

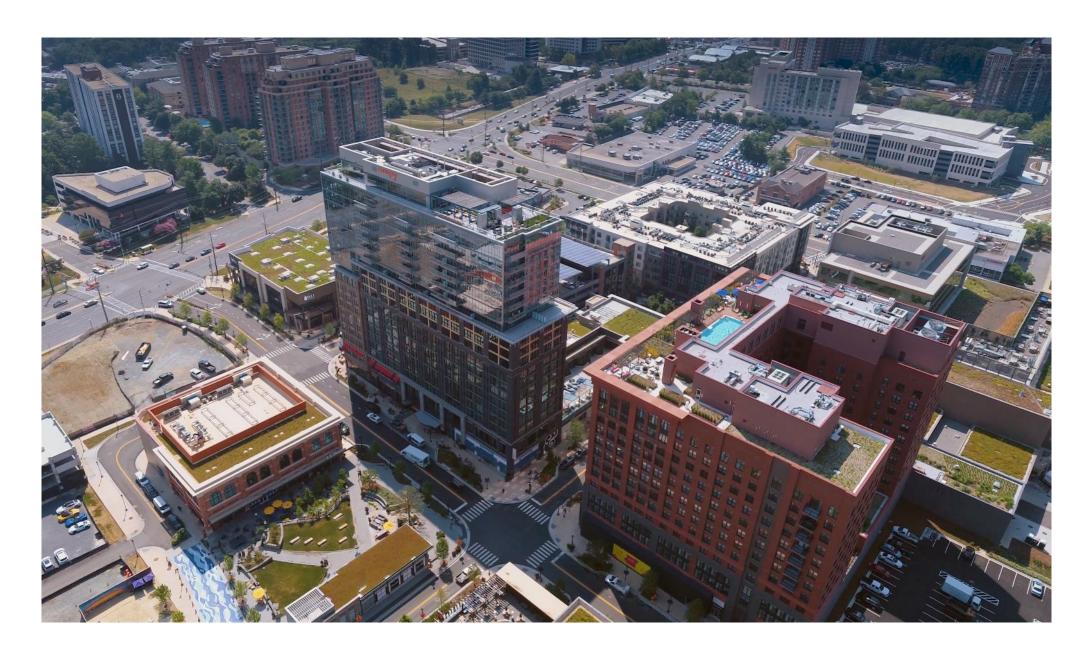
June 2023

The Development Review Process

Montgomery Planning (M-NCPPC)

Montgomery Planning's Development Review Process

- The Development Review Process
- Pre-Application Requirements
- DRC Agencies and their review/lead agency
- Post Approval Process
- Development Dashboard



Montgomery Planning's Role in Development Review



Development Review Process

DEVELOPING LAND IN MONTGOMERY COUNTY

Montgomery Planning



MONTGOMERY PLANNING'S DEVELOPMENT REVIEW PROCESS



MONTGOMERY COUNTY'S PERMITTING PROCESS

NATURAL RESOURCES INVENTORY/FOREST STAND DELINEATION (NRI/FSD) EXISTING CONDITIONS FILED

These plans document existing conditions including historic resources, building sand structures and environmental conditions on the property. Staff review and approve before any application can be submitted.

APPLICANT COMMUNITY MEETING

Applicant provides notice and hosts a pre-submission community meeting.

APPLICATION FORMALLY ACCEPTED

Application accepted by Montgomery Planning's Intake and Regulatory Coordination (IRC) division and distributed via ePlans to county and state agencies that make up the Development Review Committee (DRC). The 90- or 120-day clock starts.

DEVELOPMENT REVIEW COMMITTEE (DRC) MEETING

An inter-agency group of representatives from Montgomery Planning and Parks, Maryland State agencies, Montgomery County departments and utility companies which review plans and meet at regulatory scheduled meetings. These meetings are live streamed and open to the public.

REVISIONS AND PLAN PREPARATION FOR PLANNING BOARD HEARING

Montgomery Planning and DRC agencies work with applicant to address issues and comments. Plans are revised by Applicant based on comments from the DRC.

STAFF REPORT POSTED TO PLANNING **BOARD AGENDA**

At least ten days prior to the Planning Board public hearing, the staff report is finalized and staff also mails notice of the hearing date. This serves as Montgomery Planning's formal recommendation to the Planning Board. The staff report is posted to the Planning Board Agenda webpage at least 10 days before the public hearing and mail notice.

PLANNING BOARD **PUBLIC HEARING** AND DECISION

The Montgomery Planning Board holds a public hearing on the project. Following the hearing, the Planning Board approves or denies the proposed development application.



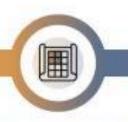


















ISSUANCE OF USE AND OCCUPANCY PERMITS BY DPS

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ISSUANCE OF **PERMITS BY DPS** AND POSTING OF BONDS

PERMITTING REVIEW

A variety of technical permits are issued by Montgomery County Department of Permitting Services (DPS) and Department of Transportation (MCDOT). These can include Building, Storm Water Management, Storm Drain, Road Access and Demolition, All conditions of approval from the Planning Board must be satisfied.

SUBMITS FOR PERMITTING **REVIEW AND** COUNTY APPROVALS

APPLICANT

PLATS RECORDED

Applicant submits plats in compliance with certified plans and approvals. County departments and Montgomery Planning review and Planning Board approves and recorded in Land Records.

POST PLANNING **BOARD ACTIONS**

Applicants must submit the development plans incorporating all conditions of approval for certification by staff. Any accompanying easements and agreements must also be submitted.

PLANNING **BOARD ADOPTS** RESOLUTION

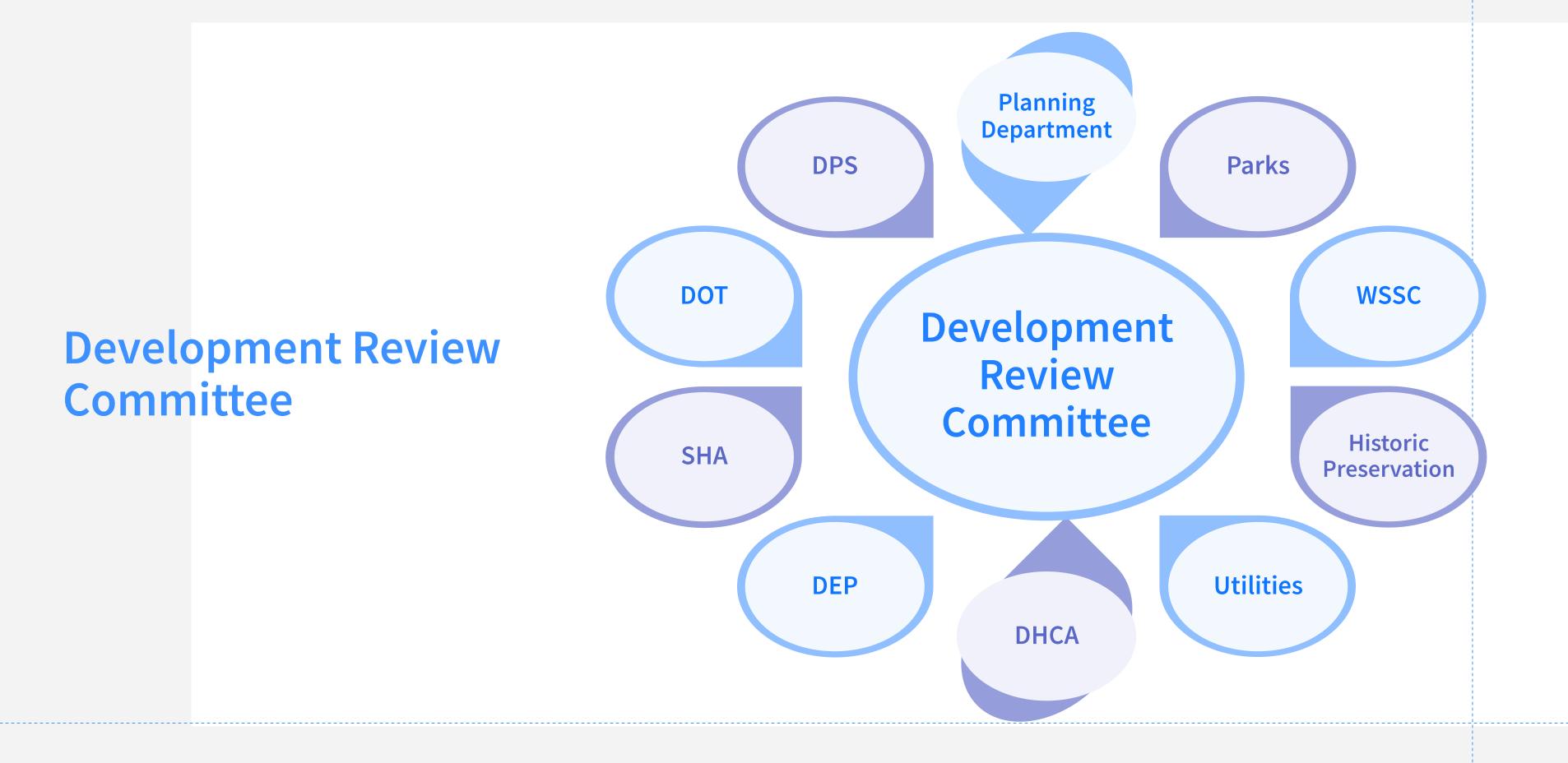
The Planning Board memorializes the development approval or denial in a resolution that is adopted at a public Planning Board meeting.



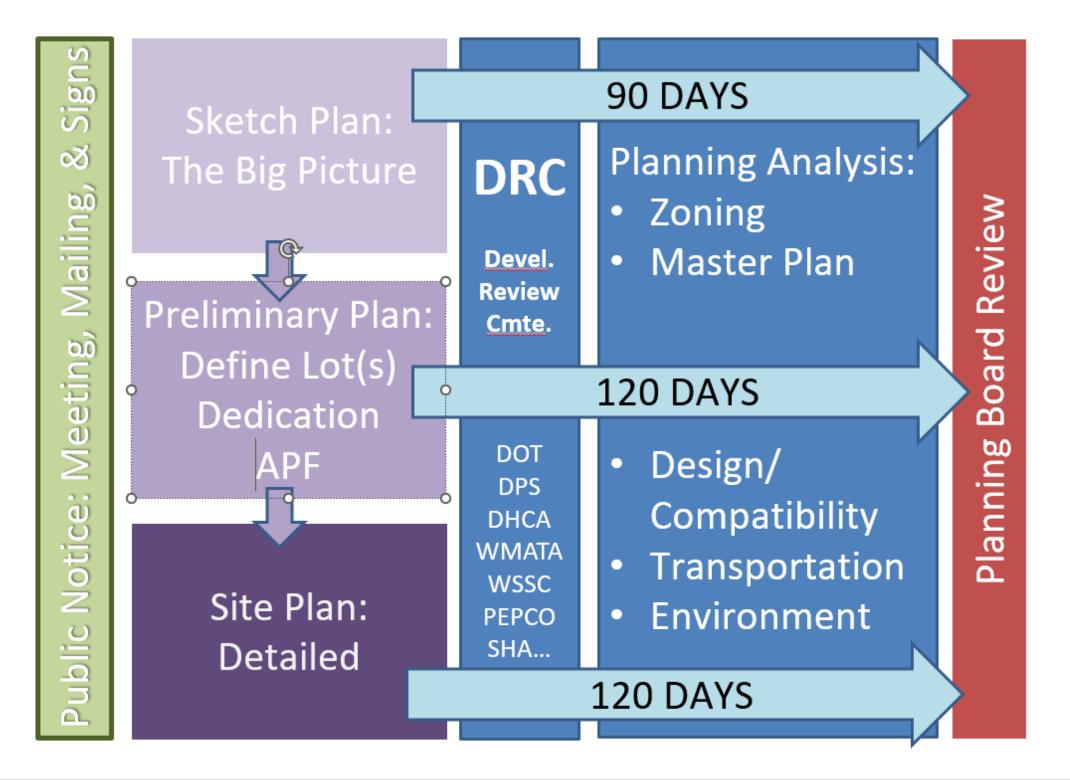
The Development Review Process

Montgomery Planning



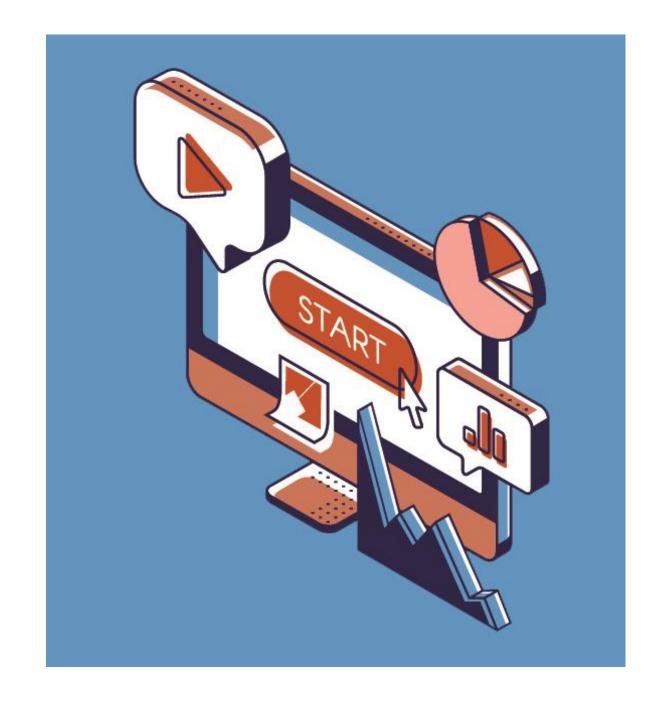


Development Review Process Timelines



ePlans

- Development application reviews are conducted electronically through ePlans and allow all agencies to use the same software.
- Applicants upload their plans to ePlans, all comments are received and addressed through ePlans, and final certification is done electronically.



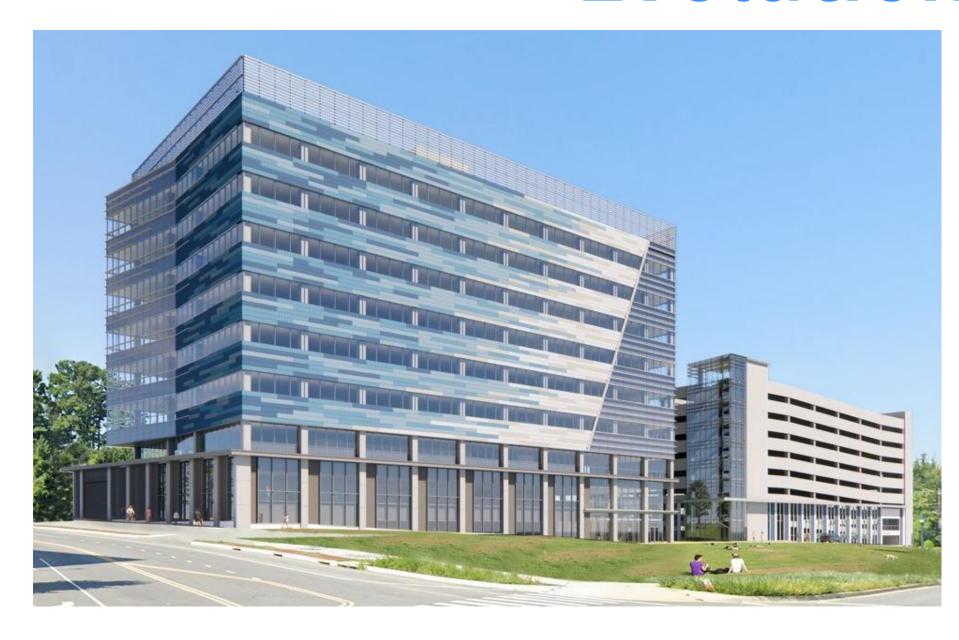
Post Approval Process

- Planning Board Resolutions
 - Typically within a few weeks of Board approval of a plan.
- Certified Plans
 - Address Planning Board conditions before certification.
- Bonding/Easement Agreements/TMAG's and other legal documents.
 - Most bonds and agreements are required to be complete prior to record plat. Easements must be shown on the record plat.
- Record Plats
 - Must go to the Planning Board for final approval.
- Permits- Issued by DPS

Case Studies

- Evolution Labs
- Battery Lane District
- Seneca Farms
- Milestone Innovation Center
- Sligo Apartments

Evolution Labs



Overview

- 709,396 sf Life Sciences development over 3 phases
- 236,466 sf Life Sciences and a parking garage in Phase 1
- Public Benefits include through-block connection and public parking for swim center
- Discussions over mid-block connection and loading

Process

- Sketch (32013001A) –Prelim (12015001B) –Site(82015001B)
 combined application (STM-concept plan submitted)
- Taken to the Planning Board in 111 days
- Extensive coordination with Applicant, DOT, DGS and Parks over parking agreement

Battery Lane District



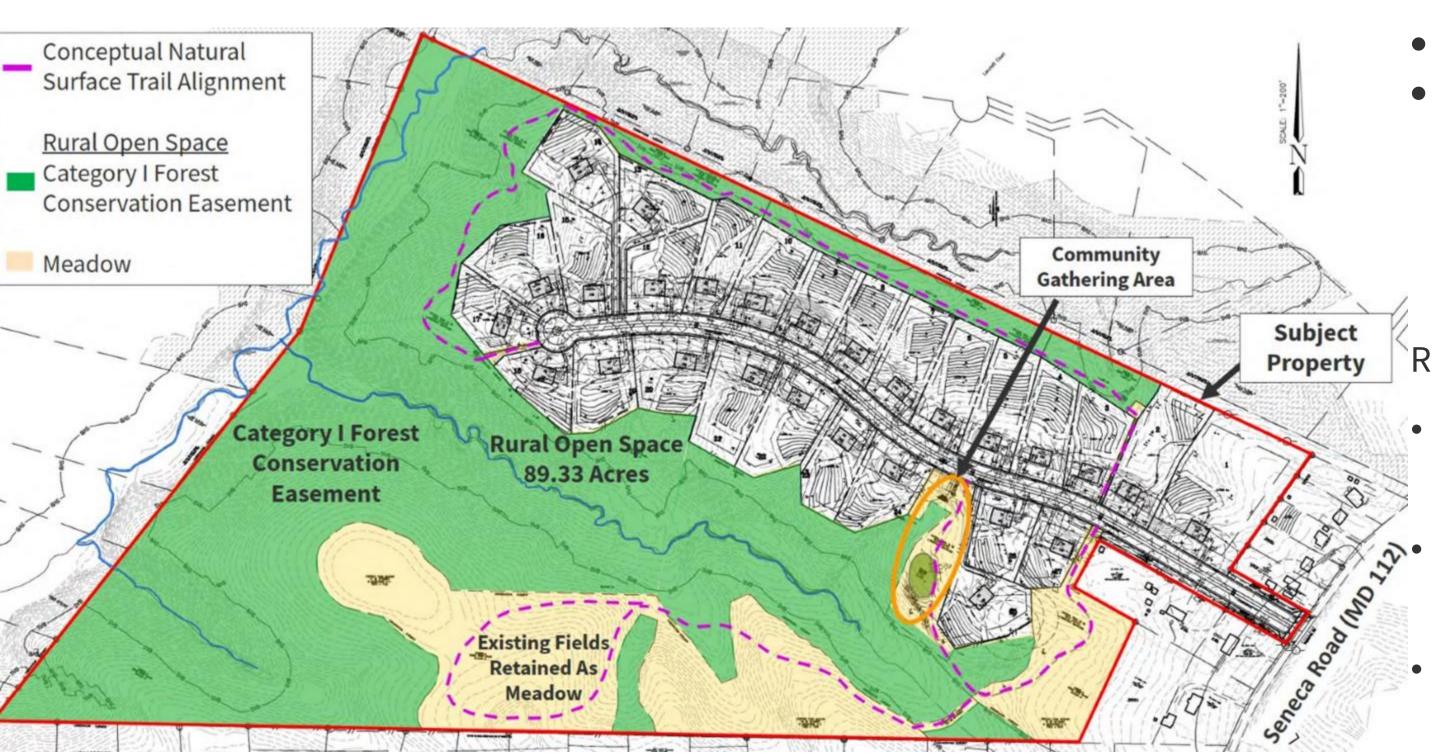
Overview

- Sketch (320190080) and Preliminary Plan (120190240) approved multiple sites along Battery Lane, each site files separate site plan
- Site Plan (820220230): 315 multifamily units with 15% mpdus
- Implementing 3 thru-block connections and Phase I of the separated bike lane

Review

Taken to the Planning Board in 188 days (2 extensions)

Seneca Farms



Overview

- Site Plan (820210150)
- 27 single-family detached units under the Optional Method Cluster Development

Review

- Protection of environmental features and ROS
- Recreational amenities within ROS, accessibility
- Taken to the Planning Board in 148 days



Milestone Innovation Center

- Overview
- Preliminary (11987271D) and Site Plan Amendments (82001009G) Research and Development/ Biotech Campus
 Multiple zones
- R&D: 308,500 sf and Office: 161,500 sf, 2 parking garages and private road
- Review
- Included major revisions to the layout as part of the review related to access and design
- Taken to the Planning Board in 156 days



The Development Review Process

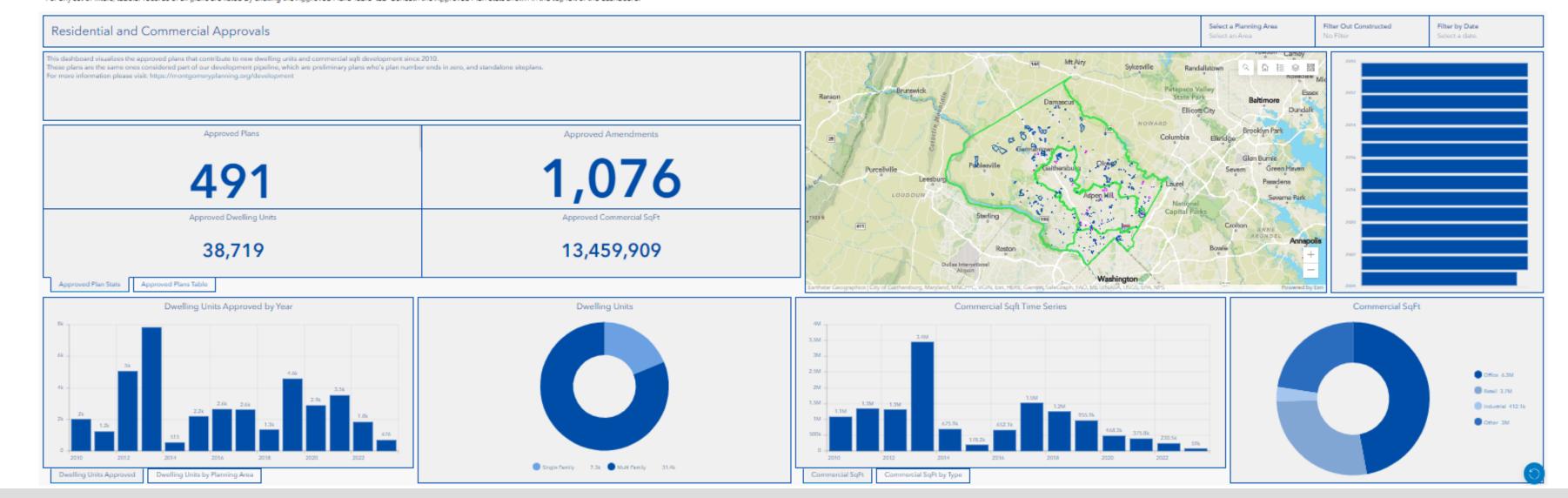


Development Dashboard mcatlas.org/devdashboard

Montgomery County Planning Development Dashboards

Using the Approvals dashboard

By default, the dashboard displays data and totals for all approval years starting with 2010. Clicking different years in the chart at the top right will filter the data and totals accordingly. One can further filter this by planning area using the box at the top right. For any set of filters, tabular records of all plans are listed by clicking the Approved Plans Table 'tab' beneath the Approved Plan Stats shown in the top left of the dashboard.





The Development Review Process

Questions + Comments

