Address:	7107 Sycamore Ave., Takoma Park	Meeting Date:	5/24/2023	
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	Report Date:	5/17/2023	
Applicant:	Sharon and Clark Bakewell Brian McCarthy, Architect	Public Notice:	5/10/2023	
<b>Review:</b>	Historic Area Work Permit	Tax Credit:	Partial	
Permit No.:	1029627	Staff:	Dan Bruechert	
Proposal:	Window Replacement and Areaway Construction, Utility Relocation and Stucco Repair			

#### MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION STAFF REPORT

#### **STAFF RECOMMENDATION**

Staff recommends the HPC **<u>approve</u>** the HAWP application.

#### **ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE:	Contributing Resource to the Takoma Park Historic District
STYLE:	Craftsman
DATE:	1922



Figure 1: The subject property is on a narrow lot in the Takoma Park Historic District.

#### **PROPOSAL**

The applicant proposes to excavate an areaway for basement access, install a new door and window well, relocate the utility meters, and repair sections of stucco.

#### **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines), Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

#### Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing

Original size and shape of window and door openings should be maintained, where feasible

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

#### Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

#### Secretary of the Interior's Standards for Rehabilitation:

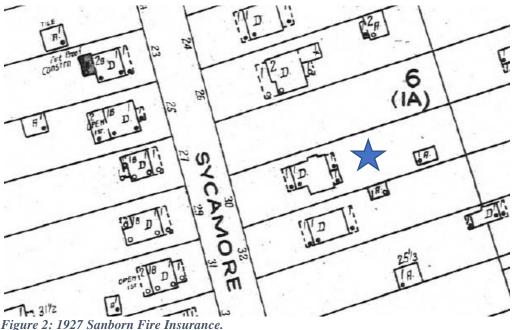
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

#### **STAFF DISCUSSION**

The subject property is a stucco-sided, two-story Craftsman house with an offset partial-width front porch and one-story entry, and a wider two-story section to the rear (see Sanborn Fire Insurance Map, below in *Figure 2*). At the time of the property's construction, it was identified as:

"30 Sycamore Ave., Takoma Park – Just completed:6-room bungalow; hotwater heat, tile bath; oak floors; glass knobs on doors; fireplace; one block from car line; good location; high and dry; chicken house large enough for 100 hens; lot 49 x 223 feet. Price, \$9,000. Terms can be arranged. SHIP, LEY & LUSH, owners and builders, 21 Westmoreland ave., Takoma Park. Inspect any day except Saturday..." – Oct. 18, 1922 Washington Evening Star

The applicant proposes to make alterations in two areas of the house. The first is the construction of a new areaway in the right front corner of the house. The second change is to alter a window at the left hear of the house to satisfy egress requirements with the installation of a new window well and larger window. Staff finds the overall impact of these proposed changes will not alter the character of the house or surrounding district and recommends the HPC approve the HAWP.



#### Figure 2: 1927 Sandorn Fire Insural

#### **Areaway Construction**

To the right of the front porch, the applicant proposes to create a new basement entrance. The proposed areaway will be L-shaped, constructed using parged CMU with a painted metal handrail. The stairs are 3' 4" (three feet, four inches) wide and the areaway extends from the right edge of the porch to the right edge of the house. To create the basement access, the applicant will remove an existing six-lite fixed window and install a half-lite door. A portion of the window opening will be repaired and covered with stucco to match the existing finish. The final change to accommodate the new areaway is relocating the existing gas meter to the side elevation.

Staff recognizes that the proposed location for the areaway is generally not desirable. The HPC typically requires areaways to be installed on a side or rear elevation so they are less visible from the right of way and will have less impact on the visual character of the building and surrounding district. In this instance,

those preferred locations are not viable. The house is located too close to the shared driveway to construct the areaway on the right side elevation and would encroach into the side setback on the left. In the rear, there is a non-historic rear addition, constructed on piers with a crawlspace, that was constructed on top of the historic rear areaway. There is no way to use the historic areaway without demolishing the rear deck stairs and rear addition. Because the areaway is being proposed to satisfy life and safety requirements, Staff finds support for locating the areaway in the proposed location under 24A-8(b)(4).

Staff finds the proposed materials are compatible with the house and surrounding district. Because the house rises from Sycamore Ave., the only portion of the areaway that will be visible from the right-of-way is the railing. Staff finds that a metal railing of the type proposed is so ubiquitous that it will visually blend into the background and not disrupt the streetscape. Staff recommends the HPC approve the railing, walls, and stairs under 24A-8(b)(2) and (4) and Standard 2.

Generally, the HPC reviews basement and foundation-level windows more leniently than upper-floor windows because they are less visible, are usually smaller, and do not contribute to the character or style of the dwelling or historic district as a whole. The window proposed to make room for the proposed door is a fixed six-lite window that is visually consistent with the design of the rest of the house's windows, and does not rise to the same level of significance as the 6/1 windows found on the first and second floors. Staff finds removing the window will not significantly detract from the character of the house and recommends the HPC approve its removal under the *Design Guidelines* and 24A-8(b)(4).

Finally, Staff finds relocating the gas meter from the front elevation and moving it to the right side elevation will not have a significant impact on the character of the house. Staff finds this alteration should be approved as a matter of course under the *Design Guidelines*.

#### Side Window Well

On the left elevation, near the rear wall, the applicant proposes removing the existing window, enlarging the opening, and installing a new window and window well in its place. This window is located in a basement bedroom and is not at all visible from the public right-of-way. The proposed Wether Shield Signature casement window is an aluminum-clad wood window that is typically approved for basement fenestration alterations.

Staff supports this alteration under safety considerations, and but for the proposed areaway in the front elevation, this HAWP would have been approved at the Staff-level. Staff finds the proposed window and window well are compatible alterations that do not impact the character of the house or surrounding streetscape. Staff recommends the HPC approve the new window well under 24A-8(b)(2) and (4) and the *Design Guidelines*.

#### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2) and (4), and (d), and the *Takoma Park Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the Secretary of the Interior's Standards for Rehabilitation #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will <u>contact the staff person</u> assigned to this application at 301-563-3400 or <u>dan.bruechert@montgomeryplanning.org</u> to schedule a follow-up site visit.

	For Staff only: HAWP# 1029617
A DDL IC ATION	
APPLICATION HISTORIC AREA WO HISTORIC PRESERVATION 301.563.3400	ORK PERMIT
APPLICANT:	
Sharon & Clark Bakewell Name:	E-mail:
Address:	City: Z0912
Daytime Phone:	Tax Account No.:
AGENT/CONTACT (if applicable):	
Name:	E-mail:
Address: BFM Architects, 1400 Spring Street	Silver Spring         20910           City:
Daytime Phone:	Contractor Registration No.:
LOCATION OF BUILDING/PREMISE: MIHP # of Historic	
Is the Property Located within an Historic District? $\checkmark$	es/District Name lo/Individual Site Name
Is there an Historic Preservation/Land Trust/Environme map of the easement, and documentation from the Eas	ntal Easement on the Property? If YES, include a
Are other Planning and/or Hearing Examiner Approvals (Conditional Use, Variance, Record Plat, etc.?) If YES, in supplemental information.	
Building Number: 7107 Street: 5	Icamore Ave
Building Number:       7107       Street:       Street:         Town/City:       Takoma Park       Nearest Cross	s Street: <u>Columbia Ave</u>
Lot: 22 Block: 12 Subdivision:	Parcel:
TYPE OF WORK PROPOSED: See the checklist on Pa for proposed work are submitted with this applica	tion. Incomplete Applications will not
<b>be accepted for review.</b> Check all that apply: New Construction Deck/Porch	<ul> <li>Shed/Garage/Accessory Structure</li> <li>Solar</li> </ul>
Addition	Tree removal/planting
Demolition Hardscape/Lands	
Grading/Excavation Roof	Other: <u>Areaway</u>
I hereby certify that I have the authority to make the fo	
and accurate and that the construction will comply wit agencies and hereby acknowledge and accept this to b Brian McCarthy	

7

	ILING ADDRESSES FOR NOTIFING acent and Confronting Property Owners]
<b>Owner's</b> mailing address Sharon & Clark Bakewell 7107 Sycamore Ave. Takoma Park MD 20912	<b>Owner's Agent's</b> mailing address Brian McCarthy Bennett Frank McCarthy Architects 1400 Spring Street Silver Spring, MD 20910
Adjacent and confronting	Property Owners mailing addresses
Thomas R Smerling & Reena Bernards 7105 Sycamore Ave. Takoma Park, MD 20912	Peter Franchot, Trustee Anne Maher, Trustee 7111 Sycamore Ave Takoma Park, MD 20912
Richard J. & B. Henry 7104 Sycamore Avenue Takoma Park, MD 20912	Jeffrey M. Weiss & Rachel B. Gold 7106 Sycamore Avenue Takoma Park, MD 20912
Wynette Yao 7108 Sycamore Avenue Takoma Park, MD 20912	Steven A Breckbill et al Trust 7104 Woodland Avenue Takoma Park, MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

# **BENNETT FRANK McCARTHY**

architects, inc.

1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755

#### Memorandum

30 April 2023	
То:	Historic Preservation Commission (HPC) Maryland-National Capital Park & Planning Commission c/o Department of Permitting Services, Montgomery County
From:	Brian McCarthy
Re:	Historic Area Work Permit for 7107 Sycamore Avenue, Takoma Park Historic District Addenda to HAWP: <b>Written Description of Project</b>

#### Addendum a.

The property is a wood frame bungalow located in the Takoma Park Historic District on the 10,786 square foot interior lot at 7107 Sycamore Avenue. The house, built in the 1920s, is designated as a contributing resource. The house was originally one-story over a cellar. A previous owner added a partial second floor set over the rear 2/3rds of the footprint. The second floor features a street facing gabled roof, mimicking the covered front porch. The second floor is reasonably sympathetic to the original form and general context; it features deep eaves and rakes and transitions to a new siding treatment, like many bungalows. A one-story family room addition was also incorporated on the back, covering the original external staircase from the cellar to the yard. The most recent addition, also by a previous owner, created a rear screen porch in lieu of an existing deck.

The windows are predominantly double hung with a 6 over 1 muntin pattern on the first floor. The second floor windows are a mix and less faithful to the original style. The original ground floor and exposed foundation are finished with stucco. Wood siding covers the rear and second floor additions, as well as the gable of the front porch.

#### Addendum b.

The new owners intend to finish the cellar. The renovation scope includes two changes to the exterior; both driven by life-safety code considerations. One is a guest bedroom egress window and well on the left/west side toward the rear of the original structure. The egress window will occupy an existing window opening, but taller to extend closer to the floor, as required by code. The new window will be a casement unit to achieve the required opening size.

The second proposed life-safety feature is an external staircase, or "areaway". The new areaway is intended to substitute for the areaway entombed years ago under the rear addition. The internal cellar staircase does not meet code so the new areaway is necessary to provide emergency egress from the cellar. The L-shaped areaway will be on the right/east side of the house in the corner where the one-story and two-story forms meet. We considered alternate locations for the areaway but found them all to be problematic. The rear wall of the basement, where the original areaway was placed, is now

completely inaccessible by virtue of the one-story rear addition built by prior owners. The addition sits over a shallow crawlspace so excavating for an areaway under an existing addition would be highly impractical. The right/eastern side of the house is 4'-4" from the shared driveway. So the areaway, if 3'-4" wide with an 8" thick retaining wall, would be only 4 inches from the driveway. We deemed that proximity to be perilously close. That left the left/west side of the house in the gap between the chimney and the proposed window well. The primary shortcoming in that location is the cantilevered dining room bay that covers almost all of that foundation wall. The bay extends out 1'-2" beyond the foundation and clears the ground by only 3-1/2 ft. So in order to achieve the required headroom clearance the areaway would need to be uncommonly wide to clear the bay. The ground is also higher on this side of the cellar, meaning the areaway stair would need to be longer (more steps). It is also by far the least convenient location for access to the cellar.

The proposed L-shaped areaway will be below grade, accessing a new cellar door that will be slightly offset from an existing window which will be removed. Our initial intent was to reuse the window opening but that caused the areaway to encroach into the root zone of a nearby tree and the City Urban Forest Manager directed us to shift the areaway and door further back, away from the tree. The areaway will have a guardrail set on top of the retaining walls to prevent falling into the well as required by code. We anticipate using a thin metal railing system.

We believe both of the proposed life-safety features, being at and below grade, will have minimal impact on the home's historic character.

Work Item 1: Egress Window / Well	
Description of Current Condition: Existing Window in existing cellar is insufficient for egress.	Proposed Work: Install Casement Window to meet Building Code requirements for egress, both in size and placement. Install Window Well for egress to meet Building Code requirements, location as shown on the Site Plan.
Work Item 2: External stairway	
Description of Current Condition: Existing cellar egress is internal only, that is, there is no exterior stairway. An earlier rear addition "entombed" the existing cellar egress stairway	Proposed Work: Provide new exterior stair/areaway as shown on the Site Plan.

Vork Item 3:						
Description of Current Condition:	Proposed Work:					



Detail: 7107 Sycamore Ave. - Front Context



Detail: 7107 Sycamore Ave. - Front / South



Detail: 7107 Sycamore Ave.- Left / West



Detail: 7107 Sycamore Ave. - Right/ East

Applicant: Brian McCarthy



Detail: 7107 Sycamore Ave. - Right / East



Detail: 7107 Sycamore Ave. - Right/ East



Detail: 7107 Sycamore Ave.-Rear/North East



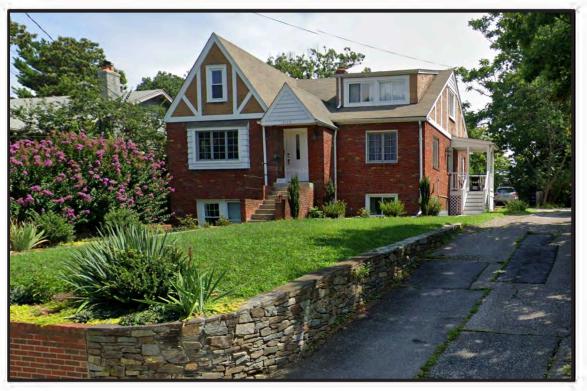
Detail: 7111 Sycamore Ave.

Applicant: Brian McCarthy

Page: <u>4</u> 16



Detail: 7105 Sycamore Ave.



Detail: 7103 Sycamore Ave.

Applicant: Brian McCarthy



Detail: 7104 & 7106 Sycamore Ave.



Detail: 7108 Sycamore Ave.

Applicant: Brian McCarthy

# BAKEWELL BASEMENT

7107 Sycamore Avenue, Takoma Park, MD 20912 Project # 2174

TREE PROTECTION

EXCAVATION FOR

WINDOW WELL-

NEW EGRESS

276'

274'--

272'

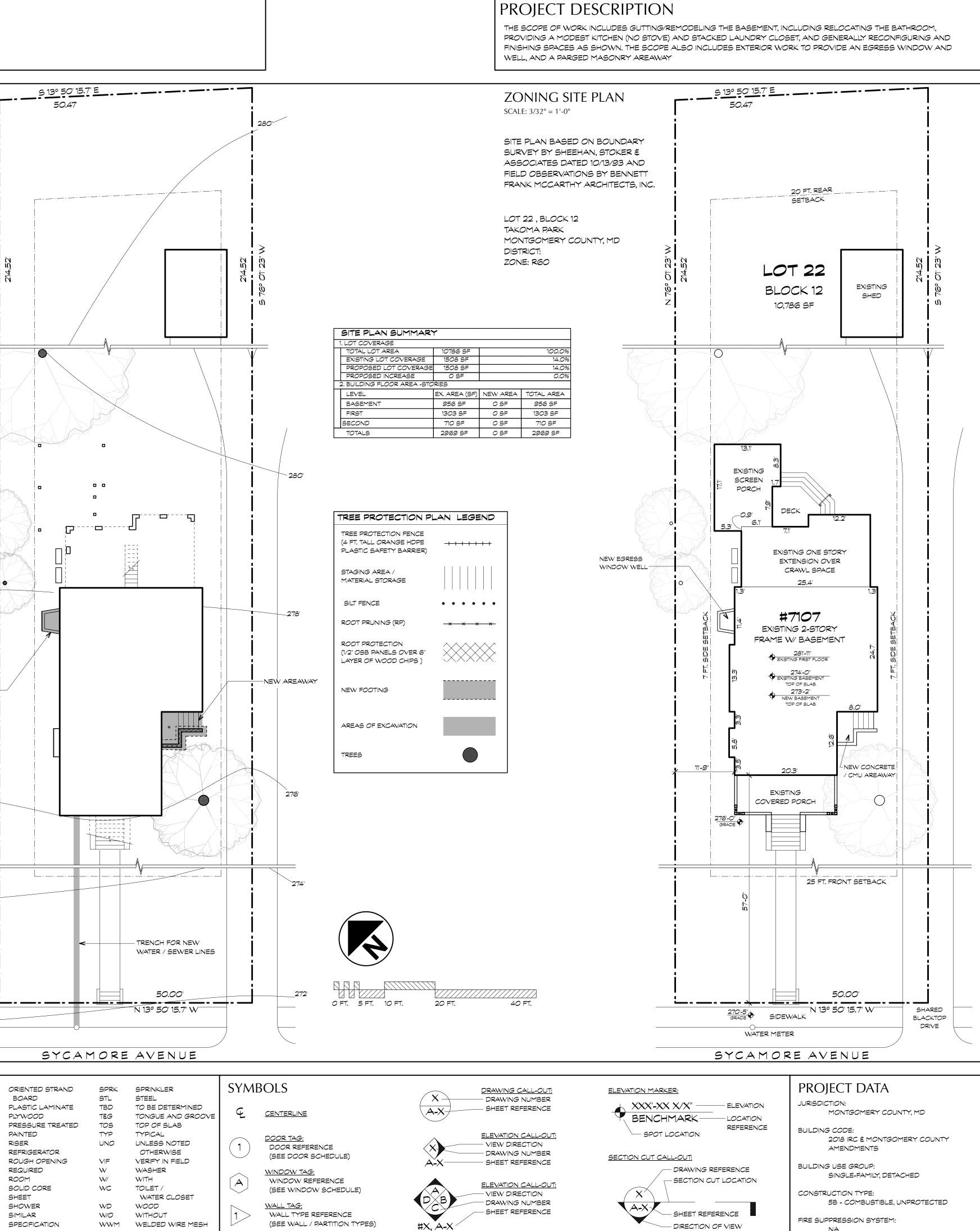
PLAN SCALE: 3/32" = 1'-0"

# SPECIFICATIONS

#### **DIVISION 1: GENERAL REQUIREMENTS**

- 1.1.1 General Conditions: The general conditions of the Agreement Between the Owner and Contractor if not addressed here, shall be AIA Document A201 (most current edition).
- 1.1.2 Lien Waivers: At the time of final payment by the Owner, the Contractor shall provide lien waivers from his company as well as all major subcontractors (plumbing, electrical, mechanical, mason, roofer, etc.) and suppliers exceeding \$10,000 in value.
- 1.2.1 Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractor's or Subcontractors' operations under the Contract. The Architect shall be named as an additional insured on the General Contractor's policy.
- 1.2.2 Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.
- 1.2.3 Property Insurance: The Owner shall purchase and maintain property insurance in the amount of the initial Contract Sum (as well as subsequent modifications) on a replacement cost basis. The policy shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and loss or damage including theft, vandalism, malicious mischief, collapse and falsework. The Contractor shall be responsible for paying the deductible for losses attributable to an unsecured job-site.
- Licensure: The Contractor and all Subcontractors shall be licensed and/or 1.3 registered to perform their respective trades in the jurisdiction of the project property.
- 1.4 Permits: Owner shall obtain general building permit. General Contractor shall be responsible for all other permits including, but not limited to trade permits, right-of-way / public space permits, parking and dumpster permits, etc.
- 1.5 Warranty: All workmanship and materials shall be guaranteed for a minimum period of one year from the date of Substantial Completion.
- Owners Manuals and Instructions: The General Contractor shall collect, 1.6 consolidate and convey to the Owner all Owners Manuals, Instructions, Warranty registrations and all other pertinent information for new equipment and fixtures. The General Contractor or designated subcontractor(s) shall review with the Owner the proper operation and maintenance schedule as appropriate for all equipment and controls.
- 1.7 Interpretation: The Architect shall be the interpreter of the requirements of the Contract Documents. If the builder or subcontractor has any question about the meaning of the drawings or specifications for the Work, or should he find any discrepancy or omission therein, the Builder/subcontractor shall immediately so notify the Architect.
- 1.8 Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. Window opening dimensions are to rough openings; add 2 1/2" to swinging interior door sizes for rough openings. Do <u>NOT</u> scale drawings.
- Building Protection: All precautions shall be taken by subcontractors to 1.9 protect existing hardwood floors, tile and other finishes to remain for the period of construction. Any damage shall be rectified by the responsible subcontractor(s) or general contractor prior to completion of work. See also section 2.2
- 1.10 Debris: All subcontractors shall, at regular intervals, remove all their respective construction debris from site and shall not allow such debris to drift, be blown or otherwise transported onto adjacent property. Subcontractors shall place barricades or take such other precautions as necessary to prevent injury to the public.
- Codes: All construction to be in accordance with International Residential 1.11 Code 2018 edition, and in accordance with all applicable Montgomery Co., State and Federal rules and regulations (including local amendments to model code).
- 1.12 Quality: All work will be performed in a workmanlike fashion in conformance with rules of accepted good practice. All materials contemplated in these drawings shall be new and of good quality and shall be protected from weather when stored on the building site.
- 1.13 Changes in Work: The Owner without invalidating the Contract, may order extra work or make changes by altering, adding or deducting from the work, the contract sum being adjusted accordingly by a change order. All such work shall be executed under the conditions of the original contract except for claims for extension of time caused hereby which shall be adjusted at time of change order execution.
- 1.14 Claims for Extra Work: If a subcontractor claims that any instructions by drawings or other requests for changes in the work involve extra cost under the contract he shall give the Owner written notice thereof within a reasonable time after receipt of such instructions and in any event before proceeding to execute the work.
- 1.15 Allowances: All allowances and unit prices apply to materials, taxes and third party delivery fees only unless otherwise noted. The costs associated with ordering, installation, overhead and profit shall be included in the base bid, not in the allowance cost, unless noted otherwise in Allowance Summary. The Contractor shall be responsible for maintaining a running tally of allowance expenses for the purposes of reconciling the total expenses relative to the total allowances for the project to determine if a credit or add is due.
- 1.16 Punchlist: At the time of making the final contract payment, the owner may hold back 200% of the value of all Punch List work. The Architect and Contractor will place a fair and reasonable value on each Punch List item. This 200% hold back for Punch List work is intended to assure the Owner that all Punch List work will be completed in a timely manner.

	CONTINUED ON SP100								SYCA	MORE	AVENUE				
ABE	BREVIATIONS	COND CONC	CONDITION CONCRETE	ELEC EXP	ELECTRICAL EXPANSION	LBW LVL	LOAD BEARING WALL LAMINATED VENEER	OSB	ORIENTED STRAND BOARD	SPRK STL	SPRINKLER STEEL	SYM	BOLS	DRAWING CALL-OUT:	<u>ELEVATION M</u>
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BLDG BSMT CJ	BUILDING BASEMENT CONTROL JOINT	DN DR DS	DOWN DOOR DOWNSPOUT	FLR GA GWB	FLOOR GAUGE GYPSUM WALL BOARD	MIN MANU	OVERLAY MINIMUM MANUFACTURER	REF RO RQD	REFRIGERATOR ROUGH OPENING REQUIRED	VIF W	OTHERWISE VERIFY IN FIELD WASHER		(SEE DOOR SCHEDULE) <u>WINDOW TAG:</u>	A-X DRAWING NUMBER	SECTION CUT
CAB CL	CABINET CENTER LINE	DTL DW	DETAIL DISHWASHER	HB HC HT	HOSE BIB HOLLOW CORE	MTL MECH	METAL MECHANICAL	RM SC	ROOM SOLID CORE	W/ WC	WITH TOILET /	A	WINDOW REFERENCE (SEE WINDOW SCHEDULE)	ELEVATION CALL-OUT: VIEW DIRECTION	X
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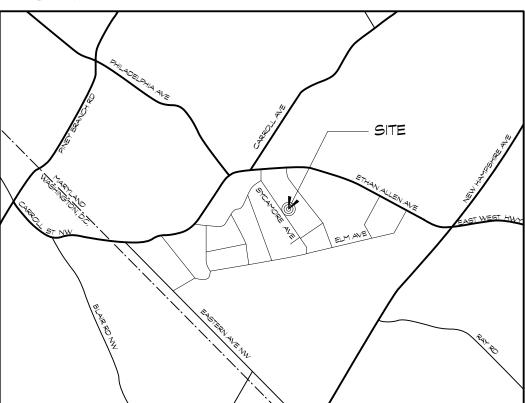




# **BENNETT FRANK McCARTHY** architects, inc.

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# VICINITY MAP

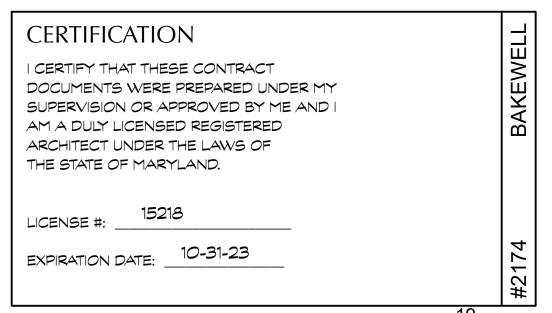


DATE APRIL 28, 2023

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PERMIT SET

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ςD	ECIFICATIONS	DIVISIO	ON 3: CO
	LCITICATIONS Inued from coversheet)	3.1	Conci comp
1.17	MISS UTILITY: Prior to any excavation at the site the Contractor shall contact Miss Utility, 1-800-257-7777 to ascertain the location of all underground utilities. Avoid unnecessary disturbance, conflict or interruption of services with underground utilities to the fullest extent possible.	3.2	Botto Contin minim footin
1.18	Definitions: The Contractor shall understand that the word "provide", as used in these documents, includes the purchase of the item specified, including taxes and any associated shipping and handling charges. Also included shall be the procurement and provision of all materials, equipment and labor associated with the complete installation of the item(s) specified in good working order.	3.3	longiti distur Step f distar shall b
1.19	Construction by Owner or By Separate Contractors: The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces. The Contractor shall provide the Owner and separate contractors reasonable opportunity for placement and storage of materials and equipment in the performance and completion of other activities. The Contractor shall cooperate and coordinate activities as provided within the	3.4	excav the bo install drawin Conci WWN Provio
1.20	agreement between the Owner and the Contractor. Temporary Utilities (owner occupied): Electricity and water shall be provided to the General Contractor from the existing house. The General Contractor		slabs 4" wa trowe
1.01	shall be responsible for providing and maintaining a porta potty.	DIVISIO	ON 4: UI
1.21	Coordination between Drawings and Specifications: Should a conflict exist between the drawings and specifications, the more restrictive or costly shall apply for pricing. The Owner and Architect shall be consulted to determine proper design alternative. If the less restrictive or costly item is selected the Contractor shall apply appropriate credit to the Owner under the contract.	4.1 4.2	CMU slightl CMU • Ex
1.22	<ul> <li>Shop Drawings: Shop Drawings are required for, but not limited to, the following items:</li> <li>Windows and exterior doors</li> <li>Prefabricated stairs</li> <li>Metal railings</li> </ul>		Po be • Be rec
1.23	Samples: Provide samples for the following items:	<b>DIVISIC</b> 5.1	<b>DN 5: M</b> See d
1.24	<ul> <li>Paint colors, per Division 9</li> <li>Owner Supplied Items: See individual specification divisions for further information. Install the following Owner provided:</li> </ul>	5.2	Steel etc. s
	<ul> <li>Bath accessories – see Division 10</li> <li>Items salvaged for reuse as noted in Division 2 or on demolition drawings</li> </ul>	5.3	Metal Wood
	N 2: SITEWORK AND DEMOLITION		ON 6: W
2.1	Utilities: Water, sewer, gas, electric, telephone and CATV utilities on site are to remain and be extended as required. Verify size and condition and remove, replace, upgrade as necessary. Locate all underground utilities. See note above regarding contact with Miss Utility.	6.1	All exi const const shall b
2.2	Protection of Existing Landscaping: Protect from physical damage all paved / hardscaped surfaces, existing trees, and vegetation that are to remain. Consult with Owner prior to removing any trees, vegetation or obstructions as indicated or which would interfere with new construction. Feeder root zones	6.2.1	All wo accor "Natio
	below all tree canopies shall be respected such that no heavy equipment storage/parking or regrading shall occur without the permission of the Owner.	6.2.2	Use If noted
	See also section 1.9. Damaged elements shall be replaced or restored as appropriate. Contractor shall coordinate with Owner, Architect and Takoma Park Arborist (Urban Forest Manager) to develop a Tree Protection Plan (TPP) and will comply with this plan during construction. Any fines for failure to comply with	6.2.3	Floor (min. t deck Plywo install
	the TPP shall be paid by the Contractor. The Takoma Park Arborist can be reached at (301) 891-7612.	6.2.4	recon Unles
2.3	Landscape: Landscape work shall be limited to finish grading and seeding of disturbed areas. Redistribute available topsoil. Provide finish grade that slopes approximately 1/4" per foot away from perimeter of the building.		stud a showi be ad framir
2.4	Erosion Control: Provide staked hay bales and/or siltation fence, or other means as necessary to provide erosion control in accordance with requirements of the local jurisdiction.	6.2.5	Use T otherv struct follow
2.5	Demolition: Protect all adjacent finishes to remain. Protect sensitive equipment and surfaces from dust and debris. Provide and secure plastic sheeting to isolate the area of work from occupied portions of the residence. Provide adequate shoring and bracing as necessary before removing any load bearing components. Cap/block HVAC registers in affected areas to avoid the conveyance of dust into any central systems.		flush l with h posts to the press excep
2.6	Lead Abatement: Lead based paint is potentially present on any painted elements incorporated before 1978. Any disturbance or removal of materials	6.2.6	All co assoc
	containing lead-based paint shall be in compliance with all federal and state regulations prior to, during, and after such disturbance, and the Contractor shall clean all areas after such disturbance and dispose of all lead-based paint materials in compliance with federal and state regulations.	6.2.7	Joists shall t o.c., e
2.7	<ul> <li>Salvage:</li> <li>Boiler, solar preheat tank, controls and all mechanical/electrical equipment unless noted otherwise (save for re-use)</li> </ul>	6.2.8	All ex Pine # whene
2.8	Interior French Drain: Cut existing slab back as required to excavate and install continuous perimeter drainage system consisting of perforated, corrugated, 4" diameter PVC foundation drain with filter cloth placed in minimum 6" gravel bed at perimeter of foundation. Pipe shall be pitched to provide positive drainage to flow into a sealed sump crock and pumped/discharged to grade. Top of pipe to be placed minimum 1" below bottom of newly repaired concrete floor slab. Before restoring floor slab, install drainboard (Miradrain or equal) continuously at the base of all perimeter walls from min. 12" above slab, down wall and into new gravel drain field. The drainboard provides a conduit for moisture running down the wall to bypass		closer area le wood wood decay groun UC4A Stand
	floor slab and enter French drain system. Install a continuous, lapped moisture barrier consisting of fiberglass reinforced panels (FRP) over the full height and width of the existing foundation walls. Seal the top of the FRP barrier to the foundation or sill plate, the base to the floor slab, and all other water and barrier to the source for the term.	6.2.9	Multip nails a beam
2.9	vertical and horizontal seams/joints. Foundation Drainage: Provide 4" perforated, corrugated PVC foundation drain with filter cloth in gravel bed. Completely cover drains with filtering material to a width of 6" minimum on each side and 12" above top of pipe. Slope drain to daylight or sump crock pumped to daylight.	6.3	Frami or Spi • Fi • In • Fi • Si
2.10	Backfill: Backfill soil in 8 inch deep lifts and compact to 95% dry density. Provide stone backfill against drainage board outside all waterproofed basement walls and dampproofed retaining walls. Provide 2" diameter PVC weeps @32" on center at the base of all retaining walls.	6.4 6.5	Floori Stairs
2.11	weeps @32" on center at the base of all retaining walls. Termite Treatment: Apply interior perimeter termite control treatment prior to placement of concrete slab(s). Apply exterior perimeter soil treatment after excavating, filling, and grading operations are completed.		Contra nomin tread stain g
2.12	Site access: Via street and driveway. Note the driveway is shared with the neighbor so construction vehicles cannot be parked anywhere they would impede neighbor ingress/egress.	6.6	code i Interic • C • W
			~ ~ ~

**DNCRETE** (See Structural sheets for additional notes)

- rete footings shall project at least 1'-0" into undisturbed natural soil or pacted fill having a bearing value at least equal to that specified oms of all exterior footings shall be at least 2'-6" below finished
- inuous wall footings shall be minimum 10" thick and shall proj mum of 6" at each side of masonry walls supported on the foo ngs supporting masonry walls are to be reinforced with three # udinal continuous bottom bars, unless otherwise noted (UNO urbed earth under footings shall be replaced with concrete.
- footings in a ratio of 2 horizontal to 1 vertical, as required to n ance of 2'-6" from finish grade to bottom of footing. All bearing be adequately drained before foundation concrete is placed. vation shall be closer than 2:1 (2 horizontal to one vertical) to a ottom of a foundation wall unless in accordance with the imm llation of underpinning or other bracing as shown on the struct rings. <u>Do not</u> place concrete over frozen soil.
- rete slabs on grade shall be 4" thick, reinforced with 6x6 W2 M that conforms with ASTM A185, UNO. Lap mesh 6" in each ride control joints in interior slabs on grade at 20'-0" o.c. max. s shall be laid on a layer of 6 mil thick polyethylene moisture ba ashed gravel set on undisturbed earth or structural fill, UNO. el finish to interior monolithic slab surfaces that are exposed to

**INIT MASONRY** (See Structural sheets for additional notes)

- walls to be standard running bond with mortar joints at 3/8" tly concave.
- Foundation walls apply cementitious parging as follows: xposed above grade: Provide thin scratch coat and heavier fir ortland cement/sand mix stucco/plaster. Minimum overall thic 1/2 inch. Finish and appearance shall match existing. elow grade substrate for waterproofing/damproofing: skim coa
- quired for smooth/uniform surface.
- **METALS** (See Structural sheets for additional notes)
- frawings for all structural steel lintels, beams and columns. Rails: Provide steel rails as shown on drawings. Grind all we mooth. Provide shop drawings.
- resilient channel: install above all drywall ceilings and on wall
- d Shop and Guest Bedroom. OOD/CARPENTRY (See Structural sheets for additional note
- isting conditions shall be checked and verified in the field before struction is begun. Field measurements shall be made of adjoir struction relative to the proper installation of new work. All disc be reported to the Architect prior to the start of construction.
- ood construction including lumber, connections, and details s ordance with the requirements of the local building code and th ional Design Specification" by the National Forest Products As
- IRC 2018 tables R602.3(1) and R602.3(2) for nailing schedule, otherwise.
- r sheathing shall be tongue and groove CD 16/32 (span rating) . thickness 23/32"). Glue and screw floor plywood to joists wit screws @ 6" o.c. at sheet edges and @ 10" o.c. at all intermed ood shall be identified with the APA grade trademark and shal alled in accordance to code and project requirements as well as mmendations.
- ess indicated otherwise, all lintels shall have one king stud and at each end. All jacks and posts are to be continuous, or increased vn, down to the foundation or beam support. In other words, p Ided below higher posts even when posts are not required by
- FECO or Simpson Strong Tie structural wood connectors unle rwise noted. Only specialty connectors are typically shown in ctural drawings but additional metal connectors shall be provid ws (or as required to meet code). Joists and rafters shall be co beams with hangers. Joists and rafters shall be connected to hurricane ties. Wood beams and headers shall be connected with column connectors and bases of isolated posts shall be eir supports with metal connectors. All fasteners and connect sure treated lumber shall have triple G-185 galvanized coating eption of bolts one-half-inch or larger in diameter).
- mmon lumber shall be clearly stamped with the lumber inspec ciation seal indicating the lumber species and grade.
- shall have a minimum 3 1/2" bearing. Joists running parallel be anchored with 3/16" x 2" steel straps (or solid wood block extended to engage 3 joists.
- xposed, exterior framing members shall be pressure-treated S e # 2 (19% max. moisture content). Pressure-treated wood sha never wood joists are closer than 18 inches (or wood beams/gi r than 12 inches) to exposed ground in crawl spaces or unexc located within the periphery of the building foundation. All str members and sheathing exposed to weather or located near I in contact with concrete and/or masonry, shall be treated to y and insect infestation. Furthermore, wood located within 8" ind, or in the ground, shall be rated for Ground Contact Genera .. Treated plates shall meet American Wood Preservers Institu dard U-1.
- iple LVLs shall be fastened together with a minimum of 2 rows s at 12" o.c. Nails shall be spaced 3 " from the top and bottom ms. LVL beams designated on plans shall be as sized.
- ning Sizes: Wood building components are as follows (Hem Fi pruce-Pine-Fir, #2 or Better):
- urring at exterior walls: 2x4 @ 16" o.c. stud walls nterior partitions: 2x4 @ 16" o.c. stud walls
- Floor framing (landing): See framing plans.
- Subfloors: 3/4" tongue and groove CDX plywood, glued and so
- ring: See Division 9.
- : shall be shop fabricated. Provide pine treads and paint grad ractor shall clad treads and nosings w/ LVT. Provide treads wit inal bullnose nosing with a full stringer when against a wall and d on the Playroom side. Stringers shall be paint grade. Handra grade oak. Provide handrails as shown in the drawings or as e if not shown. All wood fasteners shall be concealed.
- ior trim: Unless otherwise noted, all interior trim shall be paint g Casing: sanitary 1x4 w/ eased edges. Vindow stools: bullnosed WM-1163 or equal (depth as necess aseboard: 1x6
- rior trim: Unless otherwise noted, all standing and running trim shall be ted Boral TruExterior Trim or free foam cellular PVC (Azek). See Painting rements in Division 9 below.

ed above. d grade.			
ect a ting. Wall #4 ). All			
naintain a g strata			
No a footing or iinent tural	6.8	Fasteners: All exterior sidings and trim shall be fastened with galvanized nails of appropriate type and size, U.N.O.	8.2 8.2.1
	DIVISIO	ON 7: THERMAL/MOISTURE PROTECTION	•
2.0xW2.0 h direction. Interior arrier over Provide o view. flush, tooled	7.1	<ul> <li>Insulation: All insulation shall be installed per manufacturer's requirements.</li> <li>Sub slab at entrance/adjacent to areaway: 2" thick extruded polystyrene rigid insulation (Dow Blue Board or equal). Expanded/molded polystyrene is not suitable for damp locations and shall NOT be used.</li> <li>Basement perimeter 2x wall furring (gapped min. ½" off foundation-coordinate with Miradrain thickness): seal all wall cavities with spray applied closed cell, 2.0 lb icynene insulation (min. R value of 20).</li> <li>Rimboard at first floor framing: seal with spray applied closed cell, 2.0 lb icynene insulation (min. R value of 20).</li> <li>Acoustic ceiling insulation: fill first floor joist cavities with sound attentuation batt insulation.</li> </ul>	
nish coat of ckness shall		All spaces around windows and doors to be filled with expanded urethane foam. All corners, lintels and other inaccessible spaces in framing to be insulated during rough framing.	
at as	7.2	Air Barrier: Install all components per manufacturer requirements. Coordinate joints and seams between different materials and between existing and new construction to maintain a continuous air and thermal barrier that allows for differential expansion and contraction per IECC 402.4.	8.2.2
elds, burrs, I between es)	7.3.1 or	House Wrap/Infiltration Barrier: House wrap shall be provided to act as an air infiltration barrier, a moisture barrier and a drainage plane. The wrap shall also permit water vapor to pass through from either side (min. perm rating > 20). Wrap shall be tear-resistant and UV stable. Wrap shall be Tyvek (or equal) and shall cover over all exterior sheathing, prior to the installation of exterior doors and windows. Lap and tape joints and penetrations per manufacturers recommendations.	8.2.3
ore ning crepancies hall be in ne current ssociation. unless	7.3.1	House Wrap/Infiltration Barrier: Provide Zip System integrated exterior roof and wall sheathing and air / moisture barrier. Install per manufacturers requirements with all associated tapes and flashings to ensure continuous vapor barrier. Zip panel joints must be gapped 1/8 inch to accommodate expansion and contraction and all tape must be installed over clean surfaces and rolled for full adhesion. Coordinate joints and seams between different materials and between existing and new construction to maintain a continuous air and thermal barrier per IECC 402.4.	8.2.4 8.2.5
plywood th 2 inch	7.4	Vapor Barrier: Vapor barrier shall be 6 mil over 4" compacted gravel under all concrete slabs on grade. Vapor barrier shall be 20 mil on grade in conditioned crawlspaces. Crawlspace vapor barrier shall extend min 6 inches up and be continuously sealed to perimeter rigid insulation. Lap and seal all joints.	DIVISIO
diate joists. Il be s APA's one jack	7.5	Waterproofing: Min 3/8" thick parging with membrane. Waterproofing shall be 60 mil. self-adhering membrane. Waterproofing shall be installed down to footing and over cant parge joint at footing. Coordinate waterproofing installation with foundation drainage installation. Protect waterproofing with foundation drainage board and filter cloth (Miradrain or equivalent).	9.1.1
eased as oosts shall the floor ess the ded as	7.6	Flashing: 0.025" Thick (22 gauge) aluminum flashing, where exposed and concealed, unless noted otherwise. Provide 16 oz. copper flashing where in contact with AQC pressure treated lumber (aluminum is incompatible). Exposed flashings shall be color coordinated (with factory finish) to blend with wall and/or roofing material. Provide aluminum drip edge at the eaves and gable ends of the roof. Color(s) to match existing.	
onnected to o top plates d to isolated e fastened fors to (with the	7.7	Through Wall & Head Flashings at Stud Frame / Siding: Provide aluminum flashings for through wall flashings at base of doors, head flashings at door heads and head flashing at window heads in sheathing to siding locations throughout building. Provide flashing wherever exterior cladding material abuts, or is interrupted by, roof slopes, horizontal trim, openings and other penetrations. Flashing shall tuck behind cladding and be formed to conduct water clear of interruptions. Flashing locations on drawings are typical <u>only</u> , not inclusive. Flashing shall be placed and installed in accordance with ASHRAE standards. See section 8.2.2 regarding sill pans.	9.1.2 9.2
to a wall	7.8	Gutters & Downspouts: NA	
ing) at 4'-0" outhern all be used	7.9	Exterior Sealant Compound for all exterior joints shall be general purpose polyether sealant that meets or exceeds FS TT-S 00230. Shall be VOC-free, solvent-free, paintable after 24 hours. Sealant shall be Great Seal PE-150, DuraLink or equal.	9.2.1
irders are cavated	DIVISIO	ON 8: DOORS AND WINDOWS	
ructural grade, or	8.1	Doors	
resist from the al Use ute	8.1.1	Interior Doors: Typical interior doors shall be 1 3/8" thick, solid core molded composite MDF, Monroe by Jeld-Wen. Hollow core Masonite type doors are not an acceptable substitution. Laundry closet doors shall be Kimberly Bay Plantation louver (two panel), white solid core pine. All doors shall be primed and painted. Door undercuts shall be <sup>3</sup> / <sub>4</sub> " above the finished floor, U.N.O. Refer to drawings for size, type and locations.	9.2.2
of 16d of the r, Grade #2	8.1.2	Interior hardware: All doors shall have Schlage spring latch cylinder hardware or approved equivalent. Contractor shall provide and install all hardware. Provide "Accent" F-series lever design by Schlage, model F10V ACC 619, satin nickel. Operation shall be per door schedule. Hinges shall be solid brass, plain bearing, Hager, 800 Series, 4 x 4, 1 1/2 pairs per leaf for doors up to 6'-8" and 2 pairs for taller doors. Door stops shall be solid metal posts w/	
crewed. de risers. th 1" I an open ail shall be required by	8.1.3	<ul> <li>white rubber tip/ bumper.</li> <li>Exterior door: General notes (unless noted otherwise): <ul> <li>Contractor to supply and install.</li> <li>Jeld-Wen 36 in x 80 in Fiberglass 6 lite Craftsman Hazelnut stained prehung inswing door w/ insulated core.</li> <li>See drawings for size and configuration.</li> <li>Provide tempered, low-E insulated glazing unless otherwise noted.</li> <li>Lockset: Owner to supply, Contractor to install. The owner plans to use an ULTRALOQ automatic deadbolt in tandem with Latitude passage lever by Schlage. Use 3-inch-long mounting screws on the deadbolt so they lodge in the framing beyond the door jamb.</li> <li>All exterior doors shall be operable from the interior without the use of a</li> </ul> </li> </ul>	
grade pine. sary).		key.	

8.2	Windows

Clad Wood Windows: Windows shall be manufactured by Weathershield (Signature Series)

- Windows. Provide low-E coated, argon filled insulated glazing with simulated divided lites with spacer bars as indicated in the drawings (custom patterns may
- be required); muntin bars shall be 5/8" in width. • U-Factor  $\leq$  0.30. SHGC (Solar Heat Gain Coefficient)  $\leq$  0.40, or as noted on window schedule. All U-Factors and SHGC values are determined in accordance w/ NFRC.
- Exterior color: white cladding
- Interior finish: white
- Factory mulled units shall be trimmed in the field for continuity. Factory mullion trim should only be applied when units are directly connected to each other, i.e. with no mullion spacing/thickness.
- Hardware finish: white
- Provide jamb extensions as required by framing depths.
- Provide white vinyl jamb liners on double hung units, typically.
- All operable windows, excluding those opening onto a screen porch, shall be provided with screens and screen hardware. Provide shop drawings for approval.

Window installation shall be in accordance with all manufacturer's guidelines. 8.2.2 Provide preformed or membrane formed sill drain pans with integral backdam (or sloped to drain). Pans shall return up jambs min. 6 inches. Integrate the pan and window into the drainage plane of the wall using high quality flashing and sealing materials.

- 8.2.3 Basements, habitable attics and every sleeping room shall have at least one operable egress window. The minimum net clear opening shall be 5.7 square feet (some localities may allow 5.0 sq. ft where openings are at grade). The minimum net clear height shall be 24 inches. The minimum net clear width shall be 20 inches. The maximum clear opening height shall be 44 inches above the floor. Egress openings with a finished sill height below grade shall be provide with a window well in accordance with code.
- 8.2.4 Provide window opening control devices for all windows where the clear opening is less than 24" above the finished floor when windows are 6 feet above grade, in accordance with section R312 of the IRC.
- 8.2.5 Window Well: The minimum horizontal area of the window well shall be 9 sq. ft. with a min. horizontal projection and width of 36 inches. Wells greater than 44 inches deep shall be provided with a permanently affixed ladder or steps that allow the window to open fully.

#### **DIVISION 9: FINISHES**

9.1.1 Drywall: Walls and bathroom ceiling: 1/2" GWB throughout, glued and screwed. Typical acoustic ceilings: 5/8" drywall screwed to resilient channels (shimmed to level) screwed to the joists. Note, to dampen structure borne sound/vibrations the ceiling drywall screws should engage only to the resilient channel (RC), not the joists. The RC shall be separately anchored to the joists. Provide moisture resistant Greenboard at the following locations: - all bathroom walls (except as noted below), floor to ceiling. - kitchen walls within 4 ft of sink centerline. behind and adjacent to laundry equipment and utility sink(s). all other potentially wet locations. Tile backerboard (Durock/Wonderboard/DensGlass) shall be used behind all wall tile finishes at showers and around tubs. Provide drywall jambs and heads at all basement window openings. 9.1.2 Drywall Level of Finish: Unless noted otherwise, drywall surfaces to receive flat sheen paint shall be finished consistent with Level 4 of Recommended Levels of Gypsum Board Finish (GA-214-10e). Drywall surfaces designated to receive eggshell or semi-gloss sheen paint shall be finished consistent with Level 5. Substrates to receive tile, and garages, may be finished to level 2. 9.2 Paint – General notes: Existing surfaces should be thoroughly prepped, free of loose material and dust, clean and dry. • Paint on casework/trim should be brushed or sprayed, not rolled. 9.2.1 Interior Paint: Latex paint by Benjamin Moore Regal Select, no or low VOC.

Provide one prime coat and two finish coats throughout new or substantially renovated areas on all surfaces, including walls, ceilings and features such as windows, millwork and radiators (coordinate with Finish Schedule if applicable). Existing walls and ceilings that have been patched/repaired should be painted in their entirety. Colors/sheen: • Walls and ceilings: China white. Matte.

Trim: China white. Semi-gloss.

- 9.2.2 Exterior Paint: Vinyl acrylic latex paint. Apply one coat primer / backprimer on all surfaces of all wood fascia, soffit, casing, siding and trim boards. Apply two finish coats to exposed surfaces. Paint should only be applied when the weather is projected to be dry and above 40 degrees for 48 hours. Acceptable manufacturers/lines include: Sherwin Williams Duration
  - Benjamin Moore Aura

Finish on new trim and stucco shall match existing sheen.

# BENNETT FRANK McCARTHY

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DATE	ISSUE - REMARKS
4/28/23	PERMIT SET

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.		
LICENSE #:	EXPIRATION DATE:	
15218	10-31-23	

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#### 9.3 Flooring:

9.3.1

Tile and Grout: Owner to select, Contractor to furnish and install tile floors and tub/shower surrounds in the following locations: • Cellar bathroom floor and base, shower surround (up to ceiling)

See Div. 17 for Allowance Summary

Review tile layout, spacing, and grout joint widths w/ Owner or Architect prior to proceeding with installation. Follow manufacturer's recommendations for installation and curing, and in accordance with the Tile Council of North America (TCNA) Handbook. Alternative setting beds to those noted below shall be reviewed with Architect for approval prior to installation. Ceramic Tile Floors: All tiled floors shall include a tile base up from tile

- floor, UNO. Provide a marble threshold in doorways. • Tile Walls and Shower Surround: Rough shower size is 30 in. x 55 in. Cut down Schluter Kerdi-Shower Kit 38 in. x 60 in. with ABS flange 2 and Schluter Kerdi-Drain 4 inch tileable Grate Kit. Schluter components to be supplied by Owner, Contractor to install. Tile to be selected by Owner. General Contractor to provide and install. Tile surrounds at showers and tubs shall extend to ceilings U.N.O. Tiled shower pans shall be installed over waterproof membranes (see above). Tile setter shall coordinate alignment, width and height of niches, openings and ledges with tile proportions and grout joints.
- Shampoo niche: Schluter KERDI-Board-SN 12" x 28" shower niche. Install horizontally so there's no shelf.
- Metal tile edging: Schluter Jolly color-coated aluminum, 5/16" x 2-1/2". Owners wishing to use large format floor tiles in wet locations shall be
- mindful of slip-resistance. Any tiles considered should have a Dynamic Coefficient of Friction (DCOF) greater than 0.42.
- Setting: Install tile in thin-set mortar bed conforming to ANSI standards as follows: - Ceramic and stone: ANSI 118.1
- Porcelain: ANSI 118.4 (with latex binding additive)
- Glass: Exceeding ANSI 118.4 and 118.11
- Radiant applications: Exceeding ANSI 118.11 Grout: Presealed, high tech cement grout with stain resistance, mold & mildew resistance. Grout color TBD.

#### 9.3.2

Luxury Vinyl Tile (LVT) Floors shall be installed in all cellar spaces U.N.O. Utility room and Wood shop shall remain unfinished concrete. Product: Adura Max by Mannington.

Color: Swiss Oak - Nougat.

General Contractor to provide and install. See Division 17 for Allowance Summary.

Applications:

 Gluedown: recommended when used in kitchens, bathrooms, laundry rooms, larger areas, and high traffic areas. Product types include "Dryback" and Stone Polymer Composite (SPC).

• Floating: appropriate in small and medium sized rooms. A backfoam cushion underlayer is recommended when the substrate is uneven or sound adsorption is a concern. Product types include "Looselay" and "Click". Looselay tile is sometimes applied with a tackifier or partial gluedown at the perimeter. Click tile should NOT be used over heated floors

#### **DIVISION 10: SPECIALTIES**

10.1 Bathroom accessories: Owner shall provide all bathroom accessories including hung mirrors, medicine cabinets, curtain rods, towel bars, toilet paper holders, hooks, etc. Contractor shall install. Coordinate and install blocking for all wall hung accessories. • Medicine cabinet: Kohler K-81146-DA1 Maxstow 30"W x 24"H frameless

- double door recessed medicine cabinet. 10.2 Glass shower enclosure: Owner to select, Contractor to provide and install.
- 10.3 Access Panels: Provide paint grade, hinged, metal access panels to all concealed mechanical, plumbing and electrical devices to include (but not limited to) dampers, valves, shut-offs, disconnects, transformers, etc.

#### **DIVISION 11: EQUIPMENT**

11.1 Kitchenette, laundry and bathroom.

See Div. 17 for Allowance Summary.

- 11.1.1 Cabinets & Hardware: Owner to supply and assemble cabinet parts by Barker. Contractor to install.
- 11.1.2 Countertops: Owner to select, Contractor to provide and install. See Div. 17 for Allowance Summary.
- 11.1.3 Appliances: Owner to provide, Contractor to install.
  - Undercounter refrigerator. Freezer.
  - Stacked washing machine & dryer: GE 3.8 cu. ft. washer w/ 5.9 cu. ft. 240V electrical dryer. Provide overflow pan and drain. Use braided stainless steel supply hoses.

#### DIVISION 15: PLUMBING / MECHANICAL (See Sheet MP-100)

**DIVISION 16: ELECTRICAL** (See Sheet E-100)

#### **DIVISION 17: ALLOWANCE SUMMARY**

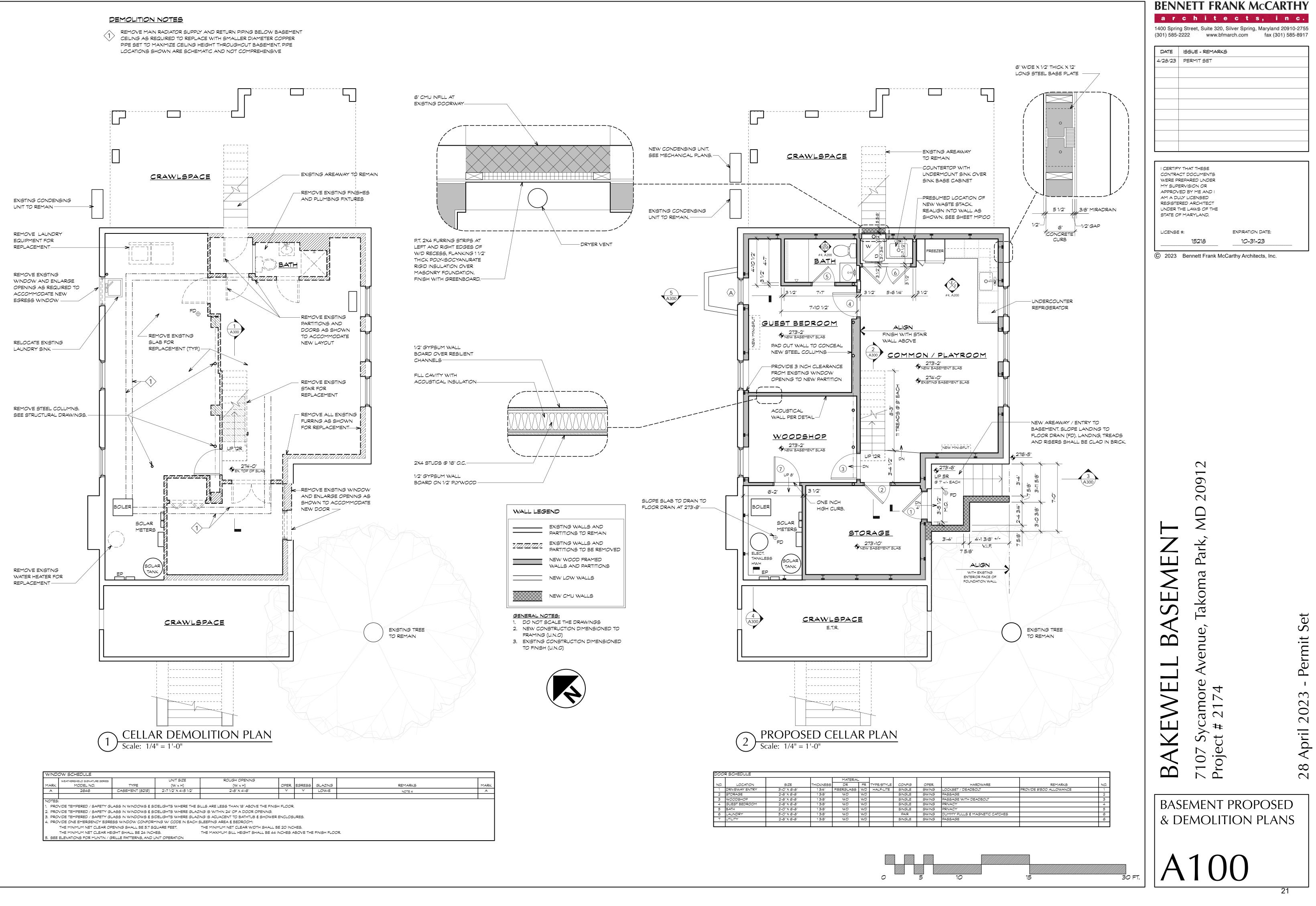
The Contractor shall provide the following allowances (to be included in the base scope):

- \$1,500 Tile and grout (materials only, installation included in base bid). See Division 9 for locations.
- \$5,000 LVT flooring (materials only, installation included in base bid). See Division 9 for locations.
- \$1,000 Shower glass enclosure (materials and installation).
- \$3,000 Kitchenette, laundry, and vanity countertops (materials and installation). See Div 11
- \$2,000 Plumbing fixtures (materials only, installation in base bid). See Division 15 for locations.
- \$2,000 Lighting fixture allowance (materials only, installation in base bid). Lighting allowance shall include all recessed and surface-mounted fixtures and associated lamps / bulbs. See drawings for locations.

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**SPECIFICATIONS** 

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				MATERIAL	-		
NO.	LOCATION	SIZE	THICKNESS	DR	FR	TYPE/STYLE	CON
1	DRIVEWAY ENTRY	3'-0" X 6'-8"	1 3/4"	FIBERGLASS	WD	HALF-LITE	SINC
2	STORAGE	2'-8" X 6'-8"	1 3/8"	WD	WD		SINC
3	WOODSHOP	2'-8" X 6'-8"	1 3/8"	WD	WD		SINC
4	GUEST BEDROOM	2'-6" X 6'-8"	1 3/8"	WD	WD		SING
5	BATH	2'-0" X 6'-8"	1 3/8"	WD	WD		SING
6	LAUNDRY	5'-0" X 6'-8"	1 3/8"	WD	WD		PA
7	UTILITY	2'-8" X 6'-8"	1 3/8"	WD	WD		SINC

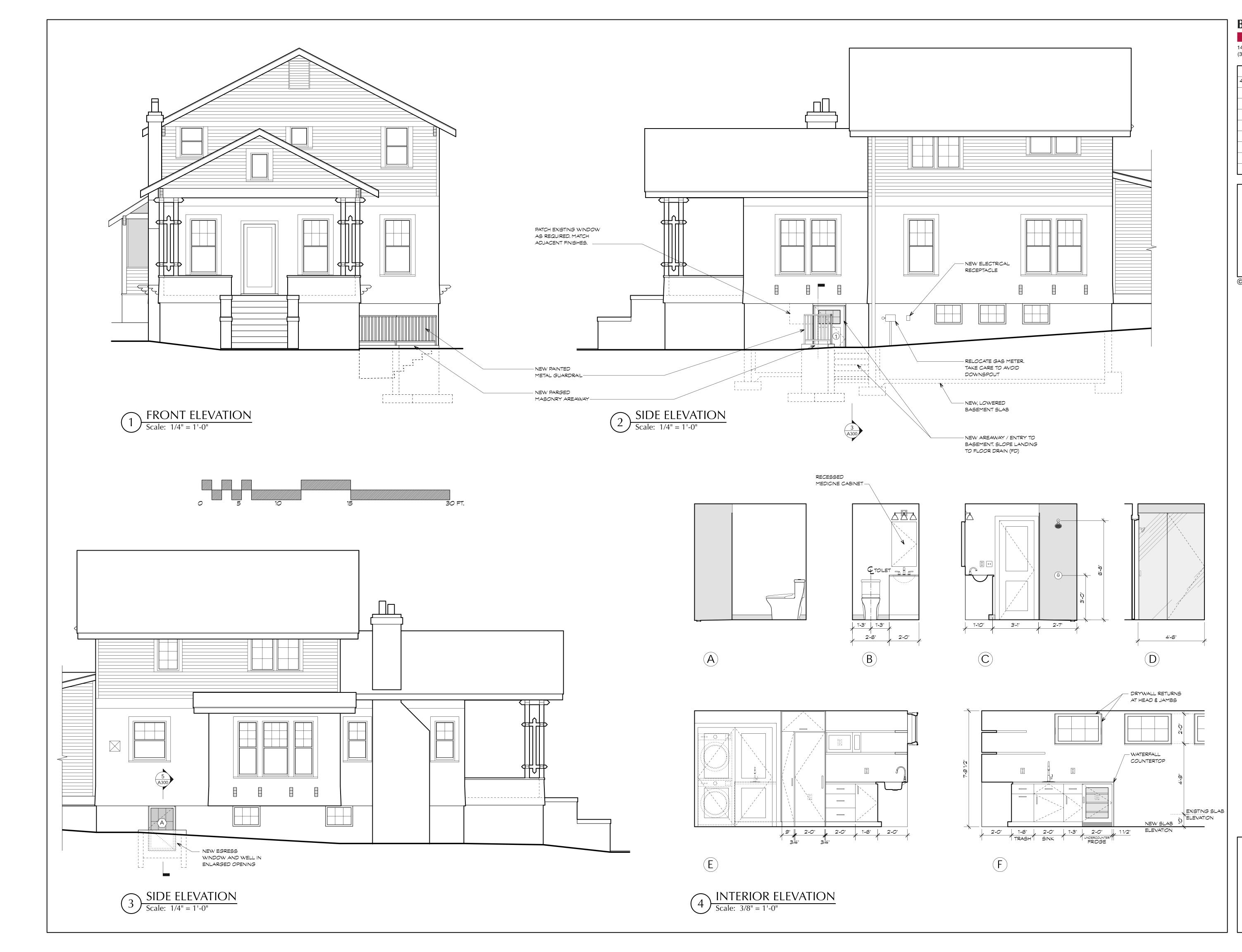


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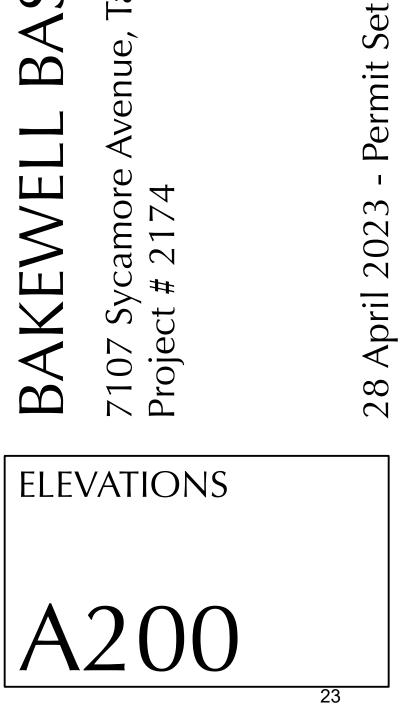
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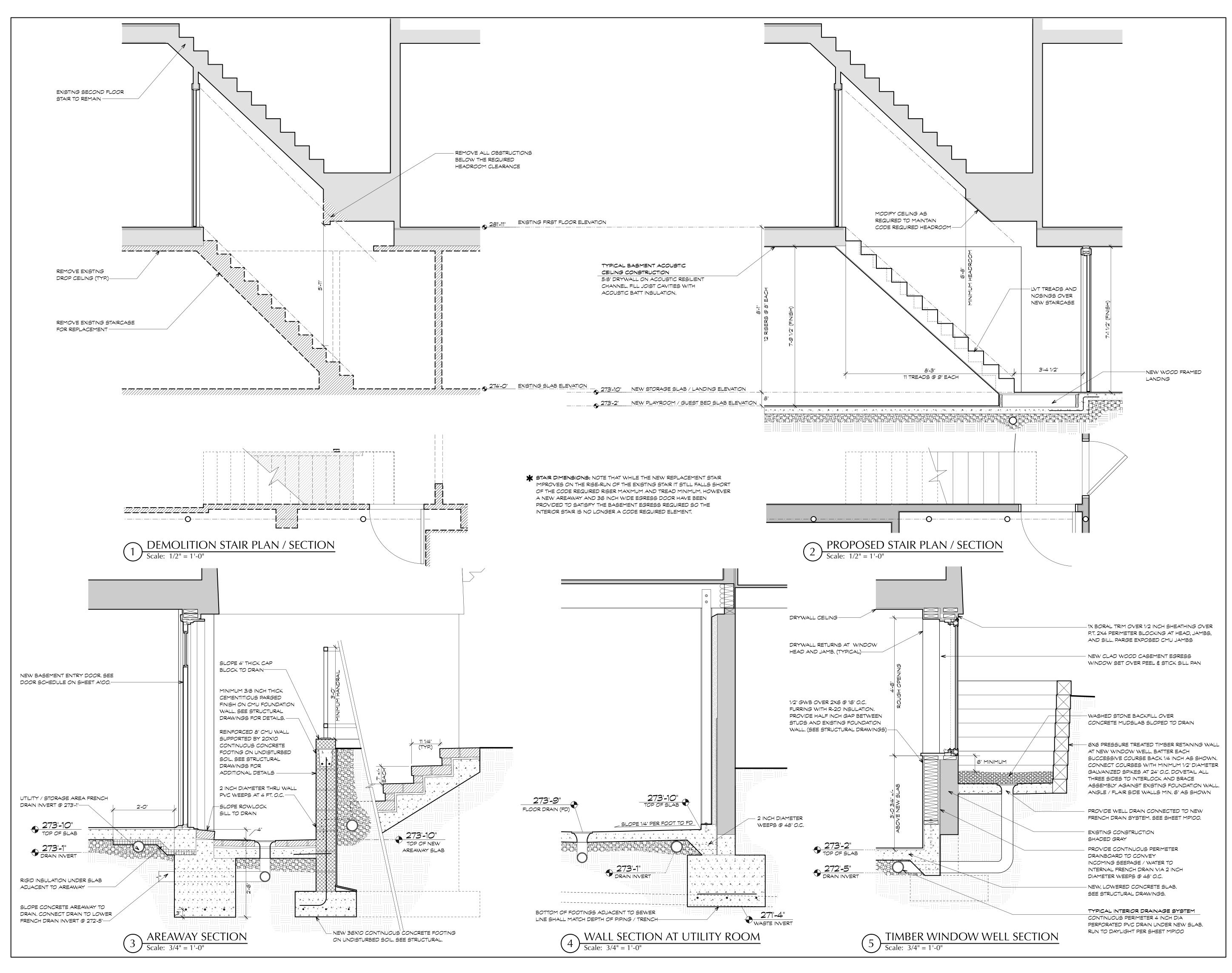


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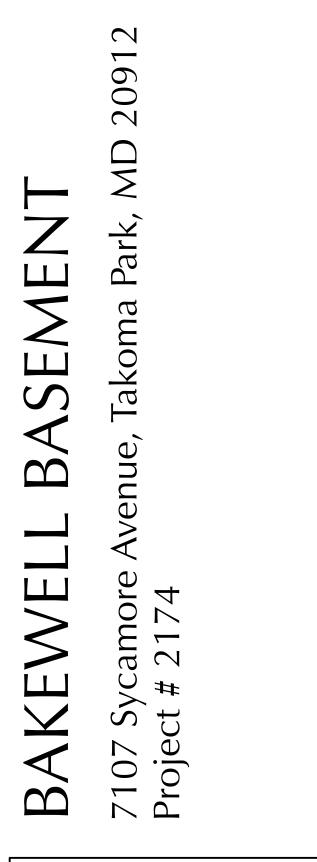
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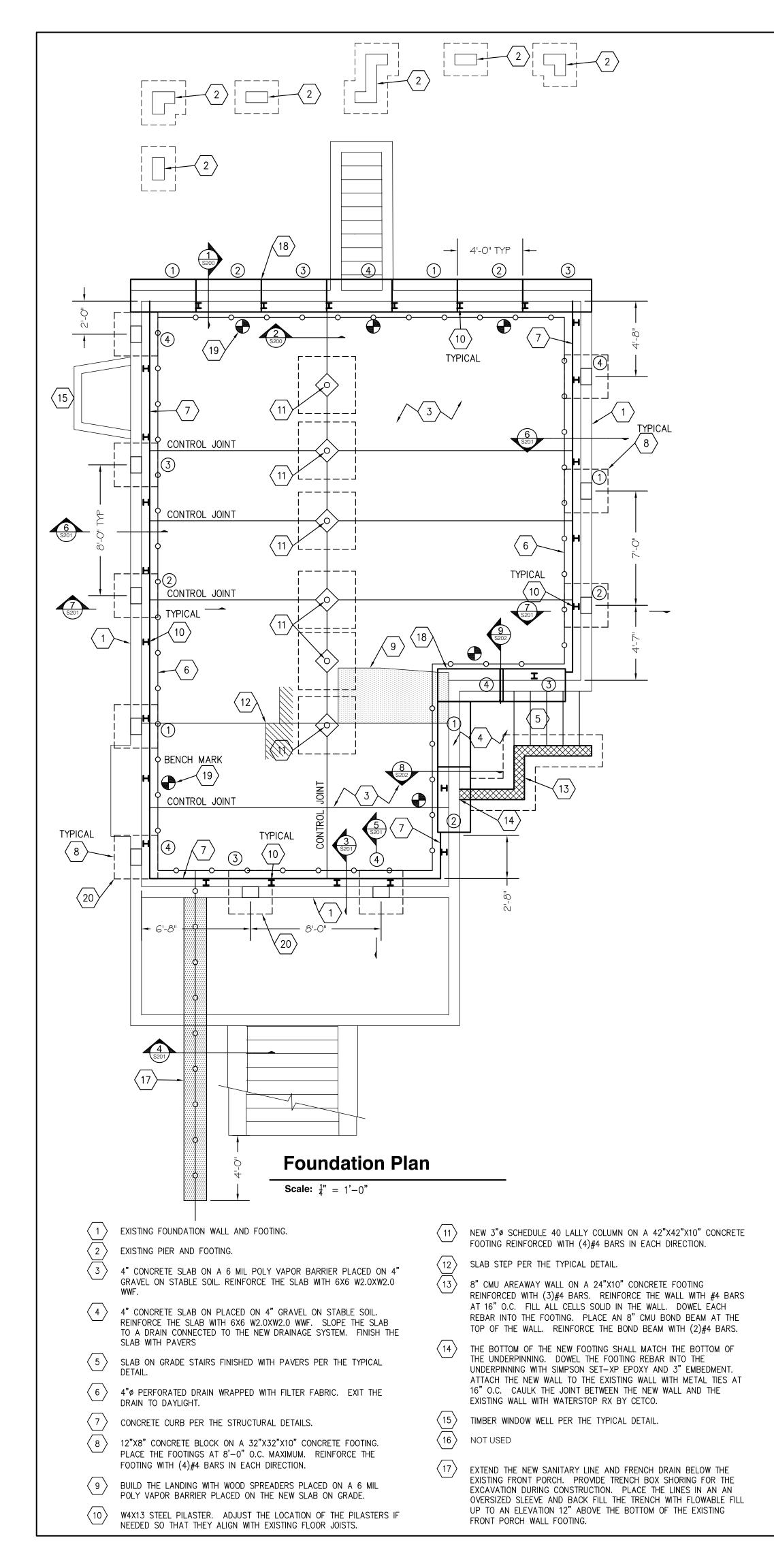


WALL SECTIONS

A300

8 April 2023 - Permit Set

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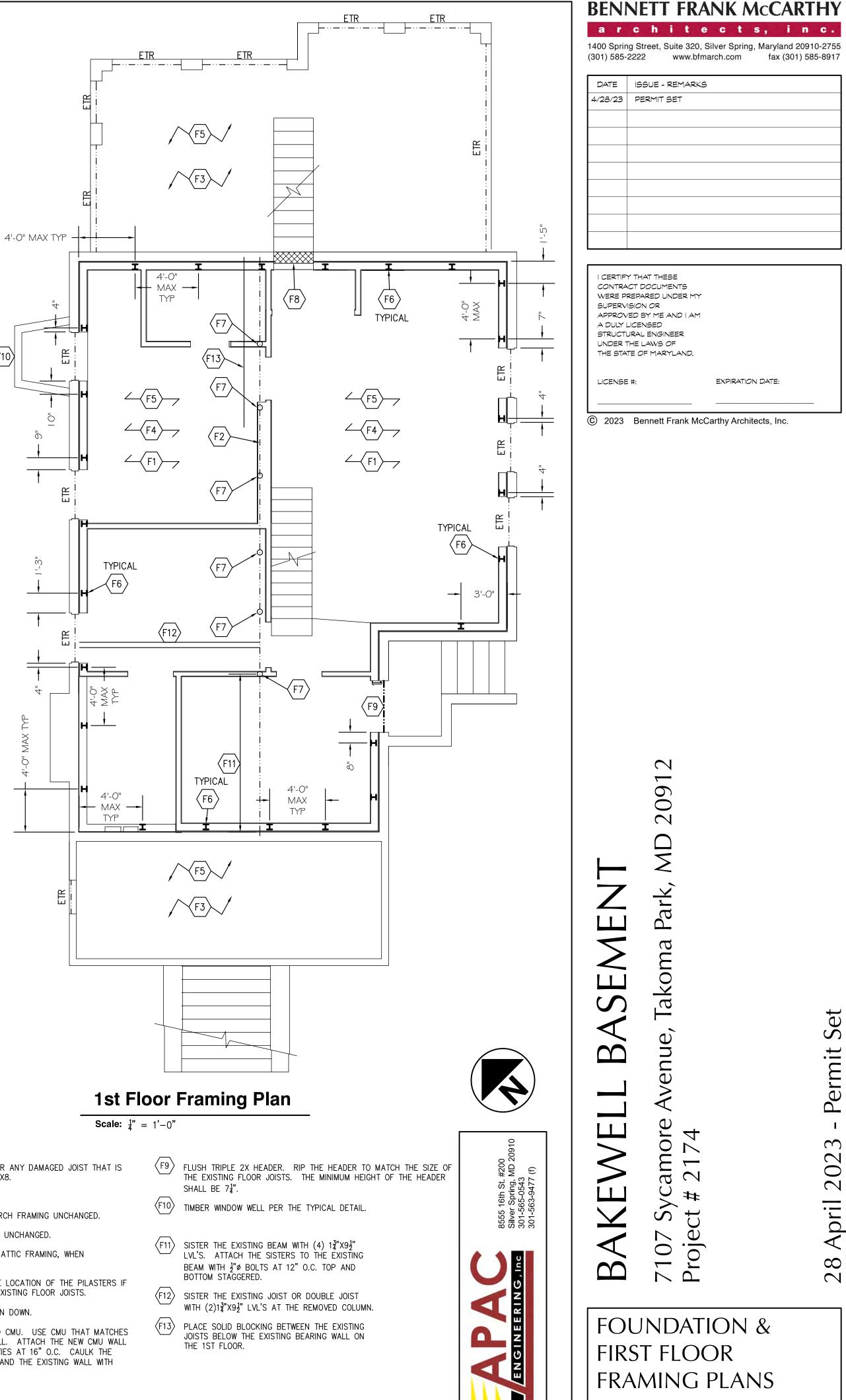


#### UNDERPINNING NOTES:

- 1. CONTRACTOR SHALL CONDUCT A SURVEY OF THE HOME BEFORE CONSTRUCTION BEGINS. THE SURVEY SHALL DOCUMENT ANY EXISTING CRACKING IN THE STRUCTURE AND ANY EXISTING FLOOR SLOPING OR OTHER DEFECTS IN THE STRUCTURE.
- CALL MISS UTILITY (800)257-7777 BEFORE ANY EXCAVATION BEGINS.
- PRIOR TO UNDERPINNING: EXAMINE THE EXISTING MASONRY WALLS AND POINT ANY DETERIORATED MORTAR JOINTS AND REPLACE ANY DETERIORATED BRICKS. ESTABLISH A MONITORING SYSTEM TO MEASURE VERTICAL MOVEMENT IN THE
- FOUNDATION WALL. THE SYSTEM SHOULD BE SET UP SO THAT MEASUREMENTS CAN BE TAKEN ONCE EVERY 8 FEET. MEASUREMENTS SHOULD BE TAKEN ON A DAILY BASIS DURING CONSTRUCTION. IF VERTICAL SETTLEMENT IN EXCESS OF  $\frac{1}{7}$  IS RECORDED, PLACE TEMPORARY SHORING, STOP WORK AND CONTACT STRUCTURAL ENGINEER OF RECORD (SER) SO THAT THE UNDERPINNING CAN BE INSPECTED TO DETERMINE THE CAUSE OF THE MOVEMENT AND DESIGN TEMPORARY SHORING AND REVISE THE UNDERPINNING DESIGN AS NEEDED.
- DO NOT EXCAVATE FOR THE NEW BASEMENT UNTIL THE UNDERPINNING IS COMPLETE. PROVIDE TEMPORARY SHORING PER OSHA REGULATIONS FOR ALL PITS DEEPER THEN 4'-0".
- EXCAVATE AND POUR THE UNDERPINNING FOOTINGS PER THE SEQUENCE SHOWN ON THE PLANS. EXCAVATE UNDERPINNING PITS MARKED SEQUENCE 1 FIRST. POUR THE FOOTING AND ALLOW THE CONCRETE TO SET FOR A MINIMUM OF 24 HOURS. ONCE THE CONCRETE HAS SET, PLACE DRY PACK BETWEEN THE UNDERPINNING AND EXISTING FOOTING. FOLLOW THE MANUFACTURES RECOMMENDATIONS FOR ALLOWABLE SET TIME IN DRY PACK. ONCE DRY PACK HAS SET EXCAVATE THE PITS MARKED SEQUENCE 2 AND REPEAT THE SAME PROCESS AS IN SEQUENCE 1 ALLOW DRY PACK TO SET PER THE MANUFACTURES RECOMMENDATIONS AND REPEAT PROCESS FOR SEQUENCE 3-4. ONCE THE UNDERPINNING IS COMPLETE THE EXCAVATION FOR THE NEW BASEMENT CAN BEGIN.

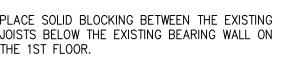
#### FRAMING NOTES:

- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW EXTERIOR GRADE. 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND
- SINGLE KING STUD, UNLESS NOTED OTHERWISE. 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND
- MULTIPLE STUDS. 4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF
- <sup>1</sup>/<sub>2</sub>"ø BOLTS AT 16" O.C. STAGGERED 5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS
- NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN. 6. ATTACH VENEER TO THE WOOD OR CMU BACKING STRUCTURE WITH METAL TIES AT 16" O.C. IN EACH DIRECTION. PROVIDE FLASHING, WATERSTOPS AND WEEP HOLES IN THE VENEER PER THE IRC CODE.
- ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS. 8. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 9. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- 10. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
- 11. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
- 12. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
- 13. TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
- 14. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX. 15. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
- 16. LALLY COLUMNS SHALL BE BY THE TIGER BRAND JACK POST COMPANY (ESR 1766)



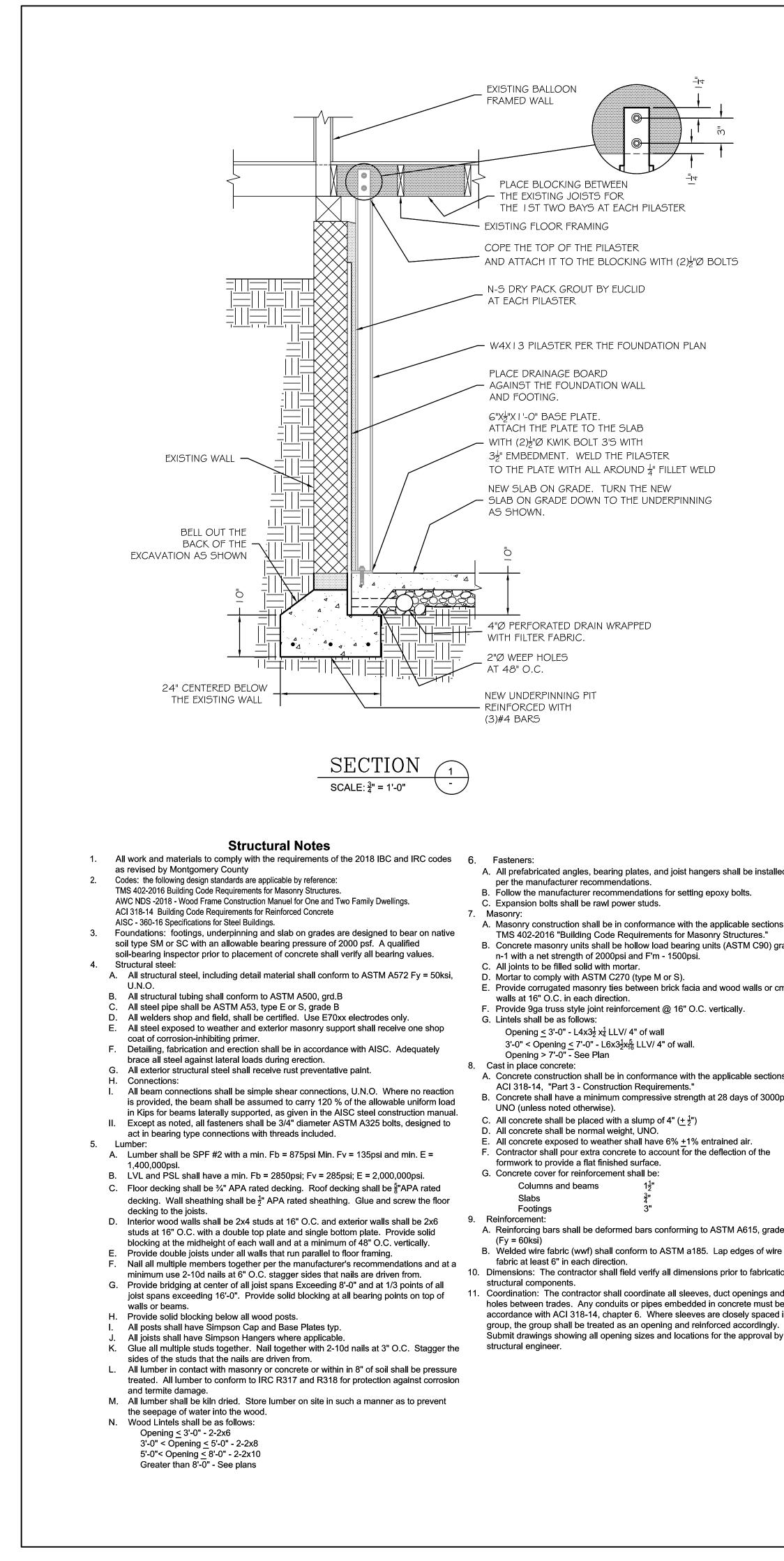
 $\langle F1 \rangle$  EXISTING 1ST FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X10 OR A DOUBLE 2X8.  $\left< F2 \right>$  EXISTING TRIPLE 2X10 BEAM. (F3) EXISTING 1ST FLOOR FRAMING OR PORCH FRAMING UNCHANGED.  $\langle F4 \rangle$  EXISTING 2ND FLOOR FRAMING ABOVE UNCHANGED.  $\langle$  F5 $\rangle$  existing roof framing above and attic framing, when APPLICABLE ABOVE UNCHANGED.  $\langle F6 \rangle$  w4x13 steel pilaster. Adjust the location of the pilasters if NEEDED SO THAT THEY ALIGN WITH EXISTING FLOOR JOISTS.  $\langle F7 \rangle$  New 3"ø schedule 40 lally column down.  $\langle F8 \rangle$  INFILL THE EXISTING WALL WITH SOLID CMU. USE CMU THAT MATCHES THE THICKNESS OF THE EXISTING WALL. ATTACH THE NEW CMU WALL TO THE EXISTING WALL WITH METAL TIES AT 16" O.C. CAULK THE JOINT BETWEEN THE NEW CMU WALL AND THE EXISTING WALL WITH WATERSTOP RX BY CETCO.

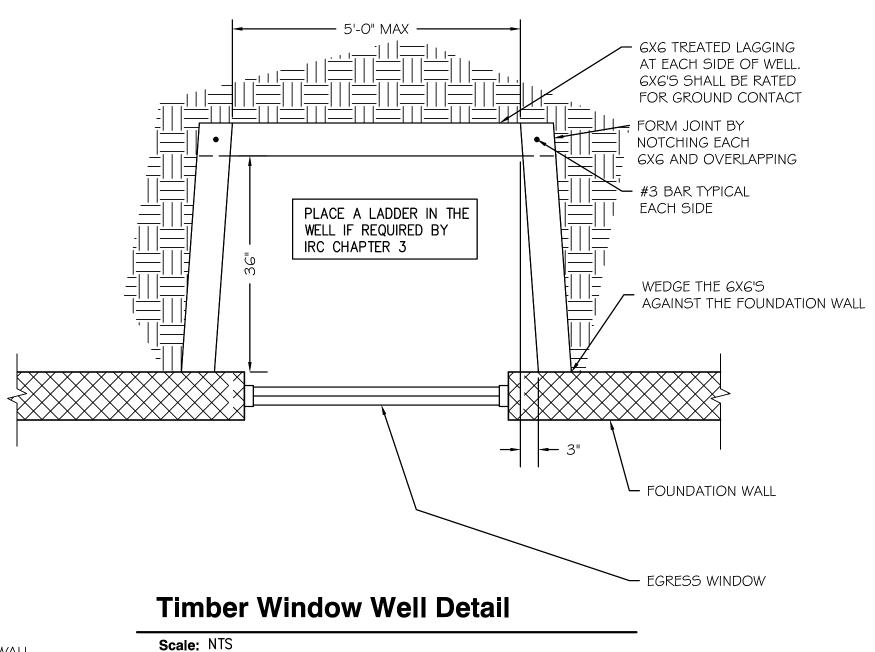
- (18) NEW UNDERPINNING. THE NUMBER IN THE CIRCLE REPRESENTS THE SEQUENCE.
- $\langle 19 \rangle$ VERTICAL MONITOR POINTS AT 8'-0" O.C. PROVIDE A BENCH MARK AWAY FROM THE UNDERPINNING. SET THE POINTS SO READINGS CAN BE MADE AFTER CONSTRUCTION IS COMPLETE.
- $\langle 20 \rangle$ THE BOTTOM OF THE FOOTING SHALL MATCH THE BOTTOM OF THE EXCAVATION FOR THE NEW SANITARY LINE AND FRENCH DRAIN.

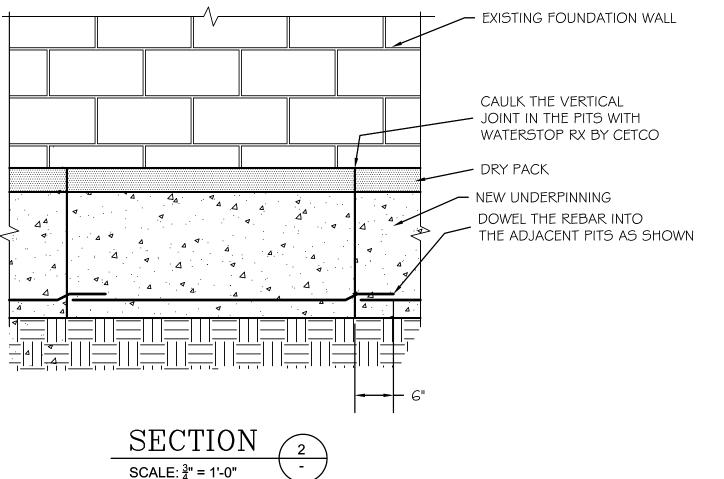


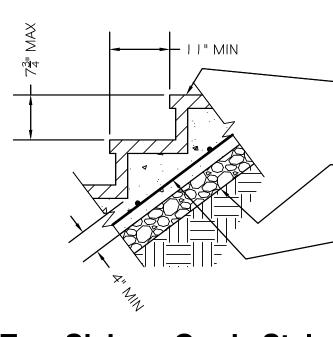


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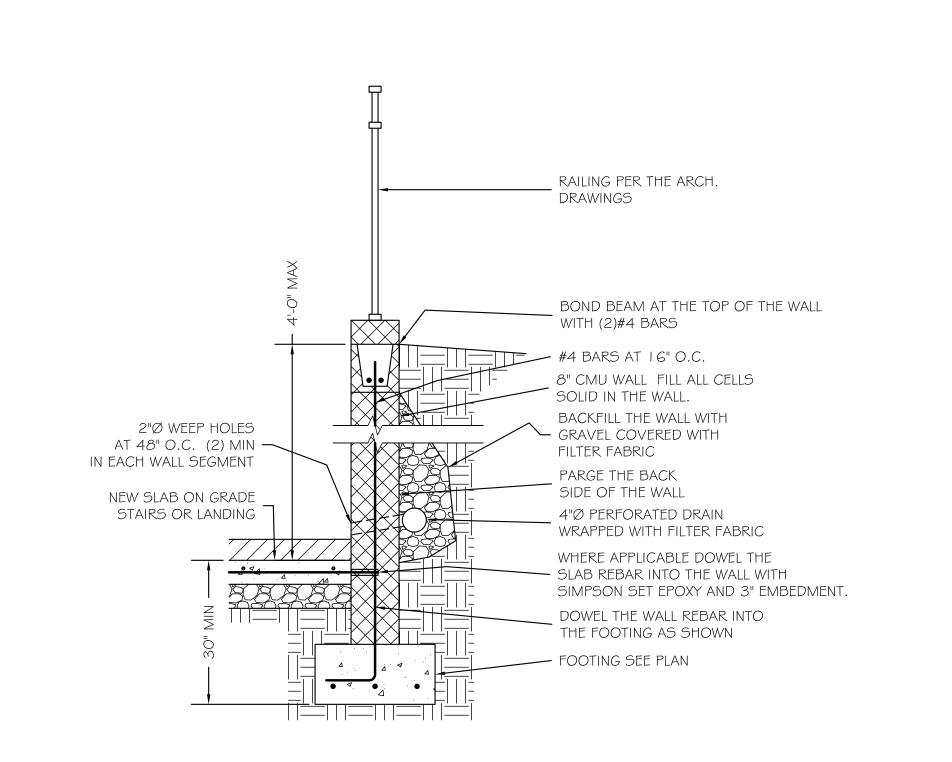








Scale:  $\frac{3}{4}$  = 1'-0"



# **Typical Areaway Wall Detail**

Scale:  $\frac{3^{"}}{4} = 1' - 0"$ 

	Dead Loads:	
ed	SPF #2 -	25 PCF
	½ Decking -	1.7 PSF
	¾" Decking -	2.5 PSF
	Asphalt Shingles -	2.5 PSF
	Slate Shingles -	15 PSF
is of	½" Drywall -	2.2 PSF
	Insulation -	1.5 PSF
rade	Siding -	2.0 PSF
	CMU -	87 PCF
	Brick -	130 PCF
	LIVE LOADS:	
mu	DECK:	40PSF
ind ind	ATTIC:	20PSF
	FLOOR:	40PSF
	BALCONY	60PSF
	BEDROOM	40PSF
	ROOF:	30PSF
	WIND LOADS	
	WIND SPEED:	Vult = 115mph; Vasd = 89mph
ns of	WIND LOAD IMPORTANCE FACTOR:	1.0
	WIND EXPOSURE FACTOR:	В
)psi,	WIND DESIGN PRESSURE:	11PSF
•	SNOW LOADS:	
	GROUND SNOW LOAD (PG):	30PSF
	FLAT ROOF SNOW LOAD(PF):	30PSF
	SNOW EXPOSURE FACTOR (CE):	0.9
	SNOW IMPORTANCE FACTOR (I):	1.0
	Deflection Limitations:	
	Rafters:	L/240
	Interior Walls and Partitions:	H/180
	Floors and Plastered Ceilings:	L/360
	All Other Structural Members:	L/240
	Ext. Walls with plaster or stucco finishes:	L/360
	Ext. Walls - Wind Loads with Brittle Finishes:	L/240
le 60	Ext. walls - Wind Loads with Flexible Finishes:	L/120
	SEISMIC DESIGN DATA:	2, 120
e	SEISMIC IMPORTANCE FACTOR (Ie):	1.0
	SPECTRAL RESPONSE ACCELERATIONS:	1.0
ion of	(Ss):	20.0%
	(S3): (S1):	8.0%
nd	SPECTRAL RESPONSE COEFFICIENTS:	0.0 %
be in	(Sds):	33%
lina		33 <i>%</i> 18.7%
y the	SEISMIC DESIGN CATEGORY:	В
y uno	SEISMIC SITE CLASSIFICATION:	D
	SEISMIC COEFFICIENT (Cs):	0.05
	SEISMIC MODIFICATION FACTOR (R):	6.5
	BASE SHEAR:	1.1k
	ANALYSIS PROCEDURE:	EQUIV. LATERAL FORCE
	BASIC SFRS:	LIGHT FRAMED WALLS

CONCRETE SLAB ON GRADE STAIRS WITH A PAVER FINISH

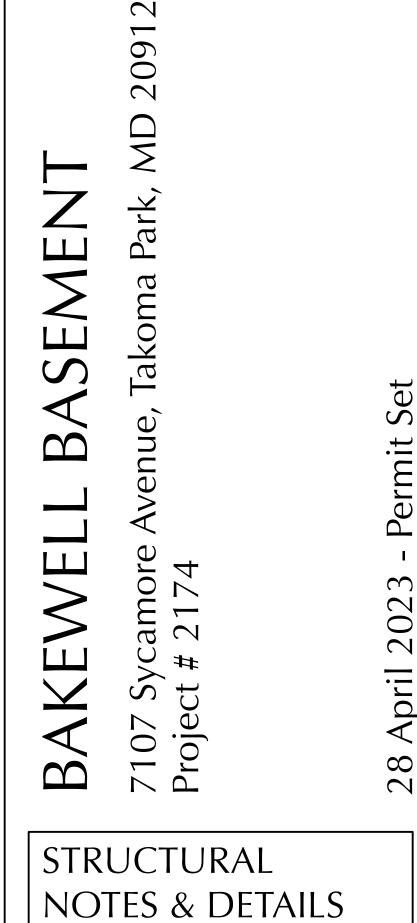
- 4" GRAVEL

#3 BARS @ 15" O.C. EA. WAY. EPOXY DOWEL THE REBAR INTO SIDE WALLS WHERE APPLICABLE WITH SIMPSON SET-XP EPOXY AND 3" EMBEDMENT.

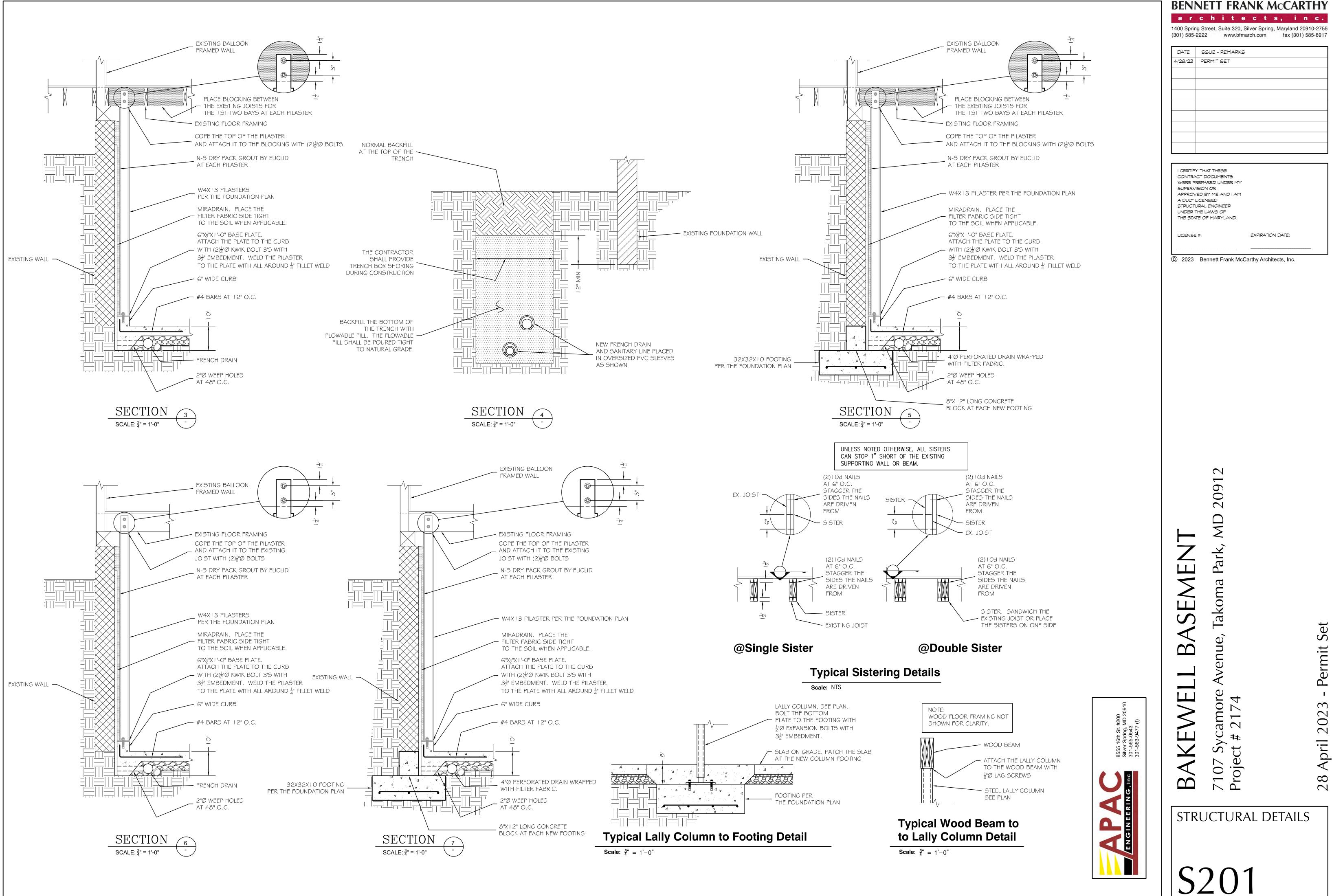
# Typ. Slab on Grade Stairs Detail

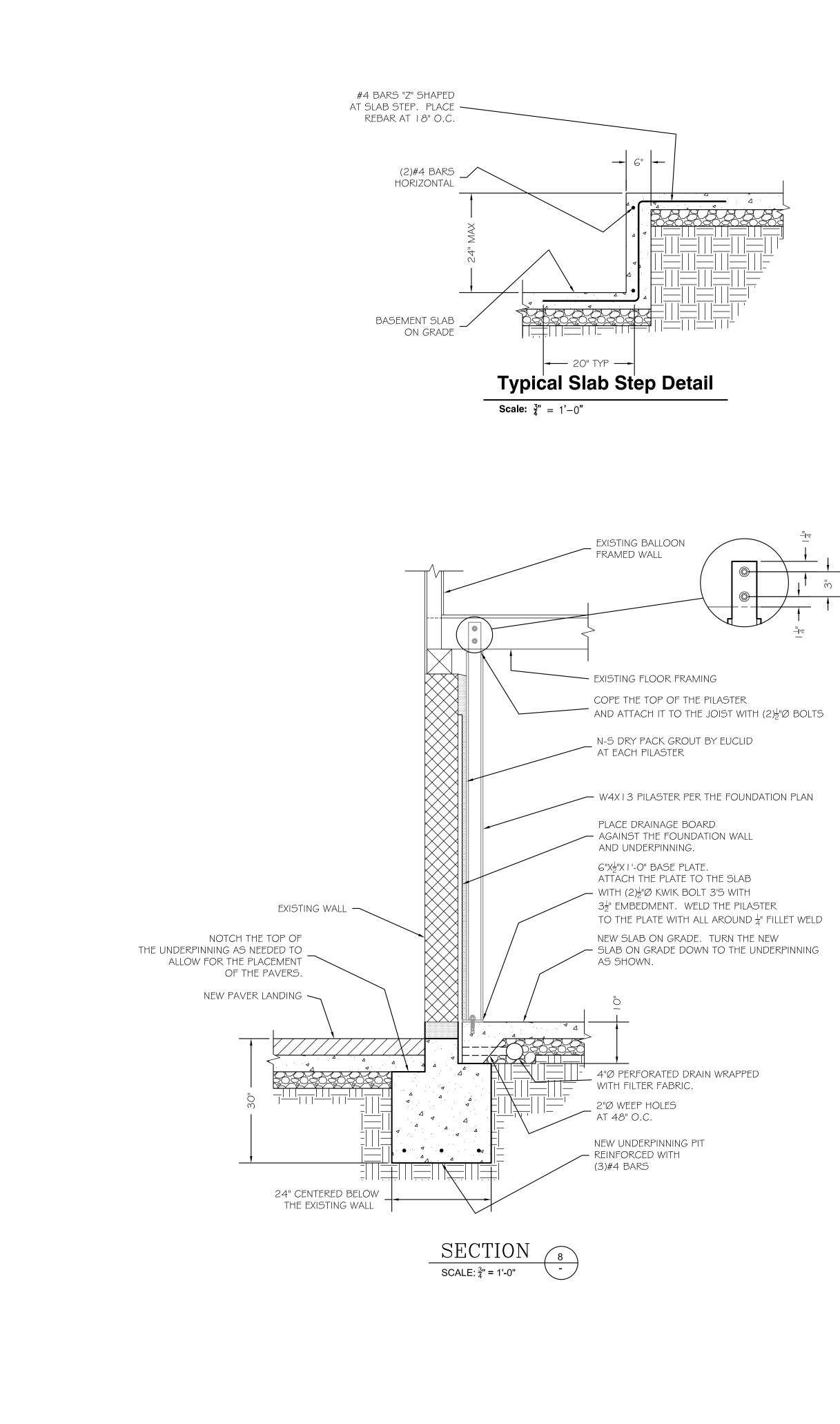


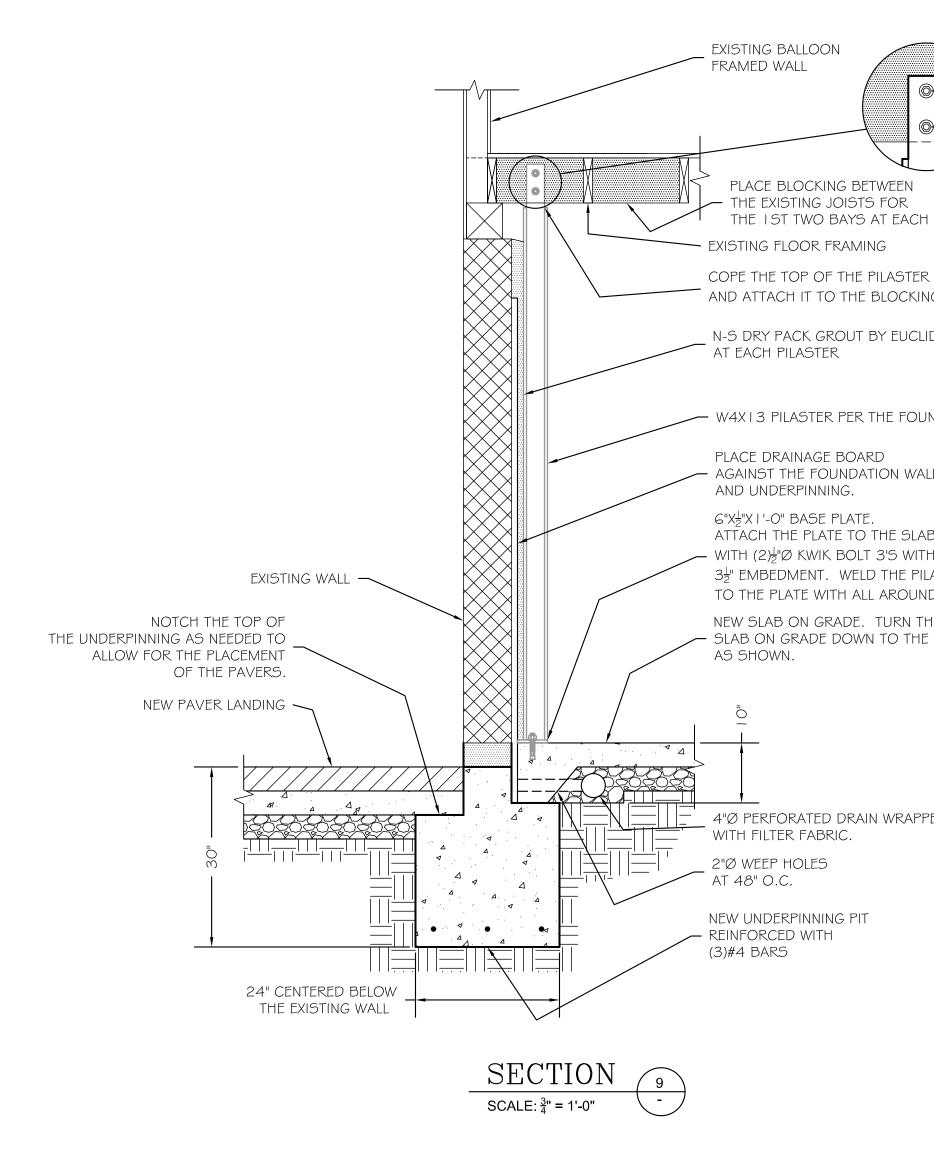
DATE	ISSUE - REMAR	RKS
4/28/23	PERMIT SET	
SUPERVI APPROV A DULY L STRUCTL UNDER T	REPARED UNDER M SION OR ED BY ME AND I A LICENSED JRAL ENGINEER HE LAWS OF TE OF MARYLAND.	Μ
LICENSE	#:	EXPIRATION DATE:
) 2023	Bennett Frank N	McCarthy Architects, Inc.



S Permit  $\mathbf{C}$ 202 April  $\infty$  $\sim$ 



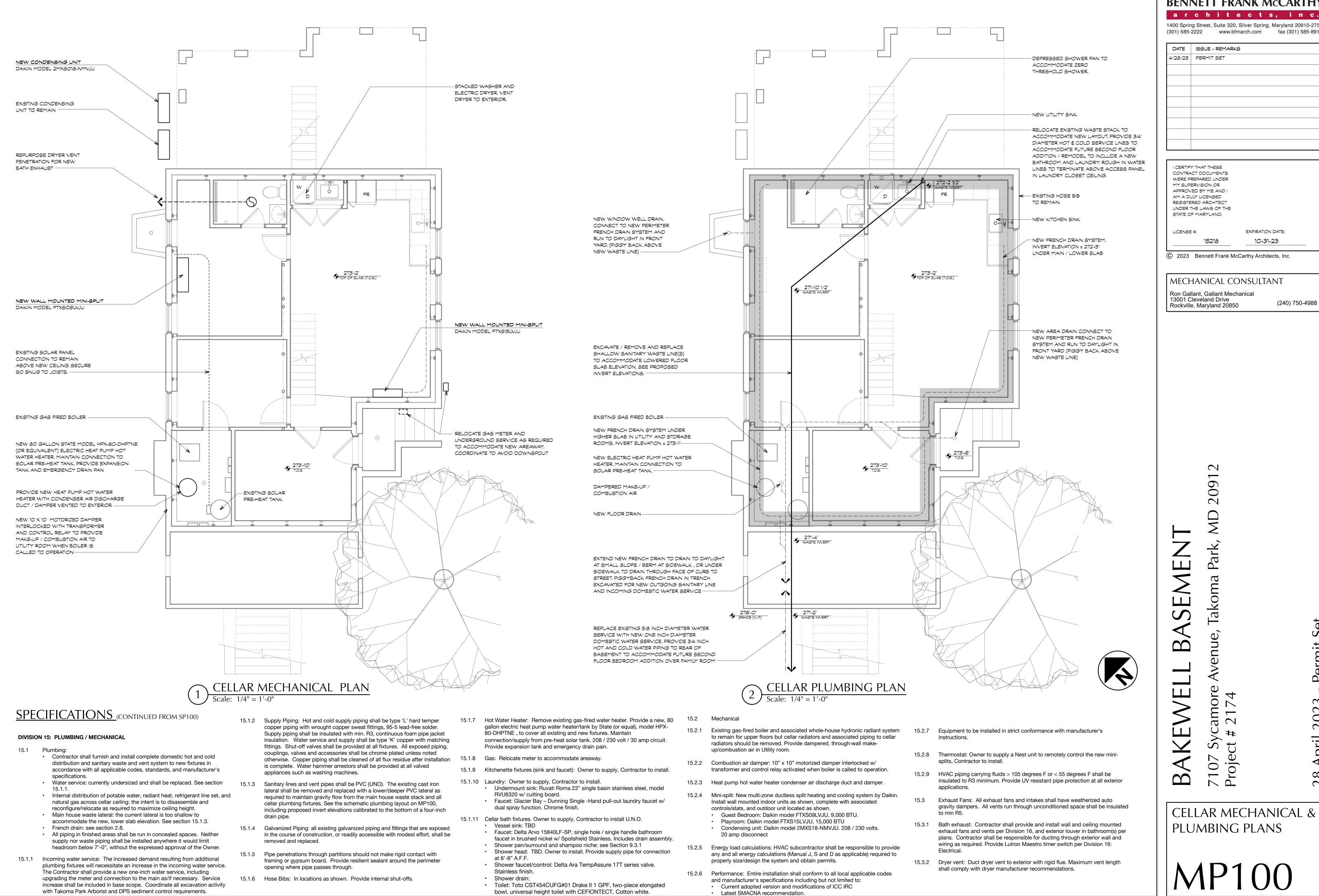




		DATE ISSUE - REMARKS	land 20910-2755
		4/28/23 PERMIT SET	
		I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED STRUCTURAL ENGINEER	
		UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE #: EXPIRATION DATE	÷.
		© 2023 Bennett Frank McCarthy Architects, I	nc.
CH PILASTER			
TER KING WITH (2) $\frac{1}{2}$ "Ø BOLTS			
CLID			
OUNDATION PLAN		20912	
VALL		$\frown$	
NITH PILASTER UND ¼" FILLET WELD I THE NEW THE UNDERPINNING		BAKEWELL BASEMENT 7107 Sycamore Avenue, Takoma Park, MI Project # 2174	
\PPED		BASI nue, Tak	Permit Set
		LL Ave	
	#200 //D 20910 (f)	ME more 174	ril 2023 -
	8555 16th St. #200 Silver Spring, MD 20910 301-563-9477 (f)	KEV Syca ct # 2	
		BA 7107 Proje	28 Ap
		STRUCTURAL DET	
	ENGI		
		S202	
			28

**BENNETT FRANK McCARTHY** 

architects, inc.



bowl, universal height toilet with CEFIONTECT, Cotton white.

	BENN	ICII FKAINK	<b>McCARTHY</b>
	1400 Spring	<b>chitect</b> Street, Suite 320, Silver Spr 222 www.bfmarch.com	ring, Maryland 20910-2755
GED SHOWER PAN TO 10DATE ZERO DLD SHOWER.		ISSUE - REMARKS PERMIT SET	
LITY SINK TE EXISTING WASTE STACK TO 10DATE NEW LAYOUT. PROVIDE 3/4" R HOT & COLD SERVICE LINES TO			
ODATE FUTURE SECOND FLOOR / REMODEL TO INCLUDE A NEW MAND LAUNDRY. ROUGH IN WATER TERMINATE ABOVE ACCESS PANEL RY CLOSET CEILING. HOSE BIB N CHEN SINK NCH DRAIN SYSTEM. _EVATION = 272'-5"	CONTRACT WERE PRE MY SUPER APPROVED AM A DULY REGISTERE UNDER TH		ATION DATE: 2-31-23
AIN / LOWER SLAB A DRAIN CONNECT TO METER FRENCH DRAIN AND RUN TO DAYLIGHT IN ARD (PIGGY BACK ABOVE STE LINE)	MECH/ Ron Galla 13001 Cle	Bennett Frank McCarthy An ANICAL CONSUL Int, Gallant Mechanical eveland Drive Maryland 20850	
	L Z	ark, MD 20912	
	VELL BASEMENT	more Avenue, Takoma Park, MD 2091 174	nit Set
	VELL	more Aver 2174	023 - Permit Set

# SPECIFICATIONS (CONTINUED FROM SP100)

**DIVISION 16: ELECTRICAL** 

- 16.1 Electrical service: Existing electric service shall be reviewed by Contractor and Electrical subcontractor. Provide new service, subpanel and/or additional breakers as necessary to accommodate new work, equipment, systems and appliances. Provide ground fault circuit interrupt breakers at panels as required for all outlets requiring GFCI safety cutoff where indicated and where otherwise required. Label all new circuits at the panel.
- Receptacles and Switches: Contractor shall provide wall switches, dimmer 16.2 switches, and wall plates, etc. in areas of new work in conformance with NEC and local code. Contractor shall provide and install all specialty and appliance receptacles and switches.
  - Style: Decora style as manufactured by Lutron. - Typical single pole rocker switch shall be Lutron model CA-1PS-WН
  - Three way rocker switch shall be Lutron model CA-3PS-WH. - Dimmer switch shall be Lutron model LUT DVCL-153P-WH (wattage rating requirement should be coordinated with fixtures). Representative duplex receptacle style shall be Lutron model CAR-15/20-SW (coordinate amperage with equipment/circuit) - Exhaust fan switch shall be GE Push-Button Countdown Timer
  - Switch. Model 15318 in white. Color: All devices and cover plates shall be white, unless noted
  - otherwise. Consistency: Where devices are added in existing spaces all devices in
  - that space shall be upgraded to match new devices. • Plates: use standard, not enlarged wall plates, in finish to match devices.
- Provide ground fault interrupt devices where indicated and where otherwise 16.3 required by code. Provide arc fault devices in all habitable spaces where ground fault are not otherwise provided.
- 16.4 Lighting: Owner to select, Contractor to provide and install. See Div. 17 for Allowance Summary. See drawings for locations. Coordinate mounting heights with Architect. Provide housings rated for insulation contact in all insulated ceiling cavities (housings shall be labeled to indicate <2.0 CFM leakage at 75 Pa.). Seal at housing / interior finish. Submit all recessed fixtures for review and approval prior to rough wiring. 85% of lamps in permanent fixtures or 85% of permanent fixtures shall use high efficiency lamps.
  - Bathroom sconce: Kichler Marette 22.75 in three light, brushed nickel modern vanity light.
- Bath exhausts: Contractor to provide/install. 16.5

16.6

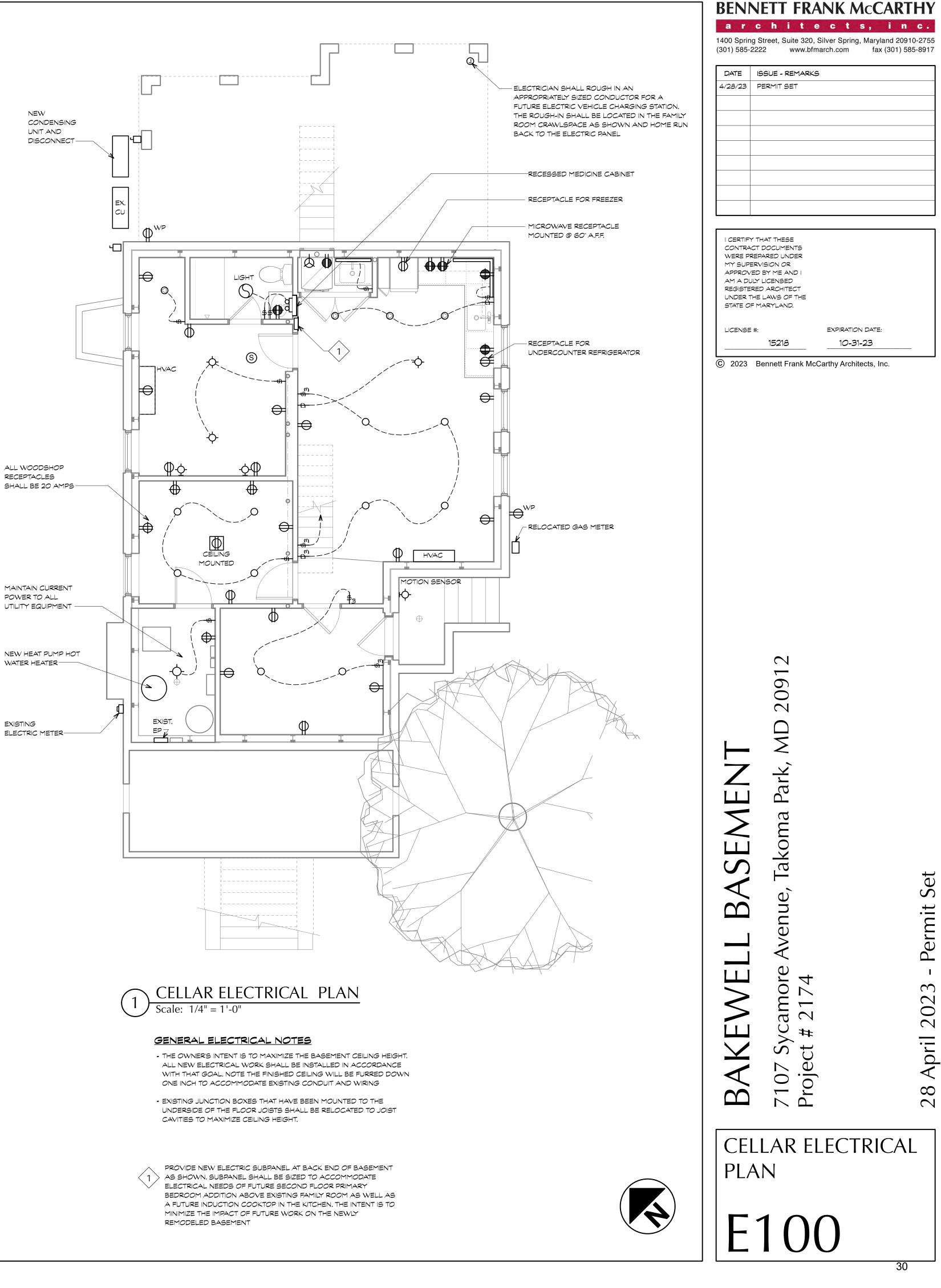
- Cellar bath: Delta Electronics Ltd. BreezSlim SLM70. Ceiling mounted, 2.0 sones, 70 CFM.
- Smoke/Fire protection: A whole house smoke/carbon monoxide detection system by Simplisafe is in place on the upper floors. The Contractor shall extend the system to provide one detector in the new basement sleeping room and another in the immediate vicinity of the bedroom.

ELECTRICAL	SYMBOLS
-	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18" A.F.F COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45" AFF- COORDINATE W/ PANEL & EQUIP.
-	GFI OUTLET - 20 AMP @ 18" A.F.F.
+	GFI OUTLET - 20 AMP @ 45" A.F.F.
φ	HALF-SWITCH OUTLET - 20 AMP @ 18" A.F.F.
₽	QUAD RECEPTACLE 15/20 AMP @ 18" A.F.F. (U.N.O.)
Ð	CEILING MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
Ū	JUNCTION BOX. SIZE AS REQUIRED
Ą	ELECTRIC DRYER RECEPTACLE
$\bigtriangledown$	DATA/TELEPHONE JACK - MOUNT @ 18" A.F.F. (U.N.O.)
TV	CABLE TV OUTLET
S <sub>ex</sub>	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
S	SMOKE DETECTOR - HARDWIRED INTERCONNECT PER CODE
0	EXHAUST FAN-CEILING MOUNTED
0	EXHAUST FAN-WALL MOUNTED

LIGHTING ST
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GENERAL: PROV

YMBOLS

	SURFACE MOUNTED CEILING LIGHT FIXTURE		
	SURFACE MOUNTED PUCK LED LIGHT		
	UNDER CABINET MOUNTED FIXTURE		
	SUSPENDED PENDANT FIXTURE		
	PENDANT FIXTURE		
	VANITY LIGHT		
	WALL-MOUNTED LIGHT FIXTURE		
	SMALL ADJUSTABLE LED LIGHTS		
	CEILING FAN/LIGHT		
	LED LIGHT FIXTURE		
	SWITCH		
	THREE WAY SWITCH		
	DIMMER SWITCH		
	DIMMER THREE WAY SWITCH		
	JAMB SWITCH		
	SECURITY FLOODLIGHT ON MOTION DETECTOR		
OVIDE "I.C." HOUSING AS NECESSARY IN INSULATED CAVITIES			



# City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119 Fax 301-270-4568 www.takomaparkmd.gov



7500 Maple Avenue Takoma Park, MD 20912

MUNICIPALITY LETTER

May 08, 2023

**To:** Jennifer Gibson&Andreas Smith 109 Elm Avenue jengib36@hotmail.com

240-308-0031

To: Department of Permitting Services 2425 Reedie Drive, 7<sup>th</sup> floor Wheaton, Maryland 20902

From: Planning and Development Services Division

#### THIS IS NOT A PERMIT – For Informational Purposes Only

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

Representative Name:Susan Darceysusan@bfmarch.com301-585-2222Location of Project:109 Elm Avenue109 Elm Avenue500 Elm AvenueProposed Scope of Work:Add second story and 1-story rear addition with screened porch & covered entry stoop.Scope includes interior remodeling.

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

## City Of Takoma Park

#### The City of Takoma Park permits for the following issues:

#### Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: https://takomaparkind.gov/services/permits/treereached permits. The City's Urban Forest Manager can be at 301-891-7612 or urbanforestmanager@takomaparkind gov\_

#### **Stormwater Management:**

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for a Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information visit: <u>https://takomaparkmd.gov/government/public-works/stormwater-management-program/</u>. The City Engineer should be contacted to determine if a City permit is required. The City Engineer can be reached at 301-891-7620.

#### City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see: <u>https://takomaparkmd.gov/services/permits/</u> or contact the Department of Public Works at 301-891-7633.

Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.

eSigned via SeamleseDoce.com Susan Emery Darcey Key: 38bf2056622713c0bf879ea7ee94774a	Susan Emery Darcey	05-03-2023
esigned via SeamleesDoce.com Planning Department Key: 1948411 23e68a311457621 0058c451c4		05-08-2023

# City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119 Fax 301-270-4568 www.takomaparkmd.gov



7500 Maple Avenue Takoma Park, MD 20912

MUNICIPALITY LETTER

May 01, 2023

**To:** Clark Bakewell 7107 Sycamore Ave, Takoma Park 20912 csbakewell@gmail.com

978-505-2367

To: Department of Permitting Services 2425 Reedie Drive, 7<sup>th</sup> floor Wheaton, Maryland 20902

From: Planning and Development Services Division

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VALID FOR ONE YEAR FROM DATE OF ISSUE

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Representative Name:Susan Darceysusan@bfmarch.com3015852222Location of Project:7107 Sycamore Ave., Takoma Park3015852222Proposed Scope of Work:Gut & remodel cellar: remodel bath, add stacked laundry, wet bar.Exterior work includes<br/>egress window/window well & new areaway.

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esigned via SeamlessDocs.com Susan Emery Darcey Key: 38bf20506922713c0bf979ea7ee94774a	Susan Emery Darcey	05-01-2023
eSigned via SeamleesDoce.cóm Takoma Park Planning Division Key: 196840 23e68a3ff4576219059656be		05-01-2023