner Sherwat (Primary)

Historic Area Work Permit Details

Work Type CONST

Scope of Work Construction of an Accessory Structure