



June 2023

The Development Review Process

Montgomery Planning (M-NCPPC)

Montgomery Planning's Development Review Process

- The Development Review Process
- Pre-Application Requirements
- DRC Agencies and their review/lead agency
- Post Approval Process
- Development Dashboard



Montgomery Planning's Role in Development Review



Development Review Process

DEVELOPING LAND IN MONTGOMERY COUNTY

Montgomery Planning



MONTGOMERY PLANNING'S DEVELOPMENT REVIEW PROCESS



MONTGOMERY COUNTY'S PERMITTING PROCESS



The Development Review Process

Montgomery Planning

June 2023



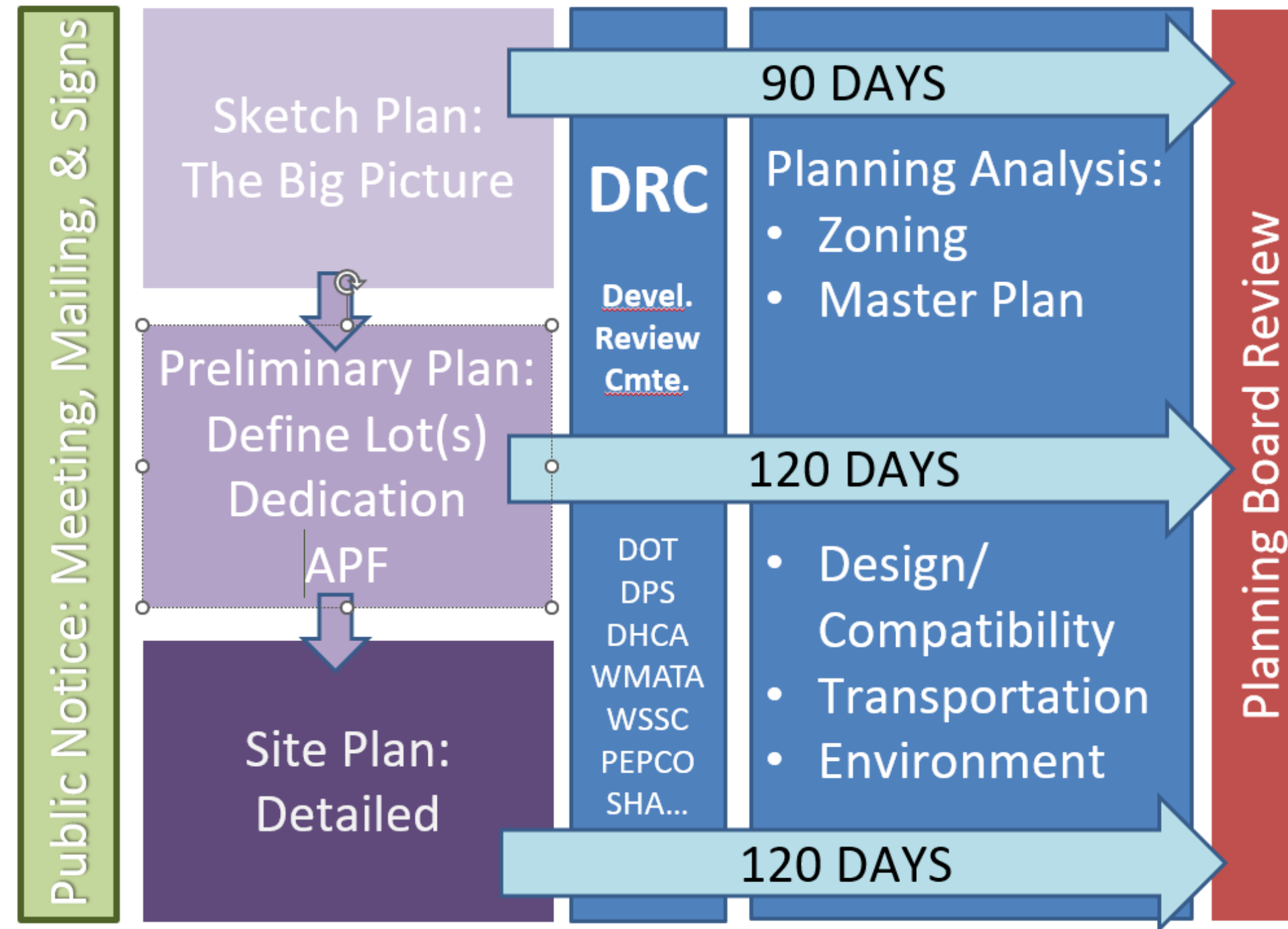
Pre- Application Requirements

- **Traffic impact/Well and Septic and other preliminary matters**
 - Traffic scoping/study (submittal required with application)
 - Perc tests (require concept plan)
- **NRI/FSD approval** (30 day review) or exemption
 - Required for all plan types
- **Concept Plan**
 - Speed to Market/combined plans
 - Complicated plans recommended
- **Community Meetings**
 - Required in all large applications, not in administrative or smaller applications.
- **Intake**
 - 10 days per review until the application is deemed complete.
 - Looks for numerous technical and administrative requirements.
 - Includes fees and public noticing.

Development Review Committee

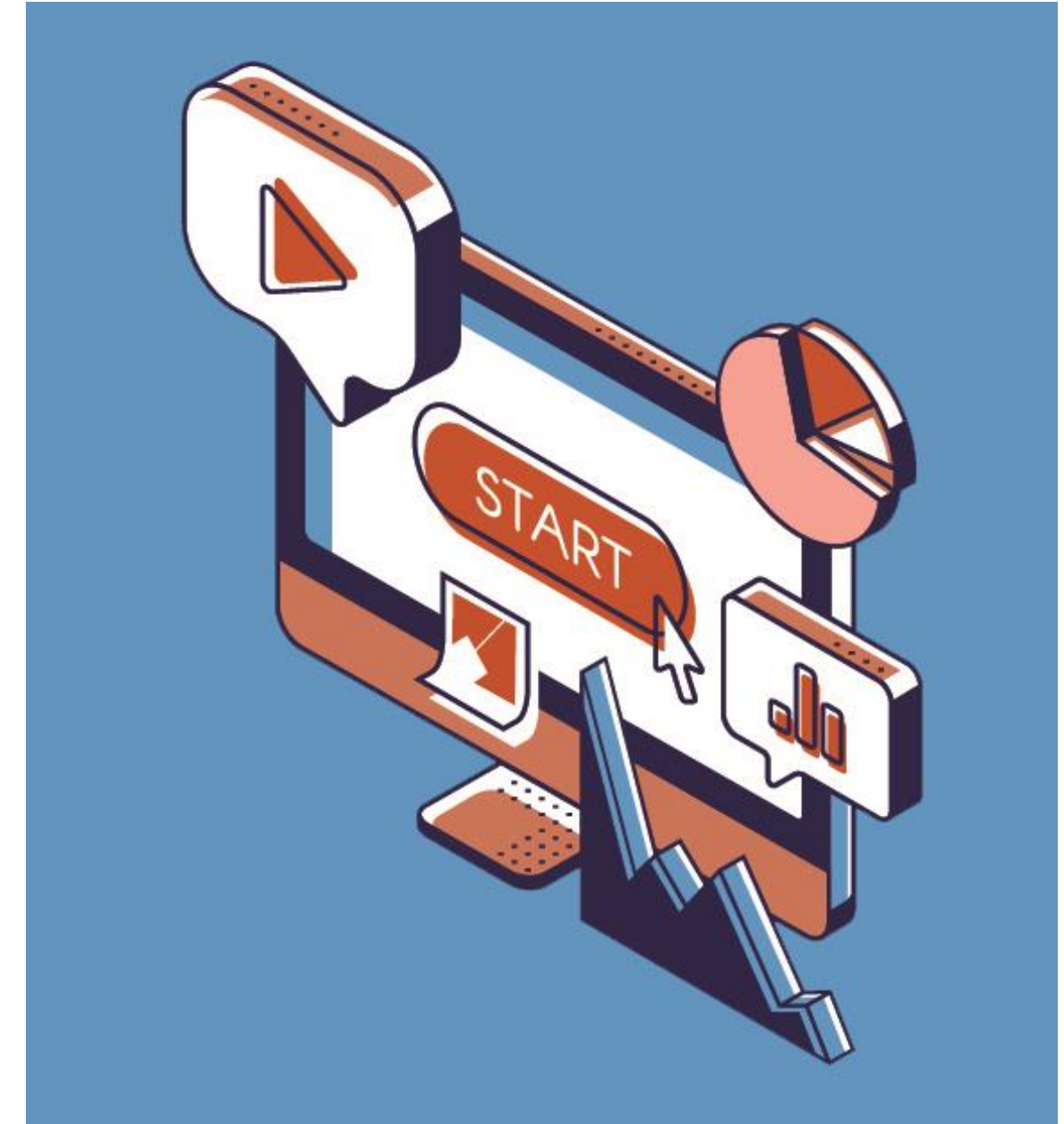


Development Review Process Timelines



ePlans

- Development application reviews are conducted electronically through ePlans and allow all agencies to use the same software.
- Applicants upload their plans to ePlans, all comments are received and addressed through ePlans, and final certification is done electronically.



Post Approval Process

- Planning Board Resolutions
 - Typically within a few weeks of Board approval of a plan.
- Certified Plans
 - Address Planning Board conditions before certification.
- Bonding/Easement Agreements/TMAG's and other legal documents.
 - Most bonds and agreements are required to be complete prior to record plat. Easements must be shown on the record plat.
- Record Plats
 - Must go to the Planning Board for final approval.
- Permits- Issued by DPS



Case Studies

- Evolution Labs
- Battery Lane District
- Seneca Farms
- Milestone Innovation Center
- Sligo Apartments



Evolution Labs



Overview

- 709,396 sf Life Sciences development over 3 phases
- 236,466 sf Life Sciences and a parking garage in Phase 1
- Public Benefits include through-block connection and public parking for swim center
- Discussions over mid-block connection and loading

Process

- Sketch (32013001A) –Prelim (12015001B) –Site(82015001B) combined application (STM-concept plan submitted)
- Taken to the Planning Board in 111 days
- Extensive coordination with Applicant, DOT, DGS and Parks over parking agreement



Battery Lane District



Overview

- Sketch (320190080) and Preliminary Plan (120190240) approved multiple sites along Battery Lane, each site files separate site plan
- Site Plan (820220230): 315 multifamily units with 15% mpdus
- Implementing 3 thru-block connections and Phase I of the separated bike lane

Review

- Taken to the Planning Board in 188 days (2 extensions)



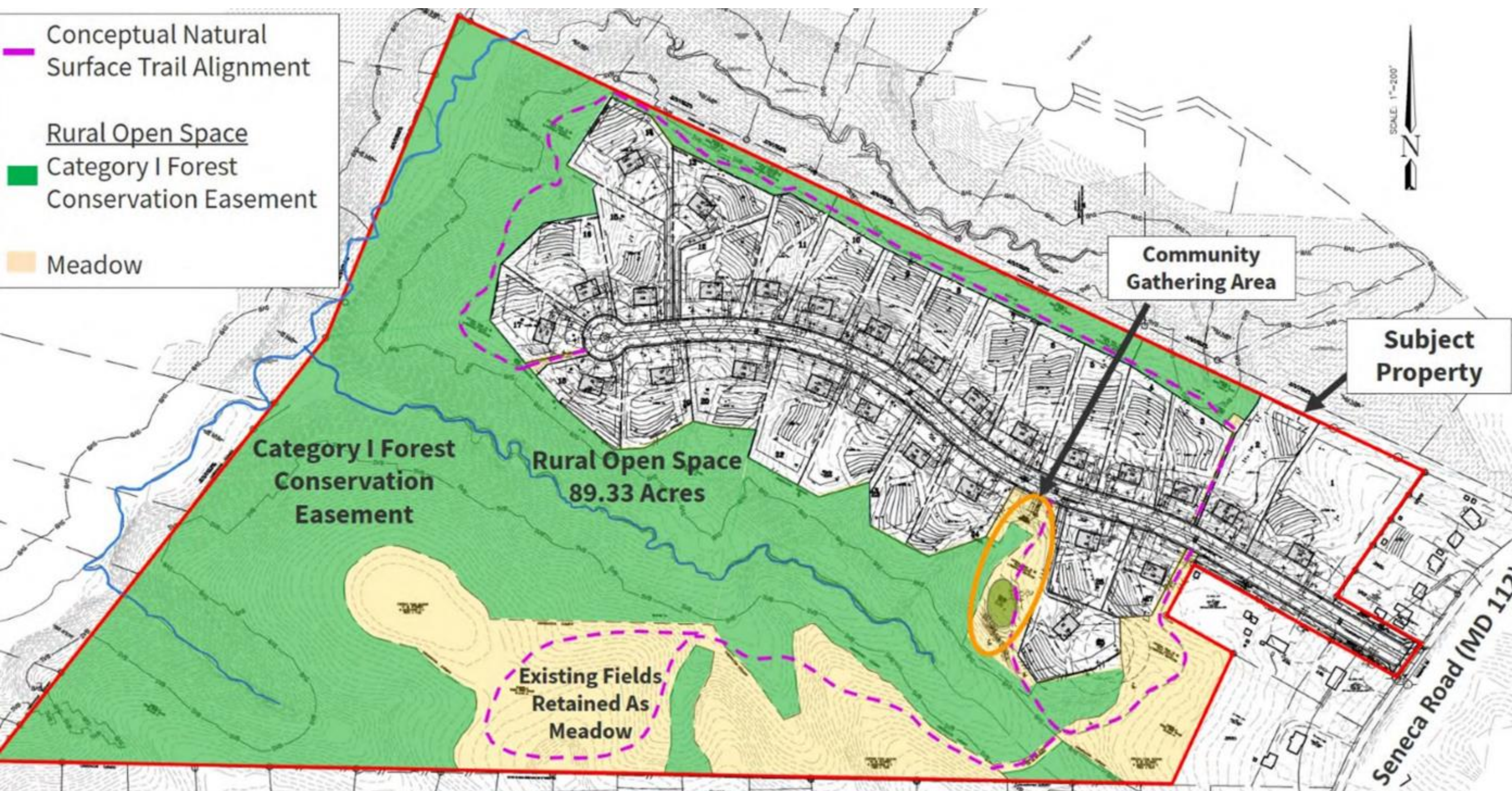
Seneca Farms

Overview

- Site Plan (820210150)
- 27 single-family detached units under the Optional Method Cluster Development

Review

- Protection of environmental features and ROS
- Recreational amenities within ROS, accessibility
- Taken to the Planning Board in 148 days





Milestone Innovation Center

- Overview
 - Preliminary (11987271D) and Site Plan Amendments (82001009G) Research and Development/ Biotech Campus
 - Multiple zones
 - R&D: 308,500 sf and Office: 161,500 sf, 2 parking garages and private road
- Review
 - Included major revisions to the layout as part of the review related to access and design
 - Taken to the Planning Board in 156 days



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An architectural rendering of a multi-story apartment building. The building features a mix of brick and light-colored siding, with numerous windows. A sign above the entrance reads "SLIGO APARTMENTS". The foreground shows a landscaped area with trees, a red fire hydrant, and a few people walking on a sidewalk. The sky is blue with some clouds.

Sligo Apartments

- Overview
 - Sketch (320220080), Preliminary (120220110), and Site (820220170) Plans submitted concurrently. (LMA preceded applications)
 - Replaced the 3rd District Police Station
 - 115,000 square feet of multi-family affordable housing development with 98 units and 24.5% MPDUs
- Review
 - Speed to Market for affordable housing component
 - Alternative requirements for screening
 - Zoning ordinance compatibility evaluation
 - Taken to the Planning Board in 106 days

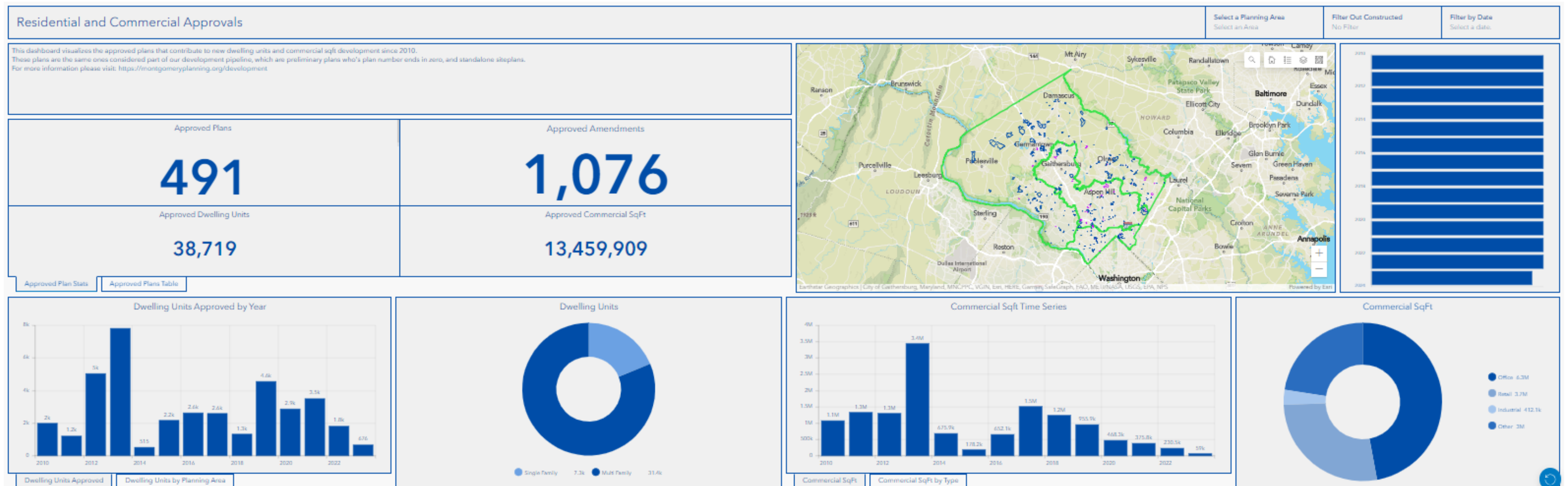
Development Dashboard

mcatlas.org/devdashboard

Montgomery County Planning Development Dashboards

Using the Approvals dashboard

By default, the dashboard displays data and totals for all approval years starting with 2010. Clicking different years in the chart at the top right will filter the data and totals accordingly. One can further filter this by planning area using the box at the top right. For any set of filters, tabular records of all plans are listed by clicking the Approved Plans Table 'tab' beneath the Approved Plan Stats shown in the top left of the dashboard.



Questions + Comments

