

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6100 Connecticut Avenue, Chevy Chase	Meeting Date:	5/24/2023
Resource:	Outstanding Resource Chevy Chase Village Historic District	Report Date:	5/17/2023
Applicant:	Chevy Chase Country Club (DLR Group & EHT Traceries)	Public Notice:	5/10/2023
Review:	Historic Area Work Permit	Tax Credit:	N/A
		Staff:	John Liebertz

Permit Number: 1028602

PROPOSAL: Fenestration alterations, construction of new terrace, hardscape and pathway alterations, terrace alterations, installation of cable railings, new rooftop mechanical equipment, tree removal, and lighting alterations.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District
STYLE: Georgian Revival with prominent Neoclassical elements
DATE: 1911/1926

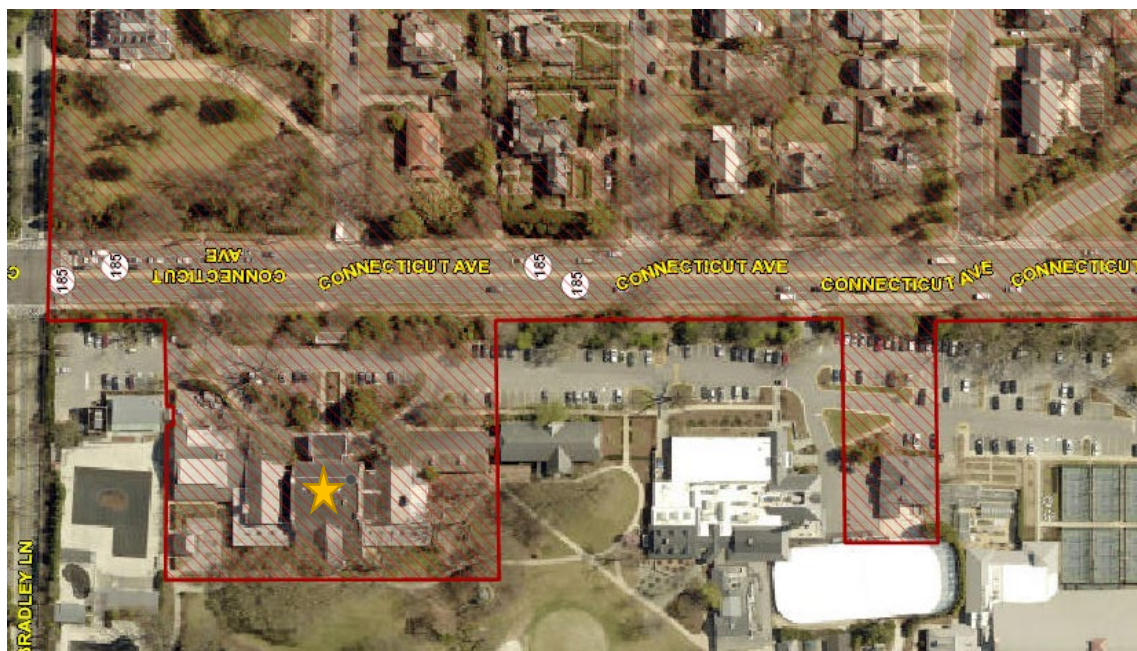


Figure 1: The subject property at 6100 Connecticut Avenue is located on the west side of the street. The red hatched area is the boundary of the Chevy Chase Village Historic District and the yellow star is the location of the clubhouse.

Source: Montgomery Planning.

PROPOSAL

The applicant proposes the following alterations to the clubhouse all of which are on the rear elevations of the building or not visible from the public rights-of-way: 1) replace several non-historic windows and doors; 2) install new doors or windows; 3) demolish select landscape and hardscape elements; 4) construct a new wood terrace adjoining the existing brick terrace; 4) construction of brick and concrete pathways and stone retaining walls with wood railings; 5) reroof second-story terrace and install Ipe deck; 6) replace existing second floor railing in-kind and install cable rails; 7) replace and relocated new rooftop mechanical units; 8) removal of a 10" gum tree, 12" blackgum tree, 12" maple tree to the west of the clubhouse.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Chevy Chase Village Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* provide specific guidance regarding the Chevy Chase Country Club.

The outstanding historic buildings and structures within the Club complex that are included in the designation of the expanded Chevy Chase Village Historic District are: the original portion of the main clubhouse building, the stable, and the streetcar shelter and stone wall along Connecticut Avenue. Not included in the designation are the south wing of the clubhouse (known as the Bradley House), the south appendages and greenhouses connected to the 1909 stable, the golf course, tennis courts, swimming pool complex, winter center and ice rink, a recently approved tennis building, nor the grounds around these other structures and facilities. This Master Plan recognizes that the institutional use such as Chevy Chase Club has evolved over time and must continue to do so to serve the changing needs on the Club property outside the designated area are not restricted. Future changes may be anticipated to the main clubhouse building.

A Historic Area Work Permit would be required for exterior changes to or demolition of the designated structures: the main clubhouse (excluding the south Bradley House wing), the stable (excluding the south greenhouse wing), the streetcar shelter, or the stone wall, or for the construction of new buildings or structures within the designated area. While changes to these designated structures will require Historic Area Work Permit approval, the intent of designation is to give the highest level of protection and review to the portions of the site visible from the public right-of-way. Alterations to the main clubhouse building that are not visible from public right-of-way should be subject to very lenient scrutiny. Most changes to the rear of this building should be approved as a matter of course. (Emphasis added by staff).

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design

significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is an Outstanding Resource to the Chevy Chase Village Historic District. In the early twentieth century, the Chevy Chase Country Club served as a private amenity and elevated the community’s prestige and social standing among elites. Architect Jules Henri de Sibour designed the clubhouse in 1911 in the Georgian Revival style. The two-and-a-half story building consisted of stone exterior walls that supported a side-gable roof flanked by two-story, front-gable wings. In 1914, the club added a Neoclassical porte-cochere to the façade. The following year, they expanded the west porch (on the rear of the building facing the golf course) with a distinctive semi-circular bay. In 1926, Architect Waddy Wood designed the demolished stone addition to the north and the Bradley House to the south.¹ These changes are evident in the Sanborn Maps and historic photographs of the clubhouse (*Figure 2*).

¹ For more information, see the Chevy Chase Survey District National Register Review Form (2002), <https://mht.maryland.gov/secure/medusa/PDF/Montgomery/M:%2035-13.pdf>.

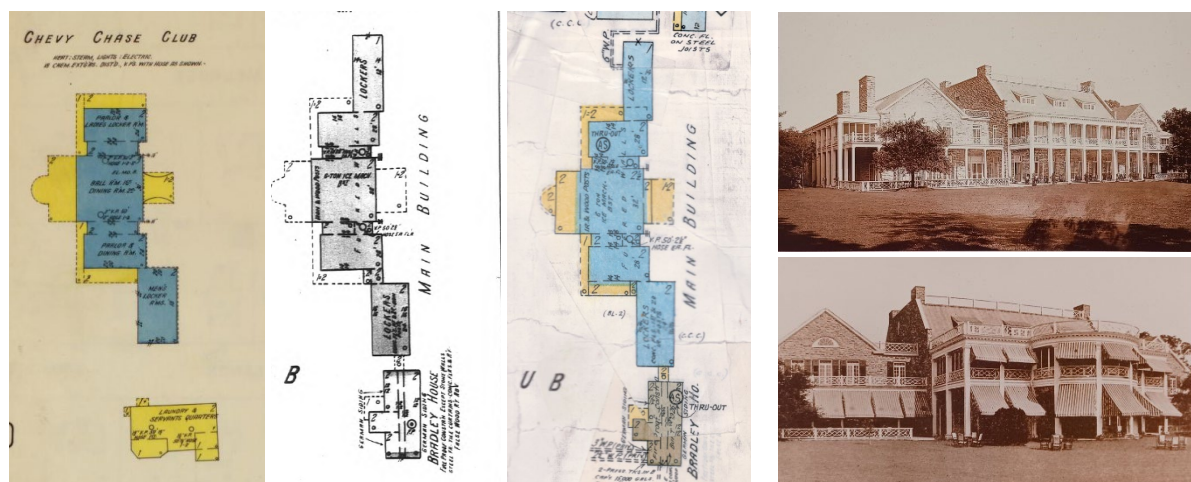


Figure 2: Sanborn Fire Insurance Maps showing 1903-1916 (left), 1927 (center), and 1927-1963 (right). Historic photographs show the rear elevation prior to and after the construction of the larger rear porch with a semi-circular bay in 1915.

Source: Montgomery Planning and Robert H. Thompson, *The Chevy Chase Club* (Chevy Chase, MD: Chevy Chase Club, 1992).

Alterations to the clubhouse (in particular to the rear elevation) continued throughout the twentieth century. The applicant created the below graphic (*Figure 3*) that illustrates the relevant changes to the building. This included the: 1) enlargement and enclosure of the west (rear) porch (1933-1940); 2) construction of a one-story frame addition in 1958; 3) major alteration/addition to the northern wing in 1969; 4) construction of an exterior stair and vestibule on the south elevation of the southern front-gable wing in 1969; 5) renovation and window replacement on the enclosed west (rear) porch; 6) renovation and window replacement of the second floor of the west (rear) porch in 2002; and 7) installation of a bluestone paver dance terrace in 2004.²

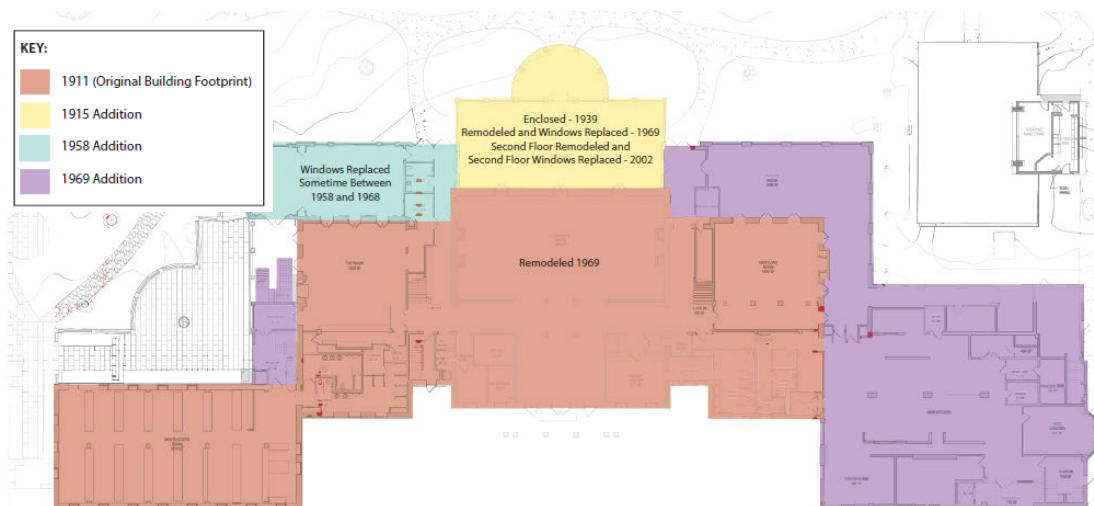


Figure 3: Chevy Chase Building Chronology.
Source: DLR Group & EHT Tracerics.

² For more information about the HPC approved projects, see https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640009/Box074/35-13-02A_Chevy%20Chase%20Historic%20District_6100%20Connecticut%20Avenue_11-13-2002.pdf and https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640003/Box013/35-13-00B_Chevy%20Chase%20Village%20HD_6100%20Connecticut%20Avenue_06-14-2000.pdf.

The applicant provided the entire building permit set but pulled sheets with exterior alterations (see attached). The public or commissioners should contact the Historic Preservation staff to review the full building set if desired. The subsequent sections of the staff report consist of an analysis of each proposed alteration.

Fenestration Alterations – South Elevation of the 1911 Men’s Locker Room

Staff finds that the alterations to the six-over-six, double-hung, wood-sash window located in a partially enclosed hyphen connecting the Men’s Locker Room and Bradley House to be consistent with the applicable guidelines and recommends approval. The window would be removed and the size of the opening in the stone wall would be expanded to the ground to install a six-panel door with a nine-light transom required by code for egress. The proposed wood door matches the design of an existing door on the opposite end of the hyphen (outside of the historic district boundary). The proposal is compatible with the design of the clubhouse and should be approved as a matter of course as it is located on an elevation of the building that is not visible from the public rights-of-way.

Fenestration Alterations – South Elevation of the 1969 Vestibule

Staff finds that the replacement of two 12-light, fixed wood windows separated by a heavier wood mullion with a double-leaf, ten-light, wood door with a paired six-light transom to be consistent with the applicable guidelines and recommends approval. The existing window is a non-historic element of the building. The proposed wood door is compatible with the design of the clubhouse, better recalls the design of the no longer extant windows on the rear elevation, and should be approved as a matter of course as it is located on the rear elevation of the building.

Fenestration Alterations – South Elevation of the Original South Gable Wing at the Tap Room and Card Room

Staff finds the alterations to the fenestration at the south elevation of the original south wing (at the Tap Room and Card Room) to be consistent with the applicable guidelines and recommends approval. The applicant proposes to remove two double-leaf, 10-light, wood doors with four-light wood transoms located under the non-historic exterior stair. New single-leaf, 15-light, wood doors with a three-light transom would be installed in the existing openings. The proposed doors are compatible with the design and fenestration patterns of the clubhouse and should be approved as a matter of course as they are located on the rear elevation of the building.

Fenestration Alterations – West and South Elevations of the 1958 Addition at the Tap Room and Card Room

Staff finds that the alterations to the west and south elevations of the 1958 addition (at the Tap Room and Card Room) to be consistent with the applicable guidelines and recommends approval. The applicant proposes the in-kind replacement of the existing fixed wood windows on the 1958 addition and replacement of the six single-light, triple-hung, wood windows with two-light fixed wood windows. The proposed muntins would align with and continue the horizontal line created by the muntins of the existing fixed windows. The windows are compatible with the design and fenestration patterns of the clubhouse and should be approved as a matter of course as they are located on the rear elevation of the building.

Fenestration Alterations – West Elevation of the 1958 Addition at the Tap Room and Card Room

Staff finds that the nearly in-kind replacement of non-historic, paired, wood double-leaf doors with two-light transoms is consistent with the applicable guidelines and recommends approval. The northern door would remain operable while the matching false southern door would be permanently fixed. The proposed

doors are compatible with the design and fenestration patterns of the clubhouse and should be approved as a matter of course as they are located on the rear elevation of the building.

Fenestration Alterations – North Elevation of the 1969 Terrace Room

Staff finds the removal of the multi-leaf, automatic, sliding glass door and restoration of the opening to its original condition to be consistent with the guidelines and recommends approval. The proposed window would match the two existing windows to the north, is compatible with the design and fenestration patterns of the clubhouse, and should be approved as a matter of course as it is on the rear elevation.

Fenestration Alterations – West Elevation of the 1969 Pool and Canteen Wing

Staff finds the in-kind replacement of an automatic aluminum sliding door on the southern end of the west elevation to be consistent with the guidelines and recommends approval.

Fenestration Alterations – North Elevation of the 1969 Pool and Canteen Wing

Staff finds that the replacement of the single-leaf and double-leaf doors in the canted bay on the north elevation to be consistent with the guidelines and recommends approval. The single-leaf door would be replaced with fixed wood windows. The fenestration is part of a non-historic addition constructed in 1969 and the alteration should be approved as a matter of course.

Roof Alteration – 2nd Story North and South Roof Terraces

Staff finds the alterations to be consistent with the applicable guidelines and recommends approval. The applicant proposes to: 1) reroof the existing north and south roof terraces and install IPE wood tile decking; and 2) install a cable rail behind the character defining Chippendale wood railing as required by code. The wood decking would not be visible from any point of view other than standing on the roof terrace. The installation of the cable railing has less adverse effect than other potential treatments to the historic railing and would be rather transparent as shown in examples provided by the applicant. The alterations should be approved as a matter of course as it is on the rear elevation.

New Construction – South Terrace and Deck (Tree Removal)

Staff finds that the construction of the new terrace and deck to be consistent with the applicable guidelines and recommends approval. The applicant proposes: 1) the partial demolition of the western section of the existing brick patio and stair; 2) a new brick patio that adjoins the existing brick patio with the proposed deck; 3) new stone stair with stone walls, piers, and railings that access the new brick patio; and 4) construction of a new wood deck that wraps the west and south elevations of the 1958 addition.

The proposed design, scale, and materials of the proposed terrace and deck is compatible with the historic resource. The submission continues the design and feel of the original clubhouse with its matching ornate Chippendale railing that has been retained or included in various iterations of the rear elevation over the last 100 years. The inclusion of cable rails (behind the wood railing and required per code) will not adversely affect the overall design of the clubhouse. While the terrace necessitates the removal of a 10” gum, 10” maple, and 12” blackgum trees, there are no noted impacts to the character defining nearby 59-inch Oak tree. Furthermore, all these alterations (including the removal of the trees) should be approved as a matter of course as they are on the rear elevation and do not affect the overall scale and massing of the building or character of the district.

New Construction – Walkway to the Existing South Brick Patio

Staff finds the alterations to be consistent with the applicable guidelines and recommends approval. The applicant proposes to demolish the existing brick walkway with two risers (to the north of the Men's Locker Room and Bradley House). The new accessible brick walkway (less than a 5 percent slope) would be flanked with low fieldstone retaining walls as it approaches the patio. The alterations should be approved as a matter of course as it is on the rear elevation.

New Construction – Walkways/Pathways

Staff finds the new walkways and pathways (primarily located near the southwest corner of the building) to be consistent with the applicable guidelines and recommends approval. The applicant proposes the in-kind replacement of two existing concrete paths and covering of an existing gravel path with new landscaping and gravel. The proposed changes to the pathways should be approved as a matter of course due to their location at the rear of the building.

New Construction – Mechanical Equipment

Staff finds the removal and installation of new mechanical equipment to be consistent with the applicable guidelines and recommends approval. The mechanical equipment would not be visible when looking east from Connecticut Avenue or west from the club's property.

New Light Fixtures

Staff finds the proposed and replacement lighting on the rear and side elevations to be consistent with the applicable guidelines and recommends approval. The new hanging lanterns and wall sconces would be copper and recall the existing fixtures. The proposed fixtures are compatible with the design of the clubhouse and should be approved as a matter of course due to their locations.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (3), (c), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #5, #6, #9, and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or john.liebertz@montgomeryplanning.org to schedule a follow-up site visit.

CHEVY CHASE CLUB: CLUBHOUSE RENOVATION

6100 CONNECTICUT AVE. CHEVY CHASE, MD 20815

ISSUED FOR PERMIT
HPC REVISIONS

MAY 3, 2023

EXTERIOR WORK ONLY



VICINITY PLAN



OWNER
CHEVY CHASE CLUB
6100 CONNECTICUT AVE.
CHEVY CHASE, MD 20815

OWNER REP
JFW, INC.
18310 MONTGOMERY VILLAGE AVE.
SUITE 240
MONTGOMERY VILLAGE, MD 20879
301.330.3220

HISTORIC PRESERVATION
EHT TRACERIES
440 MASSACHUSETTS AVEN. NW
WASHINGTON DC

INTERIOR DESIGNER
TAMMY CONNOR INTERIOR DESIGN
12-A VANDERHORST STREET
CHARLESTON, SOUTH CAROLINA 29403

LANDSCAPE
MICHAEL VERGASON LANDSCAPE ARCHITECTS, LTD
907 KING STREET,
SUITE 200
ALEXANDRIA, VA 22314

ARCHITECT
DLR GROUP/BOWIE GRIDLEY
701 8TH STREET NW,
SUITE 700
WASHINGTON, DC 20001
202. 337.0888

STRUCTURAL ENGINEER
LINTON ENGINEERING, LLC
46090 LAKE CENTER PLAZA,
SUITE 309
POTOMAC FALLS, VA 20166

MEP / FP
DLR GROUP
701 8TH STREET NW,
SUITE 700
WASHINGTON, DC 20001
202. 337.0888

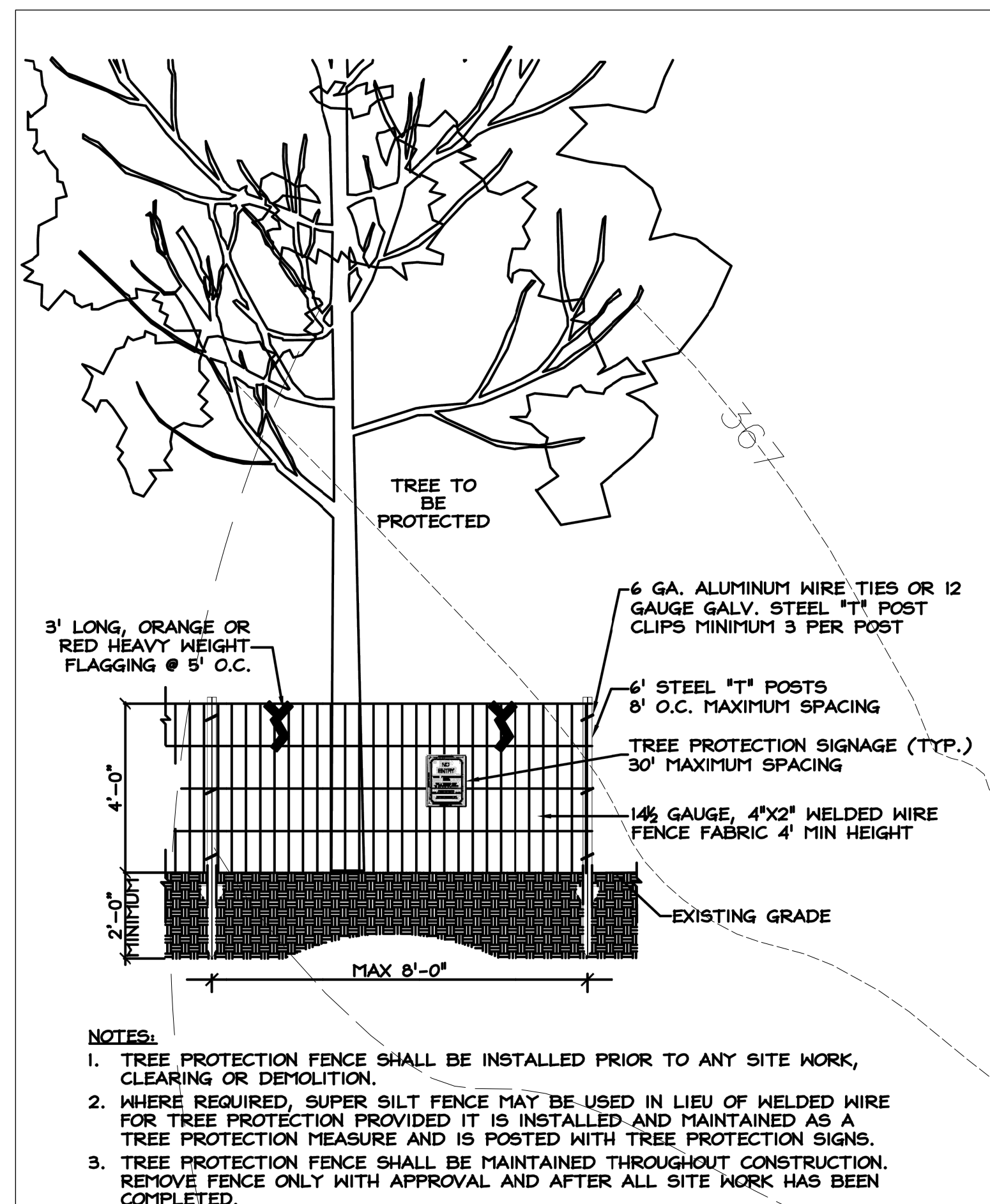
FOOD SERVICE CONSULTANT
SINGER - ASHLAND
1565 OAKBRIDGE TERRACE,
POWHATAN, VA 23139

ARBORIST
TREESPLEASE
P.O. BOX 1025
HAYMARKET, VA 20169
703.927.2048



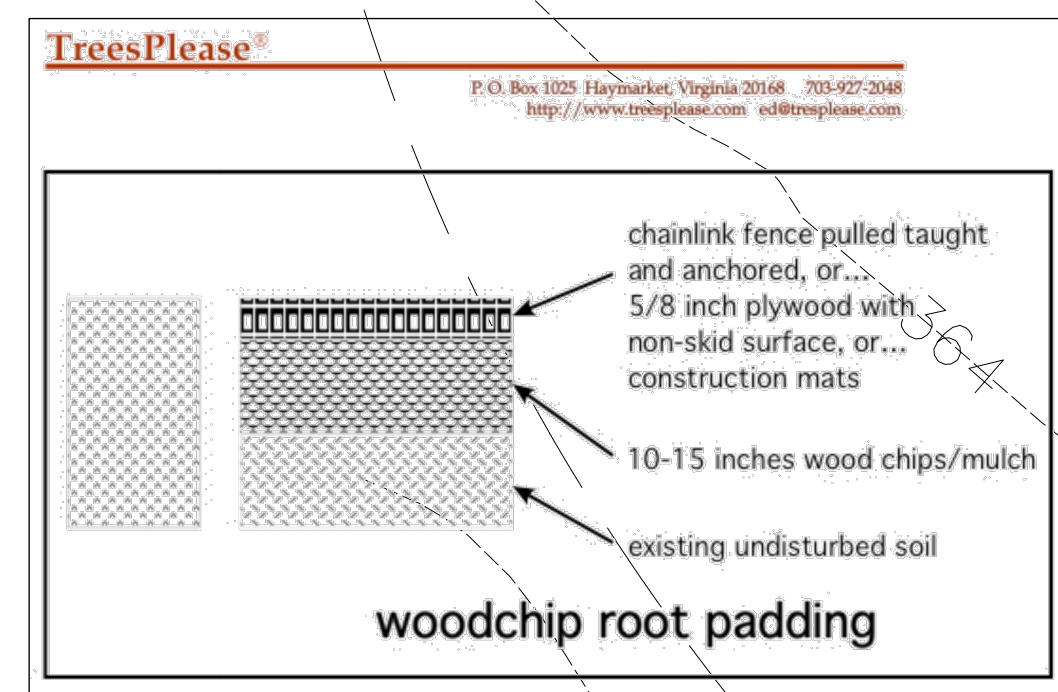
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License No. 6026
Expiration Date: 06/08/2024

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- NOTES:**
1. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION.
 2. WHERE REQUIRED, SUPER SILT FENCE MAY BE USED IN LIEU OF WELDED WIRE FOR TREE PROTECTION PROVIDED IT IS INSTALLED AND MAINTAINED AS A TREE PROTECTION MEASURE AND IS POSTED WITH TREE PROTECTION SIGNS.
 3. TREE PROTECTION FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. REMOVE FENCE ONLY WITH APPROVAL AND AFTER ALL SITE WORK HAS BEEN COMPLETED.

WELDED WIRE TREE PROTECTION FENCING - NTS

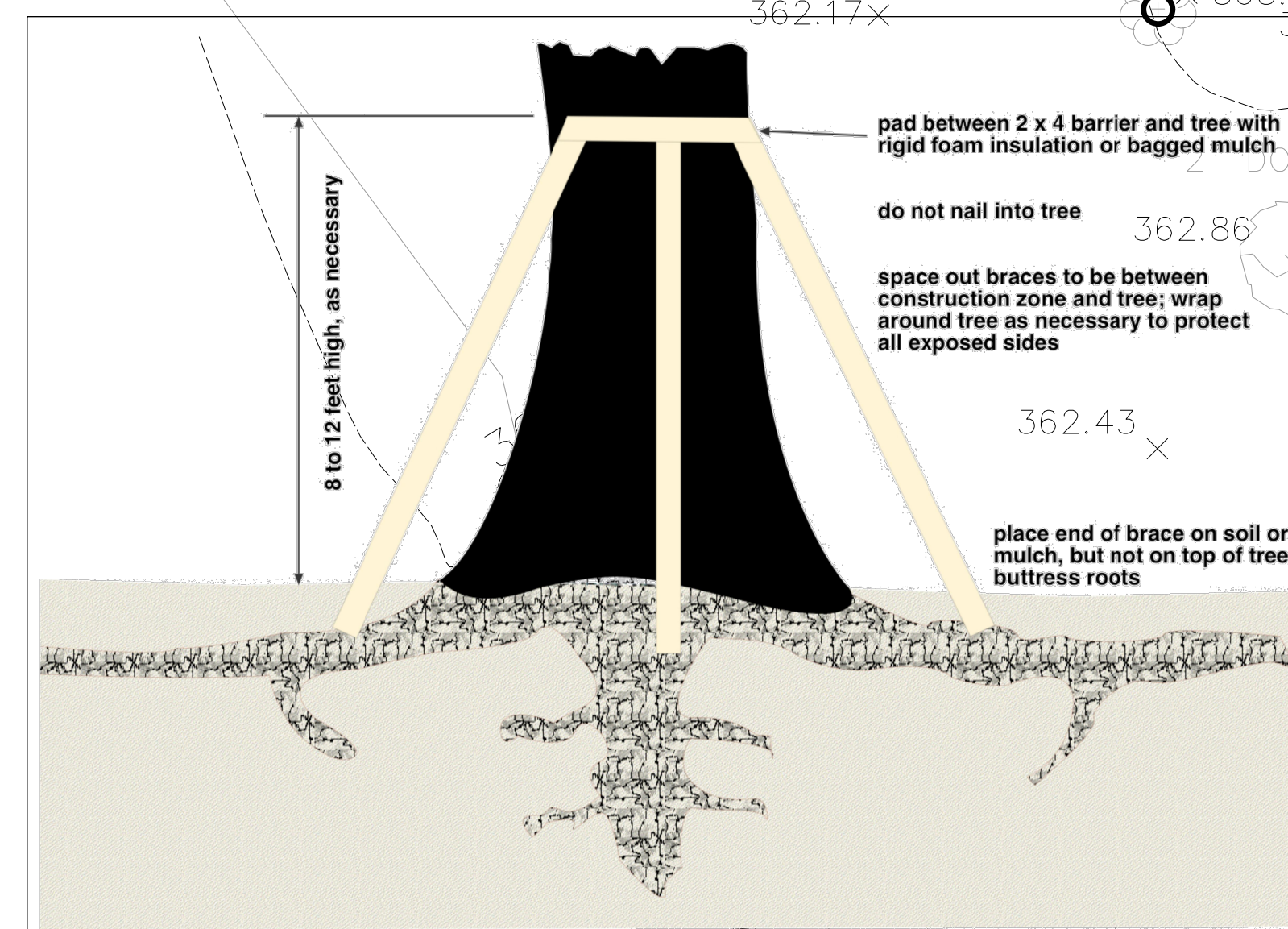


WOODCHIP ROOT PADDING DETAIL - NTS

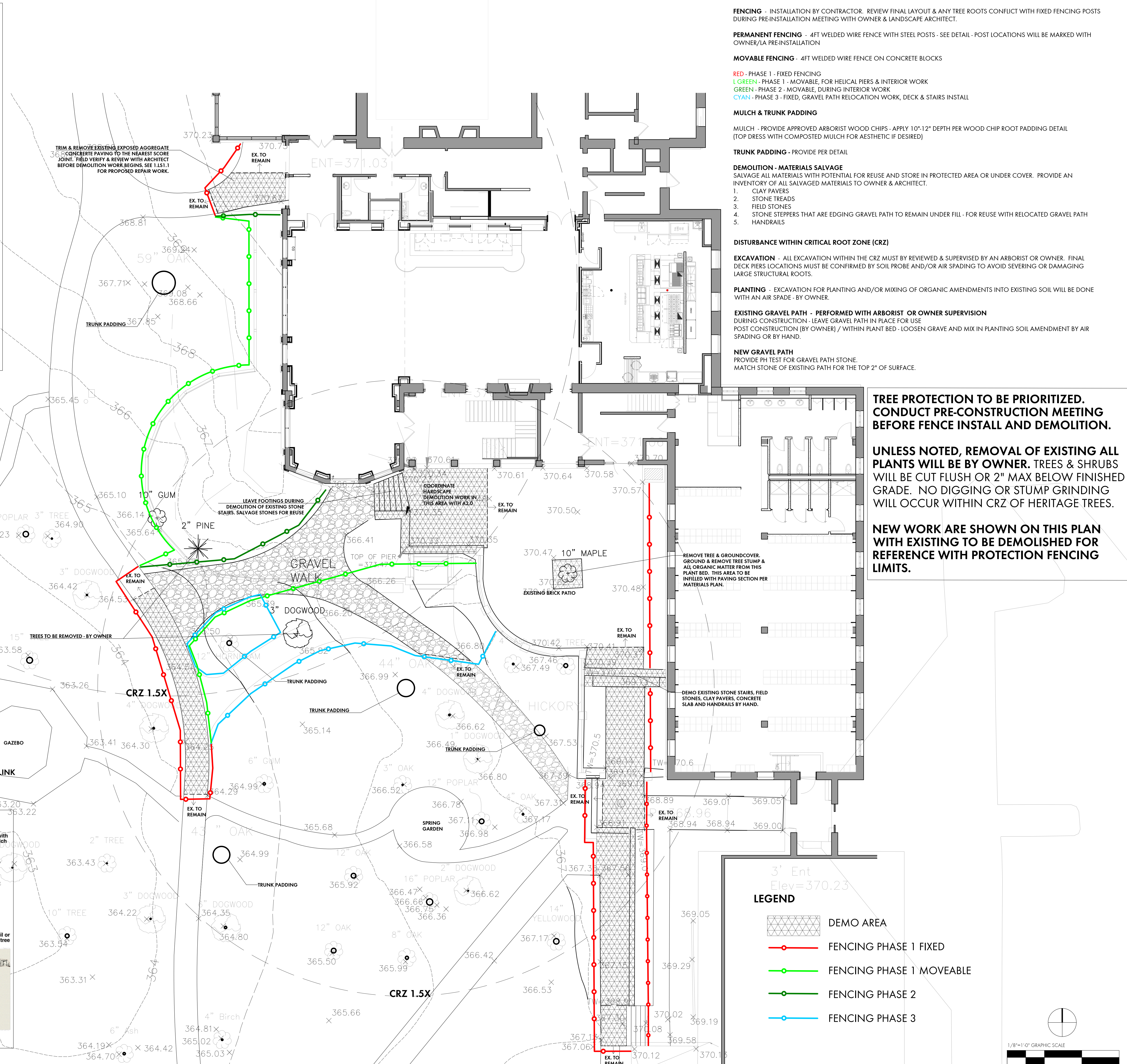
PADDING MATERIALS

ROOT PADDING - WOODCHIPS OR MULCH; PROVIDE A SURFACE SUCH AS CHAINLINK FENCE, PLYWOOD, OR CONSTRUCTION MATS WHERE BOBCATS WILL BE DRIVEN.

TRUNK PADDING - 2X4S AND RIGID FOAM INSULATION OR BAGGED MULCH



TRUNK PADDING DETAIL PROVIDED BY TREESPLEASE - NTS



TREE PROTECTION MEASURES

FENCING - INSTALLATION BY CONTRACTOR. REVIEW FINAL LAYOUT & ANY TREE ROOTS CONFLICT WITH FIXED FENCING POSTS DURING PRE-INSTALLATION MEETING WITH OWNER & LANDSCAPE ARCHITECT.

PERMANENT FENCING - 4FT WELDED WIRE FENCE WITH STEEL POSTS - SEE DETAIL - POST LOCATIONS WILL BE MARKED WITH OWNER/LA PRE-INSTALLATION

MOVABLE FENCING - 4FT WELDED WIRE FENCE ON CONCRETE BLOCKS

- RED - PHASE 1 - FIXED FENCING
- LGREEN - PHASE 1 - MOVABLE, FOR HELICAL PIERS & INTERIOR WORK
- GREEN - PHASE 2 - MOVABLE, DURING INTERIOR WORK
- CYAN - PHASE 3 - FIXED, GRAVEL PATH RELOCATION WORK, DECK & STAIRS INSTALL

MULCH & TRUNK PADDING

MULCH - PROVIDE APPROVED ARBORIST WOOD CHIPS - APPLY 10"-12" DEPTH PER WOOD CHIP ROOT PADDING DETAIL (TOP DRESS WITH COMPOSTED MULCH FOR AESTHETIC IF DESIRED)

TRUNK PADDING - PROVIDE PER DETAIL

DEMOLITION - MATERIALS SALVAGE

- SALVAGE ALL MATERIALS WITH POTENTIAL FOR REUSE AND STORE IN PROTECTED AREA OR UNDER COVER. PROVIDE AN INVENTORY OF ALL SALVAGED MATERIALS TO OWNER & ARCHITECT.
1. CLAY PAVERS
 2. STONE TREADS
 3. FIELD STONES
 4. STONE STEPPERS THAT ARE EDGING GRAVEL PATH TO REMAIN UNDER FILL - FOR REUSE WITH RELOCATED GRAVEL PATH
 5. HANDRAILS

DISTURBANCE WITHIN CRITICAL ROOT ZONE (CRZ)

EXCAVATION - ALL EXCAVATION WITHIN THE CRZ MUST BE REVIEWED & SUPERVISED BY AN ARBORIST OR OWNER. FINAL DECK PIERS LOCATIONS MUST BE CONFIRMED BY SOIL PROBE AND/OR AIR SPADING TO AVOID SEVERING OR DAMAGING LARGE STRUCTURAL ROOTS.

PLANTING - EXCAVATION FOR PLANTING AND/OR MIXING OF ORGANIC AMENDMENTS INTO EXISTING SOIL WILL BE DONE WITH AN AIR SPADE - BY OWNER.

EXISTING GRAVEL PATH - PERFORMED WITH ARBORIST OR OWNER SUPERVISION

DURING CONSTRUCTION - LEAVE GRAVEL PATH IN PLACE FOR USE POST CONSTRUCTION (BY OWNER) / WITHIN PLANT BED - LOOSEN GRAVE AND MIX IN PLANTING SOIL AMENDMENT BY AIR SPADING OR BY HAND.

NEW GRAVEL PATH

PROVIDE PH TEST FOR GRAVEL PATH STONE. MATCH STONE OF EXISTING PATH FOR THE TOP 2" OF SURFACE.

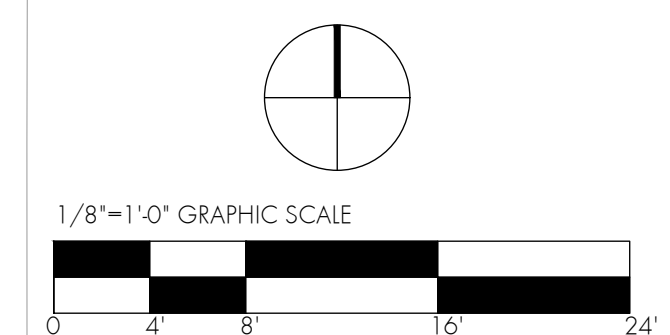
TREE PROTECTION TO BE PRIORITIZED. CONDUCT PRE-CONSTRUCTION MEETING BEFORE FENCE INSTALL AND DEMOLITION.

UNLESS NOTED, REMOVAL OF EXISTING ALL PLANTS WILL BE BY OWNER. TREES & SHRUBS WILL BE CUT FLUSH OR 2" MAX BELOW FINISHED GRADE. NO DIGGING OR STUMP GRINDING WILL OCCUR WITHIN CRZ OF HERITAGE TREES.

NEW WORK ARE SHOWN ON THIS PLAN WITH EXISTING TO BE DEMOLISHED FOR REFERENCE WITH PROTECTION FENCING LIMITS.

LEGEND

- DEMO AREA
- FENCING PHASE 1 FIXED
- FENCING PHASE 1 MOVEABLE
- FENCING PHASE 2
- FENCING PHASE 3



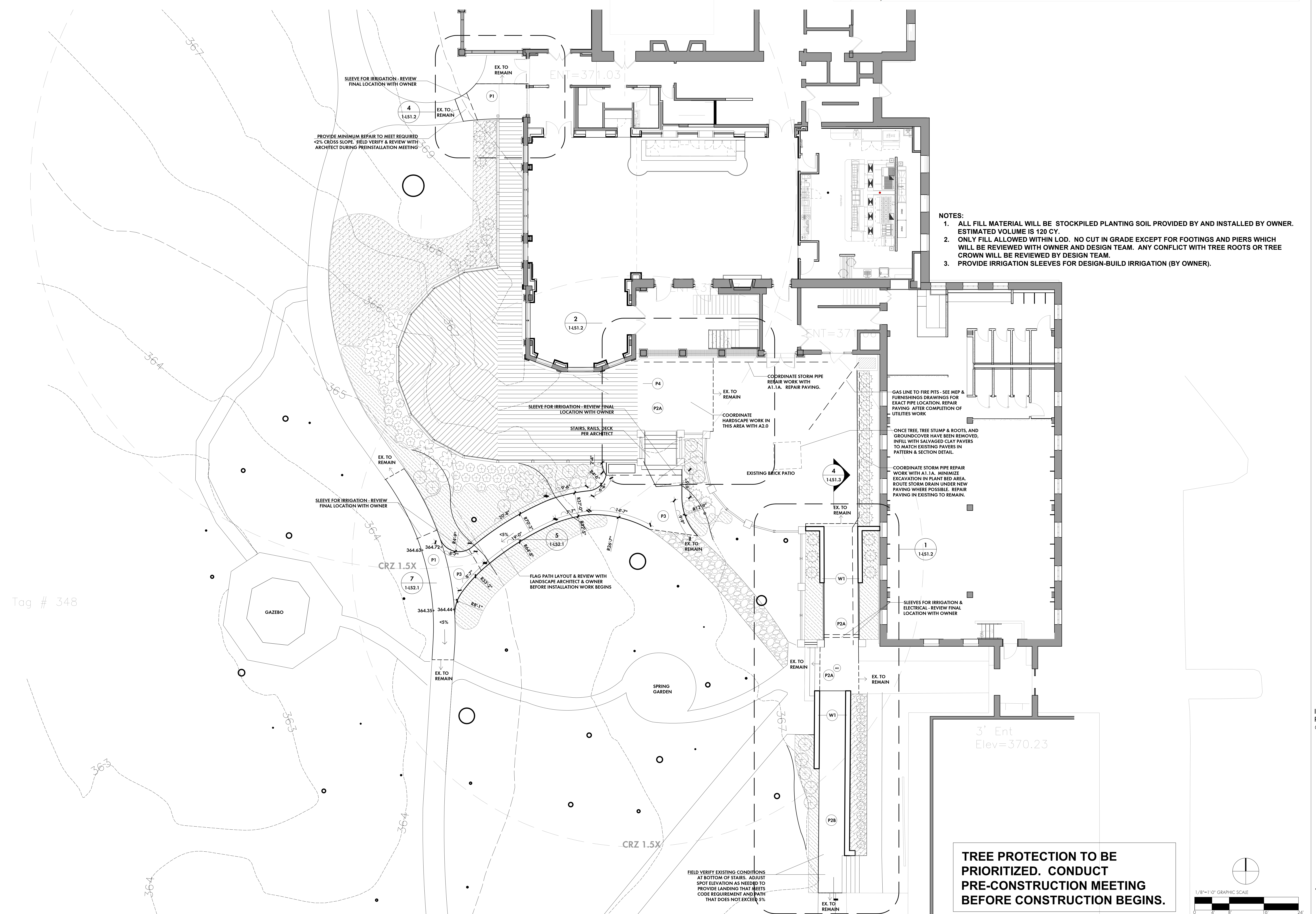
LEGEND

- P1 EXPOSED AGGREGATE CONCRETE (MATCH EXISTING IN COLOR, TEXTURE, FINISH), SAW-CUT JOINTS, LIGHT VEHICULAR USE
- P2A BRICK PAVERS (SALVAGED TO MATCH EXISTING PATIO BRICK), HERRINGBONE PATTERN TO MATCH EXISTING, AGGREGATE BASE, SAND SETTING BED
- P2B BRICK PAVERS (NEW TO MATCH SPRING GARDEN BRICK), HERRINGBONE PATTERN TO MATCH EXISTING, AGGREGATE BASE, SAND SETTING BED
- P3 GRAVEL PATH WITH STONE EDGING, TO MATCH EXISTING, USE SALVAGED STONES FOR EDGING
- P4 BLUESTONE PAVER - SELECT BLUE, 18" X 36" X 1.75" ON CONCRETE BASE, MORTAR SETTING BED & JOINTS
- W1 FIELDSTONE WALL WITH FIELDSTONE COPING, WIDTH VARIES 12" OR 14", DEEPLY RAKED MORTAR JOINTS, CMU CORE, RETAINS MAX. 24" - WIDTH VARIES, SEE PLAN, SECTIONS & DETAILS

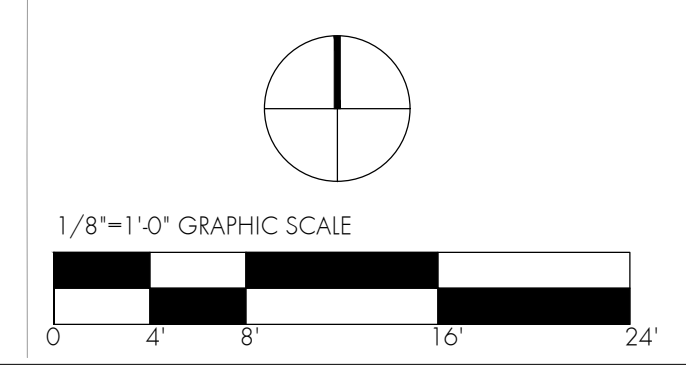
NOTES:

1. ALL FILL MATERIAL WILL BE STOCKPILED PLANTING SOIL PROVIDED BY AND INSTALLED BY OWNER. ESTIMATED VOLUME IS 120 CY.
2. ONLY FILL ALLOWED WITHIN LOD. NO CUT IN GRADE EXCEPT FOR FOOTINGS AND PIERS WHICH WILL BE REVIEWED WITH OWNER AND DESIGN TEAM. ANY CONFLICT WITH TREE ROOTS OR TREE CROWN WILL BE REVIEWED BY DESIGN TEAM.
3. PROVIDE IRRIGATION SLEEVES FOR DESIGN-BUILD IRRIGATION (BY OWNER).

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TREE PROTECTION TO BE PRIORITIZED. CONDUCT PRE-CONSTRUCTION MEETING BEFORE CONSTRUCTION BEGINS.



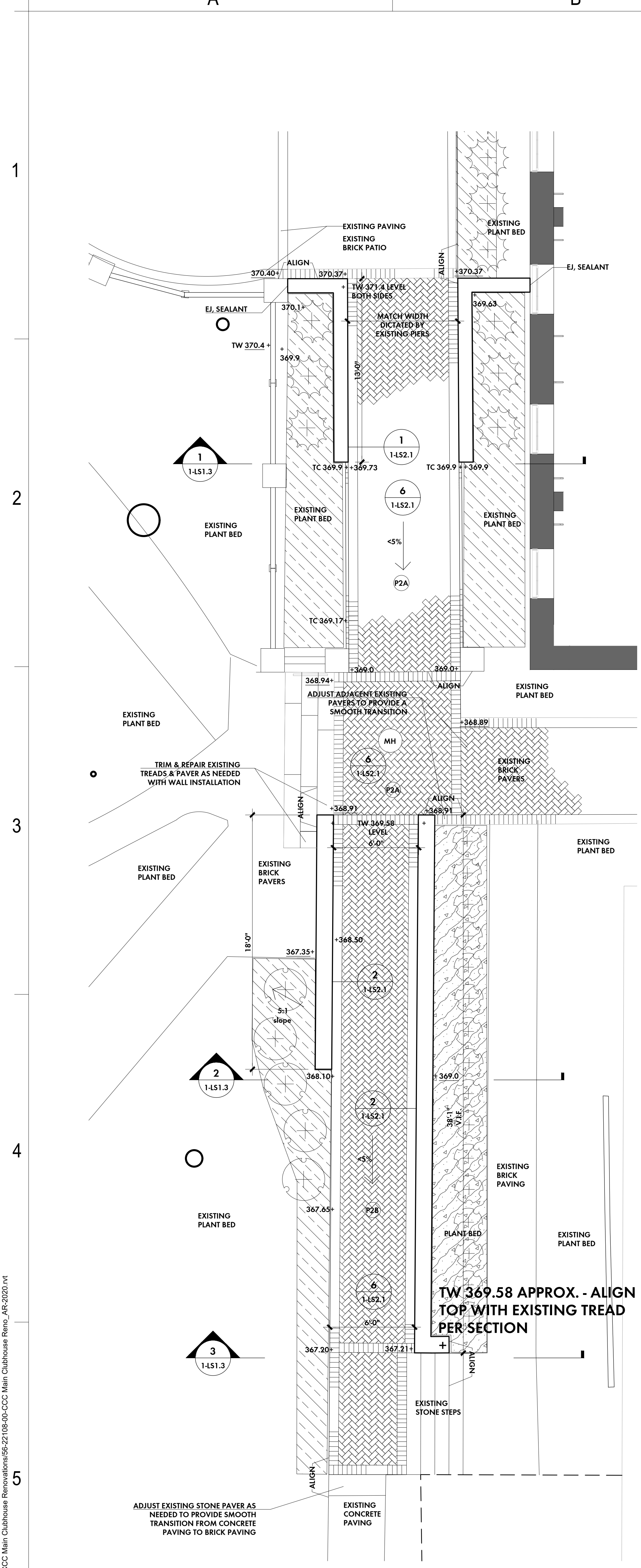
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CHEY CHASE CLUB RENOVATION
 CLUBHOUSE - TAP ROOM/CARD ROOM, MENS LOCKER ROOM, TERRACE

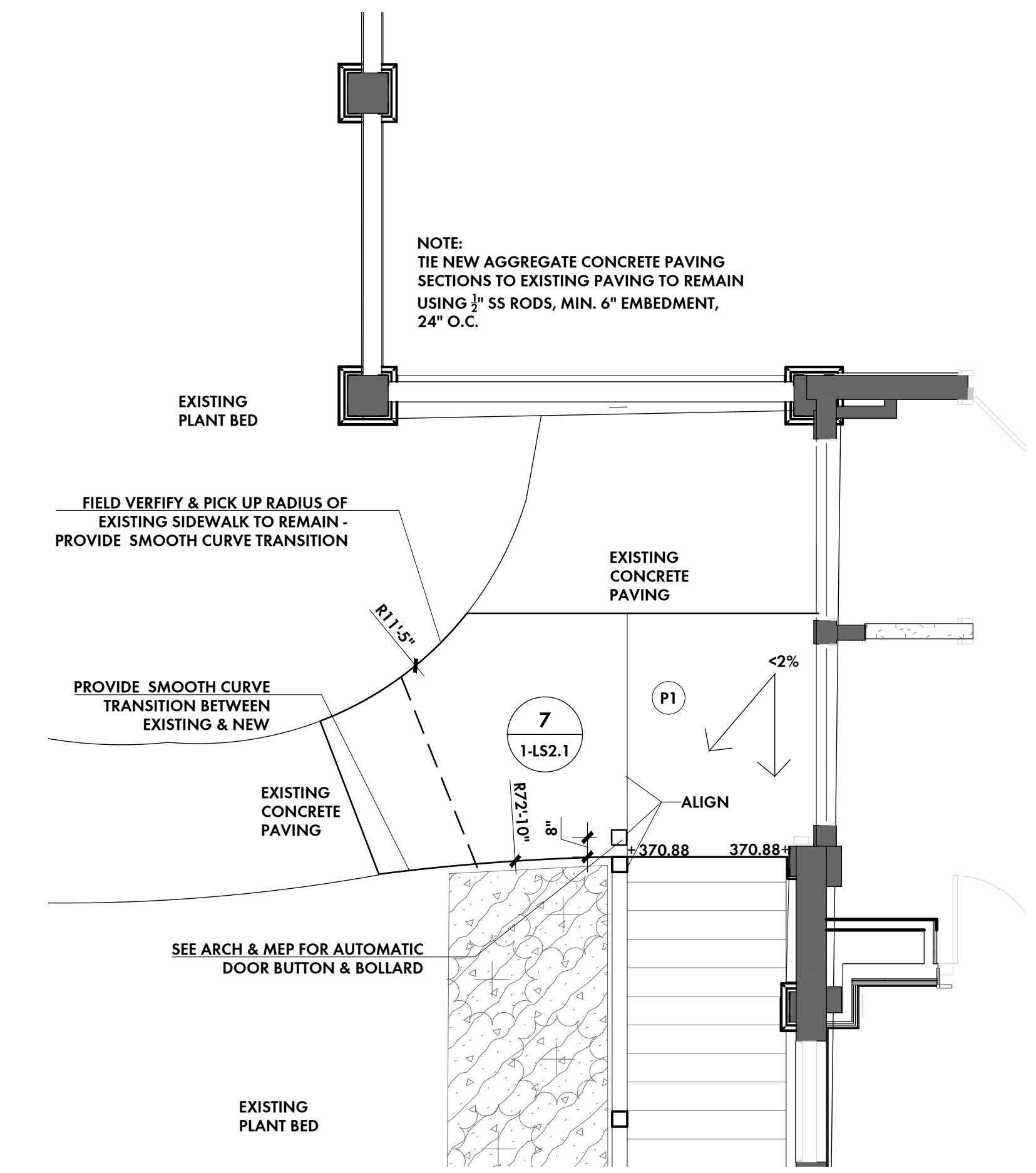
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Materials, Layout & Grading Plan

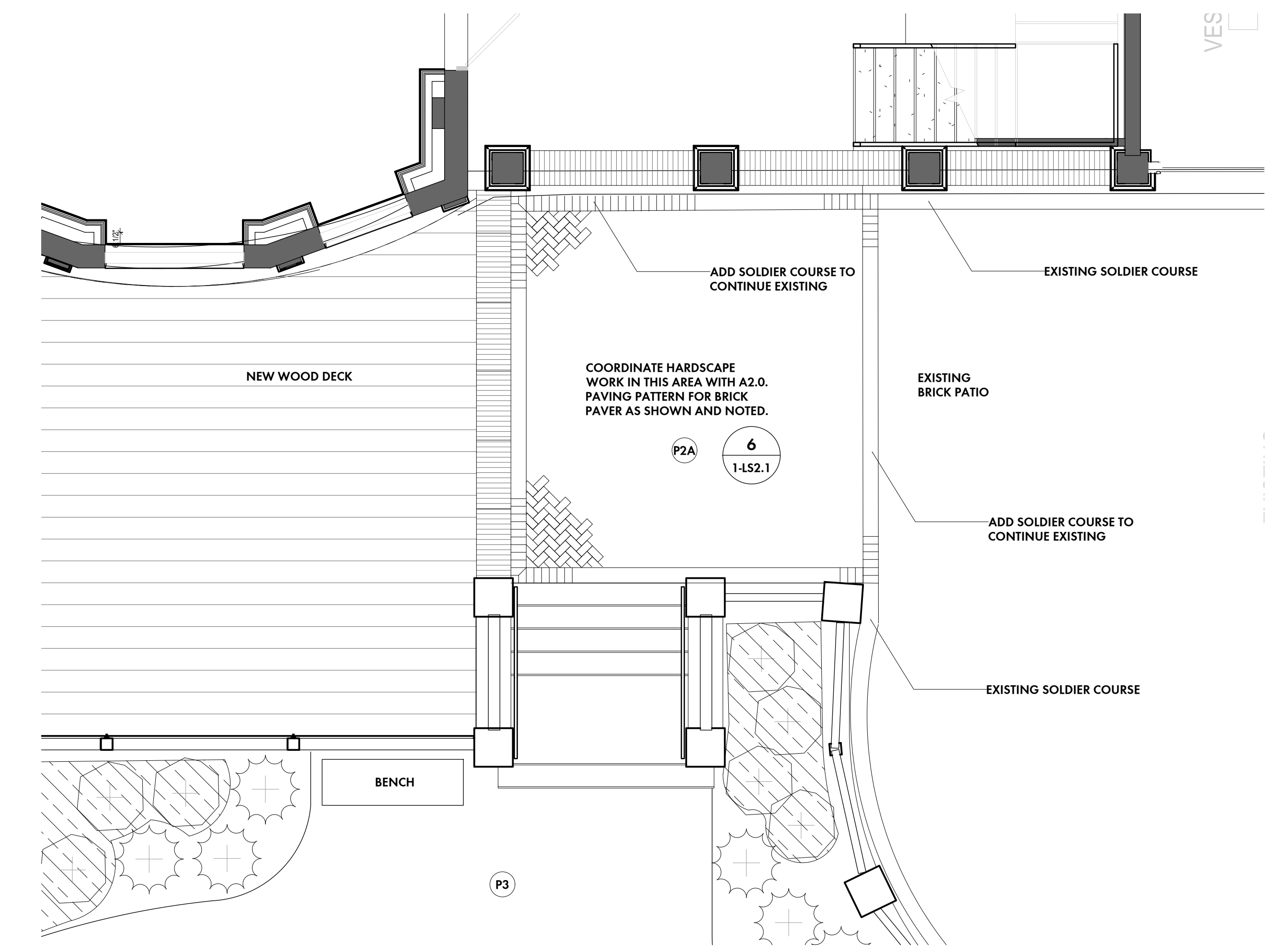
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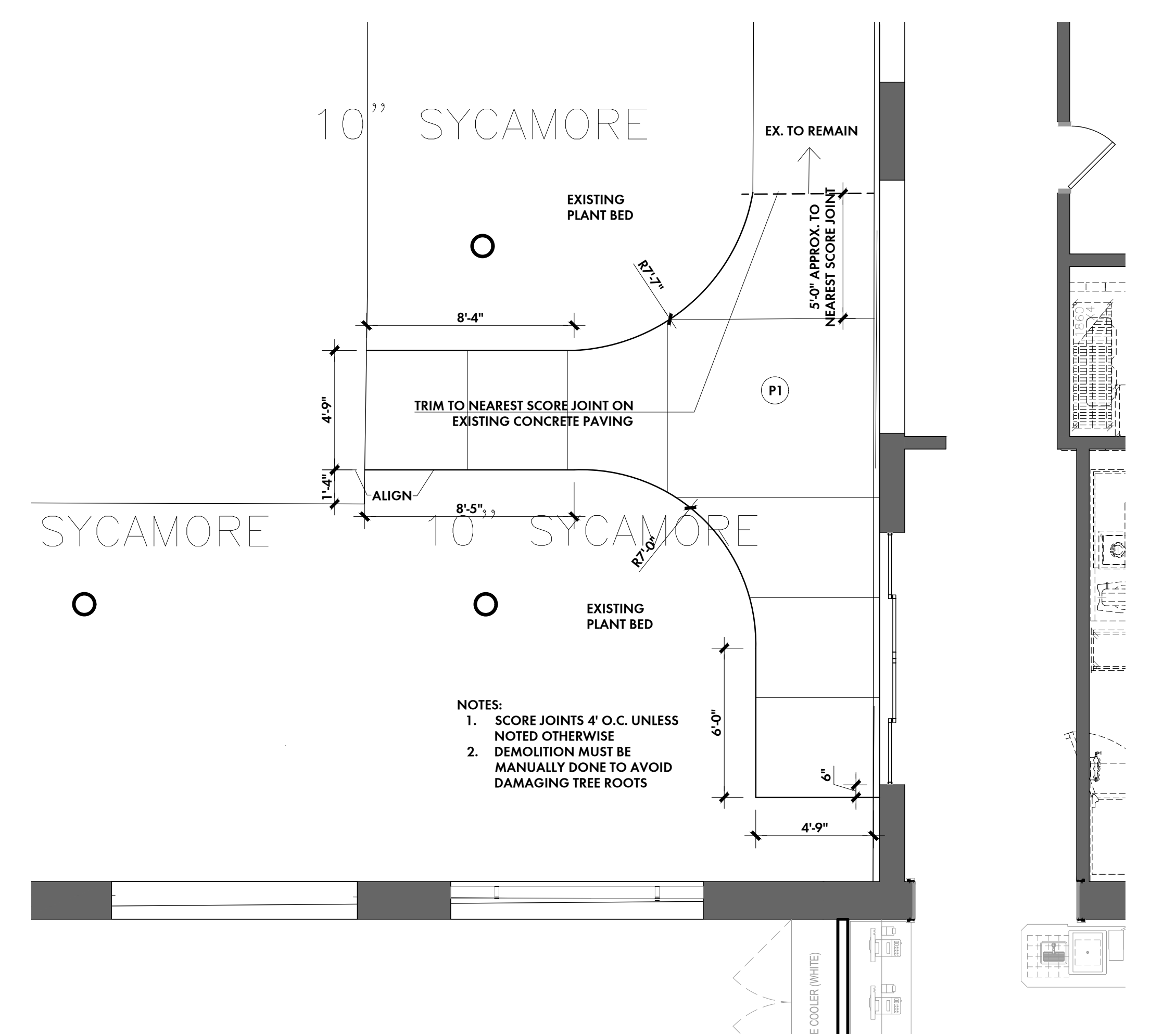
1 PLAN DETAIL - BRADLEY ACCESSIBLE WALKWAY
SCALE: 1/4" = 1'-0"



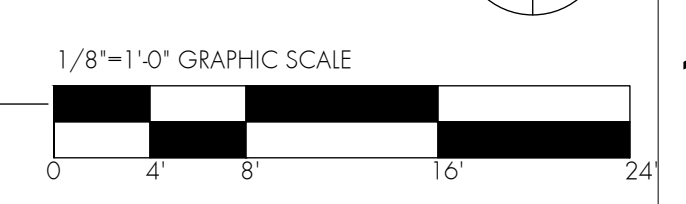
4 PLAN DETAIL - WEST ENTRANCE
SCALE: 1/4" = 1'-0"



2 PLAN DETAIL - PATIO AT PORCH
SCALE: 1/4" = 1'-0"



3 DANCE TERRACE ENTRANCE WALKWAY
SCALE: 1/4" = 1'-0"



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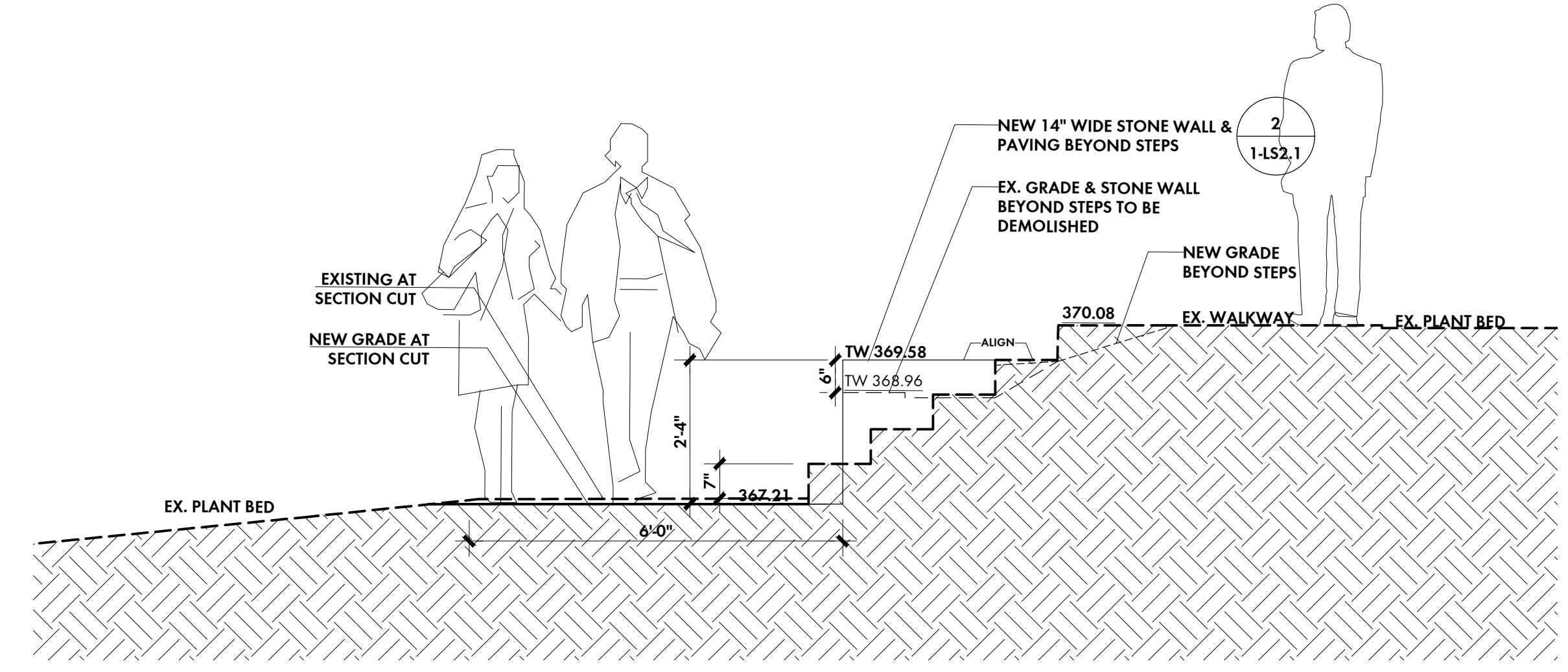
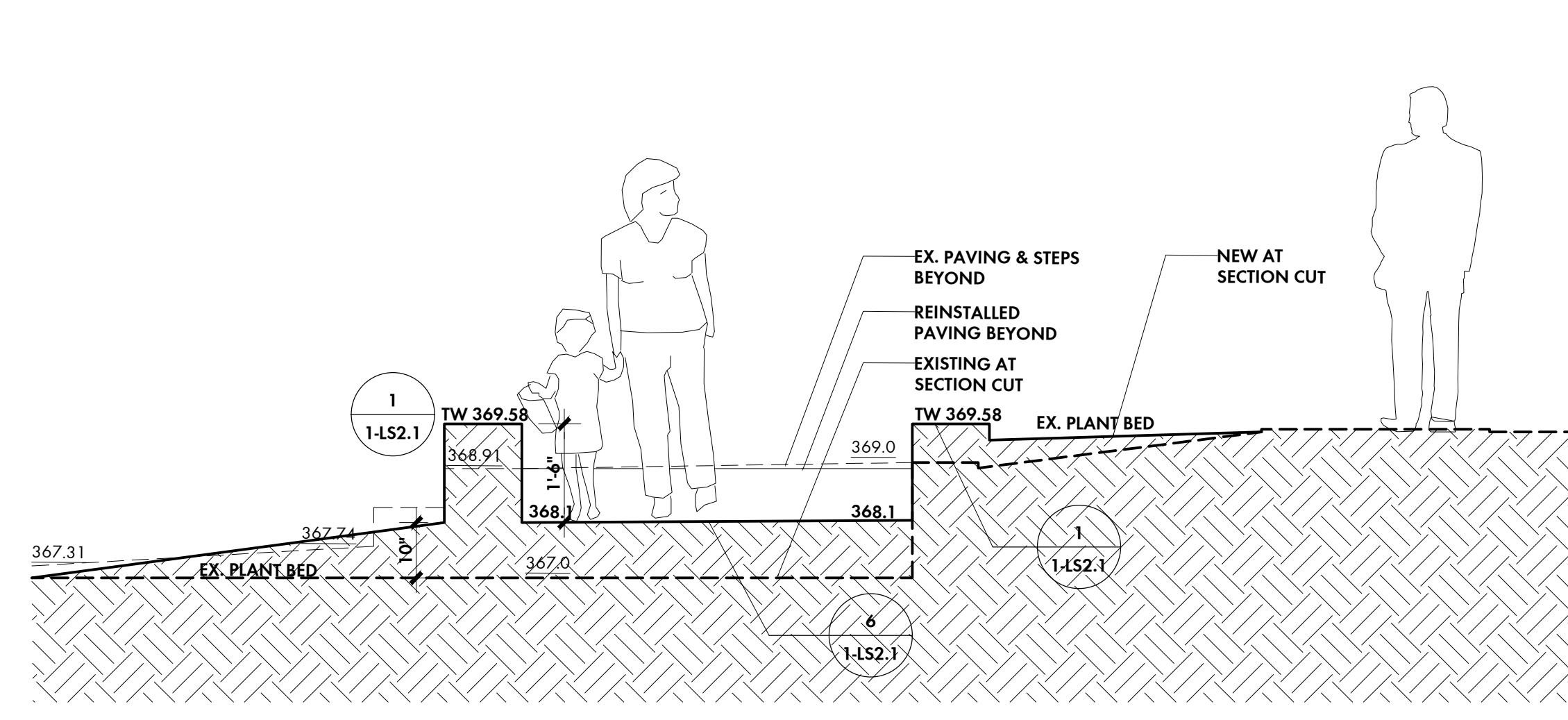
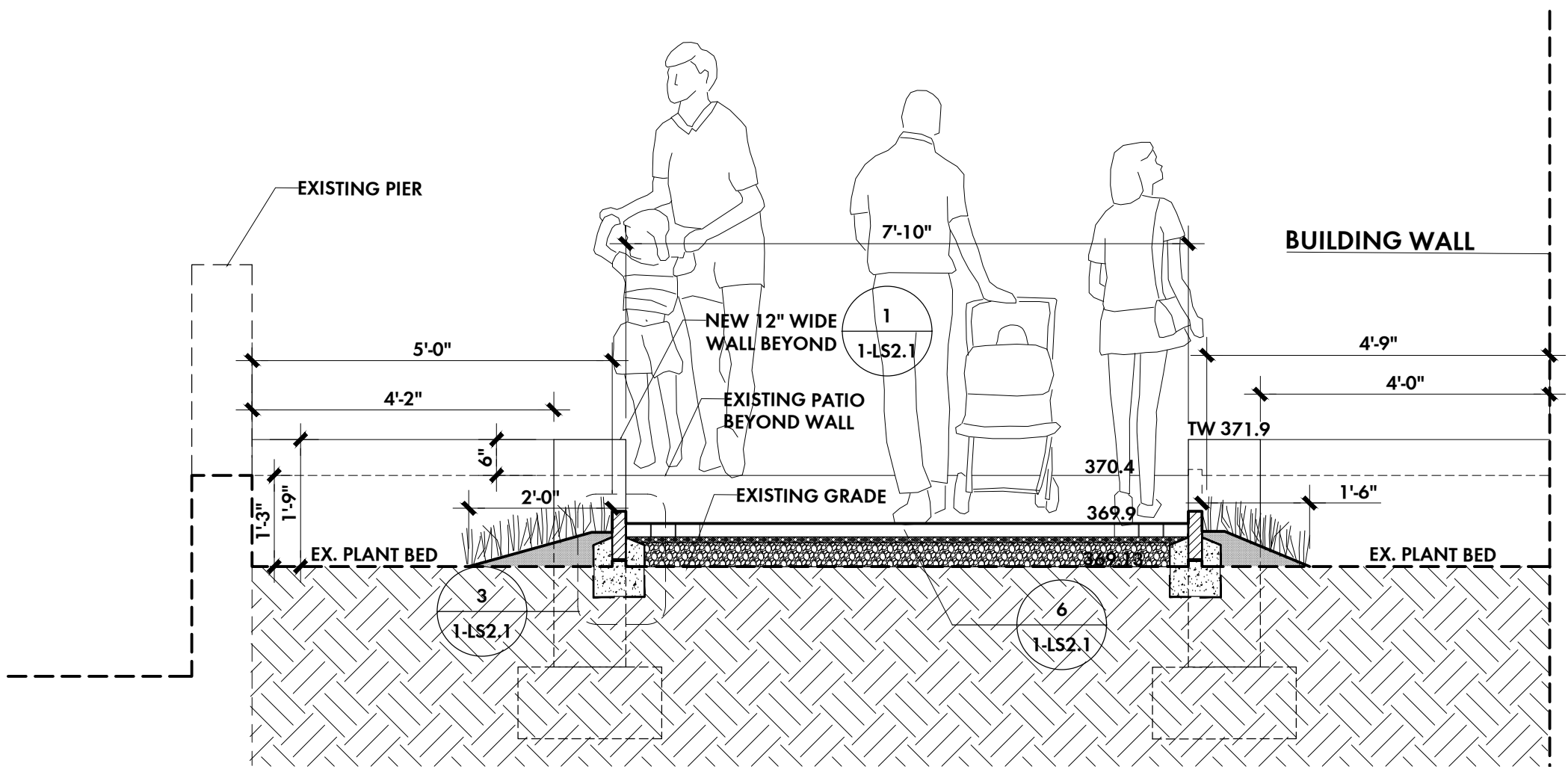
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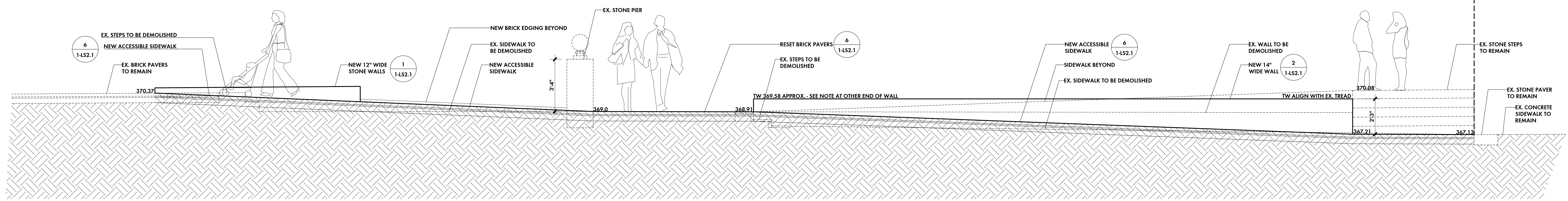
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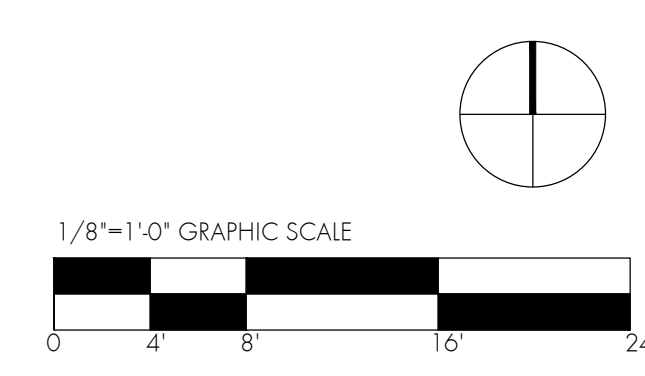
1 SECTION - PATIO ACCESSIBLE WALKWAY
SCALE: 1/2" = 1'-0"

2 SECTION WALKWAY AT BRADLEY HOUSE MIDWAY
SCALE: 1/2" = 1'-0"

3 SECTION - WALKWAY AT BRADLEY HOUSE STEPS
SCALE: 1/2" = 1'-0"



4 SECTION - EAST PATIO ACCESSIBLE WALKWAYS
SCALE: 3/8" = 1'-0"



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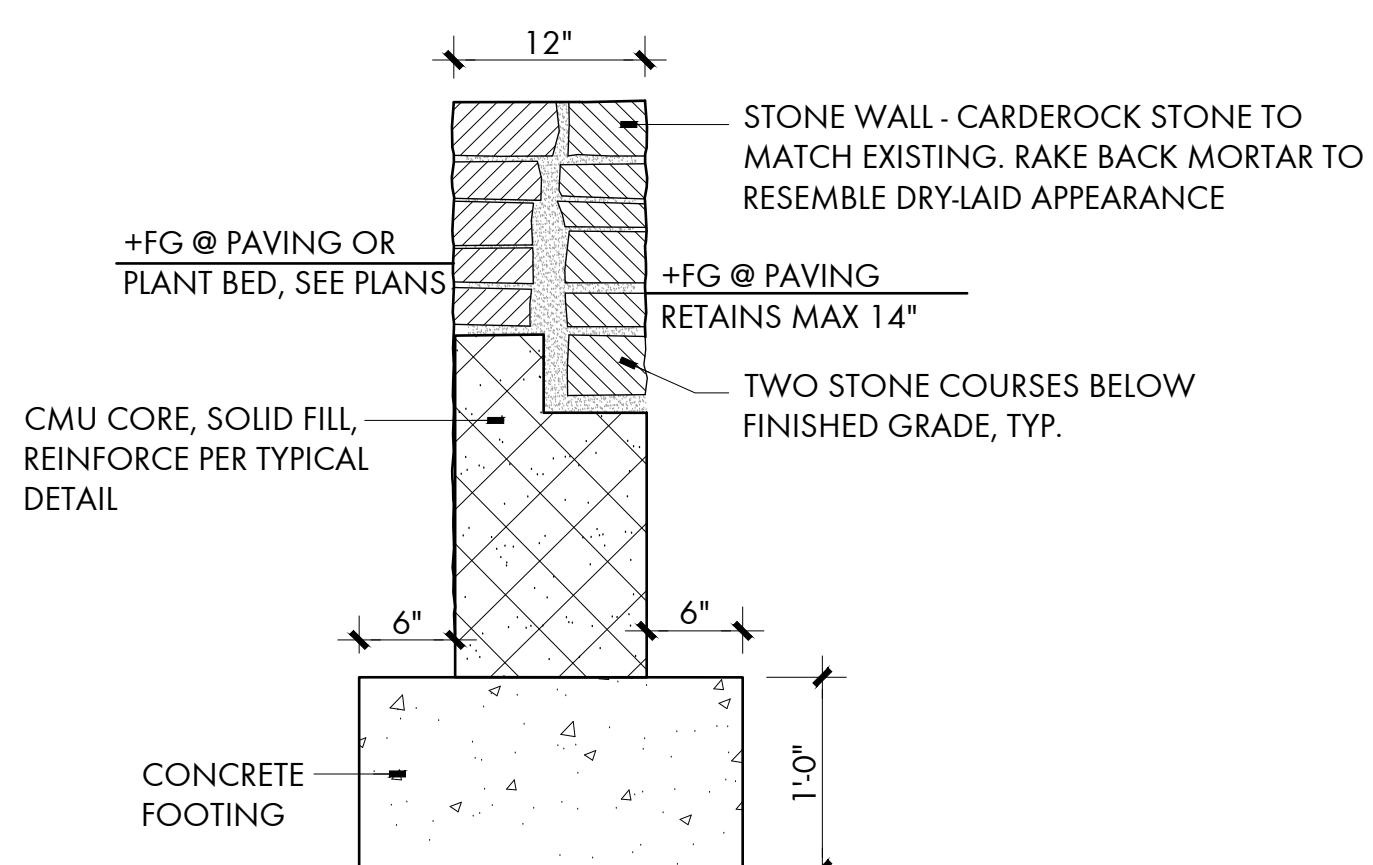
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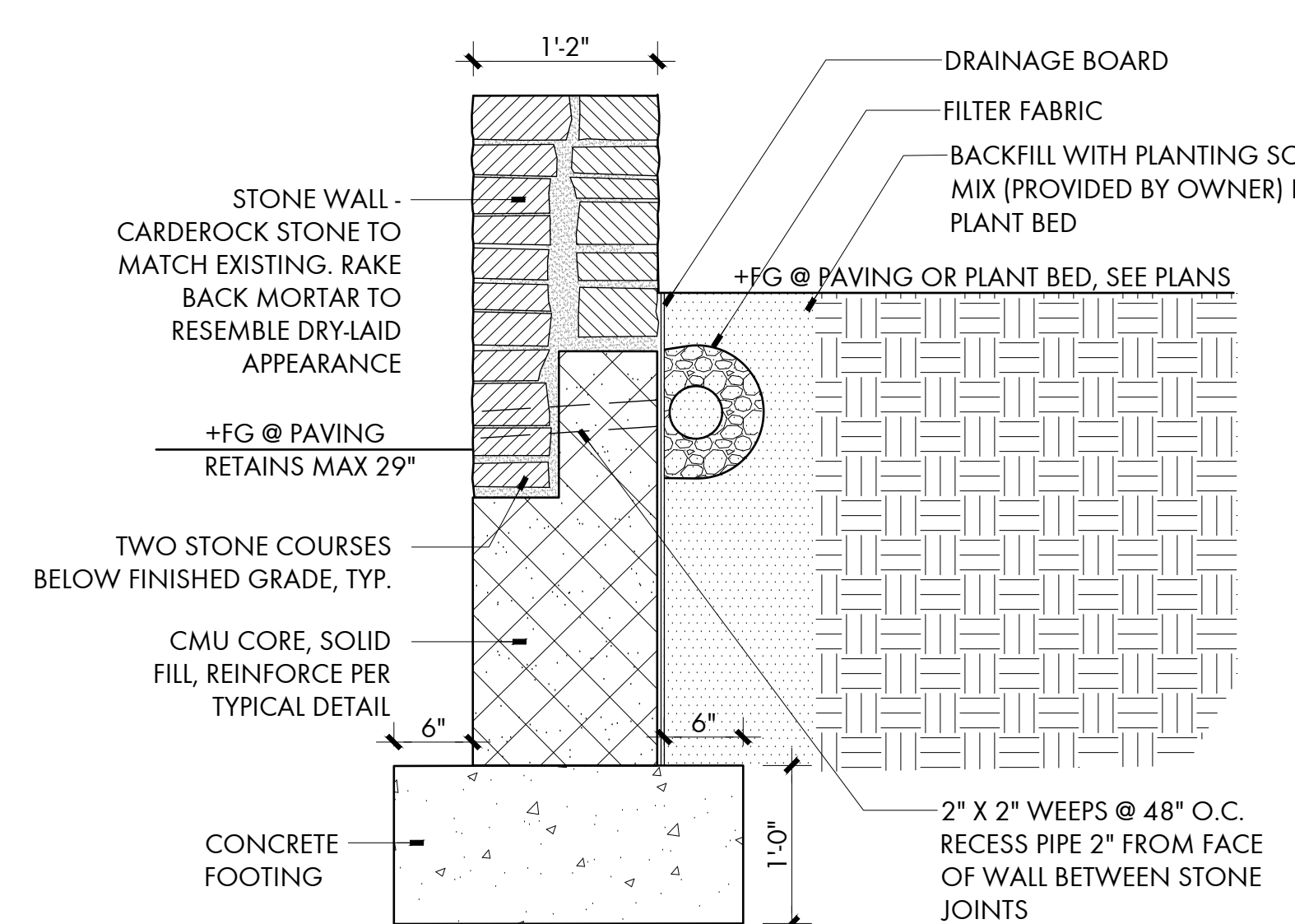
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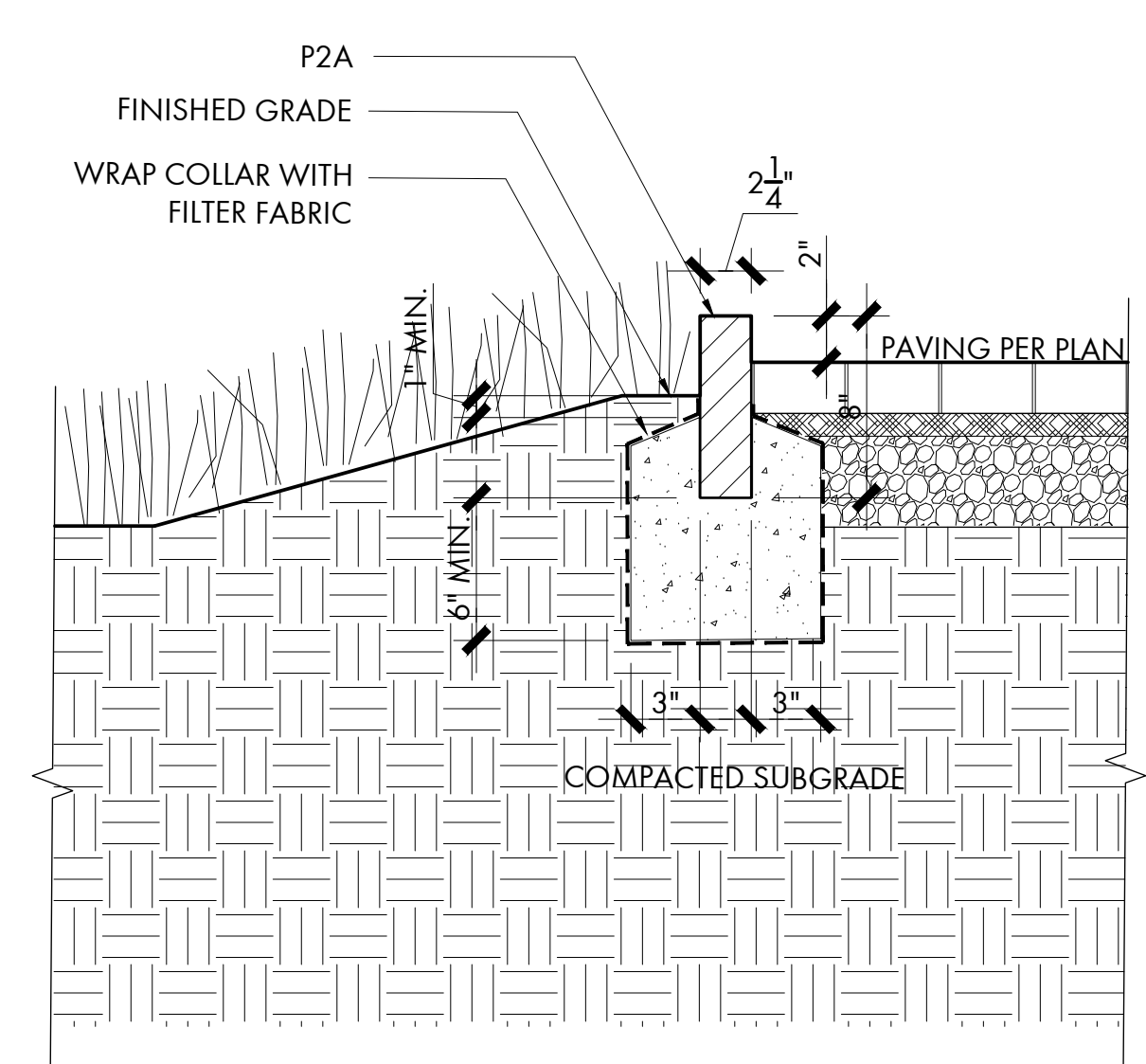
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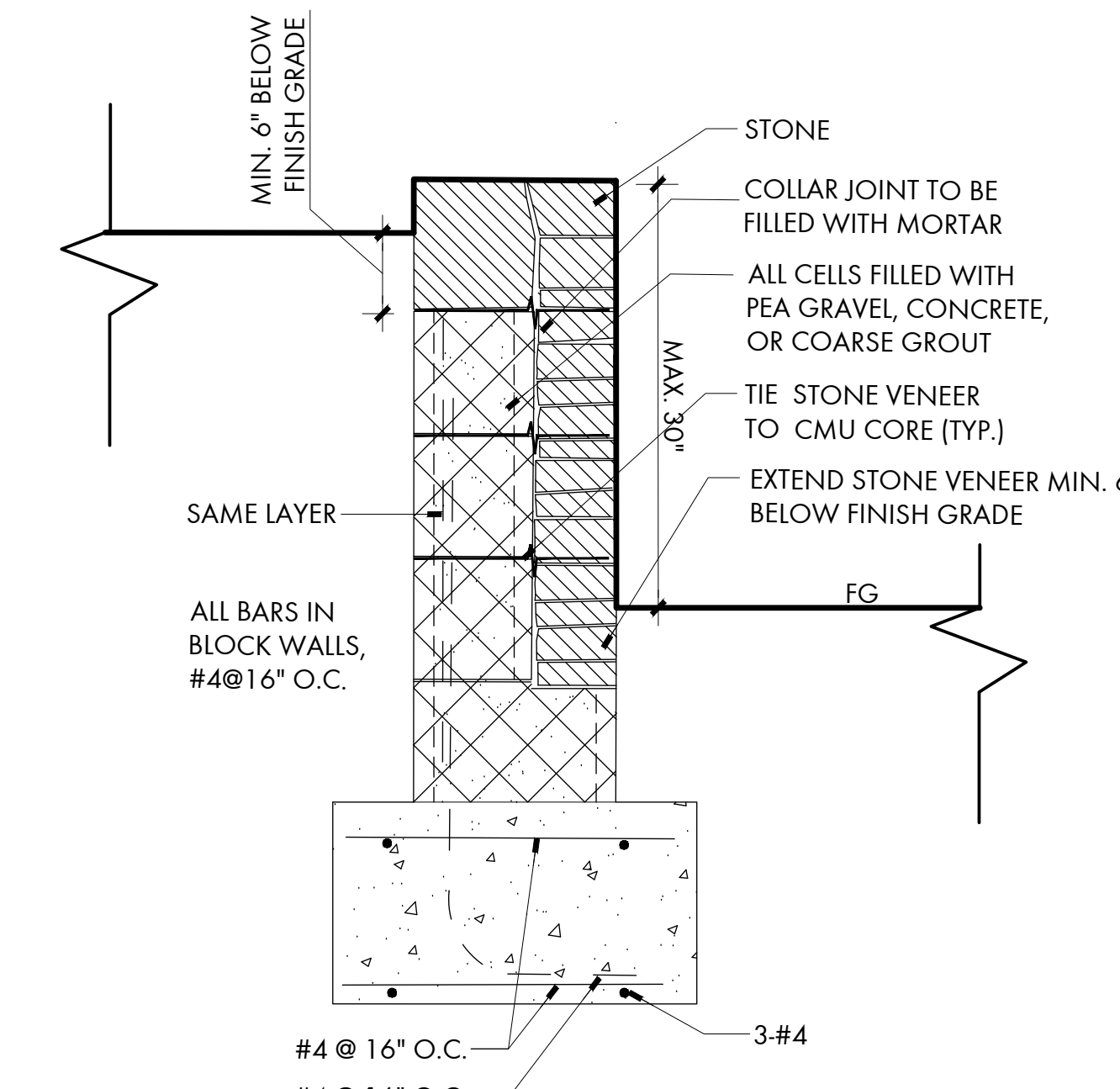
1 12 INCH WIDE STONE WALL DETAIL
SCALE: 1" = 1'-0"



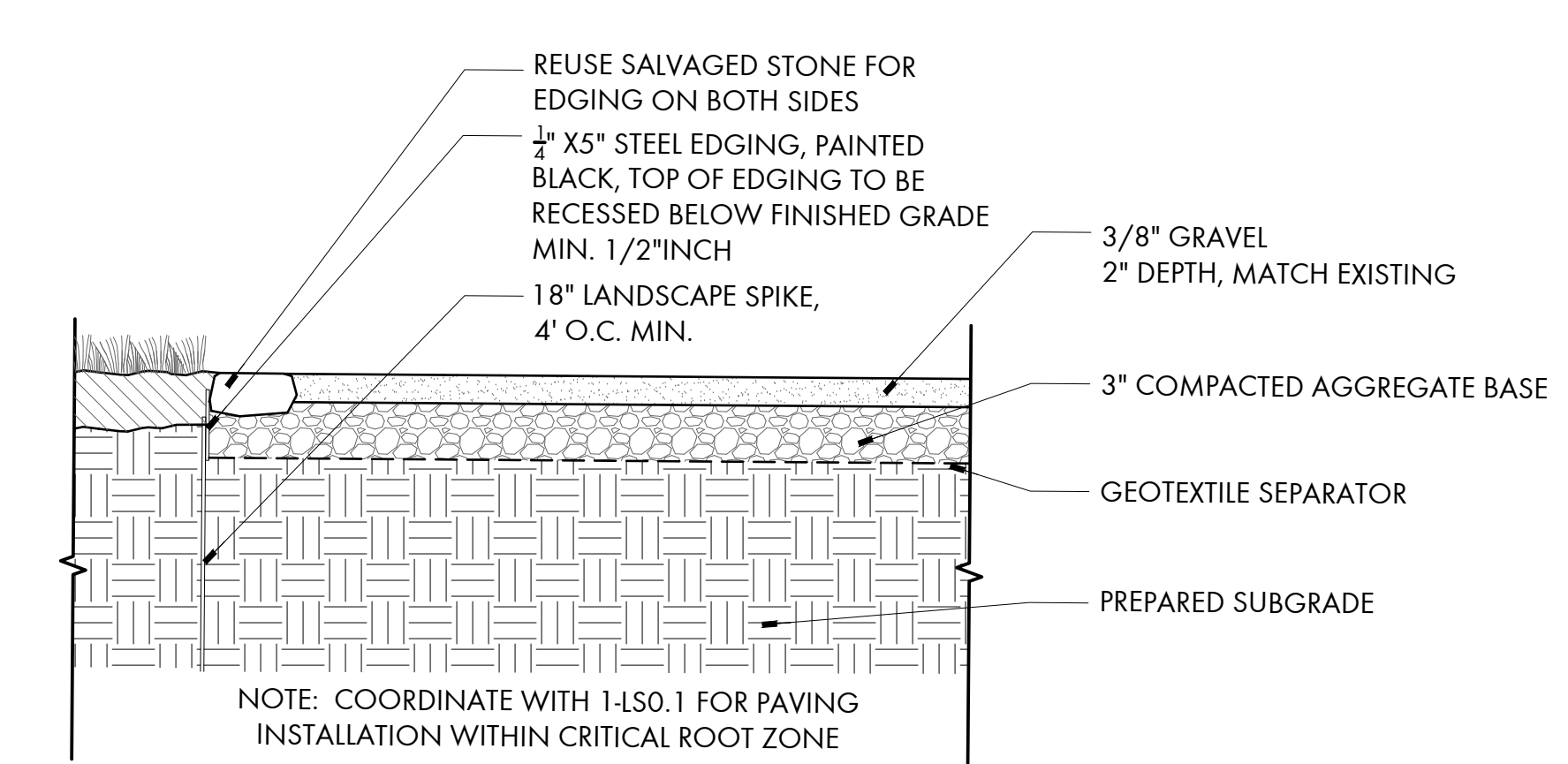
2 14 INCH WIDE STONE WALL DETAIL
SCALE: 1" = 1'-0"



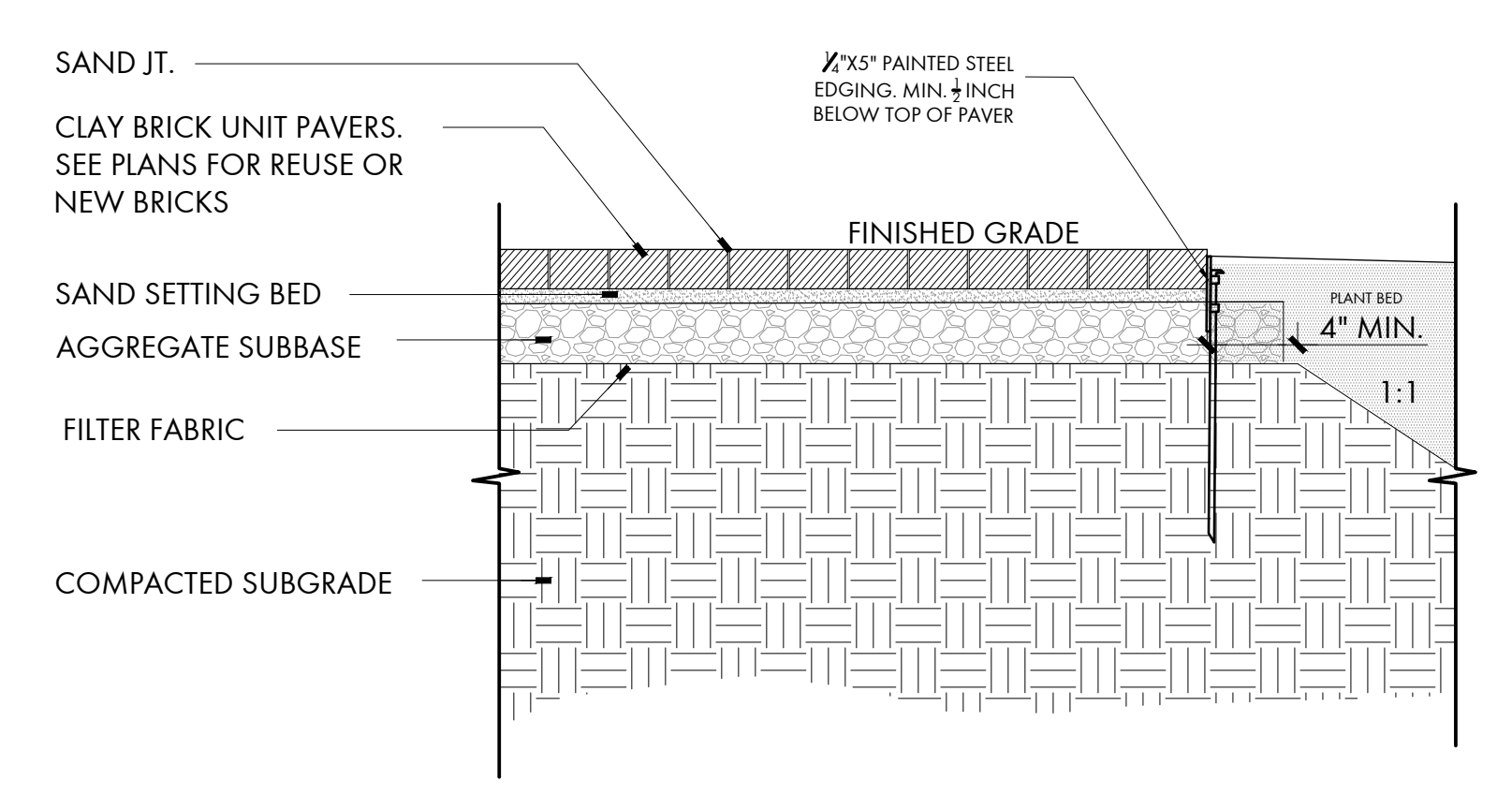
3 BRICK EDGING DETAIL
SCALE: 1 1/2" = 1'-0"



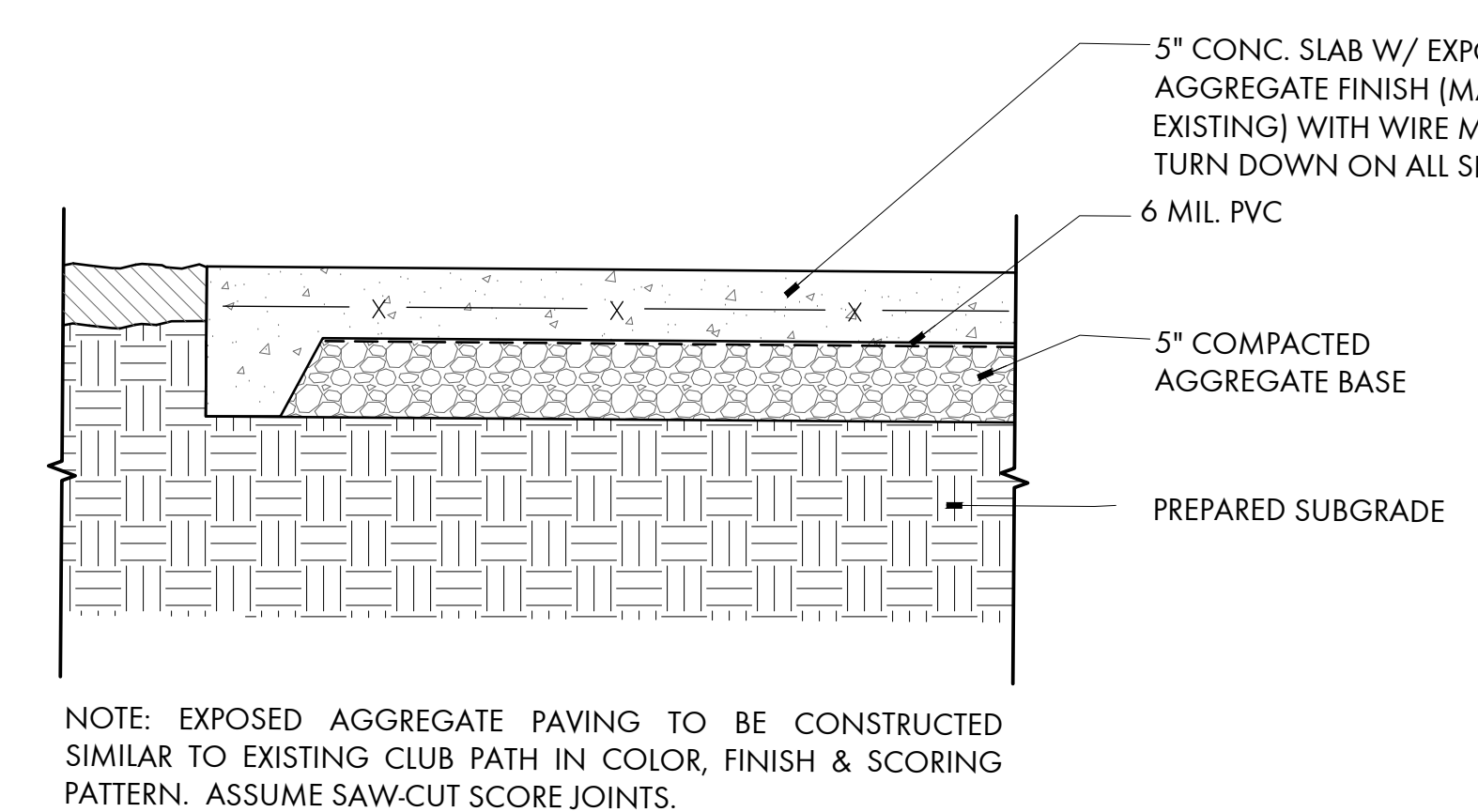
4 TYPICAL REINFORCED WALL DETAIL
SCALE: 1" = 1'-0"



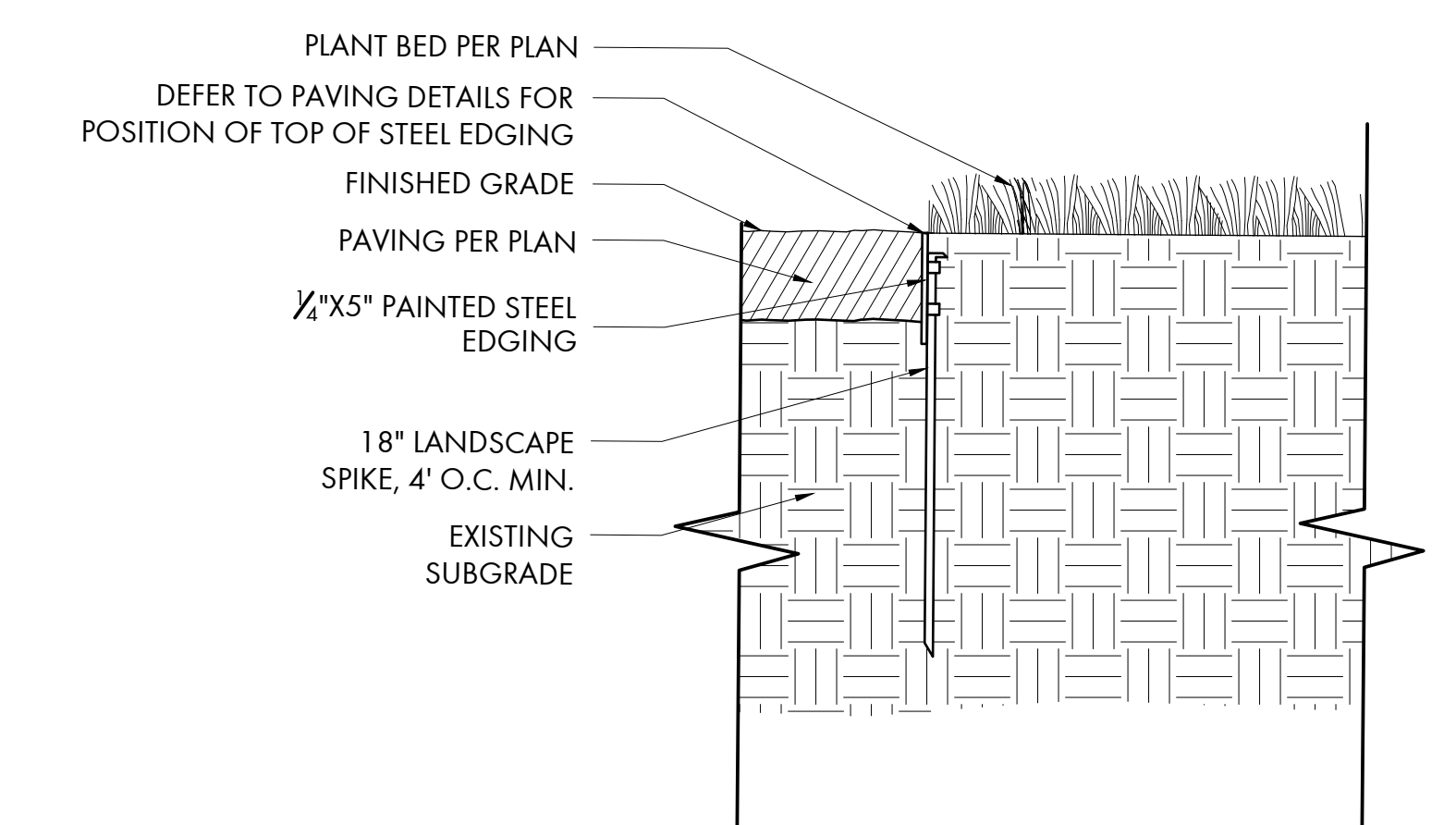
5 GRAVEL PAVING DETAIL
SCALE: 1" = 1'-0"



6 CLAY PAVERS DETAIL
SCALE: 1" = 1'-0"

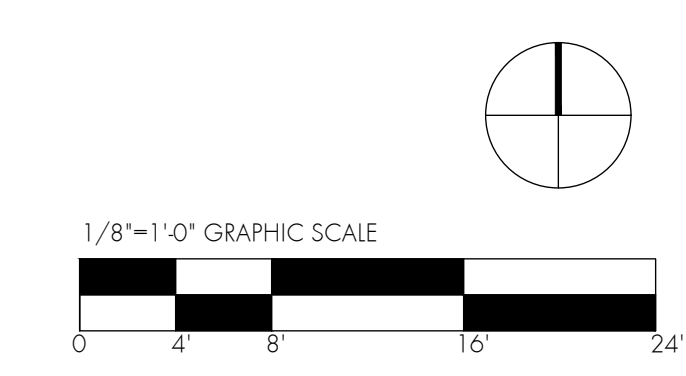


7 EXPOSED AGGREGATE CONCRETE PAVING
SCALE: 1" = 1'-0"



8 STEEL EDGING DETAIL
SCALE: 1 1/2" = 1'-0"

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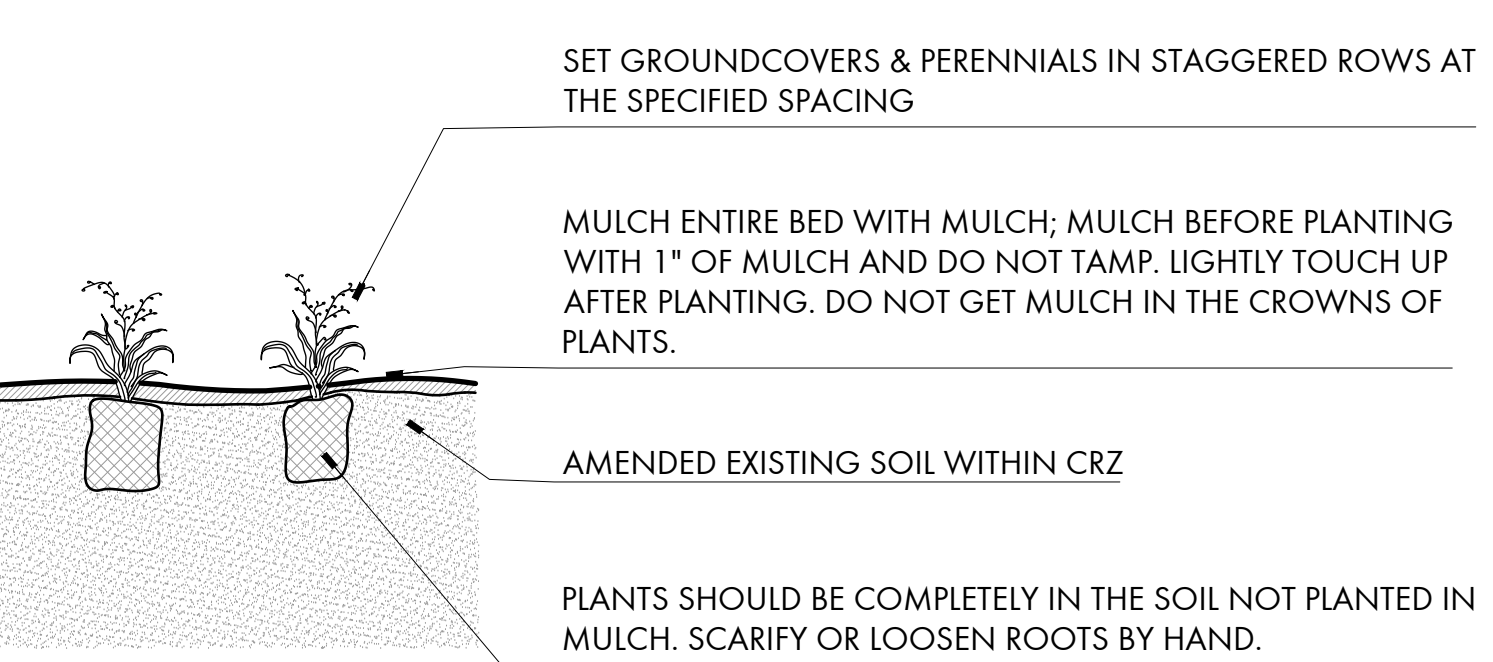
NOTE:
PLANT MATERIALS WILL BE SOURCED AND PLANTED BY OWNER.
ALL FILL & PLANTING SOIL WILL BE PROVIDED & INSTALLED BY OWNER.

SHRUBS SCHEDULE

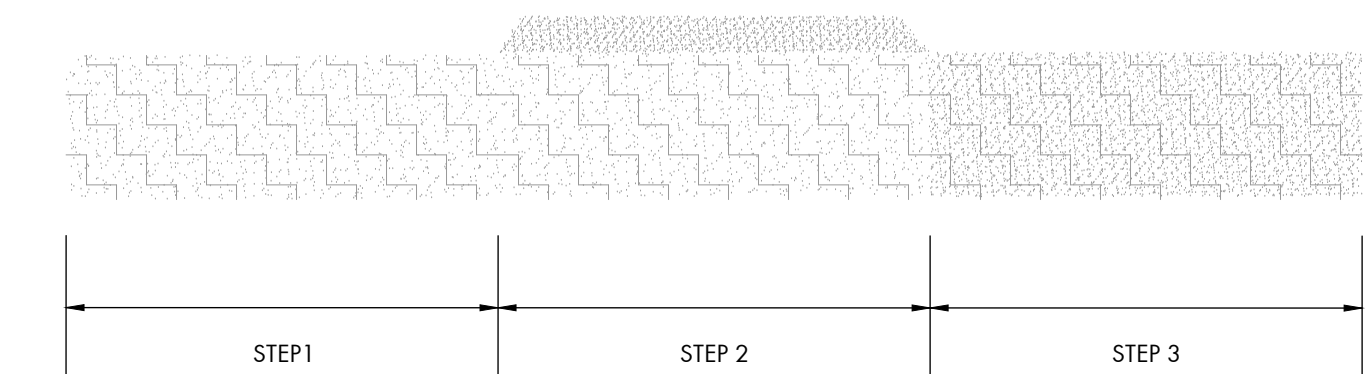
SHRUBS CD3	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	REMARKS
	6	CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	DUKE GARDENS PLUM YEWE	24-30"	B&B	36" o.c.	
CP	28	CEPHALOTAXUS HARRINGTONIA 'PROSTRATA'	PROSTRATE PLUM YEWE	24-30"	POT	36" o.c.	
ES	1	EDGEWORTHIA CHRYSANTHA 'SNOW CREAM'	SNOW CREAM PAPERBUSH	24-30"	POT	60" o.c.	
FM3	7	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	5 GAL.	POT	36" o.c.	
RS	11	RHODODENDRON X 'SNOWBIRD'	SNOWBIRD AZALEA	3 GAL.	POT	36" o.c.	
RY	12	RHODODENDRON X 'YAKU PRINCESS'	YAKU PRINCESS RHODODENDRON	3 GAL.	POT	48" o.c.	
VA	47	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	5 GAL.	POT	24" o.c.	

GROUNDCOVER SCHEDULE

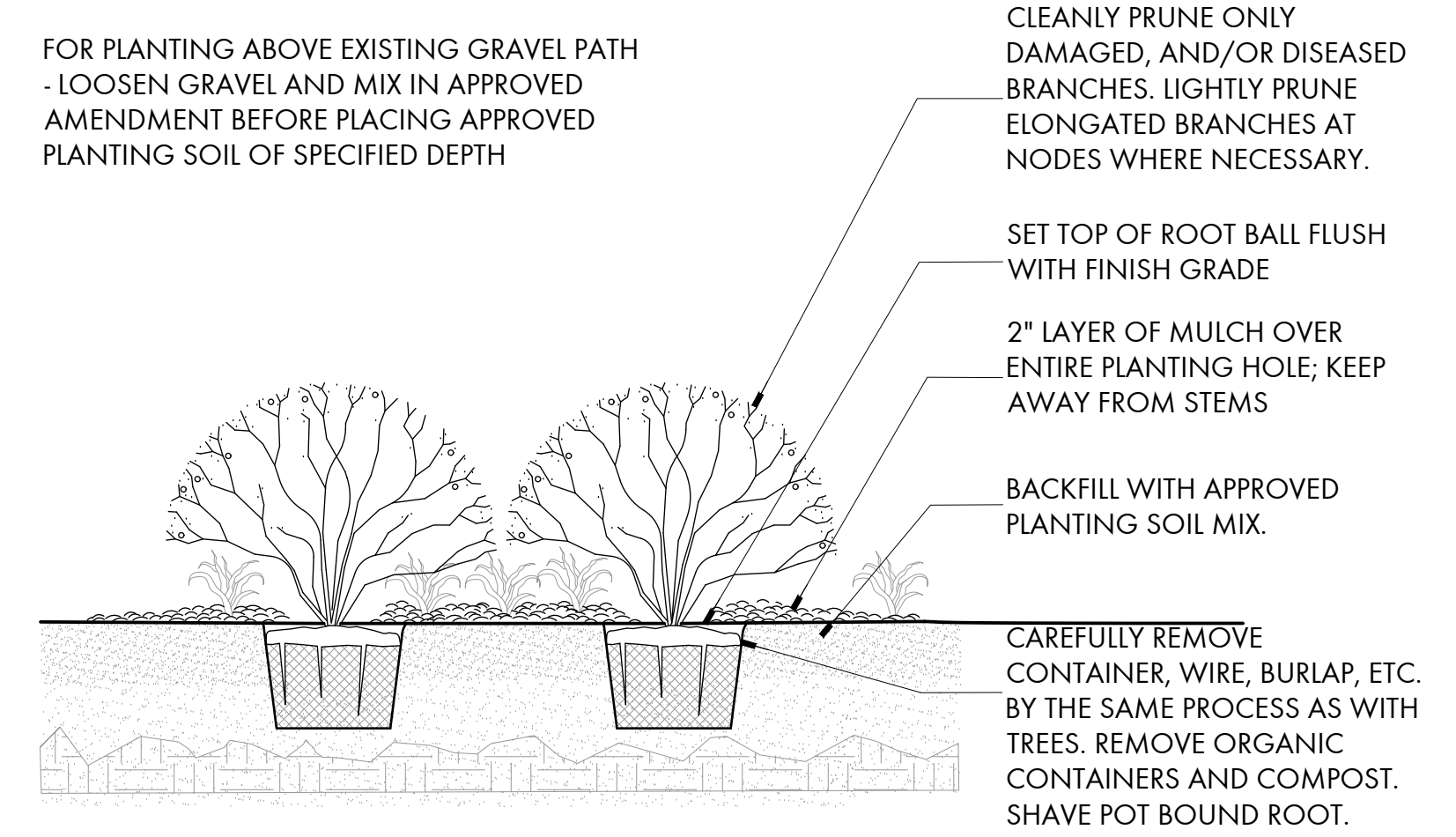
GC - SHADE MIX - 1,087 SF							
AQUILEGIA X HYBRID COLUMBINE	1 GAL.	POT	5% @ 18" oc				
ASARUM SPLENDENS / WILD GINGER	1 GAL.	POT	15% @ 18" oc				
BRUNNERA MACROPHYLLA 'JACK FROST' TM / JACK FROST SIBERIAN BUGLOSS	1 GAL.	POT	5% @ 18" oc				
CAREX PLANTAGINEA / PLANTAIN-LEAVED SEDGE	1 GAL.	POT	10% @ 18" oc				
CAREX SCAPOSA / CHERRY BLOSSOM SEDGE	1 GAL.	POT	10% @ 18" oc				
CHELONE GLABRA / WHITE TURTLEHEAD	1 GAL.	POT	15% @ 18" oc				
HELLEBORUS ORIENTALIS 'DOUBLE PEACH BLUSH' / DOUBLE PEACH BLUSH HELLEBORE	2 GAL.	POT	5% @ 18" oc				
HELLEBORUS ORIENTALIS 'GOLDEN DISCOVERY' / GOLDEN DISCOVERY LENTEN ROSE	2 GAL.	POT	5% @ 18" oc				
HELLEBORUS ORIENTALIS 'GREAT WHITE' / GREAT WHITE LENTEN ROSE	2 GAL.	POT	5% @ 18" oc				
HEUCHERA VILLOSA 'AUTUMN BRIDE' / AUTUMN BRIDE HEUCHERA	2 GAL.	POT	5% @ 18" oc				
MERTENSIA VIRGINICA / VIRGINIA BLUEBELLS	2 GAL.	POT	10% @ 18" oc				
SPIGELIA MARILANDICA 'LITTLE REDHEAD' / LITTLE REDHEAD INDIAN PINK	2 GAL.	POT	10% @ 18" oc				
GC - PARTIAL MIX - 741 SF							
ALLIUM ATROPURPUREUM / DARK PURPLE ALLIUM	BULB		5% @ 12" oc				
ALLIUM CRISTOPHII / STAR OF PERSIA	BULB		10% @ 12" oc				
ANEMONE X HYBRIDA 'HONORINE JOBERT' / HONORINE JOBERT JAPANESE ANEMONE	1 GAL.	POT	10% @ 18" oc				
ANEMONE X HYBRIDA 'MAX VOGEL' / MAX VOGEL JAPANESE ANEMONE	1 GAL.	POT	10% @ 18" oc				
CAREX APPALACHICA / APPALACHIAN SEDGE	1 GAL.	POT	10% @ 18" oc				
HELLEBORUS FOETIDUS / BEARSFOOT HELLEBORE	2 GAL.	POT	5% @ 18" oc				
HEUCHERA AMERICANA 'DALES STRAIN' / AMERICAN ALUMROOT	2 GAL.	POT	5% @ 18" oc				
HEUCHERA VILLOSA 'AUTUMN BRIDE' / AUTUMN BRIDE HEUCHERA	2 GAL.	POT	10% @ 18" oc				
HOSTA SIEBOLDIANA 'ELEGANS' / SIEBOLDIANA ELEGANS HOSTA	2 GAL.	POT	10% @ 18" oc				
LILIUM ASIATIC 'APRICOT FUDGE' / APRICOT FUDGE DOUBLE ASIATIC LILY	1 GAL.	POT	5% @ 12" oc				
LILIUM ASIATIC 'LANDINI' / LANDINI ASIATIC LILY	1 GAL.	POT	5% @ 12" oc				
LILIUM MARTAGON 'SUNNY MORNING' / SUNNY MORNING MARTAGON LILY	1 GAL.	POT	5% @ 12" oc				
SISYRINCHIUM ANGUSTIFOLIUM 'LUCERNE' / LUCERNE BLUE-EYED GRASS	1 GAL.	POT	10% @ 12" oc				



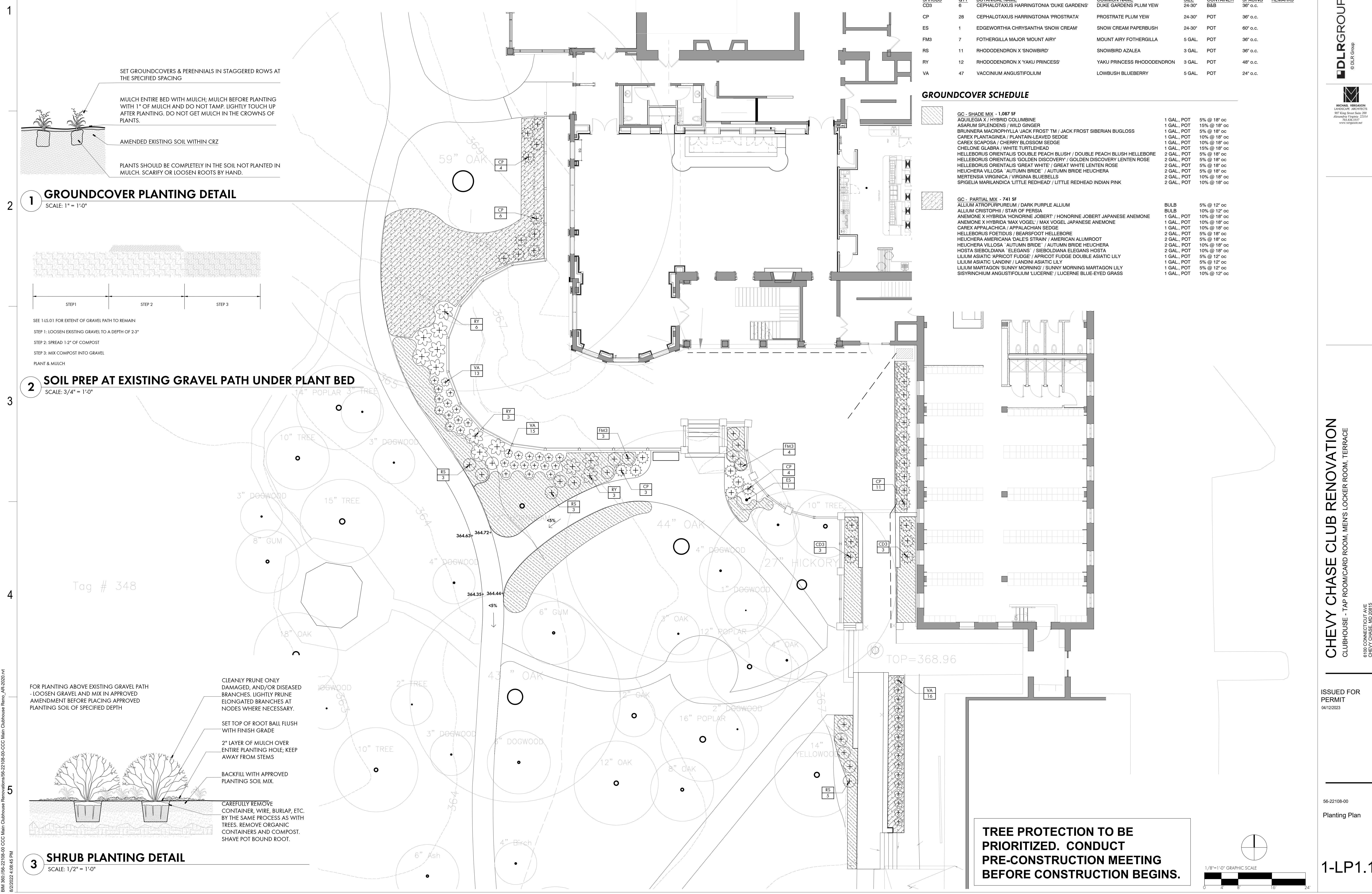
1 GROUNDCOVER PLANTING DETAIL
 SCALE: 1" = 1'-0"



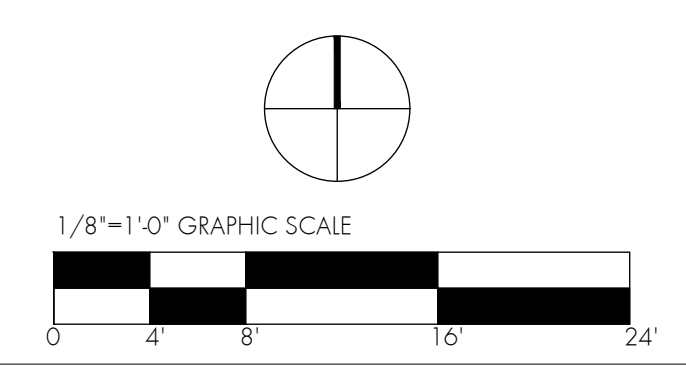
2 SOIL PREP AT EXISTING GRAVEL PATH UNDER PLANT BED
 SCALE: 3/4" = 1'-0"



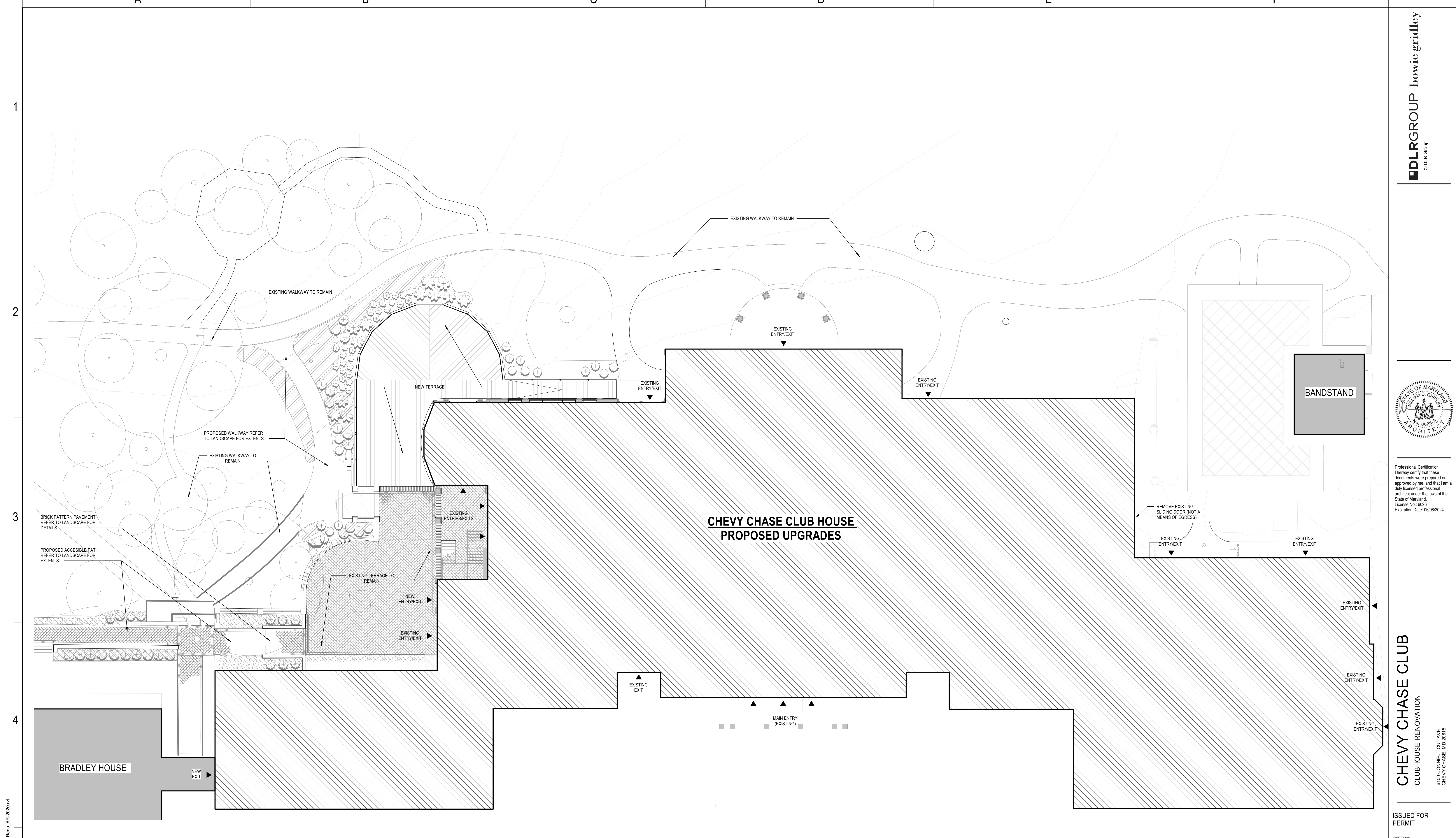
3 SHRUB PLANTING DETAIL
 SCALE: 1/2" = 1'-0"



**TREE PROTECTION TO BE
 PRIORITIZED. CONDUCT
 PRE-CONSTRUCTION MEETING
 BEFORE CONSTRUCTION BEGINS.**



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**CHEVY CHASE CLUB HOUSE
PROPOSED UPGRADES**

SITE PLAN NOTES

1. NO CHANGE TO BUILDING FOOTPRINT.
2. NO REDUCTION TO MEANS OF EGRESS.
3. NO CHANGE IN OCCUPANCY TYPE OR BUILDING FUNCTION.
4. NO INCREASE IN OCCUPANT LOAD.
5. NO CHANGE TO EXISTING SITE ACCESS.

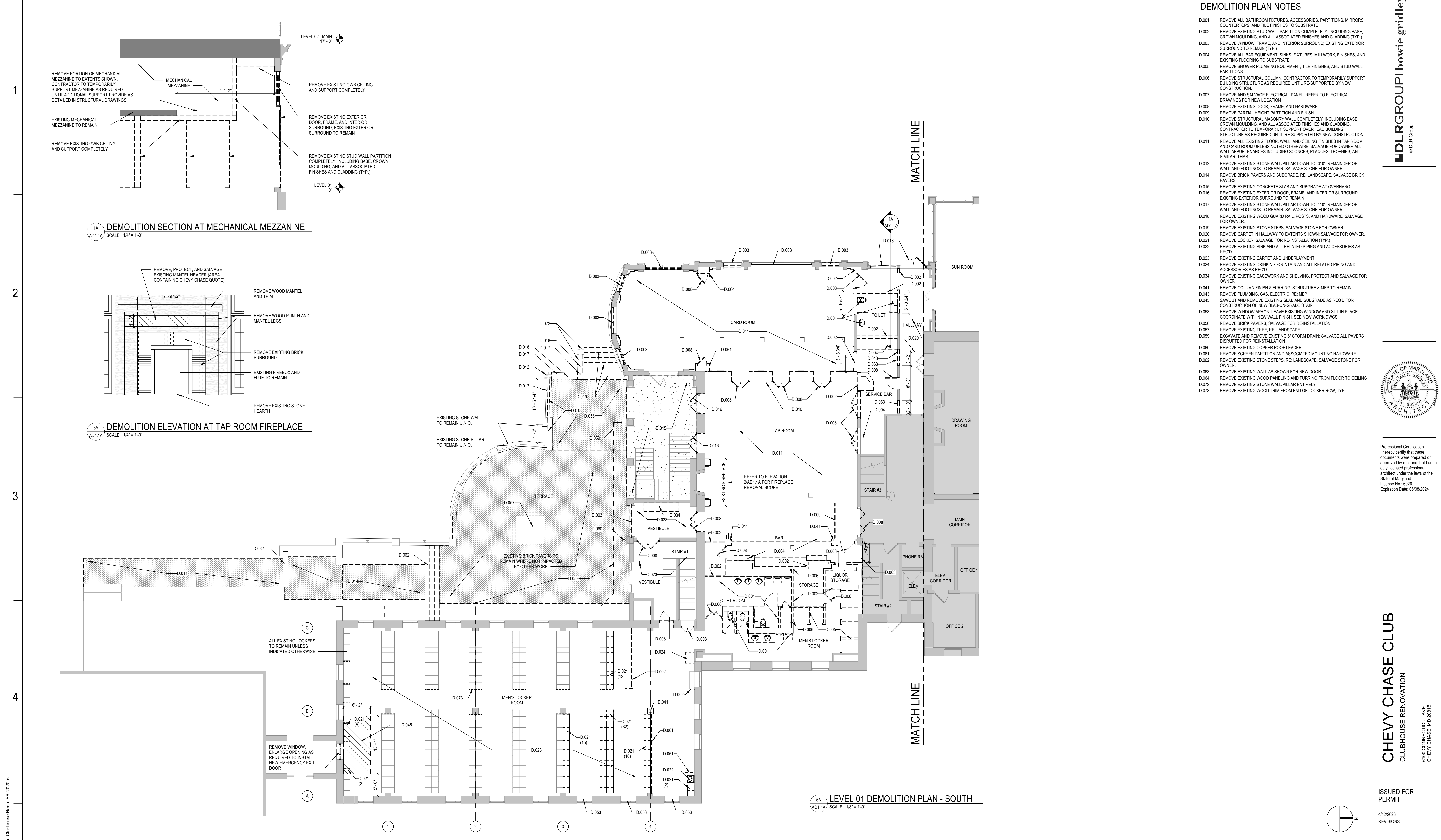
ARCHITECTURAL SITE PLAN
SCALE: 3/32" = 1'-0"

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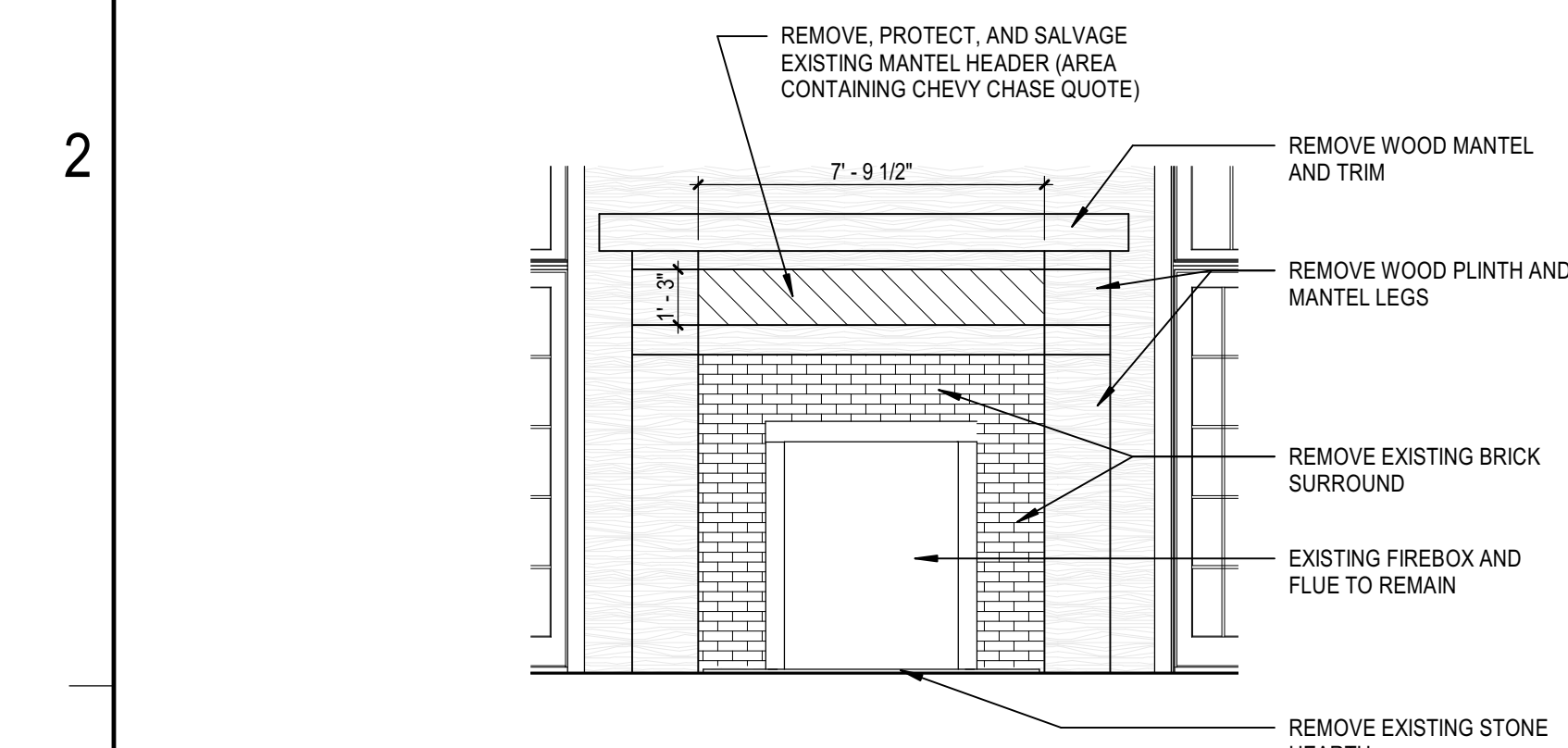


Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the law of the State of Maryland.
License No. 6036
Expiration Date: 06/08/2024

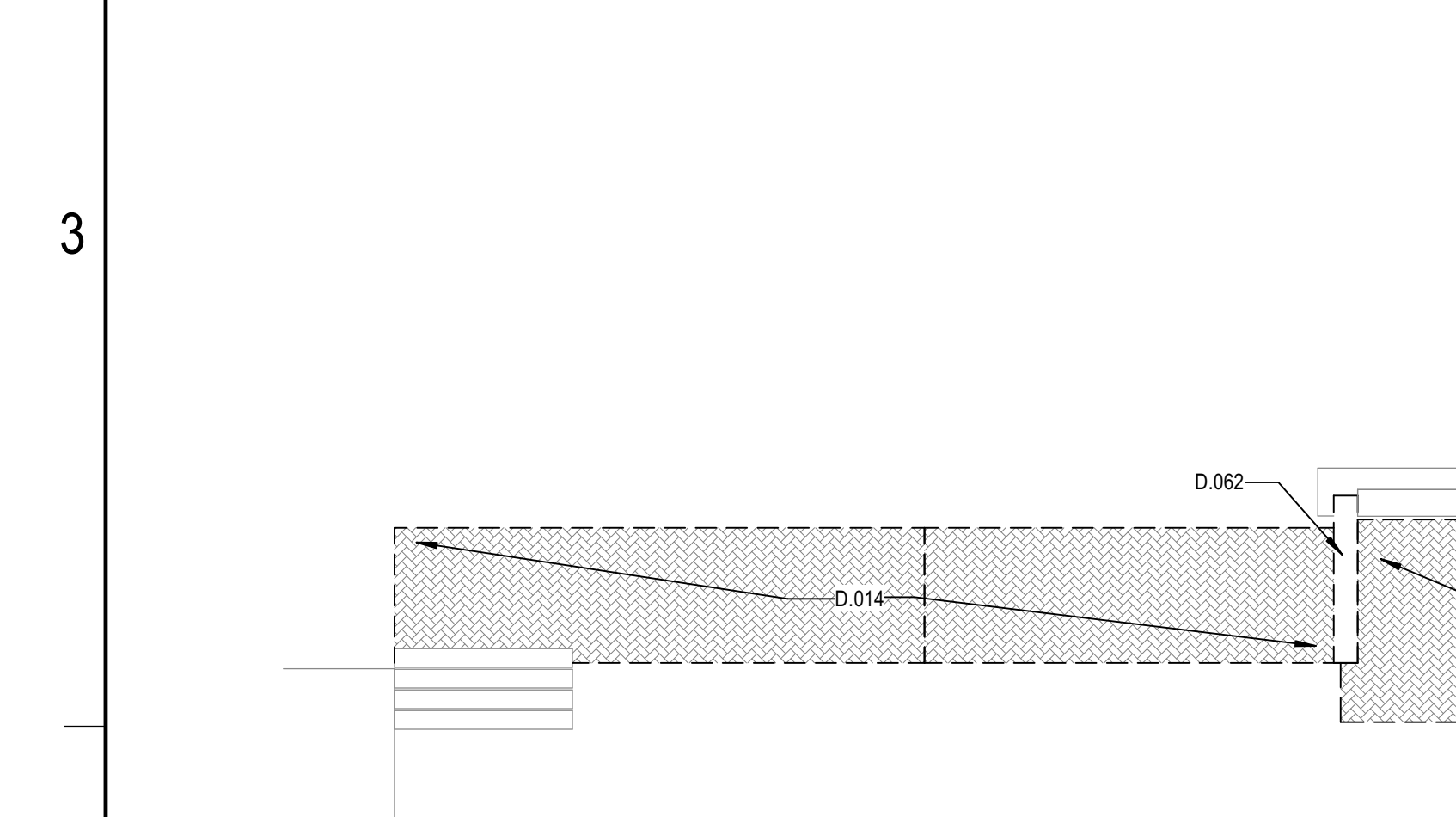
ISSUED FOR PERMIT
4/12/2023
REVISIONS



1A DEMOLITION SECTION AT MECHANICAL MEZZANINE
AD1.1A SCALE: 1/4" = 1'-0"



3A DEMOLITION ELEVATION AT TAP ROOM FIREPLACE
AD1.1A SCALE: 1/4" = 1'-0"



- ### DEMOLITION PLAN NOTES
- D.001 REMOVE ALL BATHROOM FIXTURES, ACCESSORIES, PARTITIONS, MIRRORS, COUNTERTOPS, AND TILE FINISHES TO SUBSTRATE
 - D.002 REMOVE EXISTING STUD WALL PARTITION COMPLETELY, INCLUDING BASE, CROWN MOULDING, AND ALL ASSOCIATED FINISHES AND CLADDING (TYP.)
 - D.003 REMOVE WINDOW, FRAME, AND INTERIOR SURROUND, EXISTING EXTERIOR SURROUND TO REMAIN (TYP.)
 - D.004 REMOVE ALL BAR EQUIPMENT, SINKS, FIXTURES, MILLWORK, FINISHES, AND EXISTING FLOORING TO SUBSTRATE
 - D.005 REMOVE SHOWER PLUMBING EQUIPMENT, TILE FINISHES, AND STUD WALL PARTITIONS
 - D.006 REMOVE STRUCTURAL COLUMN, CONTRACTOR TO TEMPORARILY SUPPORT BUILDING STRUCTURE AS REQUIRED UNTIL RE-SUPPORTED BY NEW CONSTRUCTION.
 - D.007 REMOVE AND SALVAGE ELECTRICAL PANEL; REFER TO ELECTRICAL DRAWINGS FOR NEW LOCATION
 - D.008 REMOVE EXISTING DOOR, FRAME, AND HARDWARE
 - D.009 REMOVE PARTIAL HEIGHT PARTITION AND FINISH
 - D.010 REMOVE STRUCTURAL MASONRY WALL COMPLETELY, INCLUDING BASE, CROWN MOULDING, AND ALL ASSOCIATED FINISHES AND CLADDING. CONTRACTOR TO TEMPORARILY SUPPORT OVERHEAD BUILDING STRUCTURE AS REQUIRED UNTIL RE-SUPPORTED BY NEW CONSTRUCTION.
 - D.011 REMOVE ALL EXISTING FLOOR, WALL, AND CEILING FINISHES IN TAP ROOM AND CARD ROOM UNLESS NOTED OTHERWISE. SALVAGE FOR OWNER ALL WALL APPURTENANCES INCLUDING SCONCES, PLAQUES, TROPHIES, AND SIMILAR ITEMS.
 - D.012 REMOVE EXISTING STONE WALL/PILLAR DOWN TO 3'-0"; REMAINDER OF WALL AND FOOTINGS TO REMAIN. SALVAGE STONE FOR OWNER.
 - D.014 REMOVE BRICK PAVERS AND SUBGRADE, RE: LANDSCAPE. SALVAGE BRICK PAVERS
 - D.015 REMOVE EXISTING CONCRETE SLAB AND SUBGRADE AT OVERHANG
 - D.016 REMOVE EXISTING EXTERIOR DOOR, FRAME, AND INTERIOR SURROUND; EXISTING EXTERIOR SURROUND TO REMAIN
 - D.017 REMOVE EXISTING STONE WALL/PILLAR DOWN TO 1'-0"; REMAINDER OF WALL AND FOOTINGS TO REMAIN. SALVAGE STONE FOR OWNER.
 - D.018 REMOVE EXISTING WOOD GUARD RAIL, POSTS, AND HARDWARE; SALVAGE FOR OWNER.
 - D.019 REMOVE EXISTING STONE STEPS, SALVAGE STONE FOR OWNER.
 - D.020 REMOVE CARPET IN HALLWAY TO EXTENTS SHOWN; SALVAGE FOR OWNER.
 - D.021 REMOVE LOCKER, SALVAGE FOR RE-INSTALLATION (TYP.)
 - D.022 REMOVE EXISTING SINK AND ALL RELATED PIPING AND ACCESSORIES AS REQ'D.
 - D.023 REMOVE EXISTING CARPET AND UNDERLAYMENT
 - D.024 REMOVE EXISTING DRINKING FOUNTAIN AND ALL RELATED PIPING AND ACCESSORIES AS REQ'D.
 - D.024 REMOVE EXISTING CASEWORK AND SHELVING, PROTECT AND SALVAGE FOR OWNER
 - D.041 REMOVE COLUMN FINISH & FURRING, STRUCTURE & MEP TO REMAIN
 - D.043 REMOVE PLUMBING, GAS, ELECTRIC, RE: MEP
 - D.045 SANICUT AND REMOVE EXISTING SLAB AND SUBGRADE AS REQ'D FOR CONSTRUCTION OF NEW SLAB-ON-GRADE STAIR
 - D.053 REMOVE WINDOW APRON, LEAVE EXISTING WINDOW AND SILL IN PLACE. COORDINATE WITH NEW WALL FINISH, SEE NEW WORK DWGS
 - D.056 REMOVE BRICK PAVERS, SALVAGE FOR RE-INSTALLATION
 - D.057 REMOVE EXISTING TREE, RE: LANDSCAPE
 - D.059 EXCAVATE AND REMOVE EXISTING 6" STORM DRAIN; SALVAGE ALL PAVERS DISRUPTED FOR REINSTALLATION
 - D.060 REMOVE EXISTING COPPER ROOF LEADER
 - D.061 REMOVE SCREEN PARTITION AND ASSOCIATED MOUNTING HARDWARE
 - D.062 REMOVE EXISTING STONE STEPS, RE: LANDSCAPE. SALVAGE STONE FOR OWNER
 - D.063 REMOVE EXISTING WALL AS SHOWN FOR NEW DOOR
 - D.064 REMOVE EXISTING WOOD PANELING AND FURRING FROM FLOOR TO CEILING
 - D.072 REMOVE EXISTING STONE WALL/PILLAR ENTIRELY
 - D.073 REMOVE EXISTING WOOD TRIM FROM END OF LOCKER ROW, TYP.

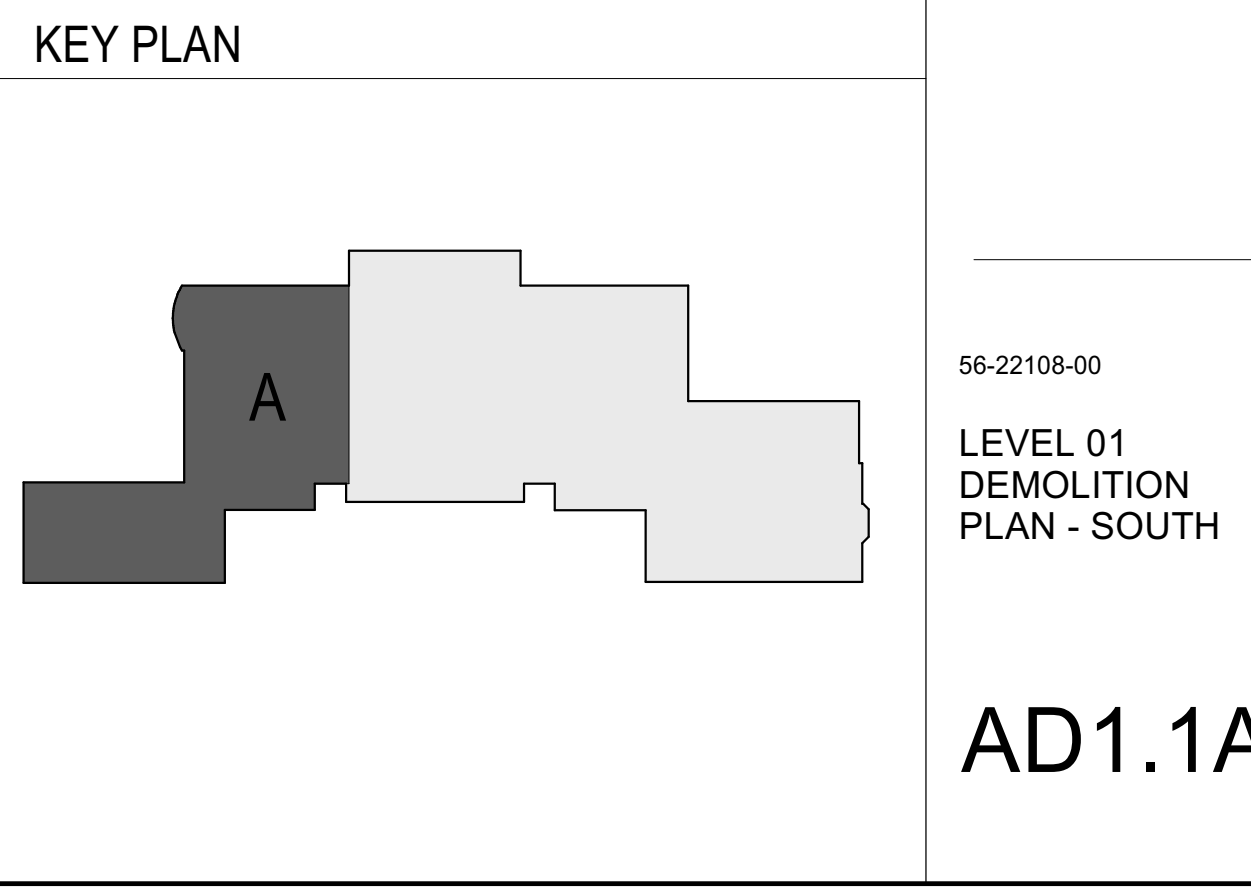


Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License No. 6026
Expiration Date: 06/08/2024

ISSUED FOR PERMIT
4/12/2023
REVISIONS

- ### DEMOLITION GENERAL NOTES
- THE CONTRACTOR SHALL:
- A. COORDINATE ALL DEMOLITION AND PHASING EFFORTS WITH THE ARCHITECT AND OWNER'S REPRESENTATIVE. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS, EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S REPRESENTATIVE. IN ALL CASES, PROVISIONS SHALL BE MADE FOR USER'S SAFETY.
 - B. COORDINATE ANY DISRUPTION OF UTILITY SERVICES WITH THE OWNER AND AS SPECIFIED.
 - C. CONSTRUCT TEMPORARY CONSTRUCTION PARTITIONS WITHIN THE EXISTING BUILDING WHICH OFFER A ONE-HOUR ENCLOSURE TO ISOLATE ANY DEMOLITION/CONSTRUCTION WORK FROM THE GENERAL PUBLIC AND AS DEEMED NECESSARY BY THE OWNER AND CODE OFFICIAL HAVING JURISDICTION. COORDINATE LOCATIONS WITH THE OWNER AND MAINTAIN MEANS OF EGRESS THROUGHOUT THE WORK.
 - D. MAINTAIN A SECURE, WEATHER-TIGHT ENCLOSURE AT ALL TIMES.
 - E. VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 - F. REMOVE IN THEIR ENTIRETY ALL EXISTING WALLS, DOORS, MILLWORK, PLUMBING FIXTURES, CEILING, SOFFITS, MARKERBOARDS, AND OTHER ITEMS, AS REQUIRED TO EXECUTE THE DEMOLITION/CONSTRUCTION WORK DESCRIBED BY THE DRAWINGS.
 - G. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS.
 - H. PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
 - I. REPAIR OR REPLACE ITEMS THAT ARE DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
 - J. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE OR AS AUTHORIZED BY ARCHITECT.
 - K. VERIFY AND MAINTAIN THE LOCATION OF EXISTING POWER, COMMUNICATION AND DATA CABLES TO PREVENT INTERRUPTION OF THEIR SERVICE.
 - L. PATCH FLOOR, WALL AND CEILING PENETRATIONS RESULTING FROM REMOVAL OR RE-ROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, AND OTHER ITEMS, AS REQUIRED TO MAINTAIN FIRE-RESISTANCE-RATED SEPARATIONS. FINISH AS REQUIRED FOR NEW OR EXISTING ADJACENT SURFACES.
 - M. CAP ALL DISCONNECTED MECHANICAL PIPING LINES WITHIN THE WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
 - N. SEE MECHANICAL AND ELECTRICAL DRAWINGS AND NOTES FOR FURTHER SEQUENCING AND SCOPE OF WORK.
 - O. AVOID ANY DISTURBANCE OF SOILS WITHIN THE ZONE OF INFLUENCE AROUND EXISTING FOOTINGS AND FLOOR SLABS AS DIRECTED BY GEOTECHNICAL ENGINEER.
 - P. WHERE CMU WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY REMOVING CMU IN TOOTH-IN PATTERN BOTH SIDES OF DEMOLITION FOR CONTRACTOR TO TOOTH-IN NEW CMU PATCHES.
 - Q. WHERE PLASTER/STUD WALLS ARE INDICATED TO BE REMOVED, PREPARE ADJACENT WALLS TO RECEIVE NEW PATCH/FINISH BY SAWCUTTING ADJACENT PLASTER FINISH A MINIMUM OF 1'-0" BEYOND DEMOLITION.
 - R. NO HAZARDOUS MATERIALS ARE ANTICIPATED IN EXISTING CLUBHOUSE. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER. HAZARDOUS MATERIALS WILL BE REMOVED BY OWNER UNDER A SEPARATE CONTRACT.

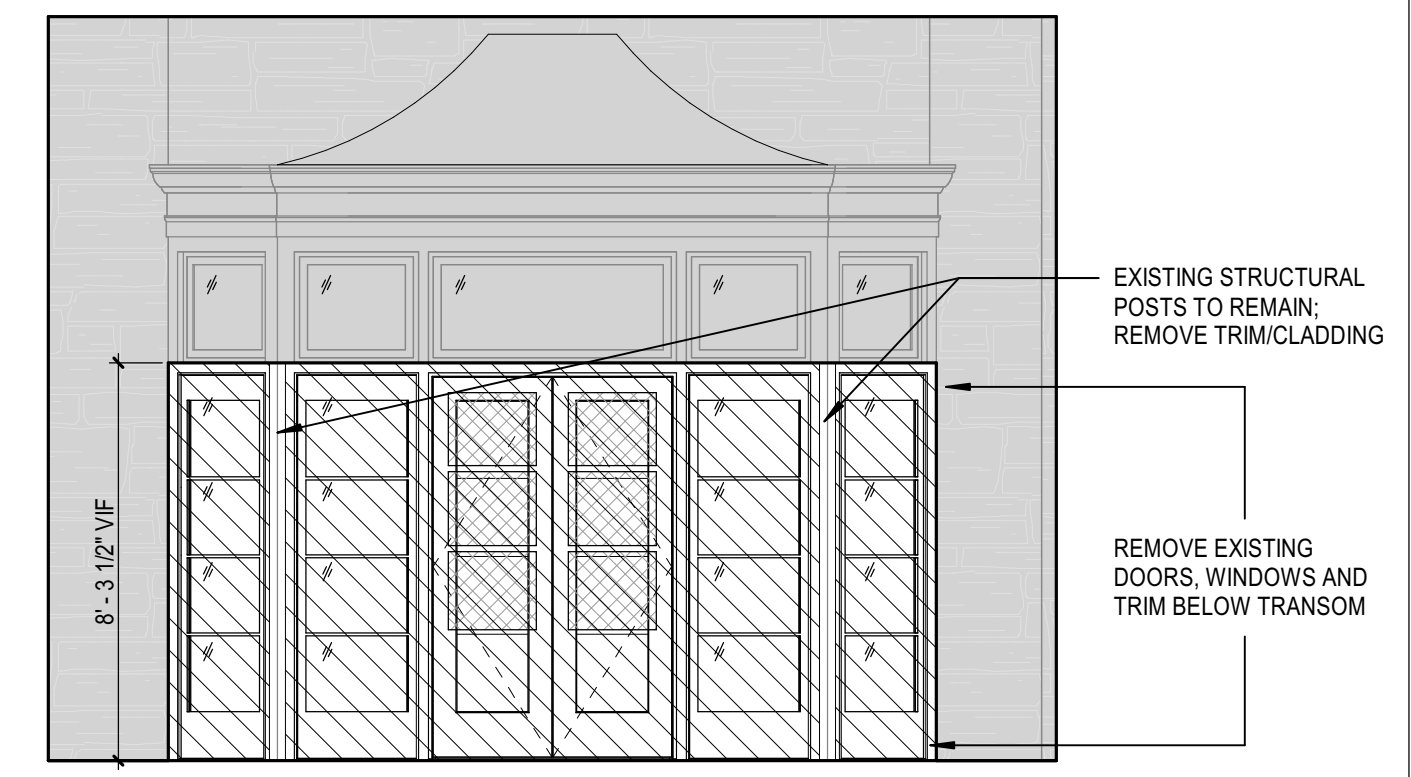
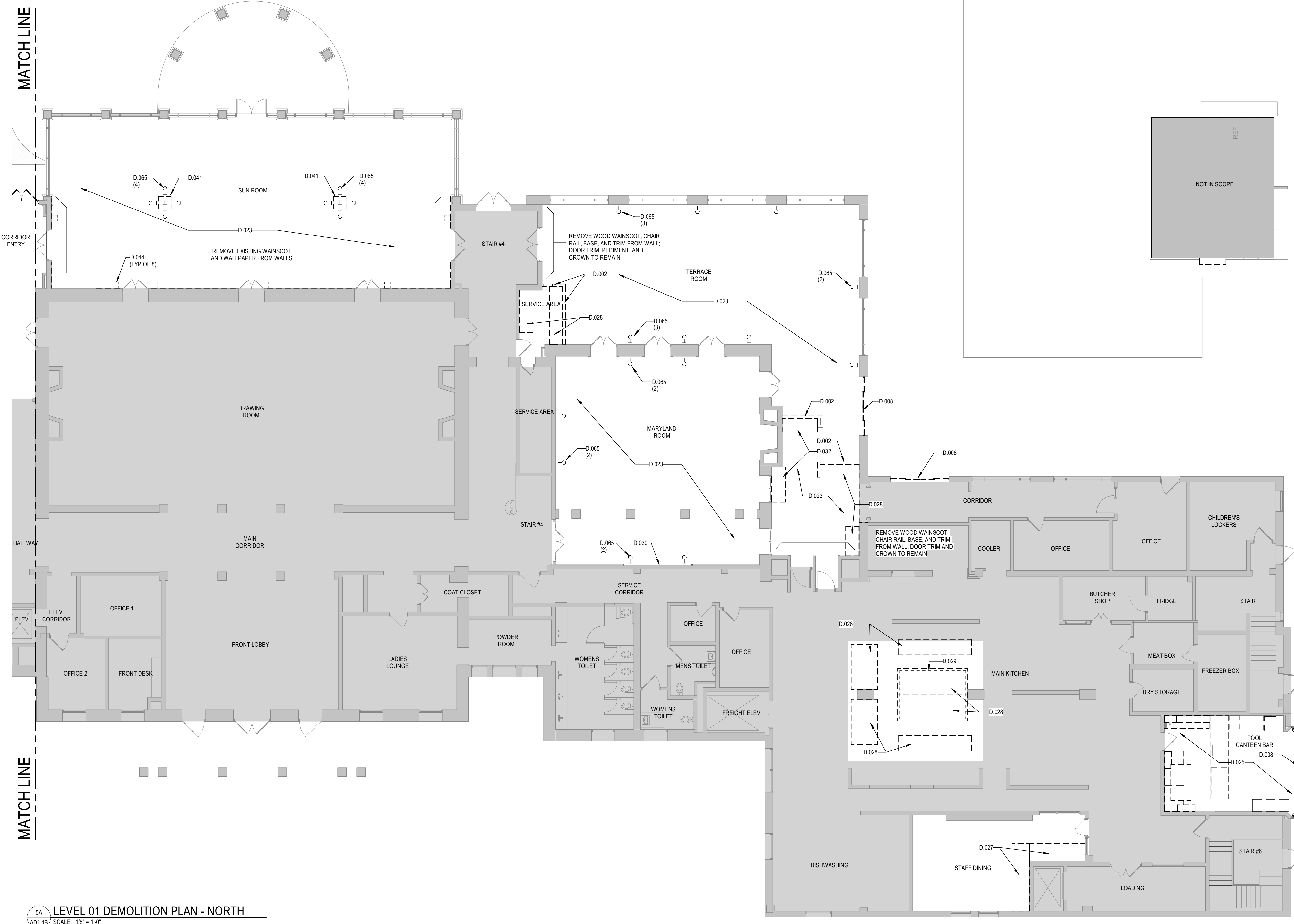
- ### DEMOLITION LEGEND
- EXISTING WALL TO REMAIN
 - EXISTING CONSTRUCTION TO BE REMOVED
 - EXISTING DOOR, FRAME, HARDWARE, AND TRIM TO BE REMOVED (UNO)
 - AREA OF EXISTING MATERIAL TO BE REMOVED
 - EXISTING WINDOW, FRAME, AND INTERIOR SURROUND TO BE REMOVED (UNO)
 - NOT IN SCOPE



- DEMOLITION PLAN NOTES**
- D.002 REMOVE EXISTING STUD WALL PARTITION COMPLETELY, INCLUDING BASE, CROWN MOULDING, AND ALL ASSOCIATED FINISHES AND CLADDING (TYP.)
 - D.008 REMOVE EXISTING DOOR, FRAME, AND HARDWARE
 - D.023 REMOVE EXISTING CARPET AND UNDERLAYMENT
 - D.025 REMOVE ALL EXISTING WALL TILE, FLOOR TILE, CASEWORK, BASE TRIM, CROWN MOLDING, CHAIR RAIL, AND EQUIPMENT THROUGHOUT POOL CANTEEN. SALVAGE ALL EQUIPMENT FOR OWNER.
 - D.027 REMOVE EXISTING MILLWORK AND EQUIPMENT IN STAFF DINING ROOM. SALVAGE EQUIPMENT FOR OWNER.
 - D.028 REMOVE EXISTING COUNTER AND EQUIPMENT; SALVAGE FOR OWNER
 - D.029 REMOVE EXISTING CURB, FLOOR TILE, AND UNDERLAYMENT UNDER EXISTING COUNTER
 - D.030 REMOVE EXISTING MIRROR, SALVAGE FOR OWNER
 - D.032 REMOVE EXISTING WINE STORAGE CABINET, SALVAGE FOR OWNER
 - D.041 REMOVE COLUMN FINISH & FURRING STRUCTURE & MEP TO REMAIN
 - D.044 REMOVE EXISTING SHELF FIXTURES FROM WALL
 - D.065 REMOVE EXISTING WALL SCONCE; SALVAGE FOR OWNER
 - D.066 REMOVE WINDOW, FRAME, TRIM, AND HARDWARE



Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License No.: 6026
Expiration Date: 06/08/2024



3F POOL CANTEN DEMO EXISTING ELEVATION
AD1.1B SCALE: 1/4" = 1'-0"

5A LEVEL 01 DEMOLITION PLAN - NORTH
AD1.1B SCALE: 1/8" = 1'-0"

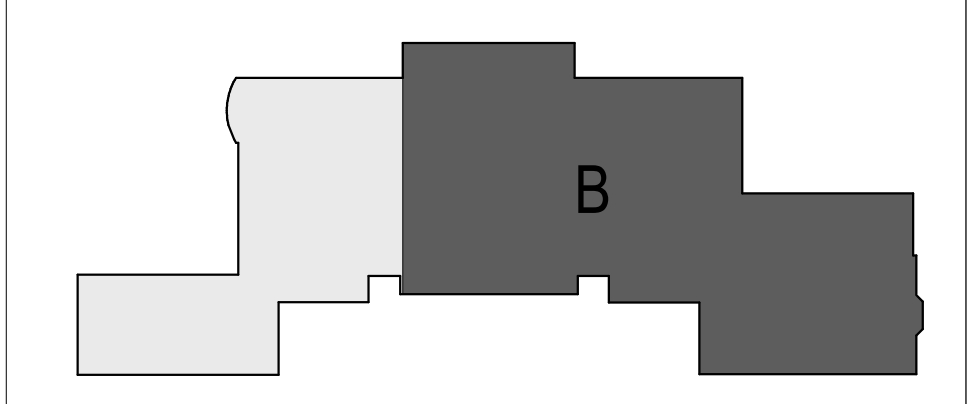
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 - H. PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
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 - K. VERIFY AND MAINTAIN THE LOCATION OF EXISTING POWER, COMMUNICATION AND DATA CABLES TO PREVENT INTERRUPTION OF THEIR SERVICE.
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DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING DOOR, FRAME, HARDWARE, AND TRIM TO BE REMOVED (UNO)
- AREA OF EXISTING MATERIAL TO BE REMOVED
- EXISTING WINDOW, FRAME, AND INTERIOR SURROUND TO BE REMOVED (UNO)
- NOT IN SCOPE

KEY PLAN



56-22108-00

LEVEL 01
DEMOLITION
PLAN - NORTH

AD1.1B

ISSUED FOR PERMIT
4/12/2023
REVISIONS

CHEVY CHASE CLUB
CLUBHOUSE RENOVATION
6100 CONNECTICUT AVE
CHEVY CHASE, MD 20815

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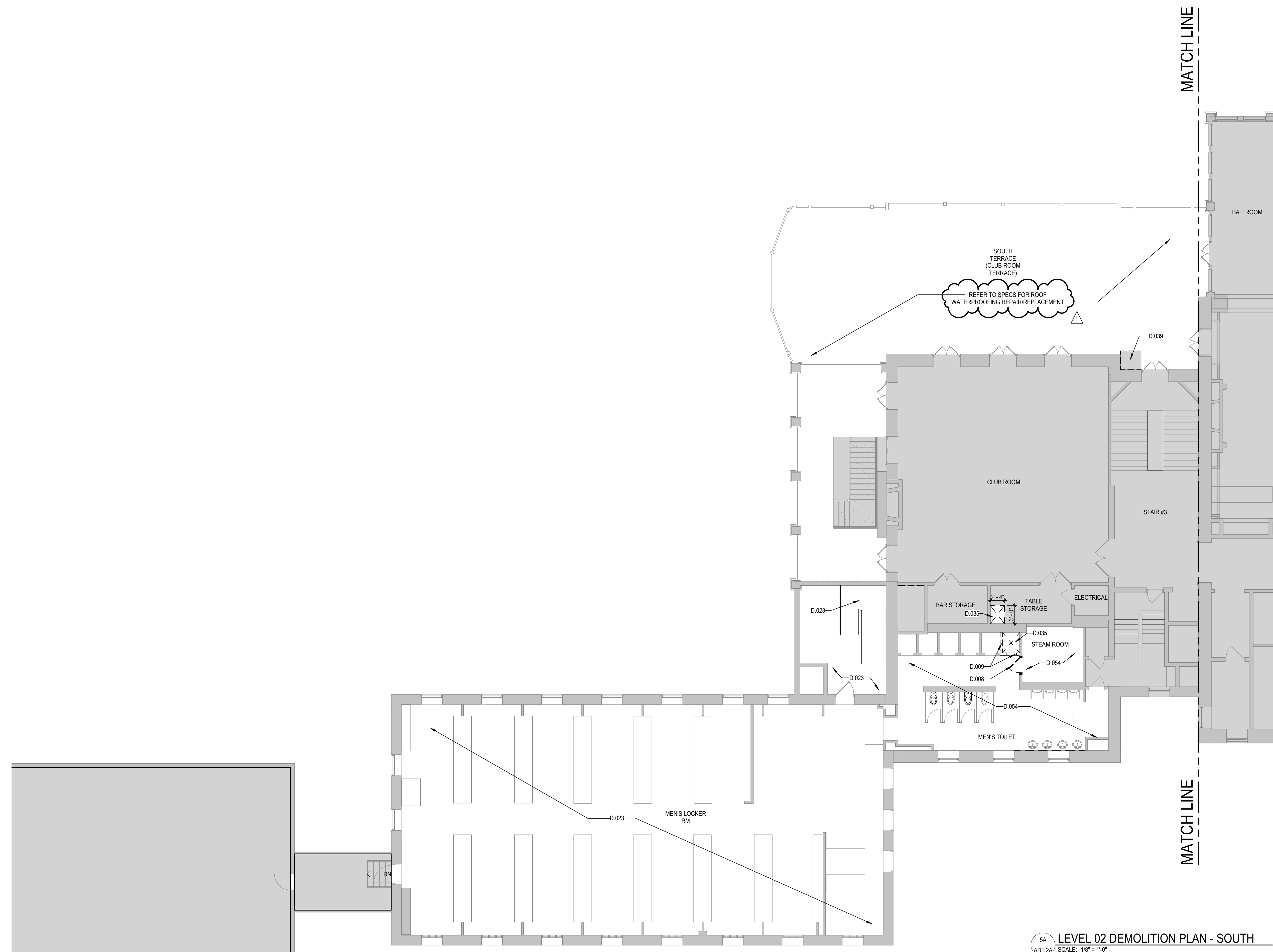
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DEMOLITION PLAN NOTES

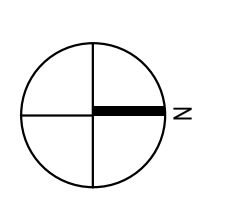
- D.008 REMOVE EXISTING DOOR, FRAME, AND HARDWARE
- D.009 REMOVE PARTIAL HEIGHT PARTITION AND FINISH
- D.023 REMOVE EXISTING CARPET AND UNDERLAYMENT
- D.035 REMOVE EXISTING FLOOR AND CEILING SLAB AND FINISH AS REQ'D FOR NEW EXHAUST MAKE UP AIR DUCTS
- D.039 REMOVE EXISTING ROOFTOP MECHANICAL ENCLOSURE
- D.054 REMOVE EXISTING TILE FINISH TO SUBSTRATE FROM FLOOR AND ALL WALLS



Professional Certification
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5A LEVEL 02 DEMOLITION PLAN - SOUTH
AD1.2A SCALE: 1/8" = 1'-0"



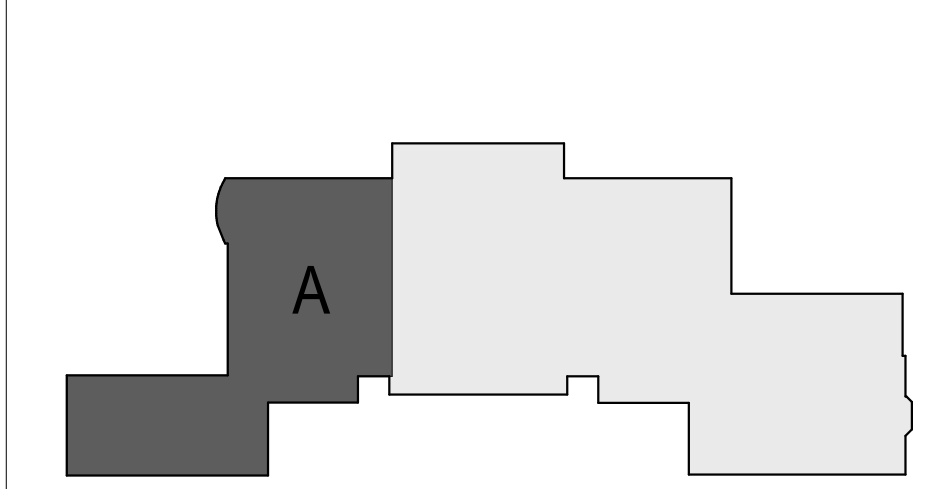
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KEY PLAN



ISSUED FOR PERMIT
4/12/2023
REVISIONS
1 5/3/2023 HPC Revisions

56-22108-00
LEVEL 02 DEMOLITION PLAN - SOUTH

AD1.2A



Professional Certification
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CLUBHOUSE RENOVATION

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CHEVY CHASE, MD 20815

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56-22108-00

LEVEL 02
DEMOLITION
PLAN - NORTH

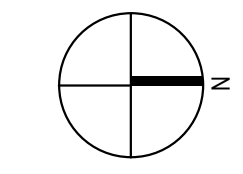
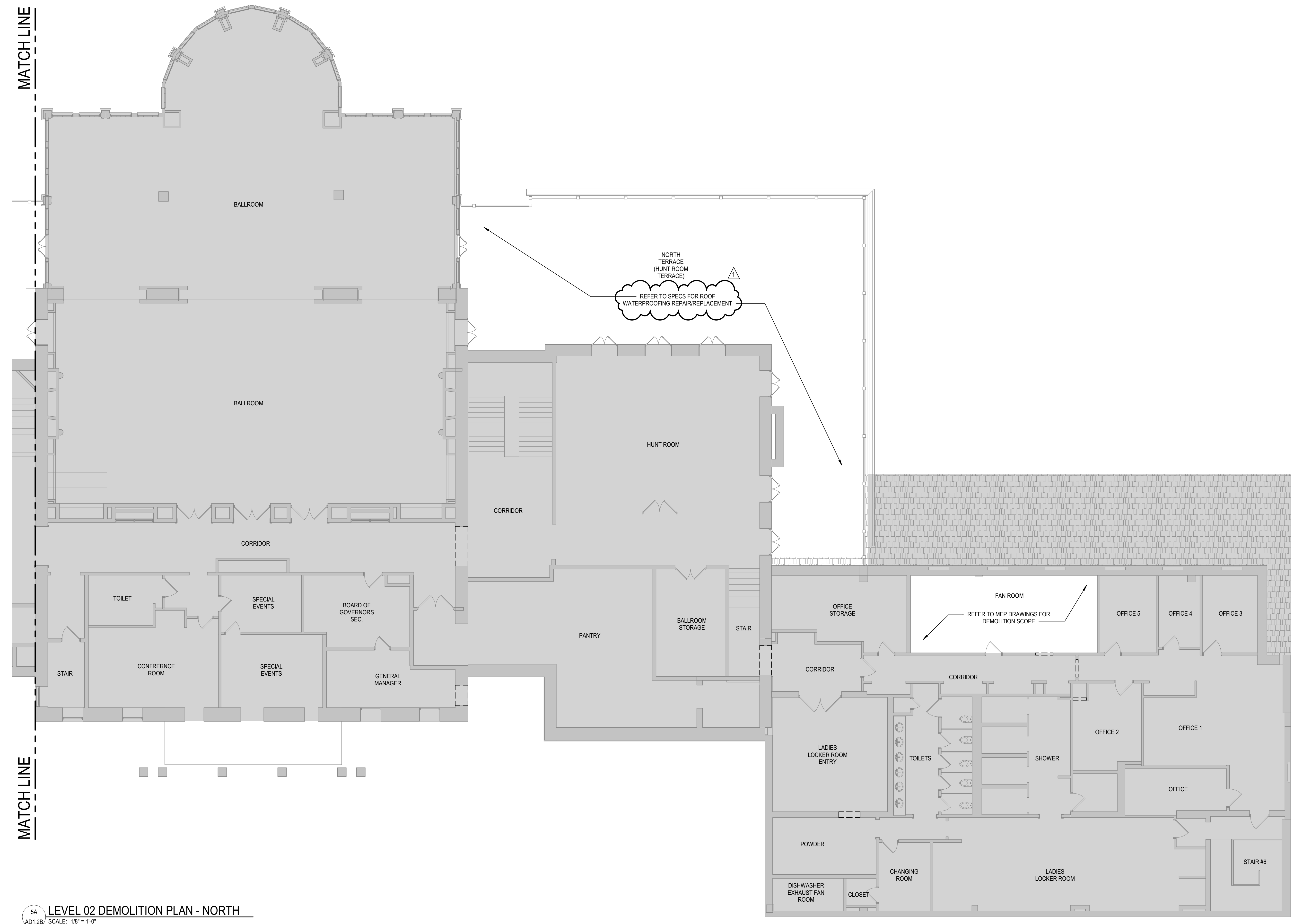
AD1.2B

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2
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MATCH LINE

MATCH LINE

5A LEVEL 02 DEMOLITION PLAN - NORTH
AD1.2B SCALE: 1/8" = 1'-0"



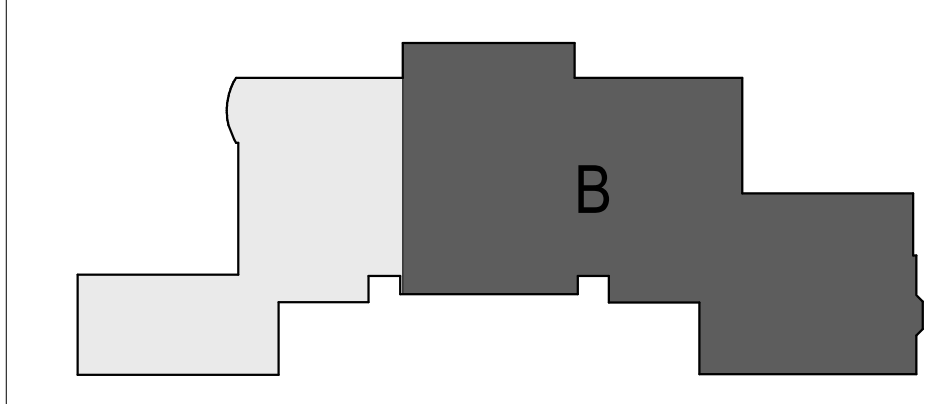
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KEY PLAN



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DEMOLITION PLAN NOTES

D.038 REMOVE EXISTING EXHAUST FAN AND CURBS



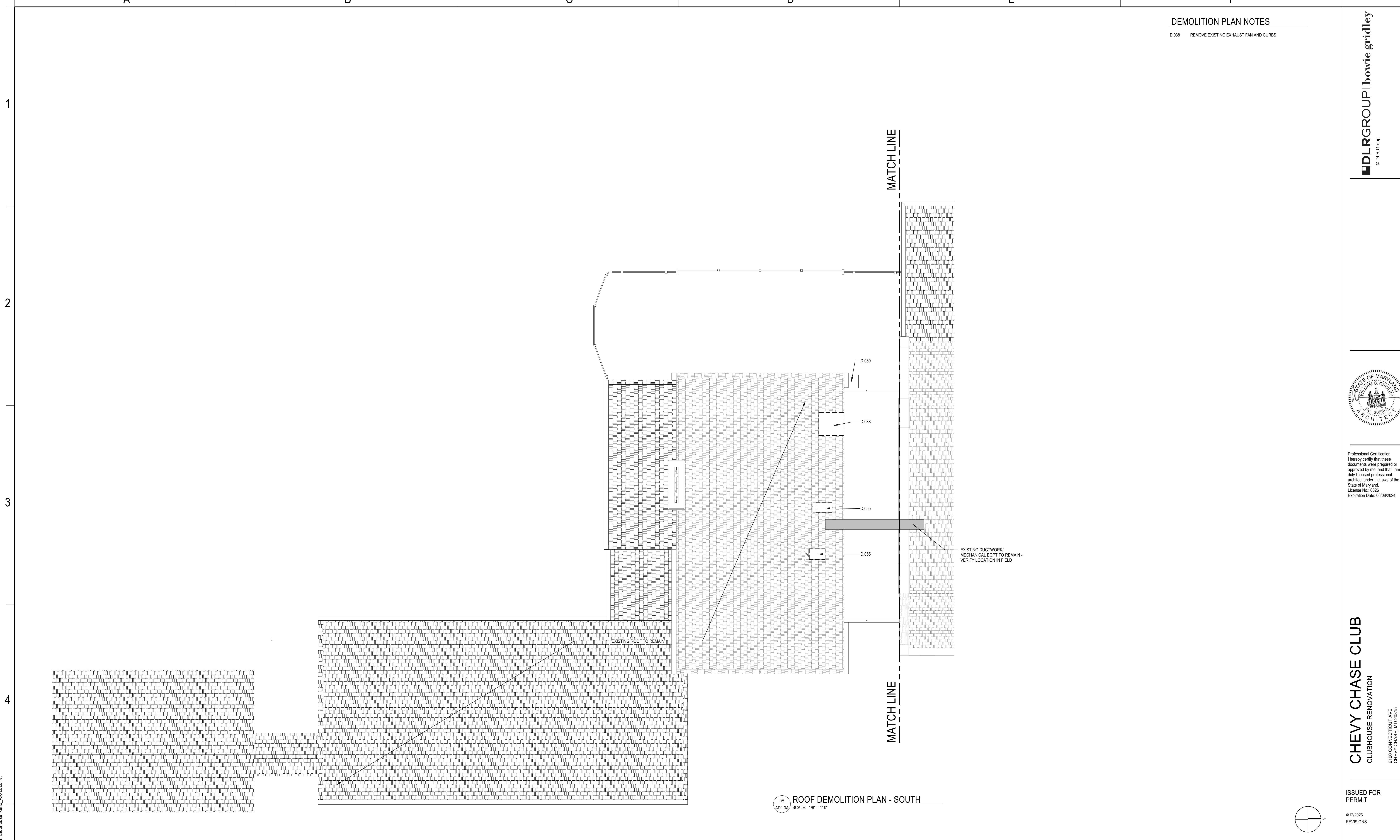
Professional Certification
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CLUBHOUSE RENOVATION
6100 CONNECTICUT AVE
CHEVY CHASE, MD 20815

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4/12/2023
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56-22108-00
ROOF DEMOLITION PLAN - SOUTH

AD1.3A



5A ROOF DEMOLITION PLAN - SOUTH
AD1.3A SCALE: 1/8" = 1'-0"

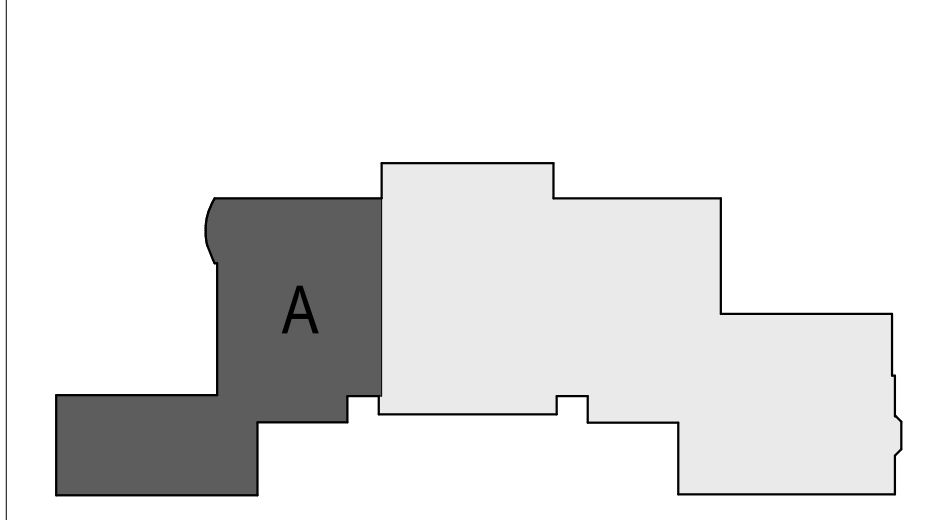
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KEY PLAN



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FLOOR PLAN NOTES

- 07.007 COPPER RAIN LEADER
- 32.001 REFER TO LANDSCAPE DRAWINGS FOR WALKWAY WORK
- 32.003 RE-LAY SALVAGED BRICK PAVERS (BR-1) ON NEW SAND BED
- 32.004 BRICK PAVERS (BR-2) ON CONCRETE SLAB ON GRADE
- 32.005 POWER WASH ALL BRICK PAVERS AT COMPLETION OF TERRACE WORK
- 32.006 6" PVC STORM DRAIN IN EXISTING EXCAVATION
- 32.007 6" PVC STORM DRAIN, JOG EXCAVATION AROUND NEW WALL FOOTINGS - COORDINATE WITH LANDSCAPE



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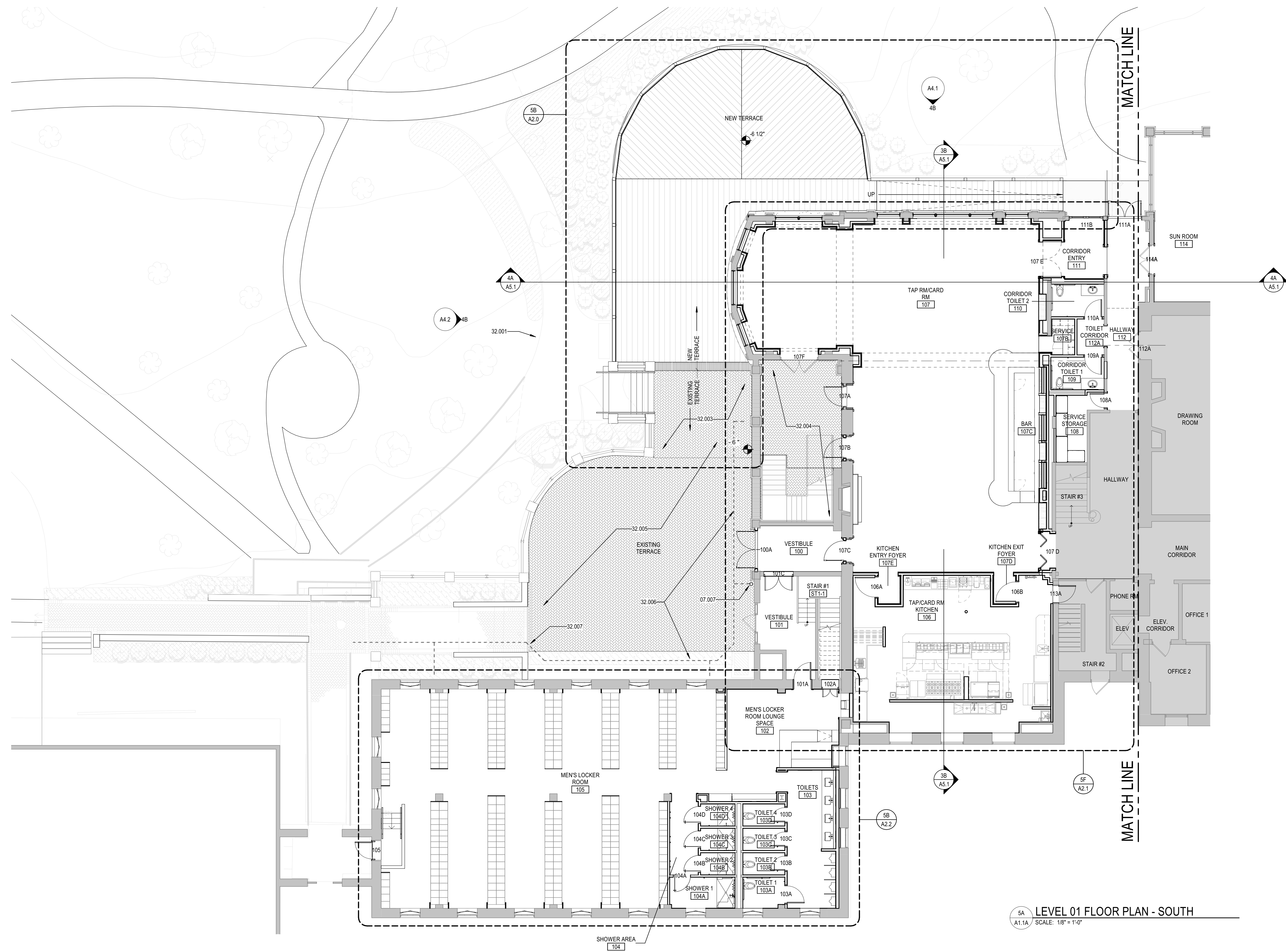
CHEY CHASE CLUB
CLUBHOUSE RENOVATION

ISSUED FOR PERMIT
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REVISIONS

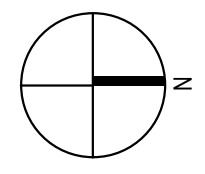
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LEVEL 01 FLOOR PLAN - SOUTH

A1.1A



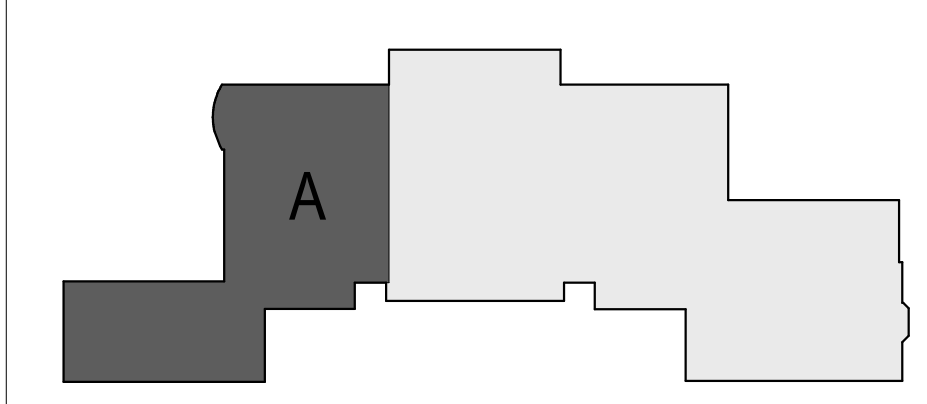
5A LEVEL 01 FLOOR PLAN - SOUTH
A1.1A SCALE: 1/8" = 1'-0"



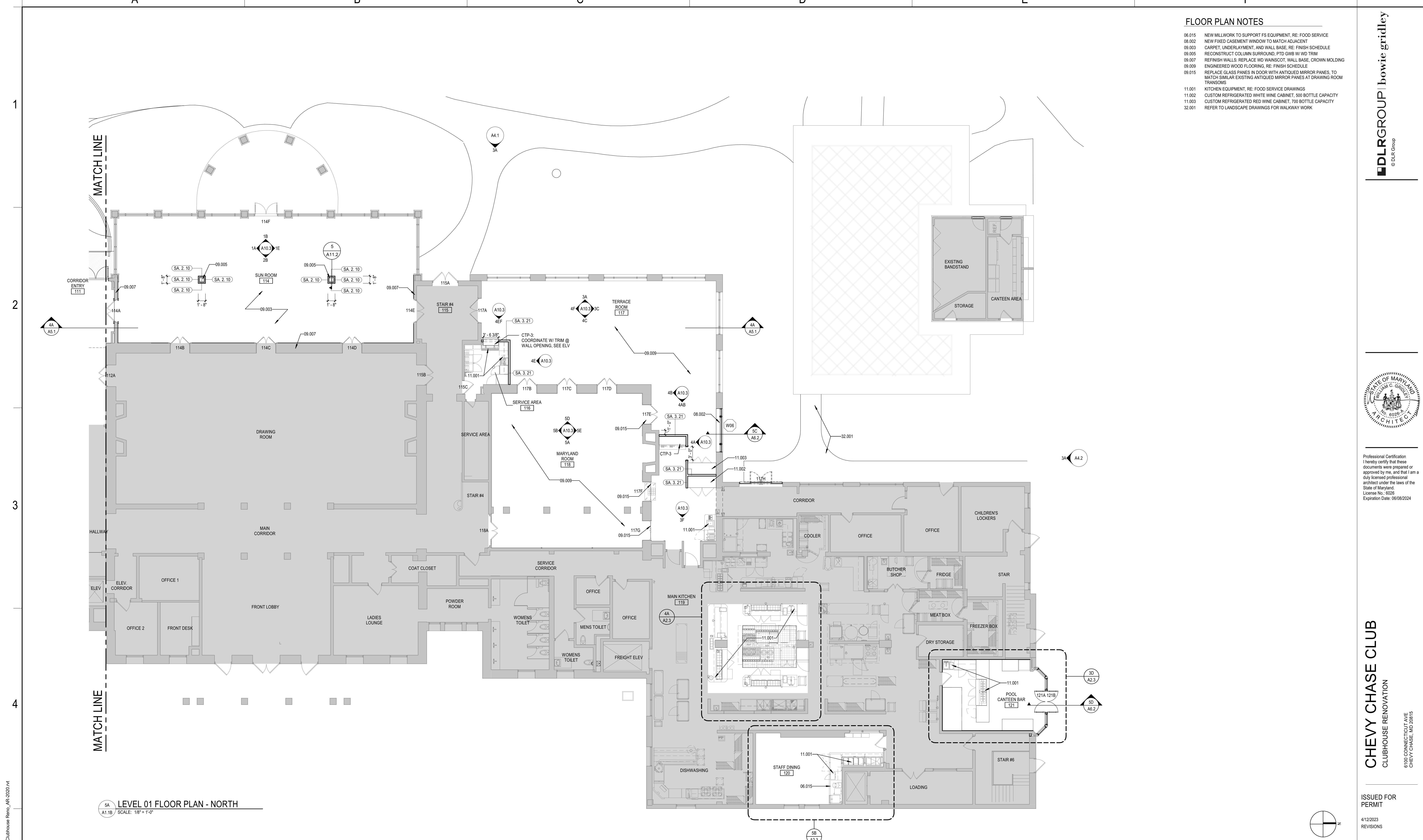
FLOOR PLAN LEGEND

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- NEW CONSTRUCTION
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KEY PLAN



BM 360/166-22108-00 CCC Main Clubhouse Renovations56-22108-00-CCC Main Clubhouse Reno_AR-2020.rvt
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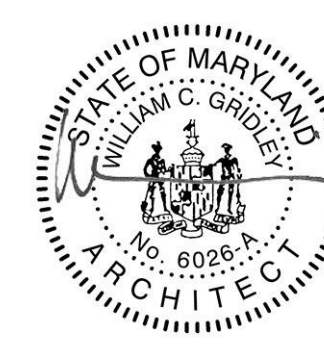
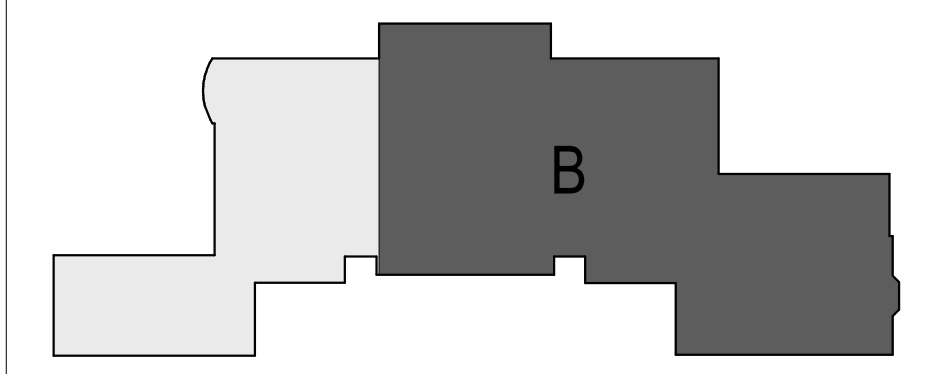
- FLOOR PLAN NOTES**
- 06.015 NEW MILLWORK TO SUPPORT FS EQUIPMENT, RE: FOOD SERVICE
 - 08.002 NEW FIXED CASEMENT WINDOW TO MATCH ADJACENT
 - 09.003 CARPET, UNDERLAYMENT, AND WALL BASE, RE: FINISH SCHEDULE
 - 09.005 RECONSTRUCT COLUMN SURROUND, PTD GWB W/ WD TRIM
 - 09.007 REFINISH WALLS, REPLACE WD WANSLOT, WALL BASE, CROWN MOLDING
 - 09.009 ENGINEERED WOOD FLOORING, RE: FINISH SCHEDULE
 - 09.015 REPLACE GLASS PANES IN DOOR WITH ANTIQUED MIRROR PANES, TO MATCH SIMILAR EXISTING ANTIQUED MIRROR PANES AT DRAWING ROOM TRANSOMS
 - 11.001 KITCHEN EQUIPMENT, RE: FOOD SERVICE DRAWINGS
 - 11.002 CUSTOM REFRIGERATED WHITE WINE CABINET, 500 BOTTLE CAPACITY
 - 11.003 CUSTOM REFRIGERATED RED WINE CABINET, 700 BOTTLE CAPACITY
 - 32.001 REFER TO LANDSCAPE DRAWINGS FOR WALKWAY WORK

5A LEVEL 01 FLOOR PLAN - NORTH
 A1.1B / SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING WALLS TO REMAIN
- NEW CONSTRUCTION
- NOT IN SCOPE

KEY PLAN

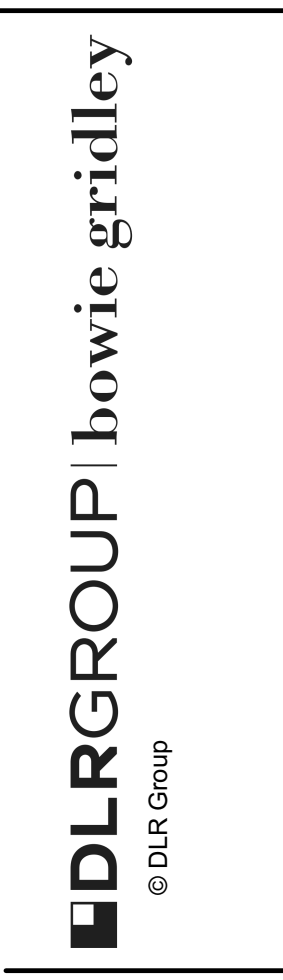


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- FLOOR PLAN NOTES**
- 04.001 CLEAN AND REPAIR STONE WALL AS NEEDED WHERE MECHANICAL ENCLOSURE WAS REMOVED
 - 05.003 METAL CABLE RAILINGS @ 4" O.C
 - 07.002 PROVIDE CASPISEAL WHERE EXISTING ROOF CURB AND MECHANICAL EQUIPMENT WAS REMOVED - INFILL & MATCH EXISTING CONSTRUCTION AND FINISH
 - 07.003 EXISTING COPPER GUTTER TO BE REPLACED IN KIND - NOT IN CONTRACT
 - 09.001 TILE FINISH ON ALL EXISTING WALLS, RE: FINISH SCHEDULE
 - 09.002 PARTIAL HEIGHT PARTITION TO MATCH EXISTING WALL (7'-6" TALL, VIF), TILE FINISH
 - 09.003 CARPET, UNDERLAYMENT, AND WALL BASE, RE: FINISH SCHEDULE
 - 22.001 EXISTING FIXTURES AND PARTITIONS TO REMAIN, TYP.



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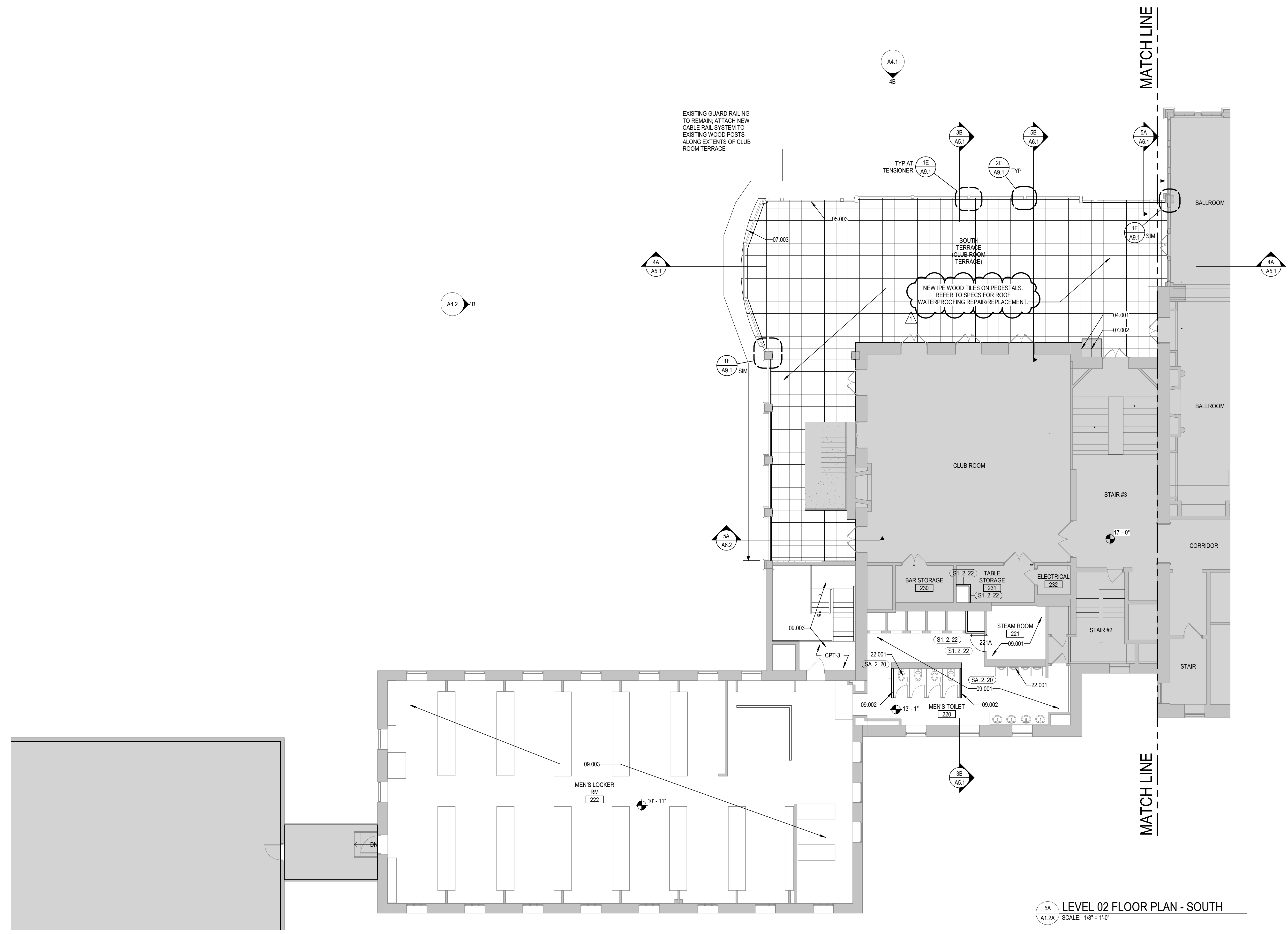
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LEVEL 02 FLOOR PLAN - SOUTH

A1.2A

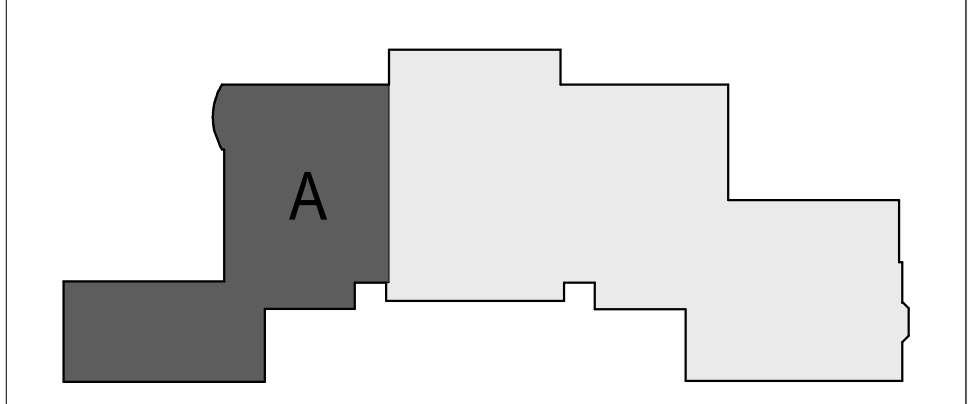


5A LEVEL 02 FLOOR PLAN - SOUTH
A1.2A / SCALE: 1/8" = 1'-0"

FLOOR PLAN LEGEND

- EXISTING WALLS TO REMAIN
- NEW CONSTRUCTION
- NOT IN SCOPE

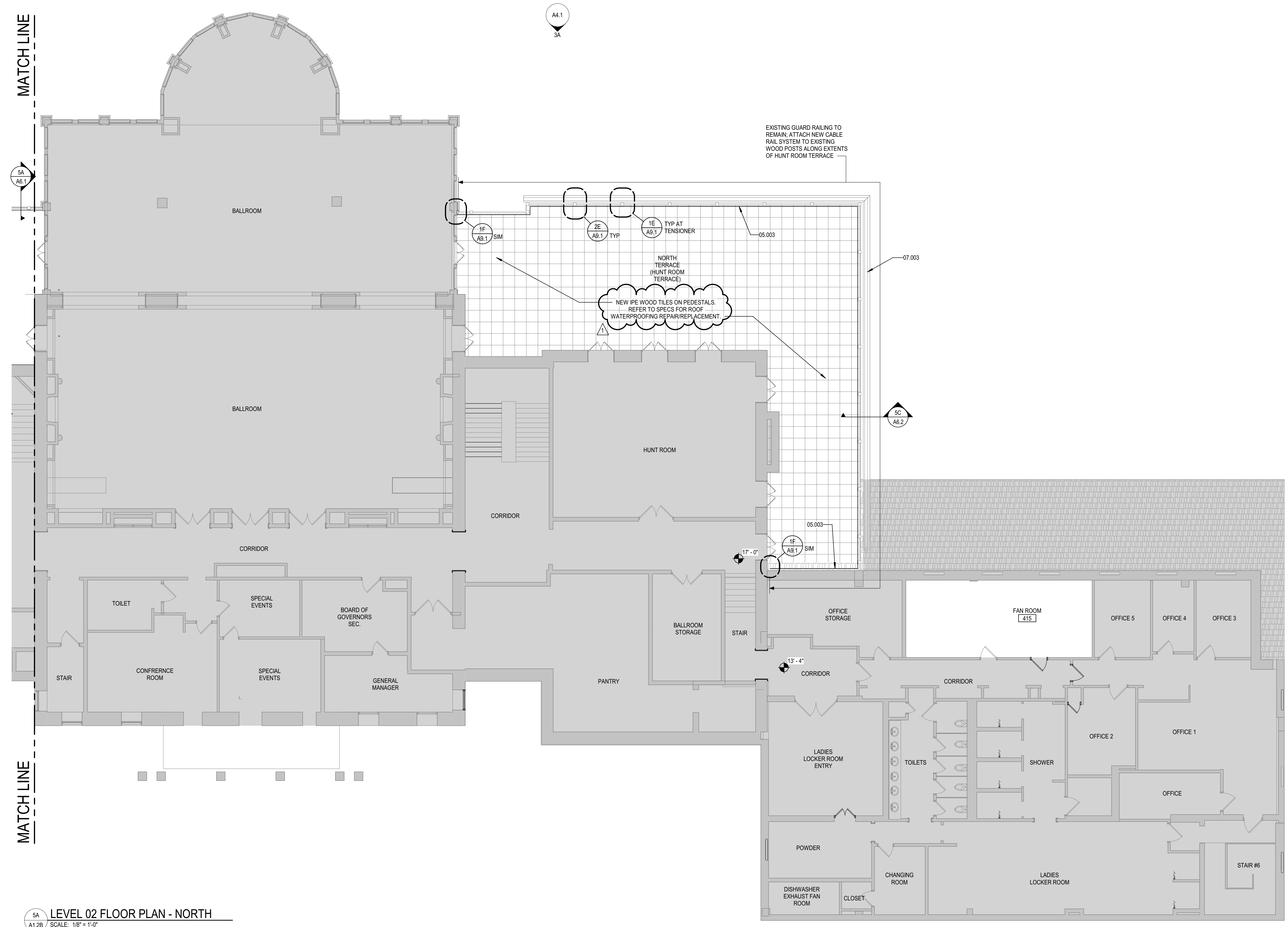
KEY PLAN





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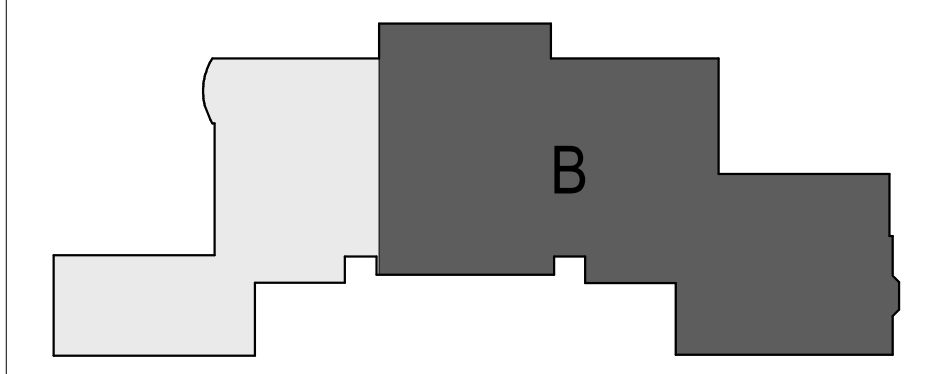


LEVEL 02 FLOOR PLAN - NORTH
 SCALE: 1/8" = 1'-0"

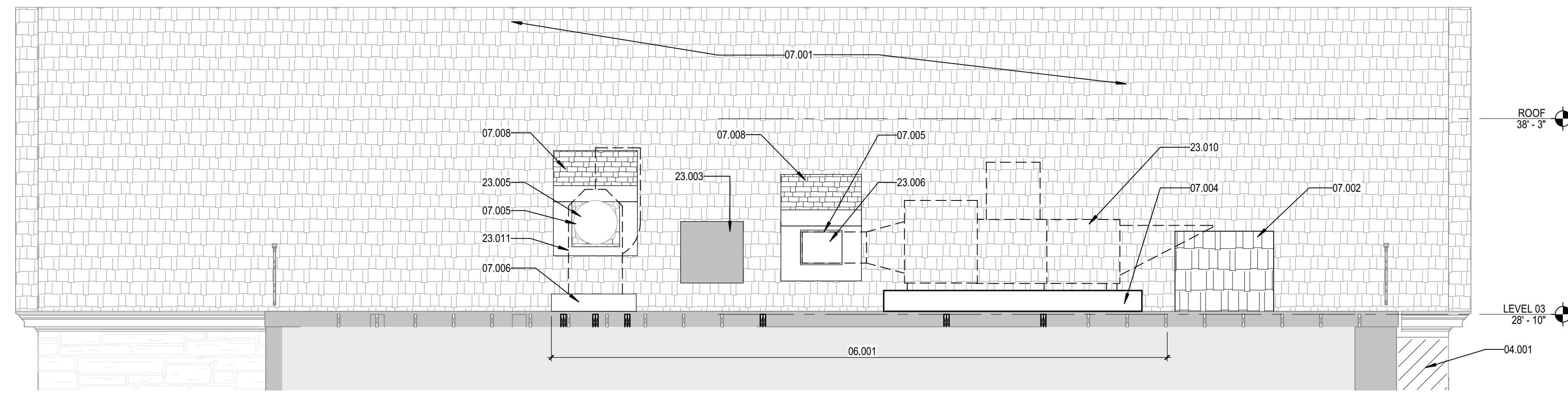
FLOOR PLAN LEGEND

- EXISTING WALLS TO REMAIN
- NEW CONSTRUCTION
- NOT IN SCOPE

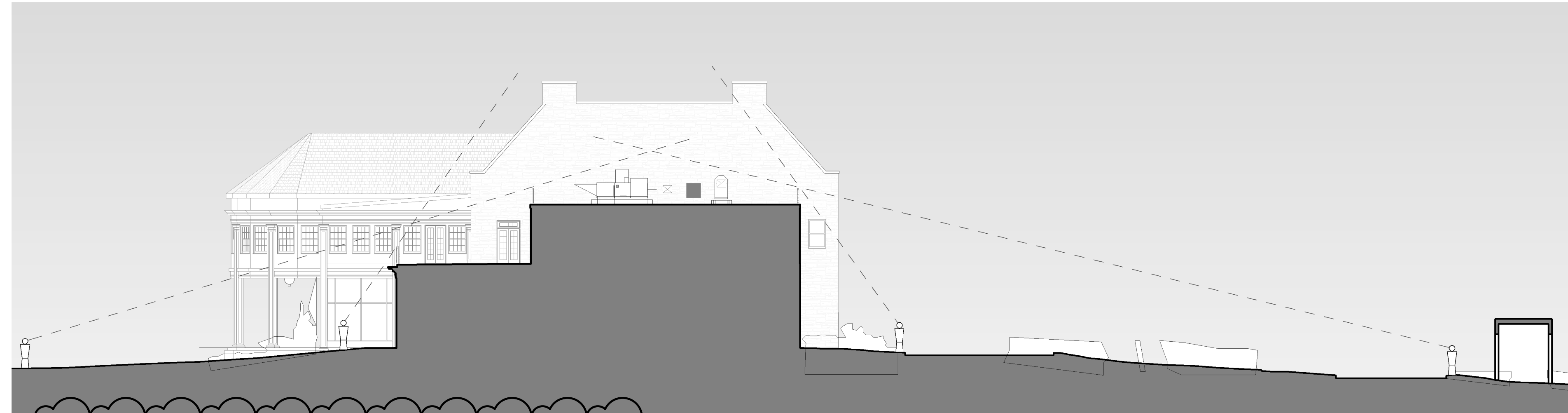
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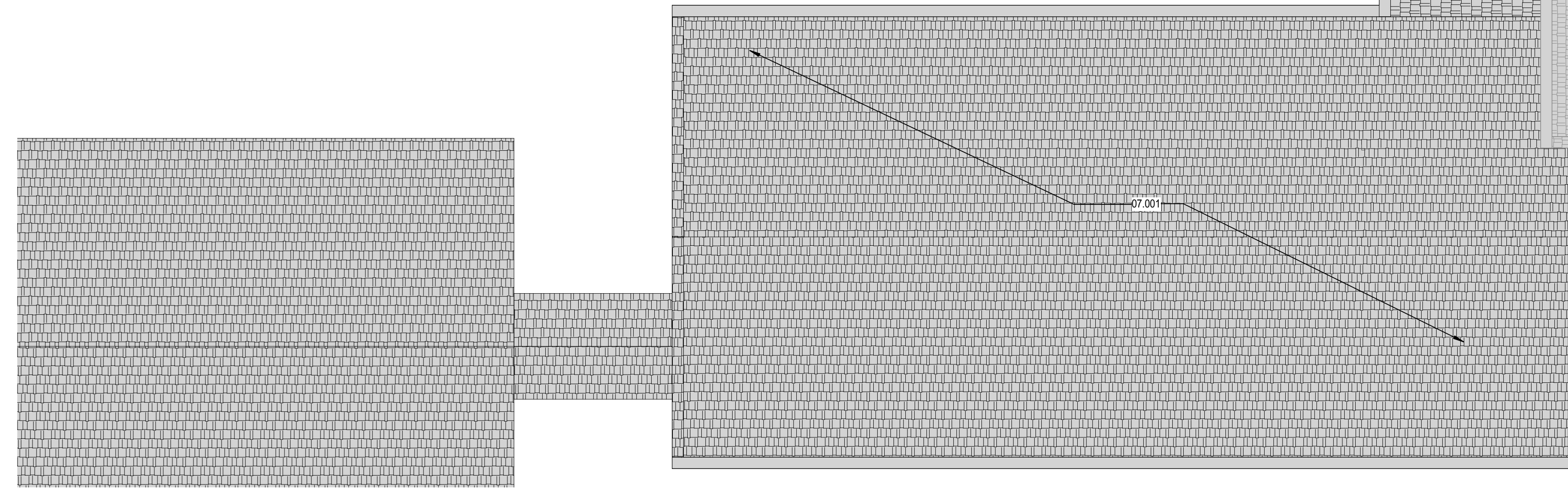
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2A PARTIAL ROOF ELEVATION - TAP RM/CARD RM
A1.4A SCALE: 1/4" = 1'-0"



3A VIEW STUDY THROUGH ROOFTOP - FOR INFORMATION ONLY
A1.4A SCALE: 1/16" = 1'-0"



5A ROOF PLAN - SOUTH
A1.4A SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES

- 04.001 CLEAN AND REPAIR STONE WALL AS NEEDED WHERE MECHANICAL ENCLOSURE WAS REMOVED
- 06.001 REINFORCE ROOF FRAMING TO SUPPORT NEW MECHANICAL EQUIPMENT, RE: STRUCTURE
- 07.001 EXISTING ROOF TO REMAIN
- 07.002 PROVIDE CAP/SEAL WHERE EXISTING ROOF CURB AND MECHANICAL EQUIPMENT WAS REMOVED - INFILL & MATCH EXISTING CONSTRUCTION AND FINISH
- 07.004 INSULATED CURB AND RAIL SYSTEM, RE: MECHANICAL
- 07.005 WALL OPENING FOR DUCT PENETRATION, FLASH AND SEAL COMPLETELY
- 07.006 PROVIDE CURB/ ISOLATORS FOR NEW EXHAUST FAN PER MANUFACTURER'S REQUIREMENTS, RE: MECHANICAL
- 07.008 DOGHOUSE TO PROTECT NEW ROOF DUCT PENETRATIONS, SLATE FINISH ON WOOD FRAMING TO MATCH EXISTING ROOF
- 23.003 EXISTING DUCTWORK/ MECHANICAL EQPT TO REMAIN - VERIFY LOCATION IN FIELD
- 23.005 KITCHEN EXHAUST DUCTWORK, RE: MECHANICAL
- 23.006 MAKE-UP AIR DUCTWORK, RE: MECHANICAL
- 23.010 MAKE-UP AIR UNIT, RE: MECHANICAL
- 23.011 KITCHEN EXHAUST FAN, RE: MECHANICAL



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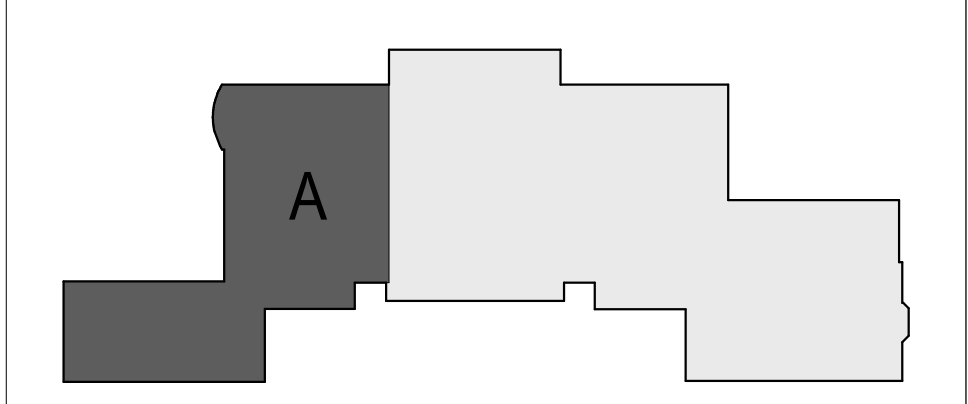
56-22108-00
ROOF PLAN - SOUTH

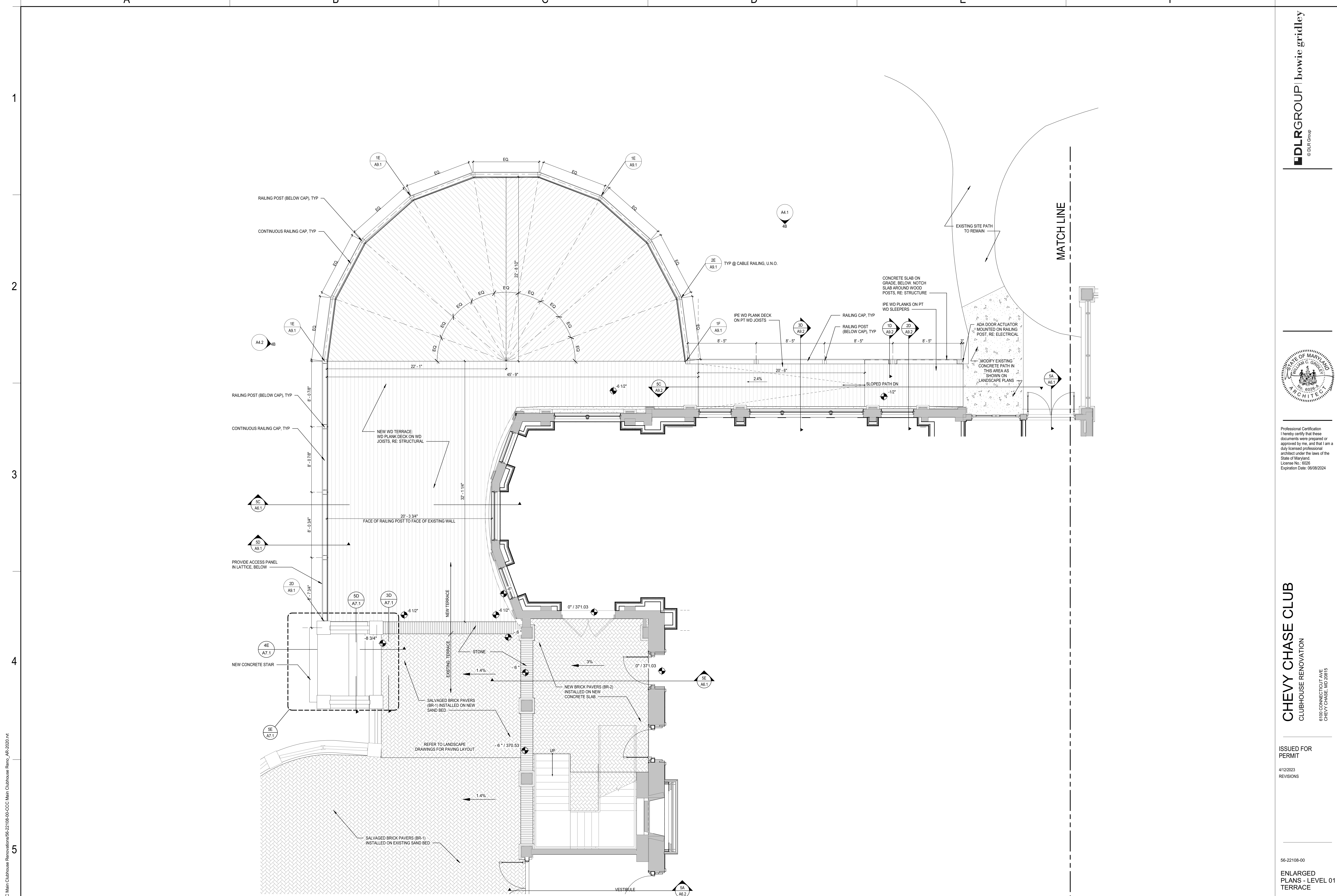
A1.4A

FLOOR PLAN LEGEND

- EXISTING WALLS TO REMAIN
- NEW CONSTRUCTION
- NOT IN SCOPE

KEY PLAN





58 ENLARGED LEVEL 01 TERRACE PLAN
 A2.0 SCALE: 1/4" = 1'-0"

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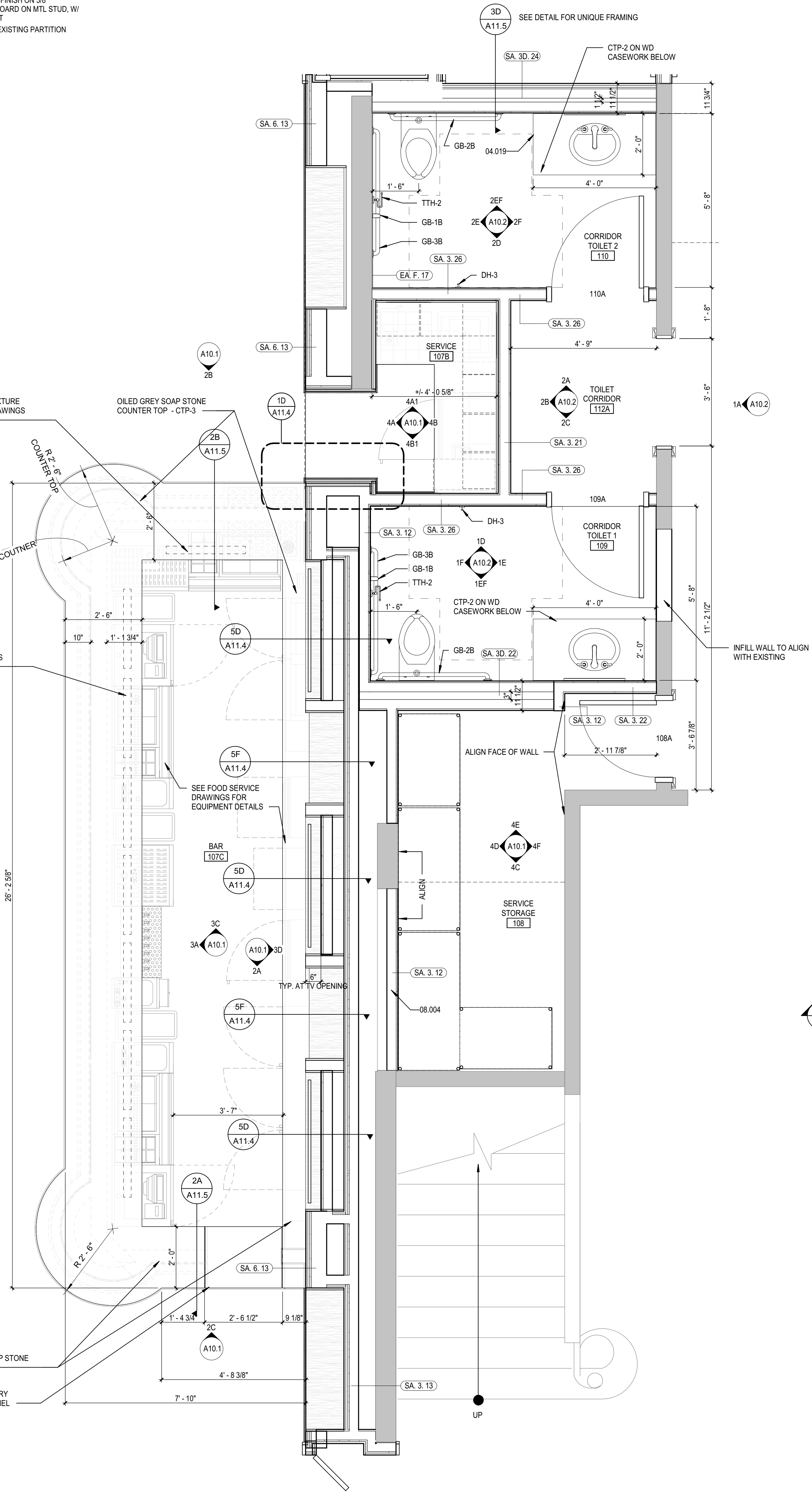
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 ENLARGED
 PLANS - LEVEL 01
 TERRACE

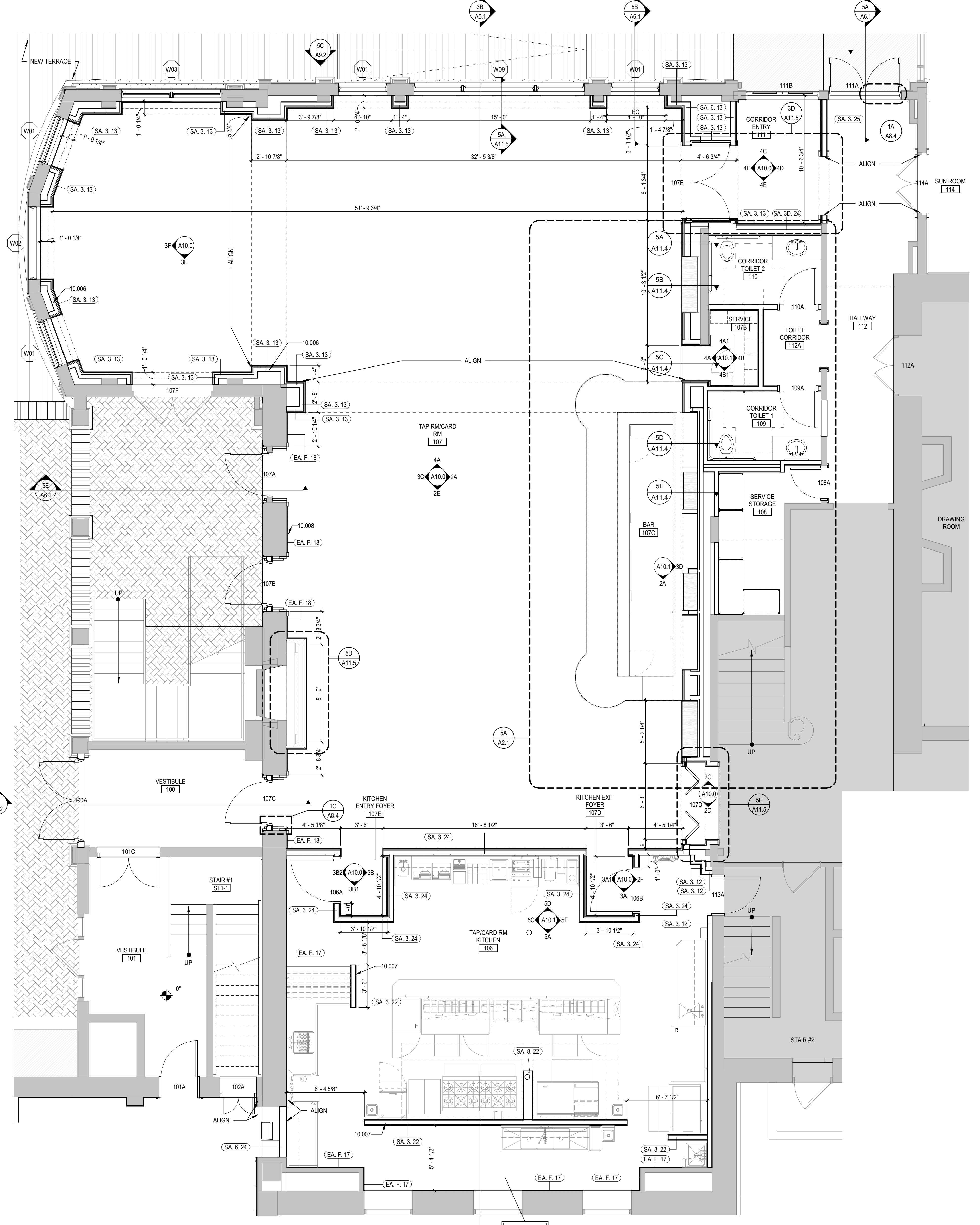
REFERENCE KEYNOTES

- 04.019 MARBLE COUNTERTOP ON WD CASEWORK BELOW
- 08.004 INFILL INTERIOR WINDOW OPENING. REMOVE FACE TRIM AND ACCESSORIES AS APPLICABLE
- 10.006 FULL HEIGHT PARTITION - 1" STAINED WD PANELING ON 5/8" PLYWOOD ON MTL STUDS, W/ SOUND ATTENUATION BLANKET
- 10.007 FULL HEIGHT PARTITION - TILE FINISH ON 5/8" CEMENTITIOUS TILE BACKER BOARD ON MTL STUD, W/ SOUND ATTENUATION BLANKET
- 10.008 1" STAINED WD PANELING ON EXISTING PARTITION

1
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3
4
5



SA A2.1 ENLARGED BAR, SERVING AREA, & CORRIDOR TOILETS PLAN
SCALE: 1/2" = 1'-0"



SF A2.1 ENLARGED TAP RM/CARD RM PLAN
SCALE: 1/4" = 1'-0"

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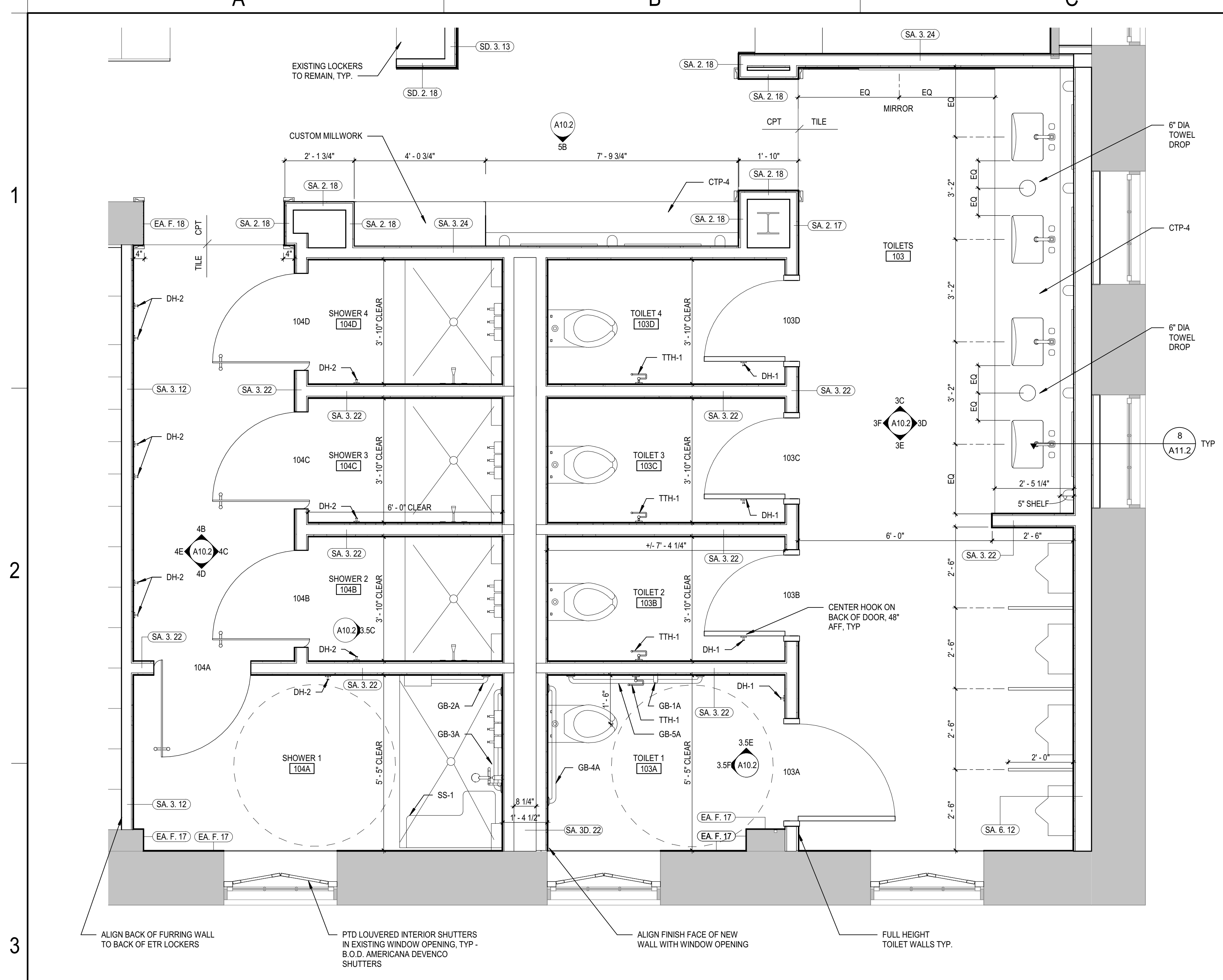


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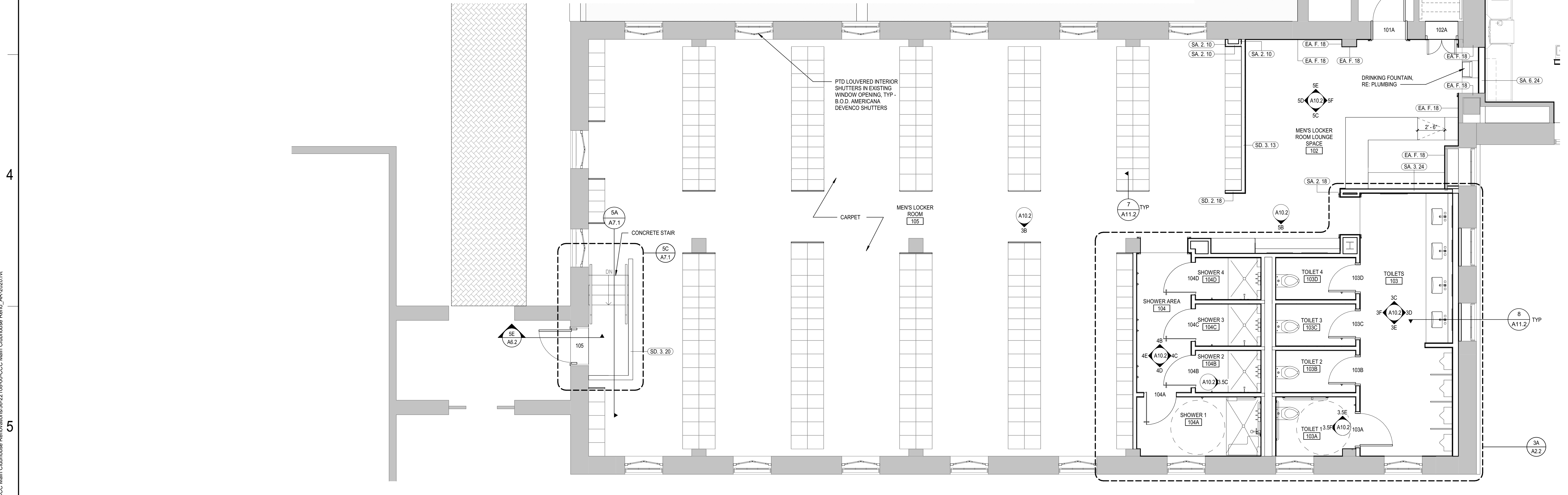
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ENLARGED PLANS - TAP RM/CARD RM

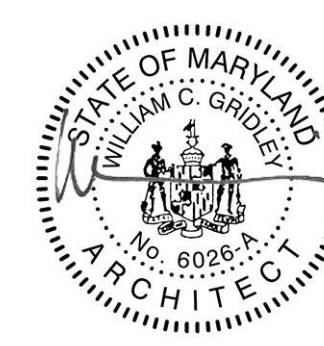


TOILET ACCESSORY SCHEDULE			
Eqpt Tag	Function	Manufacturer	Model Number
DH-1	HOOKS	BRANDINO BRASS	TBD
DH-2	HOOKS	BRANDINO BRASS	TBD
DH-3	HOOKS	WATERWORKS	EARH46 22-77161-14072 POLISHED NICKEL
GB-1A	18" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-2A	24" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-3A	36" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-4A	40" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-5A	48" GRAB BAR	NEWPORT BRASS	POLISHED NICKEL
GB-1B	18" GRAB BAR	WATERWORKS	EGBI 48 22-34933-30512 POLISHED NICKEL
GB-2B	40" GRAB BAR	WATERWORKS	EGBI 48 22-34933-30512 POLISHED NICKEL
GB-3B	48" GRAB BAR	WATERWORKS	EGBI 48 22-34933-30512 POLISHED NICKEL
LAV	LAVATORY	RE: PLUMBING SPECS	RE: PLUMBING SPECS
SS-1	SHOWER SEAT	WATERWORKS	TEBE10, POLISHED NICKEL
TTH-1	TOILET TISSUE HOLDER	NEWPORT BRASS	890-1510-POLISHED NICKEL 15
TTH-2	TOILET TISSUE HOLDER	WATERWORKS	EAPH 36 22-16529-48434 POLISHED NICKEL
WC	WATER CLOSET	RE: PLUMBING SPECS	RE: PLUMBING SPECS

3A MEN'S LOCKER RM - TOILETS & SHOWERS
 A2.2 SCALE: 1/2" = 1'-0"



5B ENLARGED MEN'S LOCKER RM PLAN
 A2.2 SCALE: 1/4" = 1'-0"

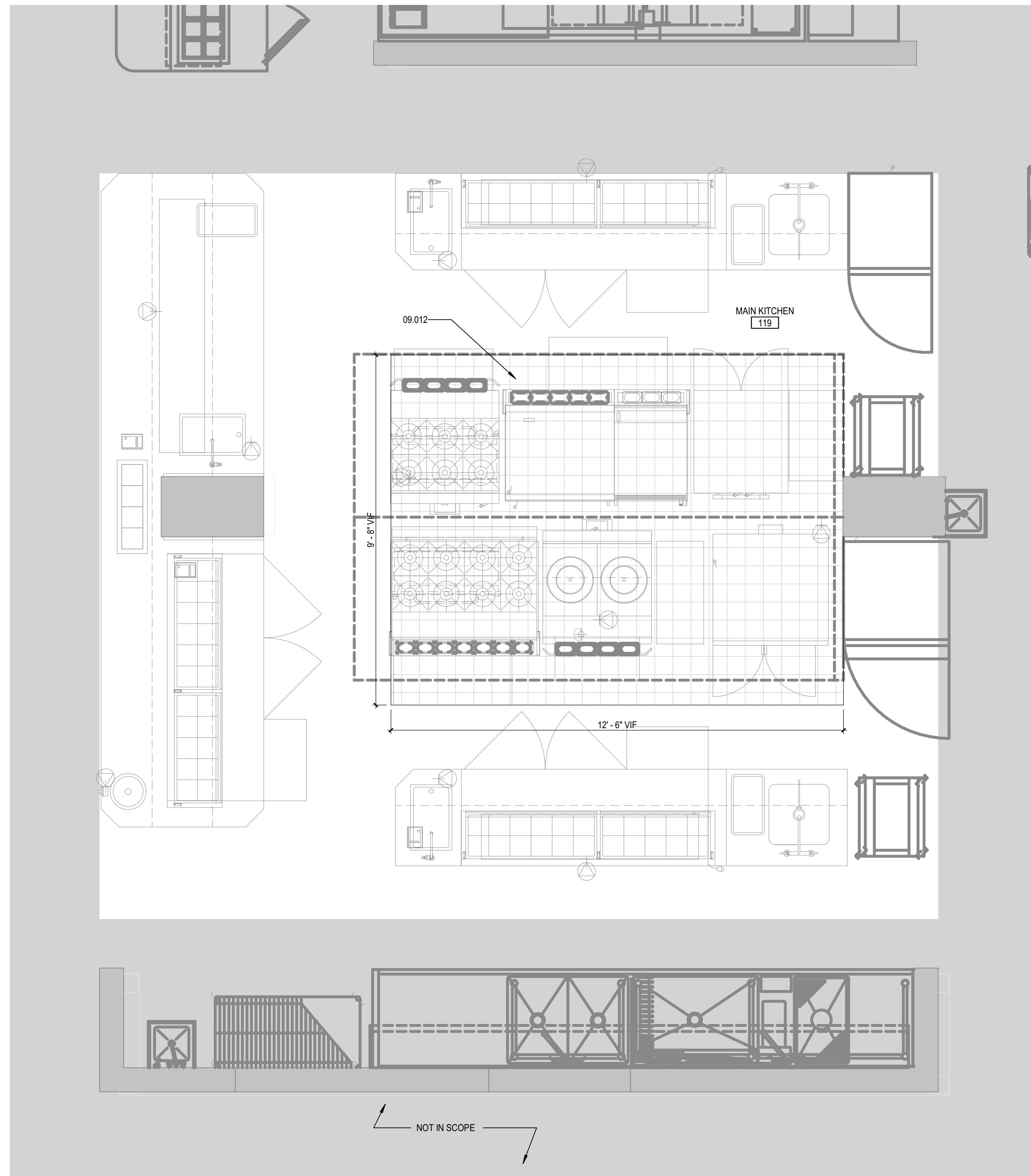


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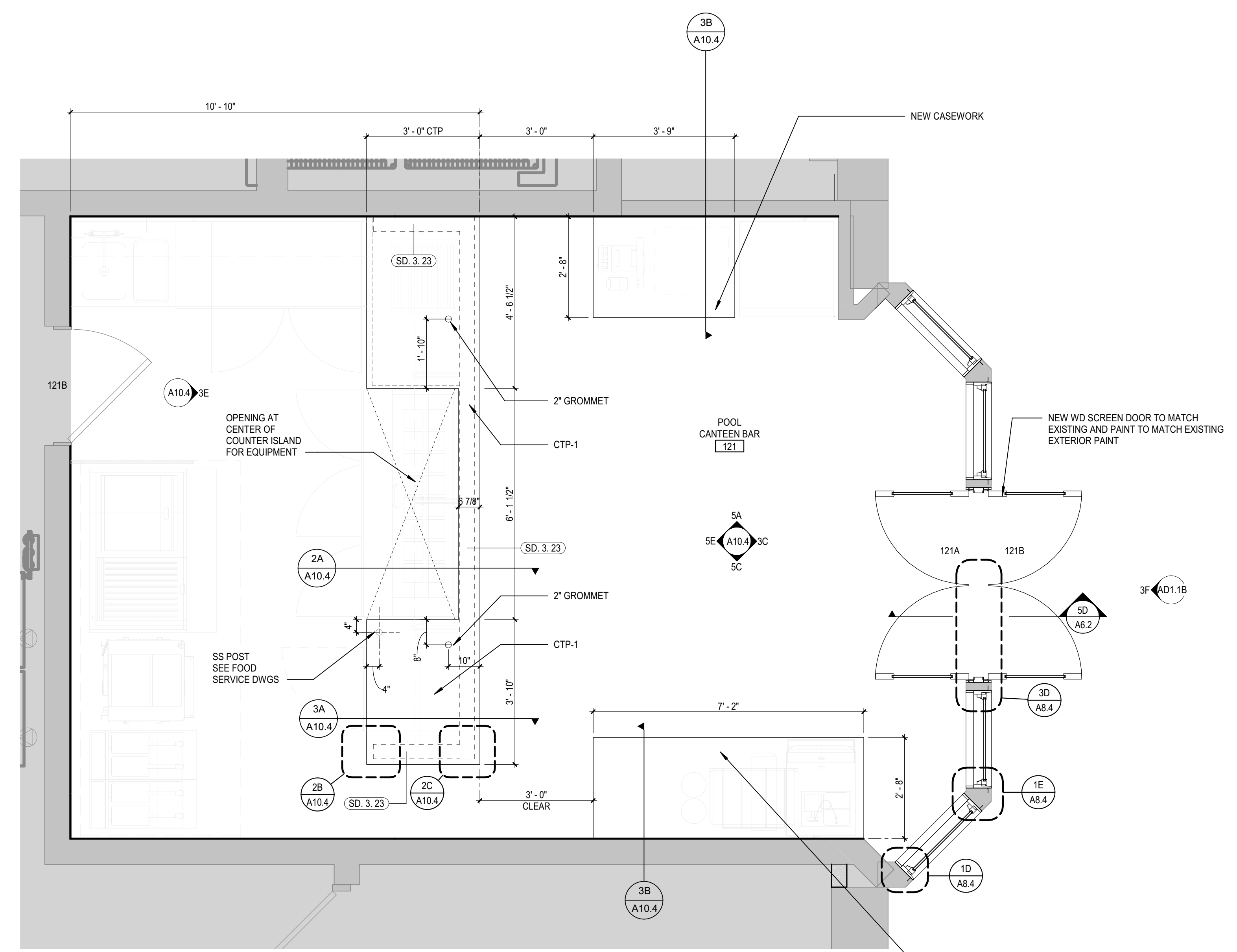
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 ENLARGED PLANS - MEN'S LOCKER RM

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4A
A2.3 **ENLARGED MAIN KITCHEN PLAN**
SCALE: 1/2" = 1'-0"

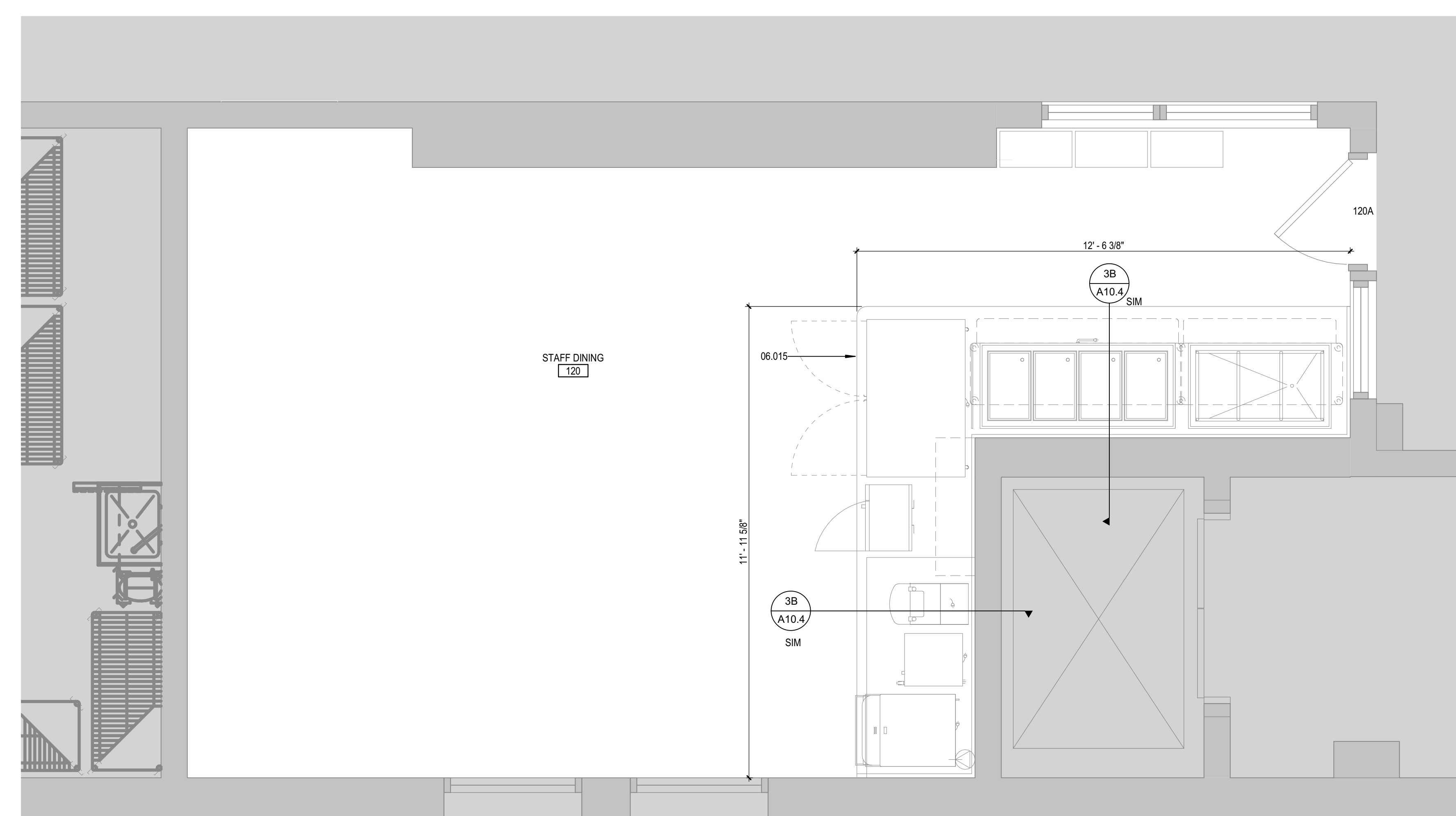


3D
A2.3 **ENLARGED POOL CANTEEN PLAN**
SCALE: 1/2" = 1'-0"

GENERAL NOTE: SEE FOOD SERVICE DWGS FOR ALL EQUIPMENT

REFERENCE KEYNOTES

06.015	NEW MILLWORK TO SUPPORT FS EQUIPMENT, RE: FOOD SERVICE
09.012	TILE FLOOR TO MATCH EXISTING



5B
A2.3 **ENLARGED STAFF DINING PLAN**
SCALE: 1/2" = 1'-0"

GENERAL NOTE: SEE FOOD SERVICE DWGS FOR ALL EQUIPMENT



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ENLARGED PLANS - MAIN KITCHEN & POOL CANTEEN

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A

B

C

D

E

F

ELEVATION NOTES

04.001	CLEAN AND REPAIR STONE WALL AS NEEDED WHERE MECHANICAL ENCLOSURE WAS REMOVED
05.003	METAL CABLE RAILINGS @ 4" O.C.
06.006	EXISTING GUARD RAILING TO REMAIN
06.009	WOOD GUARD RAIL
06.011	WOOD LANTERNE
08.003	NEW WOOD WINDOW TO MATCH EXISTING
08.005	NEW ALUMINUM SLIDING DOOR TO BE INSTALLED IN EXISTING WALL OPENING, VERIFY FIELD MEASUREMENTS
08.011	NEW WOOD PTD DOOR
08.013	NEW WOOD PTD DOOR, NON-OPERABLE
26.001	NEW LIGHT FIXTURE ON EXISTING BACKDROP RE LIGHTING
26.003	ADA ACTUATOR, RE: ELECTRICAL

1

2

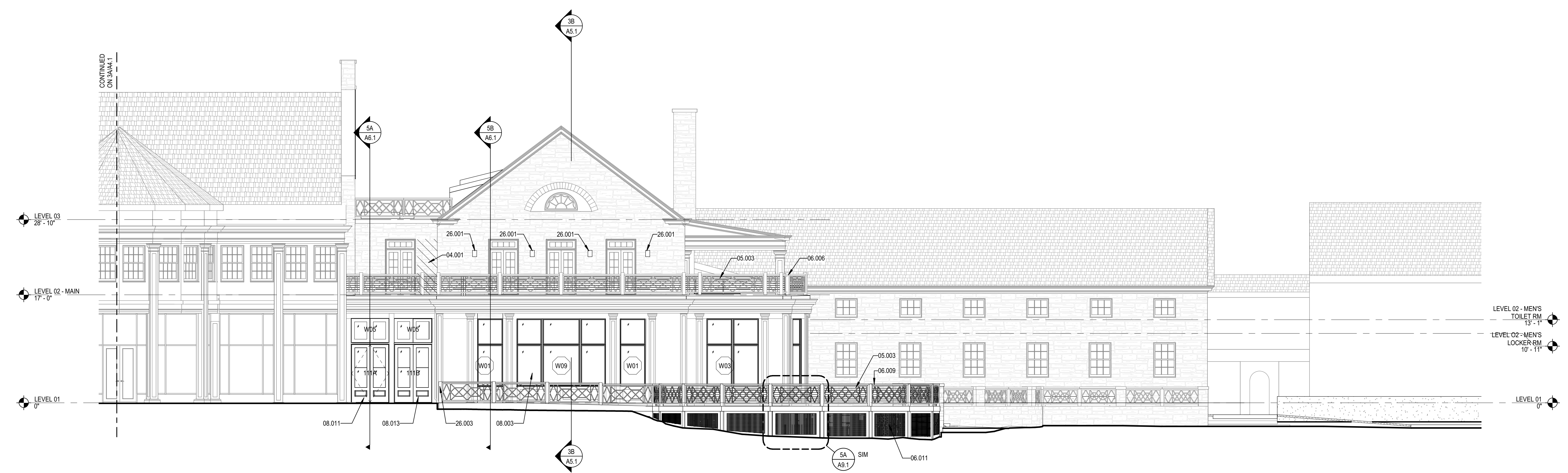
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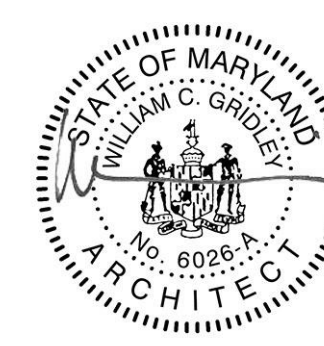
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3A WEST ELEVATION, NORTH REGION
 A4.1 SCALE: 1/8" = 1'-0"

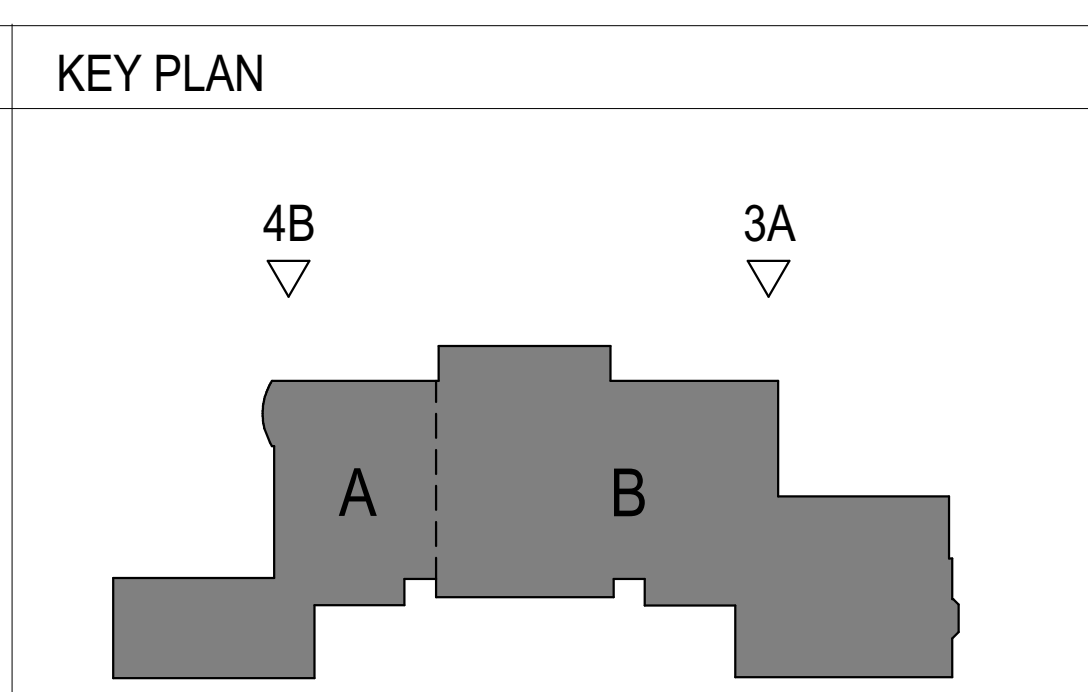


4B WEST ELEVATION, SOUTH REGION
 A4.1 SCALE: 1/8" = 1'-0"



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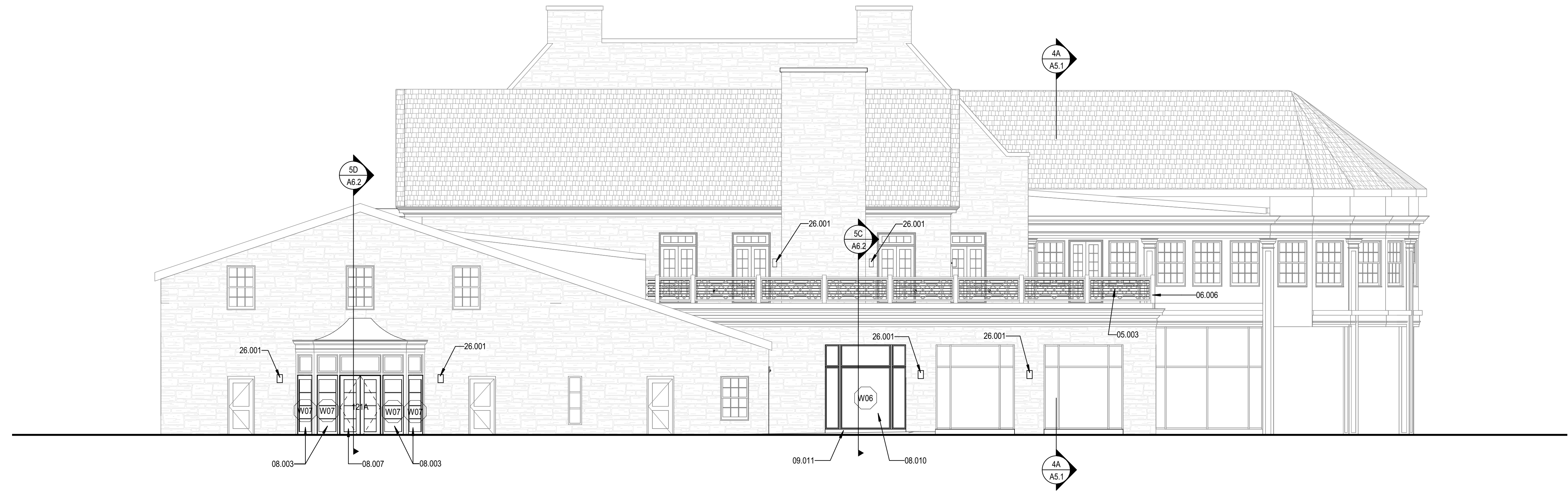


56-22108-00
 EXTERIOR ELEVATIONS - OVERALL

A4.1

ELEVATION NOTES

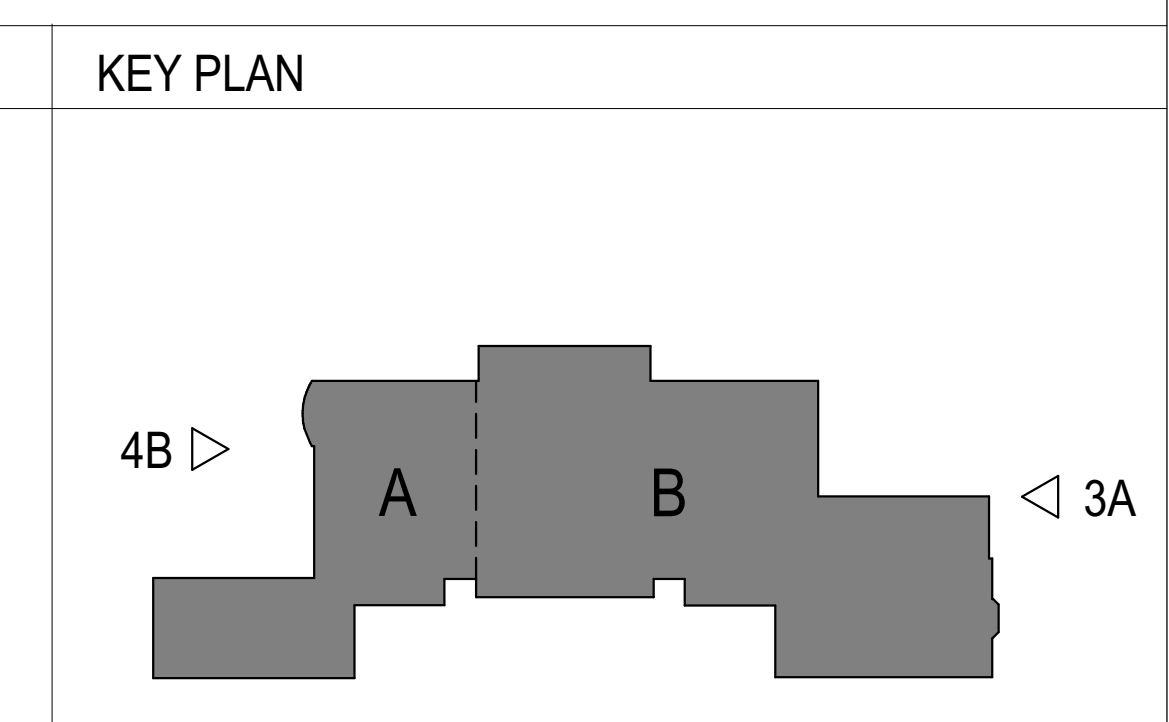
05.003	METAL CABLE RAILINGS @ 4" O.C.
06.006	EXISTING GUARD RAILING TO REMAIN
06.009	WOOD GUARDRAIL
06.011	WOOD LATTICE
06.012	NEW ACCESSORY WOOD LATTICE
07.007	COPPER RAIN LEADER
08.003	NEW WOOD WINDOW TO MATCH EXISTING
08.007	NEW CUSTOM WOOD PTD DOOR AND SCREEN DOOR TO MATCH EXISTING
08.010	NEW WOOD WINDOW TO MATCH EXISTING ADJACENT
08.011	NEW WOOD PTD DOOR
09.011	CEMENT PLASTER ON METAL STUD TO MATCH EXISTING ADJACENT
22.002	GAS FIRED LIGHT FIXTURE, RE. PLUMBING & ELECTRICAL
26.001	NEW LIGHT FIXTURE ON EXISTING BACKBOX, RE. LIGHTING



3A NORTH ELEVATION
A4.2 SCALE: 1/8" = 1'-0"

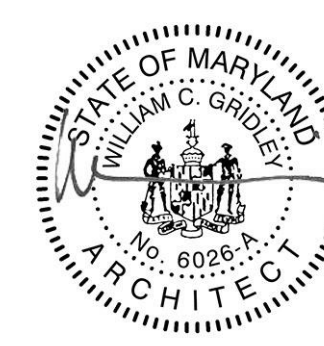


4B SOUTH ELEVATION
A4.2 SCALE: 1/8" = 1'-0"



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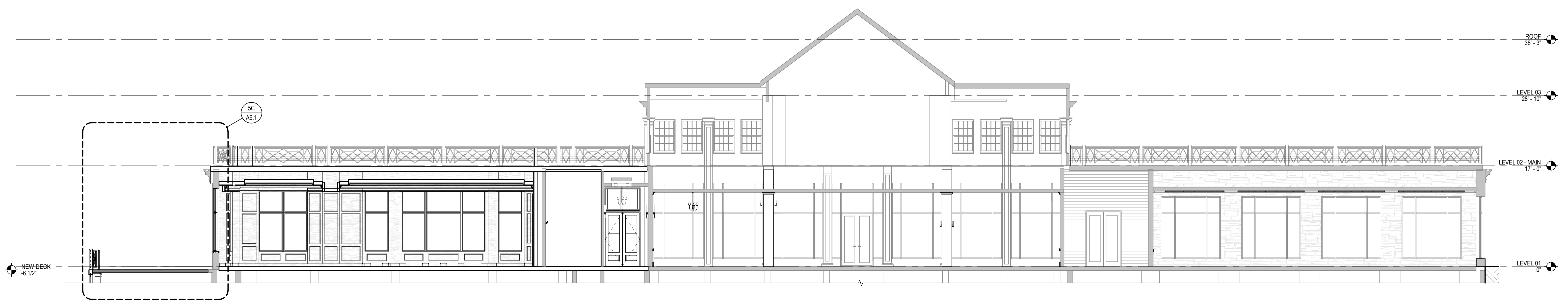
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BUILDING SECTIONS

A5.1

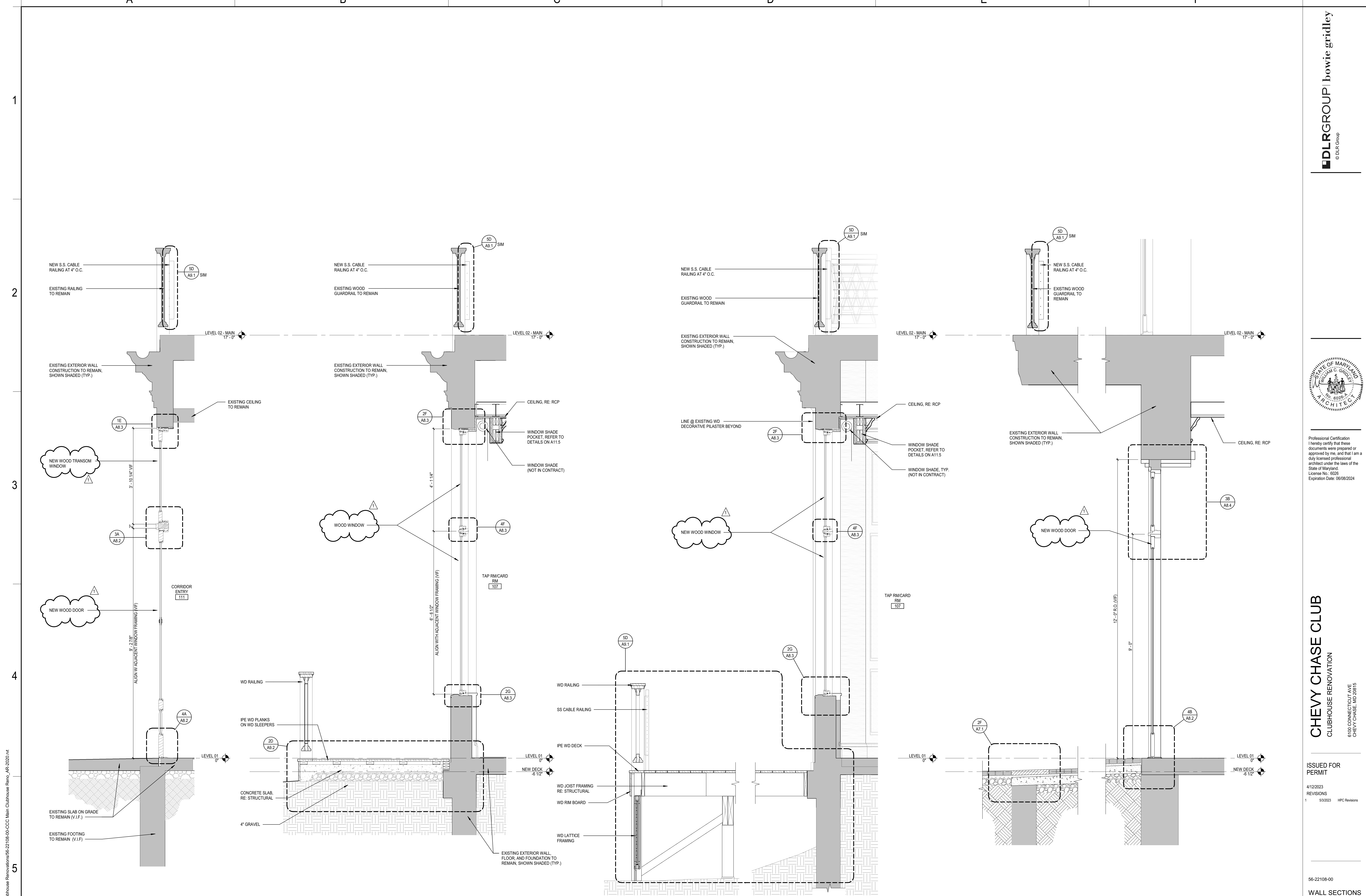


3B BUILDING SECTION - EAST-WEST
SCALE: 1/8" = 1'-0"



4A BUILDING SECTION - NORTH-SOUTH
SCALE: 1/8" = 1'-0"

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SA WALL SECTION - ENTRY CORRIDOR WEST
SCALE: 3/4" = 1'-0"

SB WALL SECTION - TAP RM WEST
SCALE: 3/4" = 1'-0"

SC WALL SECTION - TAP RM SOUTH
SCALE: 3/4" = 1'-0"

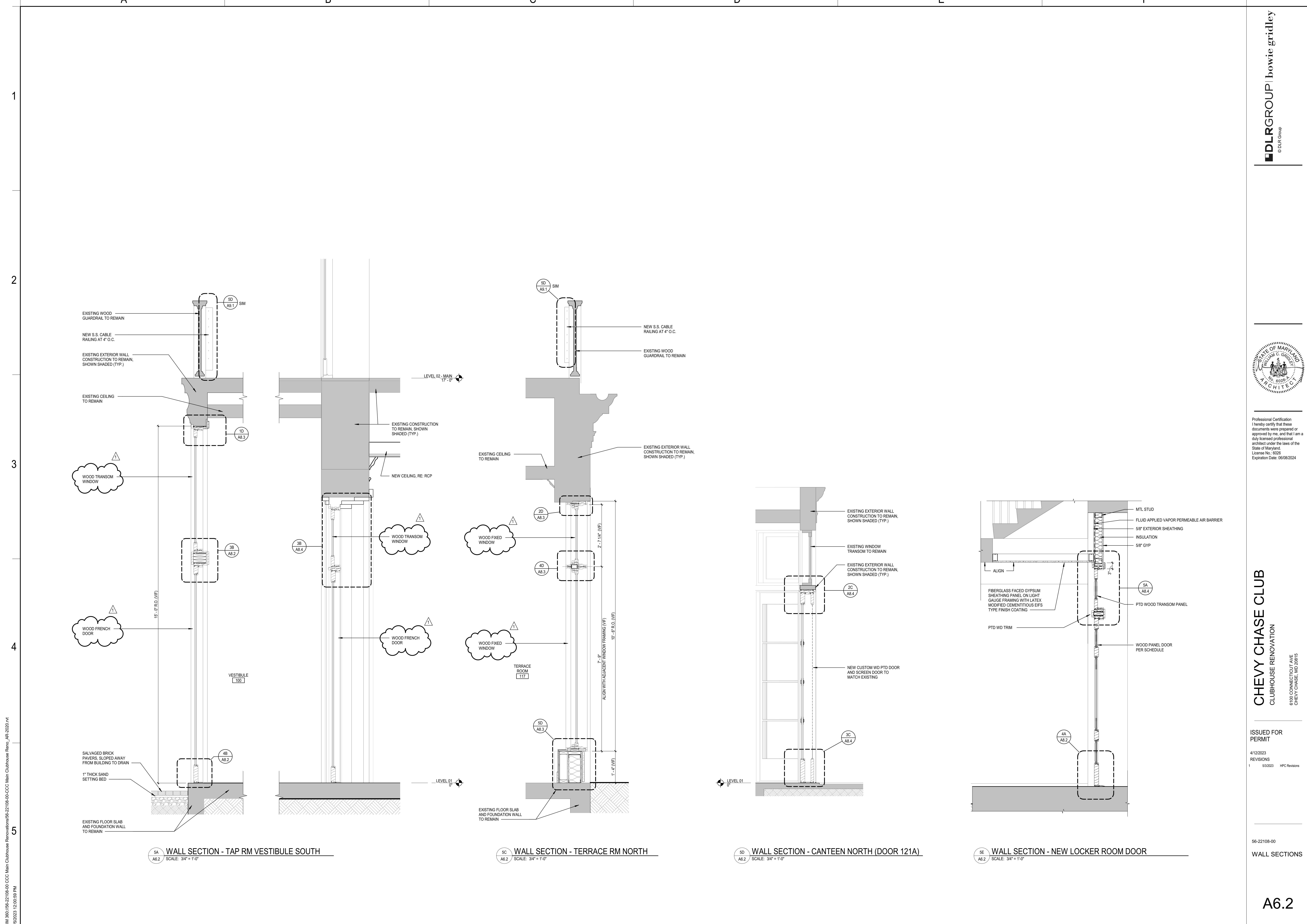
SE WALL SECTION - EXISTING OVERHANG
SCALE: 3/4" = 1'-0"

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5A WALL SECTION - TAP RM VESTIBULE SOUTH
SCALE: 3/4" = 1'-0"

5C WALL SECTION - TERRACE RM NORTH
SCALE: 3/4" = 1'-0"

5D WALL SECTION - CANTEEN NORTH (DOOR 121A)
SCALE: 3/4" = 1'-0"

5E WALL SECTION - NEW LOCKER ROOM DOOR
SCALE: 3/4" = 1'-0"

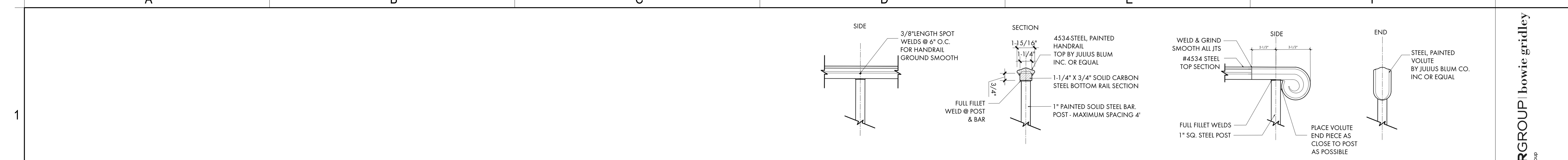


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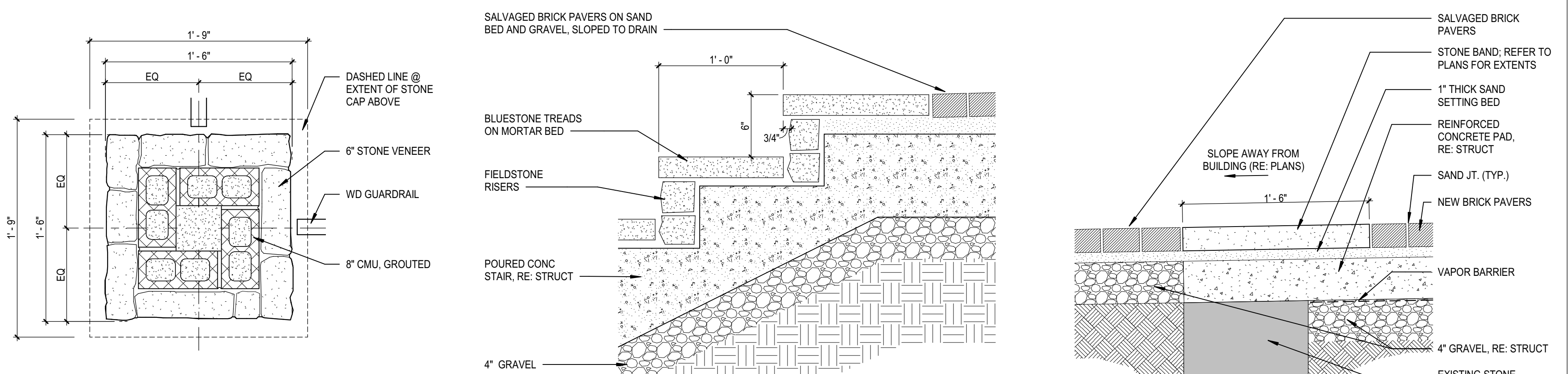
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56-22108-00
 WALL SECTIONS



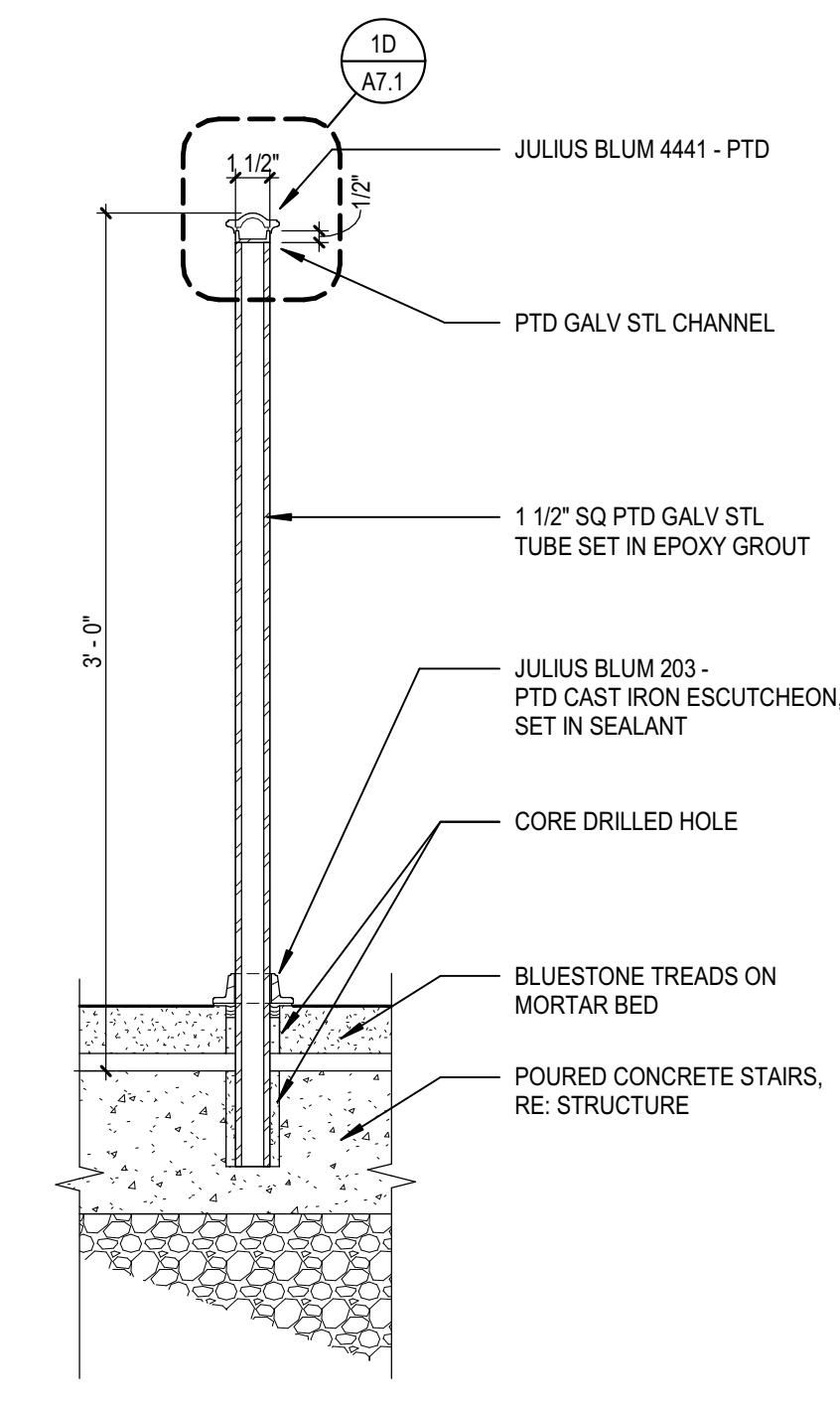
1D HANDRAIL DETAILS
SCALE: 3" = 1'-0"



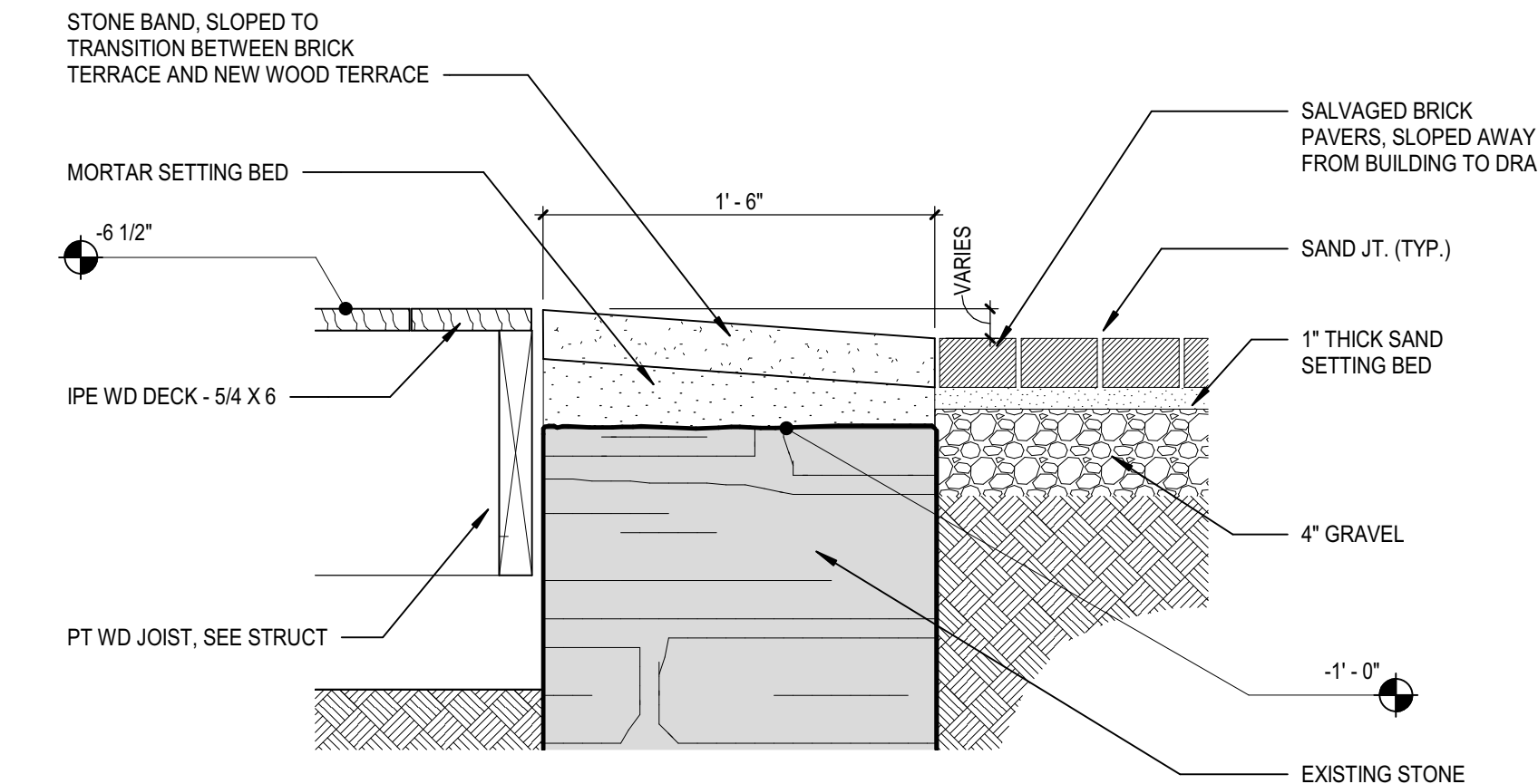
2D PLAN DETAIL @ STONE PIER
SCALE: 1 1/2" = 1'-0"

2E SECTION DETAIL @ STONE STEPS
SCALE: 1 1/2" = 1'-0"

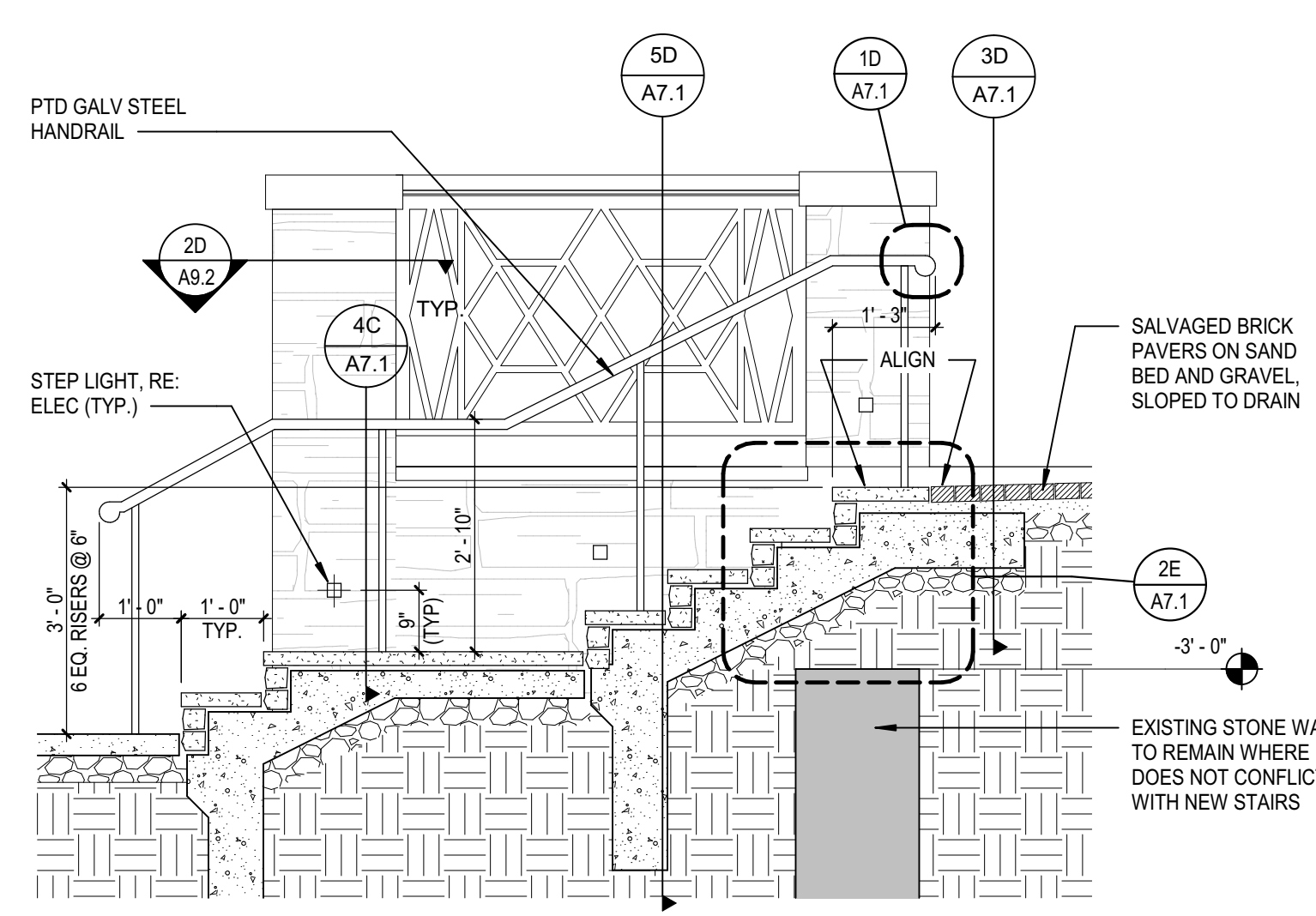
2F TRANSITION @ TERRACE PORCH
SCALE: 1 1/2" = 1'-0"



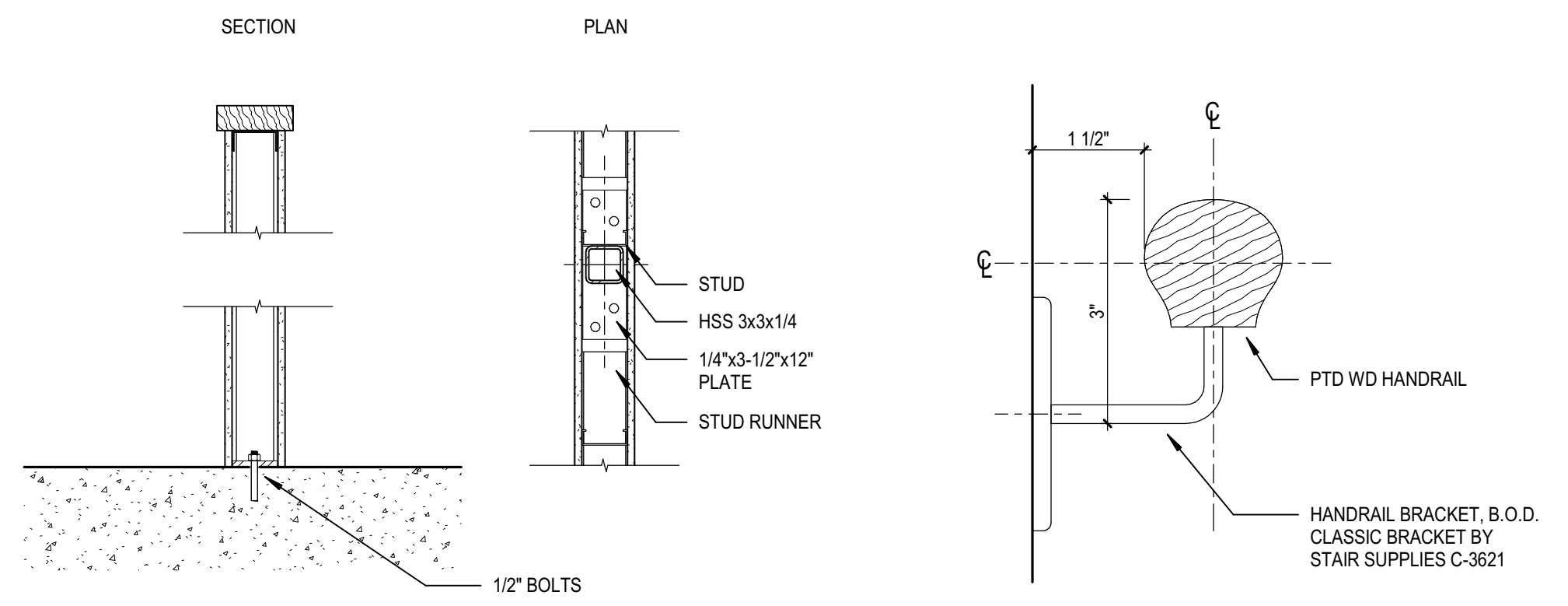
4C TYP POST @ STAIR GUARDRAIL
SCALE: 1 1/2" = 1'-0"



3D SECTION DETAIL AT TERRACE TO DECK TRANSITION
SCALE: 1 1/2" = 1'-0"

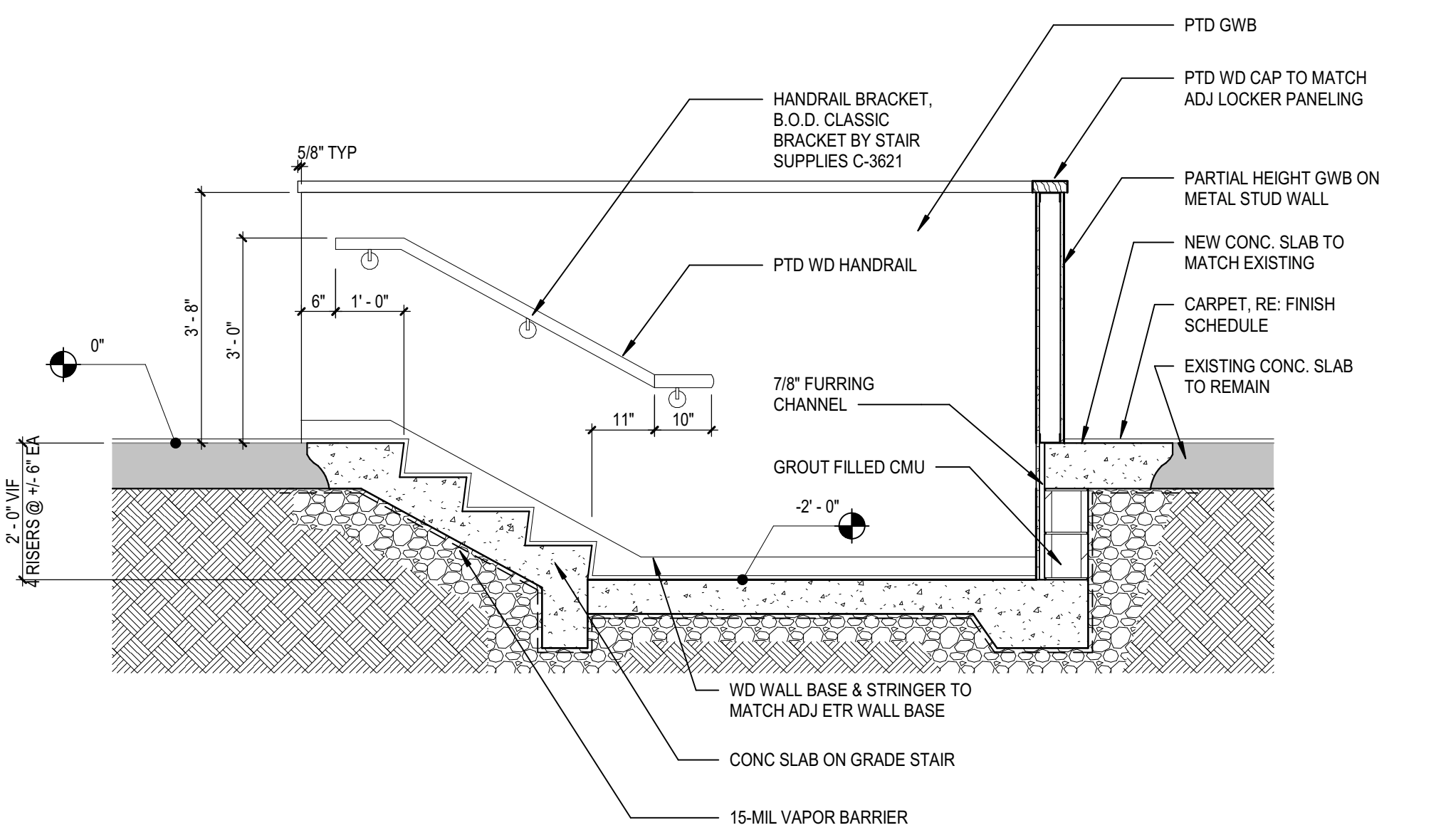


4E STAIR TREADS AND RAIL DETAIL
SCALE: 1/2" = 1'-0"

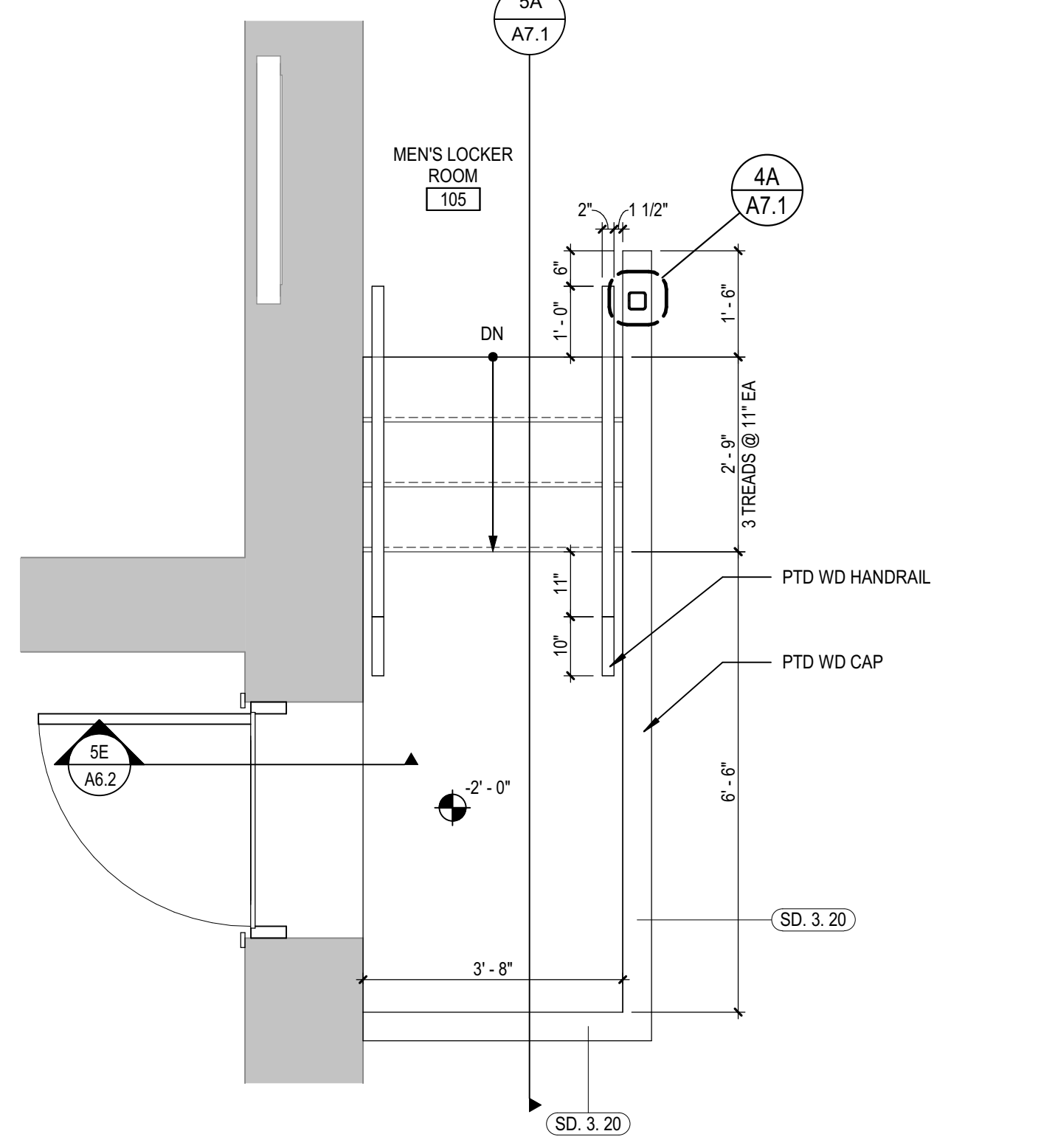


4A KNEE WALL SUPPORT
SCALE: 1" = 1'-0"

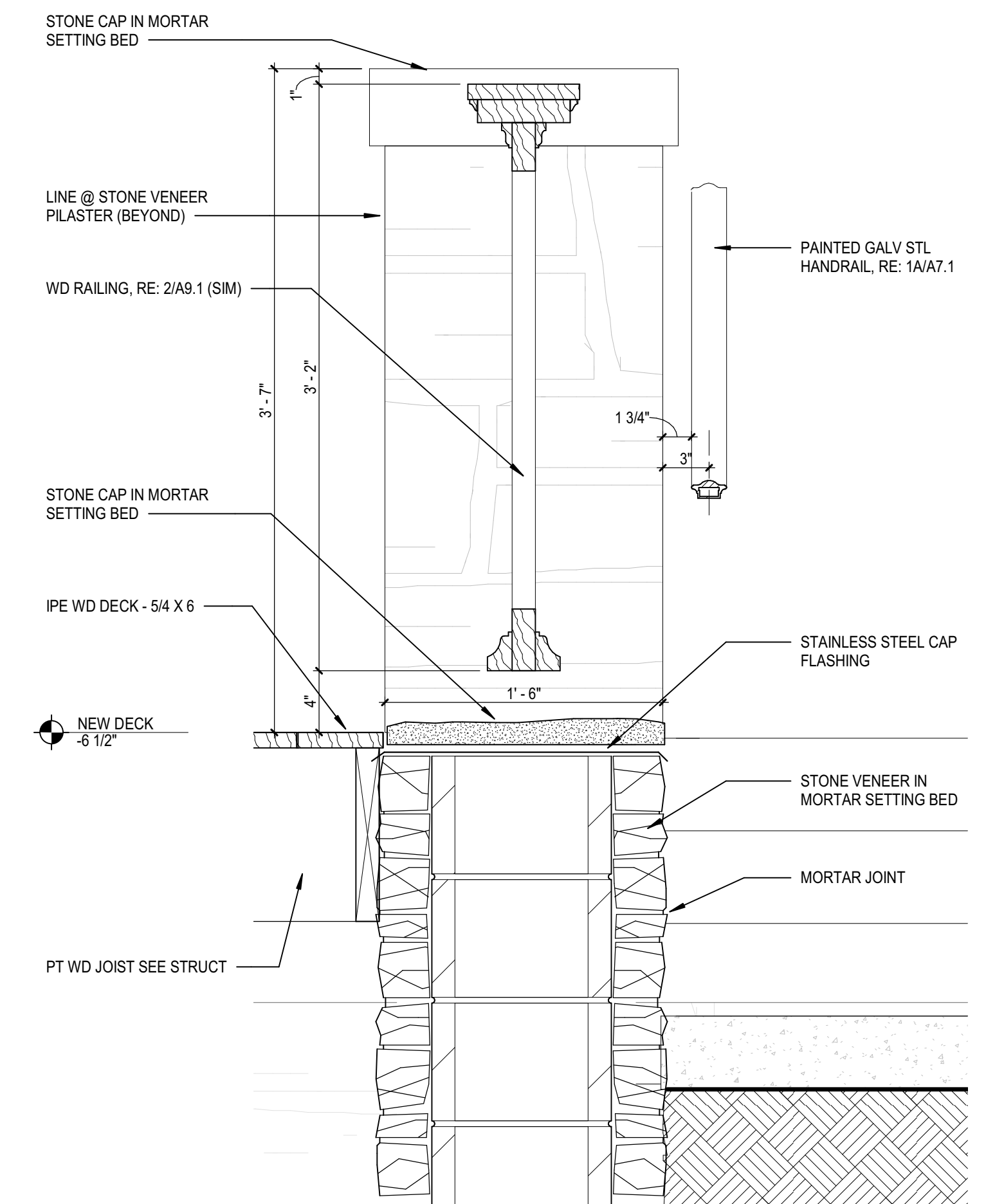
1 HANDRAIL DETAIL @ LOCKER RM
SCALE: 6" = 1'-0"



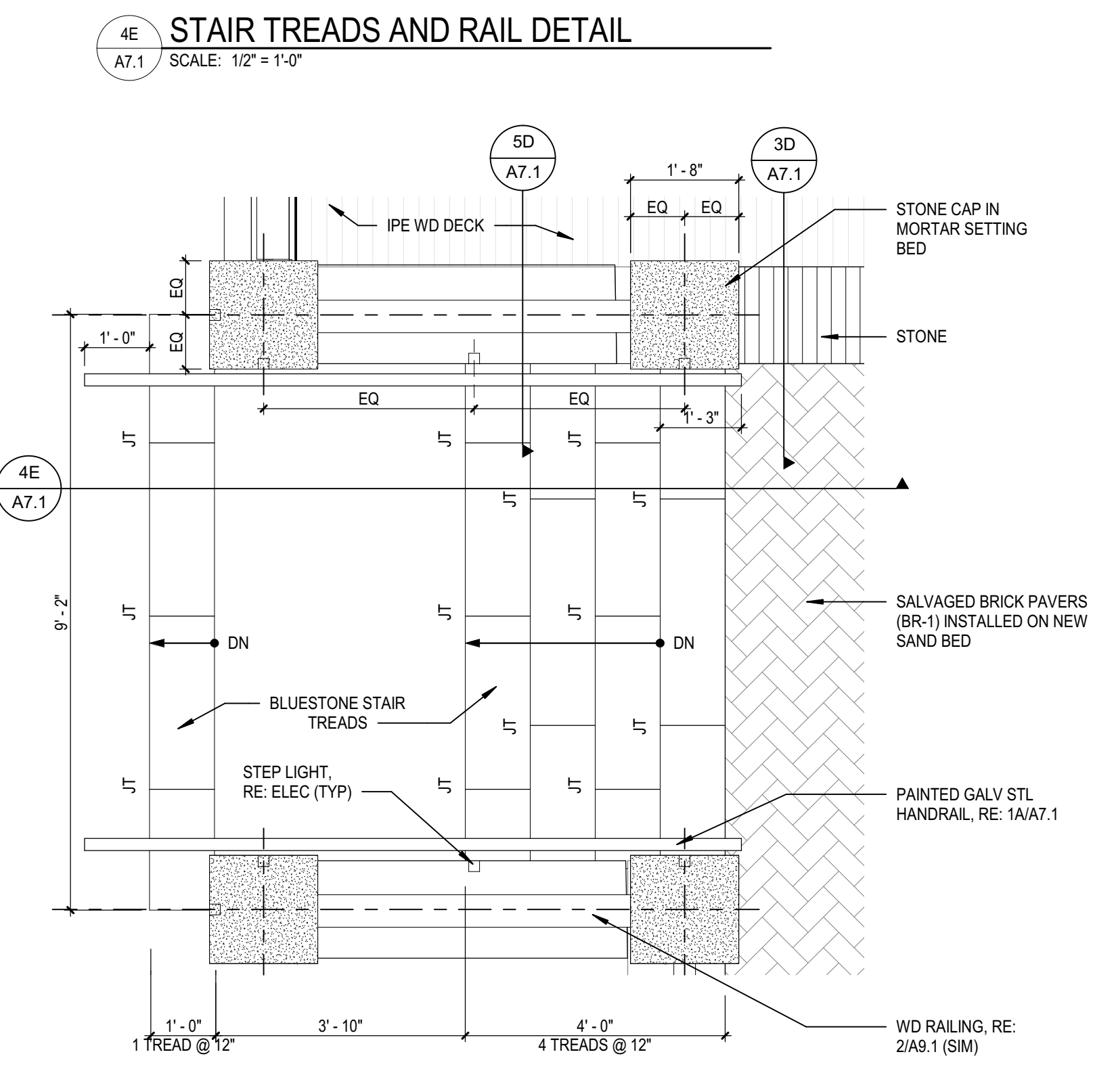
5A MENS LOCKER RM EGRESS STAIR
SCALE: 1/2" = 1'-0"



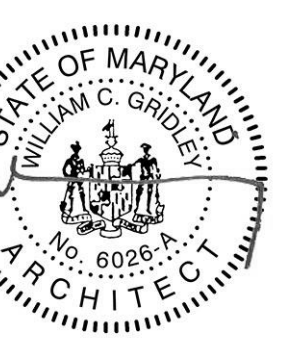
5C MENS LOCKER RM EGRESS STAIR PLAN
SCALE: 1/2" = 1'-0"



5D SECTION DETAIL @ NEW STAIR SOUTH
SCALE: 1 1/2" = 1'-0"



5E DECK STAIR & PORCH - PLAN
SCALE: 1/2" = 1'-0"



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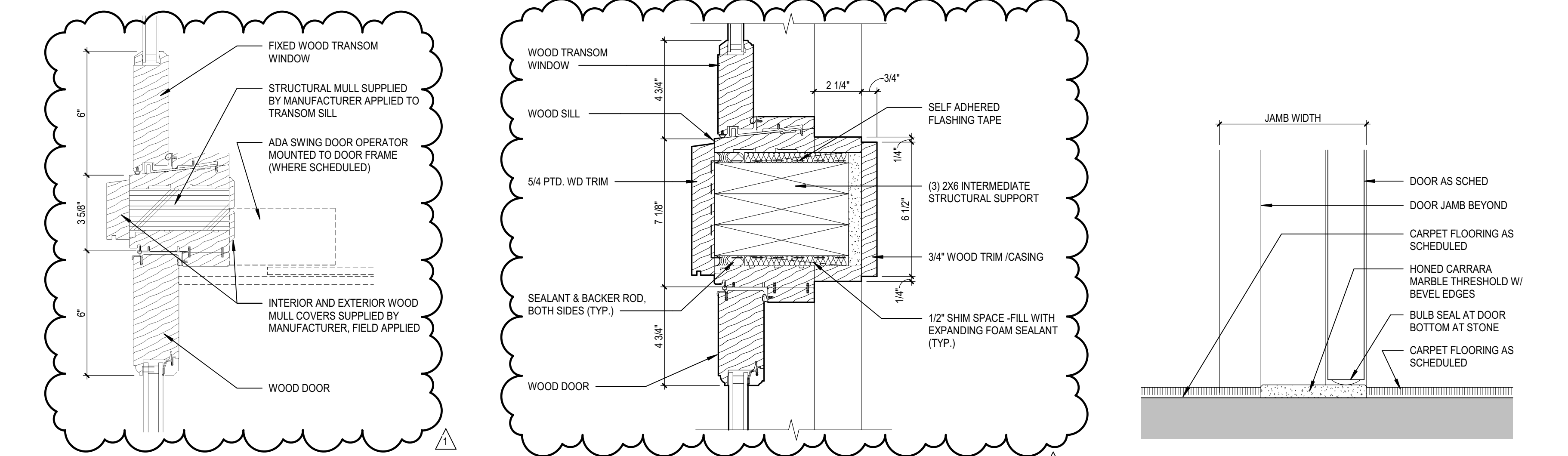
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4/12/2023
REVISIONS

56-22108-00
STAIRS - PLANS, SECTIONS, & DETAILS

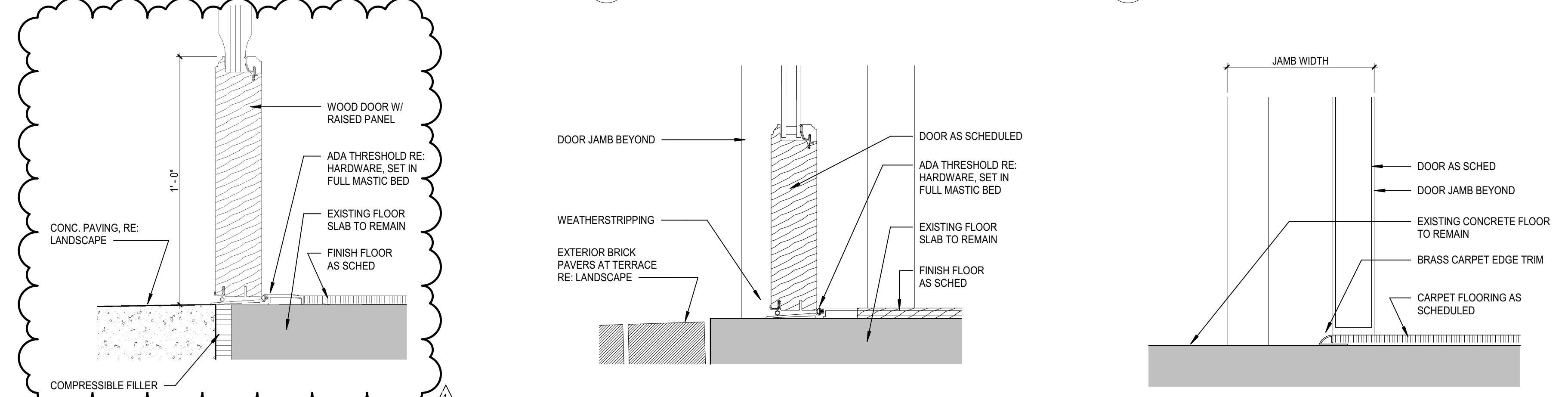
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DOOR AND FRAME SCHEDULE

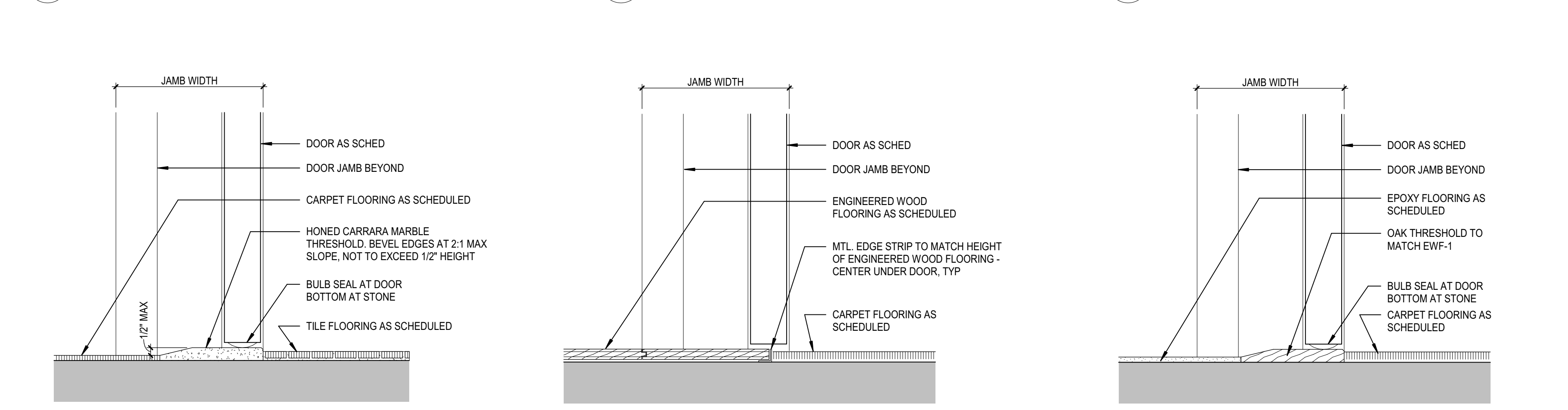
NEW	NO. OF PANELS	TYPE	WIDTH	HEIGHT	THICKNESS	MATERIAL	GLAZING	FRAME			DETAILS				COMMENTS
								MATERIAL	TYPE	HARDWARE SET	HEAD	JAMB LEFT	JAMB RIGHT	THOLD	
100A	NEW	2	9'-3"	7'-0"	2 1/4"	WD	CTIG	WD	1	3BA.2	3AA.4	3AA.4	4BA.2 (SIM)		
101A	NEW	1	3'-0"	7'-0"	1 3/4"	WD	N/A	NM	1	3EA.2 (SIM)	3EA.2 (SIM)	3EA.2 (SIM)	3CA.2	45 MIN. RATED DOOR	
101C	NEW	2	3'-2"	7'-0"	1 3/4"	WD	N/A	NM	1	4FA.2	4FA.2	4FA.2	5BA.2	45 MIN. RATED DOORS	
102A	NEW	2	1'-4"	7'-0"	1 3/4"	WD	N/A	NM	1	3EA.2	3EA.2	3EA.2	4CA.2	CONCEALED FLUSH DOOR W/ APPLIED BEAD BOARD, RE: A10.0	
103A	NEW	1	13'-0"	6'-8"	1 3/4"	WD	N/A	NM	1	3FA.2	3FA.2	3FA.2	4DA.2	WIRE MESH INSTALLED IN TOP PANEL, B.O.D. KENT MODEL 332, 3/4" UNDERCUT.	
103B	NEW	1	13'-0"	6'-8"	1 3/4"	WD	N/A	NM	1	3FA.2	3FA.2	3FA.2	4DA.2	WIRE MESH INSTALLED IN TOP PANEL, B.O.D. KENT MODEL 332, 3/4" UNDERCUT.	
103C	NEW	1	13'-0"	6'-8"	1 3/4"	WD	N/A	NM	1	3FA.2	3FA.2	3FA.2	4DA.2	WIRE MESH INSTALLED IN TOP PANEL, B.O.D. KENT MODEL 332, 3/4" UNDERCUT.	
103D	NEW	1	13'-0"	6'-8"	1 3/4"	WD	N/A	NM	1	3FA.2	3FA.2	3FA.2	4DA.2	WIRE MESH INSTALLED IN TOP PANEL, B.O.D. KENT MODEL 332, 3/4" UNDERCUT.	
104A	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	N/A	1						
104B	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	N/A	1						
104C	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	N/A	1						
104D	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	N/A	1						
105	NEW	1	3'-0"	7'-0"	2 1/4"	WD	N/A	WD	3	5A.4	2E.4	2E.4	4A.2 (SIM)	NEW EGRESS DOOR IN EXISTING WINDOW OPENING (EXPANDED TO LOCATE SILL AT GRADE)	
106A	NEW	1	3'-6"	7'-0"	1 3/4"	WD	N/A	NM	1	5EA.2	5EA.2	5EA.2	5DA.2	KITCHEN DOOR	
106B	NEW	1	3'-6"	7'-0"	1 3/4"	WD	N/A	NM	1	5EA.2	5EA.2	5EA.2	5DA.2	KITCHEN DOOR	
107A	NEW	1	12'-3"	9'-0"	2 1/4"	WD	CTIG	WD	2	3BA.2	1CA.4	1CA.4	4BA.2		
107B	NEW	1	12'-3"	9'-0"	2 1/4"	WD	CTIG	WD	2	3BA.2	1CA.4	1CA.4	4BA.2		
107C	NEW	1	12'-3"	9'-0"	2 1/4"	WD	CTIG	WD	2	3BA.2	1CA.4	1CA.4	4BA.2		
107D	NEW	4	2A	8'-11 1/2"	1 3/4"	WD	N/A	WD	1	5EA.11.5	5EA.11.5	5EA.11.5	5BA.2 (SIM)	BI-FOLD DOORS	
107E	NEW	2	2'-0"	8'-11 1/2"	1 3/4"	WD	N/A	WD	1	3DA.11.5	3DA.11.5	3DA.11.5	N/A		
108A	NEW	1	6'-2"	7'-0"	1 3/4"	WD	N/A	WD	1	4FA.2	4FA.2	4FA.2	5CA.2		
109A	NEW	1	6'-3"	7'-0"	1 3/4"	WD	N/A	WD	1	5EA.2	5EA.2	5EA.2	5AA.2	INTERIOR FACE: MOUNT FULL LENGTH MIRROR IN DOOR PANEL RE: A10.0	
110A	NEW	1	6'-3"	7'-0"	1 3/4"	WD	N/A	WD	1	5EA.2	5EA.2	5EA.2	5AA.2	INTERIOR FACE: MOUNT FULL LENGTH MIRROR IN DOOR PANEL RE: A10.0	
111A	NEW	2	8'-2"	9'-3"	2 1/4"	WD	CTIG	WD	1	1A.4	1A.4	1A.4	4A.2	PROVIDE ADA DOOR OPENER	
111B	NEW	2	8'-2"	9'-3"	2 1/4"	WD	CTIG	WD	1	3A.2 (SIM)	1A.4 (SIM)	1A.4 (SIM)	4A.2 (SIM)	DOOR NOT OPERABLE, INSTALL IN FIXED POSITION	
113A	NEW	1	3'-0"	7'-0"	1 3/4"	WD	N/A	NM	1	4FA.2	4FA.2	4FA.2	5CA.2		
117H	NEW	2	7'-0"	8'-5"	1 1/2"	AL	CTIG	AL	1	1FA.4	3EA.4	2FA.4	4A.2	AUTOMATIC ALUMINUM SLIDING DOOR FOR EGRESS, 10'-0" R.O. (V.F), BOD: STANLEY DURA-GLIDE 2000.	
121A	NEW	2	10'-2"	8'-1"	2 1/4"	WD	CTIG	WD	1	2CA.4	3DA.4	3DA.4	3CA.4	WOOD SCREEN DOOR	
121B	NEW	2	11'-2"	8'-1"	2 1/4"	WD	SCREEN	WD	1	2CA.4	3DA.4	3DA.4	3CA.4	WOOD SCREEN DOOR	
221A	NEW	1	5'-0"	6'-8"	1 1/2"	GL	TTG	N/A	1					SHOWER DOOR, FROSTED GLASS	



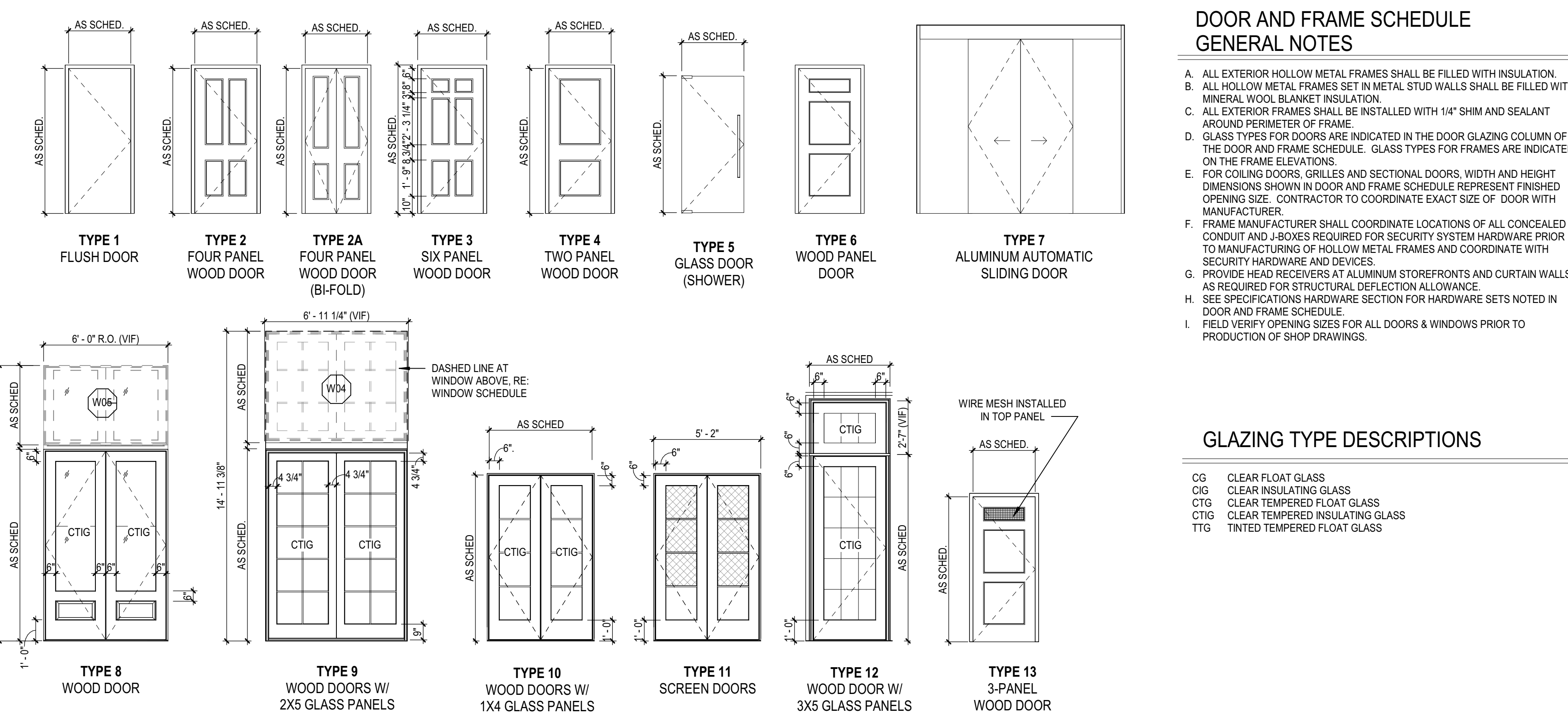
3A ENTRY DOOR WEST DETAIL SCALE: 3" = 1'-0"
 3B VESTIBULE DETAIL SCALE: 3" = 1'-0"
 3C THRESHOLD CARPET TO CARPET SCALE: 3" = 1'-0"



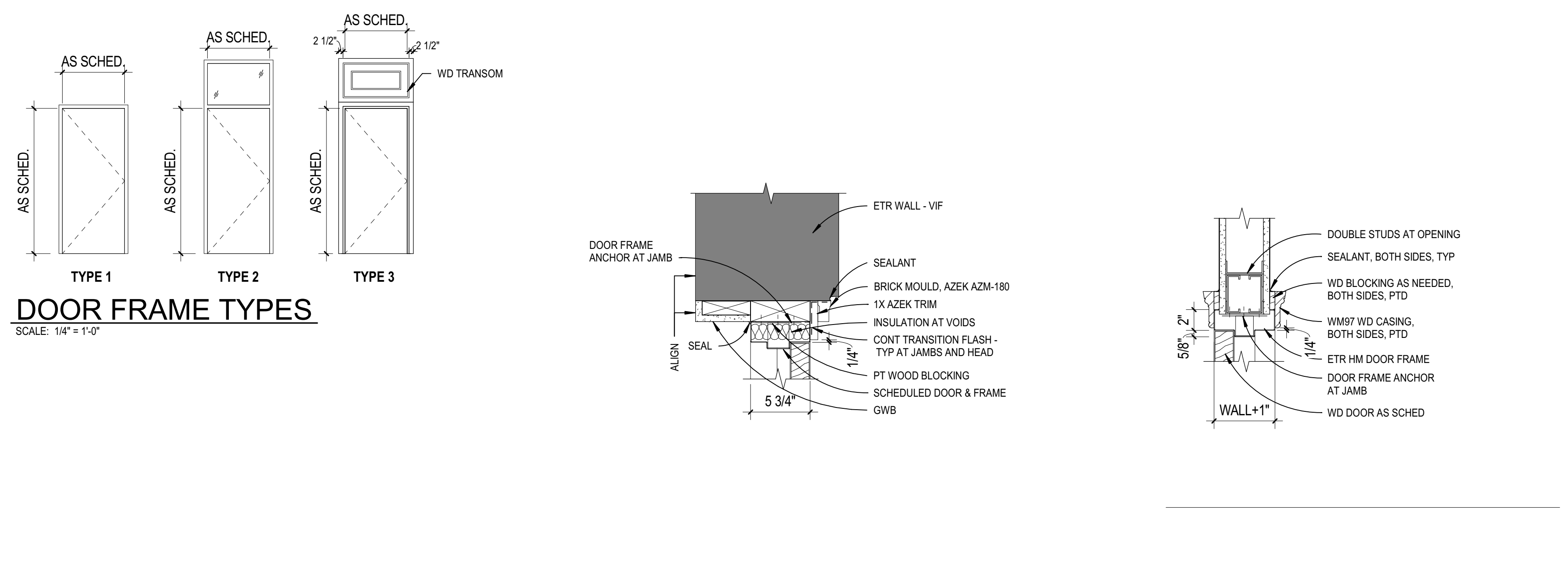
4A THRESHOLD @ ENTRY WEST DOOR SCALE: 3" = 1'-0"
 4B THRESHOLD @ SOUTH DOORS SCALE: 3" = 1'-0"
 4C THRESHOLD CARPET TO CONCRETE SCALE: 3" = 1'-0"
 4D THRESHOLD TILE TO TILE SCALE: 3" = 1'-0"



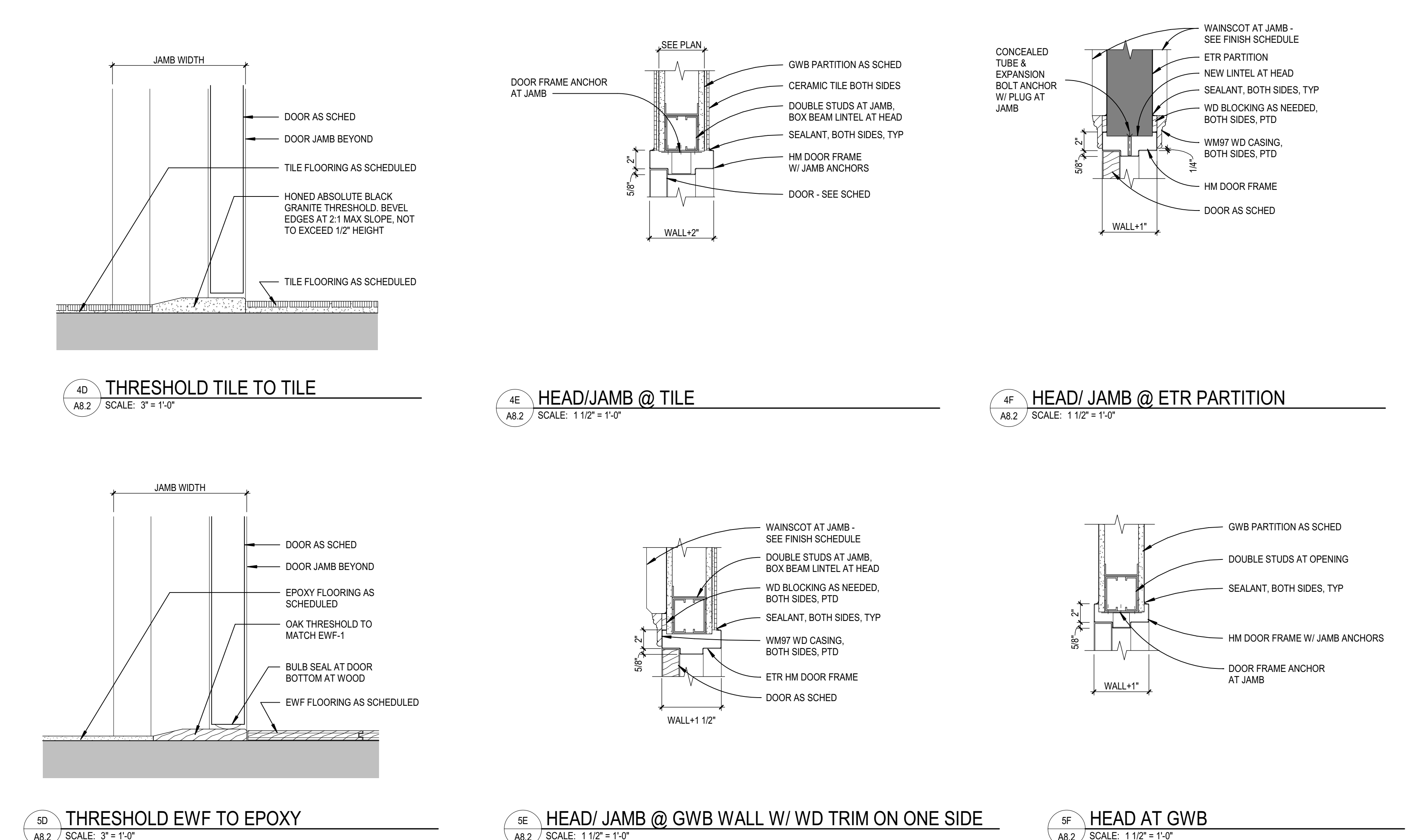
5A THRESHOLD CARPET TO TILE SCALE: 3" = 1'-0"
 5B THRESHOLD EWF TO CARPET SCALE: 3" = 1'-0"
 5C THRESHOLD EPOXY TO CARPET SCALE: 3" = 1'-0"
 5D THRESHOLD EWF TO EPOXY SCALE: 3" = 1'-0"



DOOR PANEL TYPES SCALE: 1/4" = 1'-0"
 DOOR FRAME TYPES SCALE: 1/4" = 1'-0"



3E HEAD/JAMB ETR WALL SCALE: 1 1/2" = 1'-0"
 3F HEAD/JAMB @ GWB WALL W/ WD TRIM SCALE: 1 1/2" = 1'-0"
 4E HEAD/JAMB @ TILE SCALE: 1 1/2" = 1'-0"
 4F HEAD/JAMB @ ETR PARTITION SCALE: 1 1/2" = 1'-0"



5E HEAD/JAMB @ GWB WALL W/ WD TRIM ON ONE SIDE SCALE: 1 1/2" = 1'-0"
 5F HEAD AT GWB SCALE: 1 1/2" = 1'-0"

DOOR AND FRAME SCHEDULE

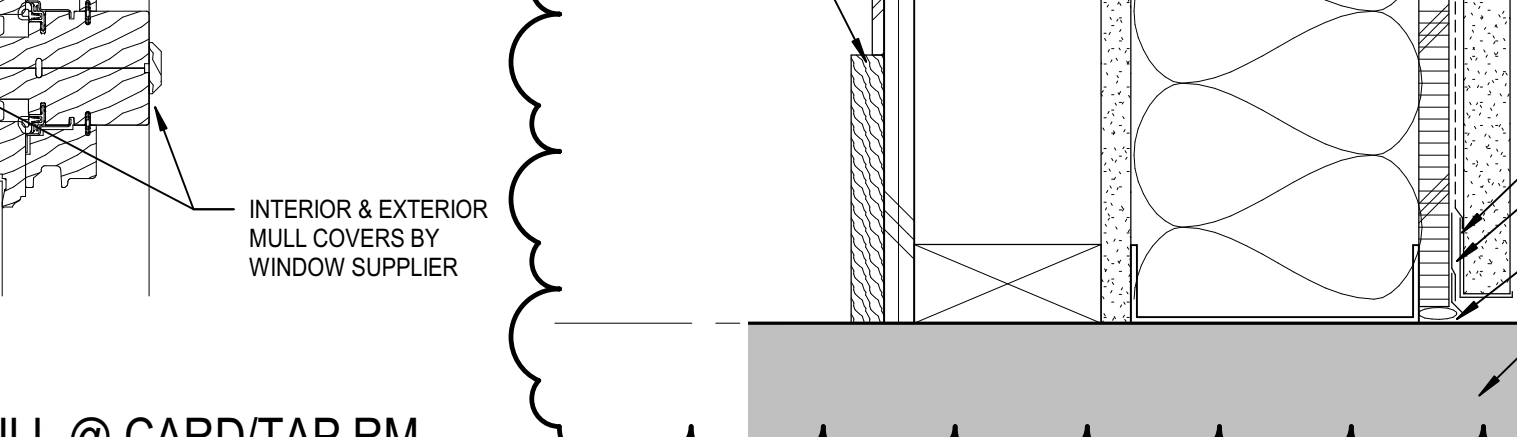
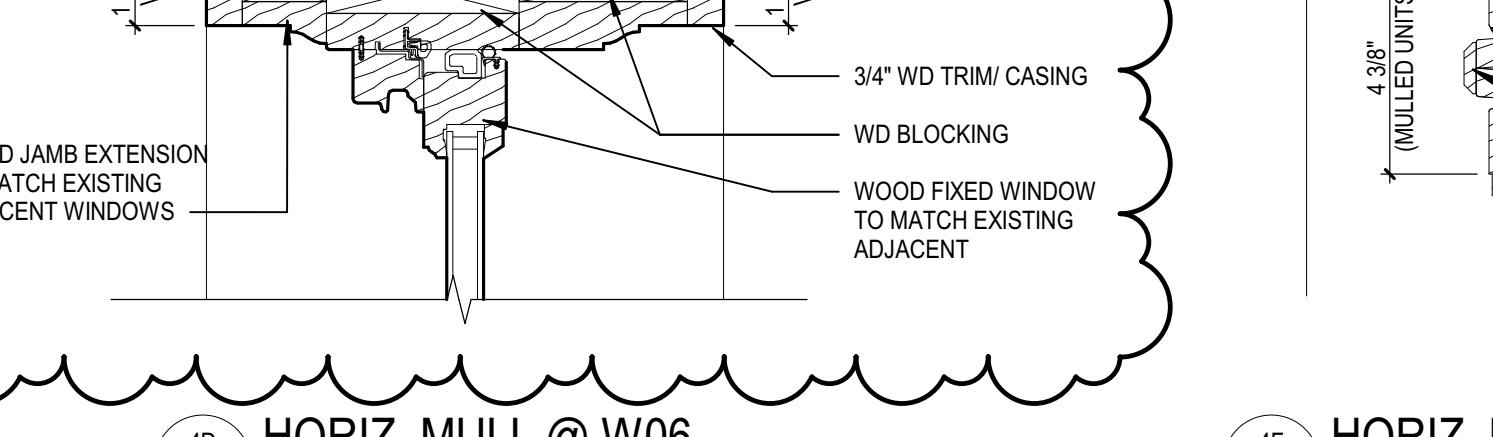
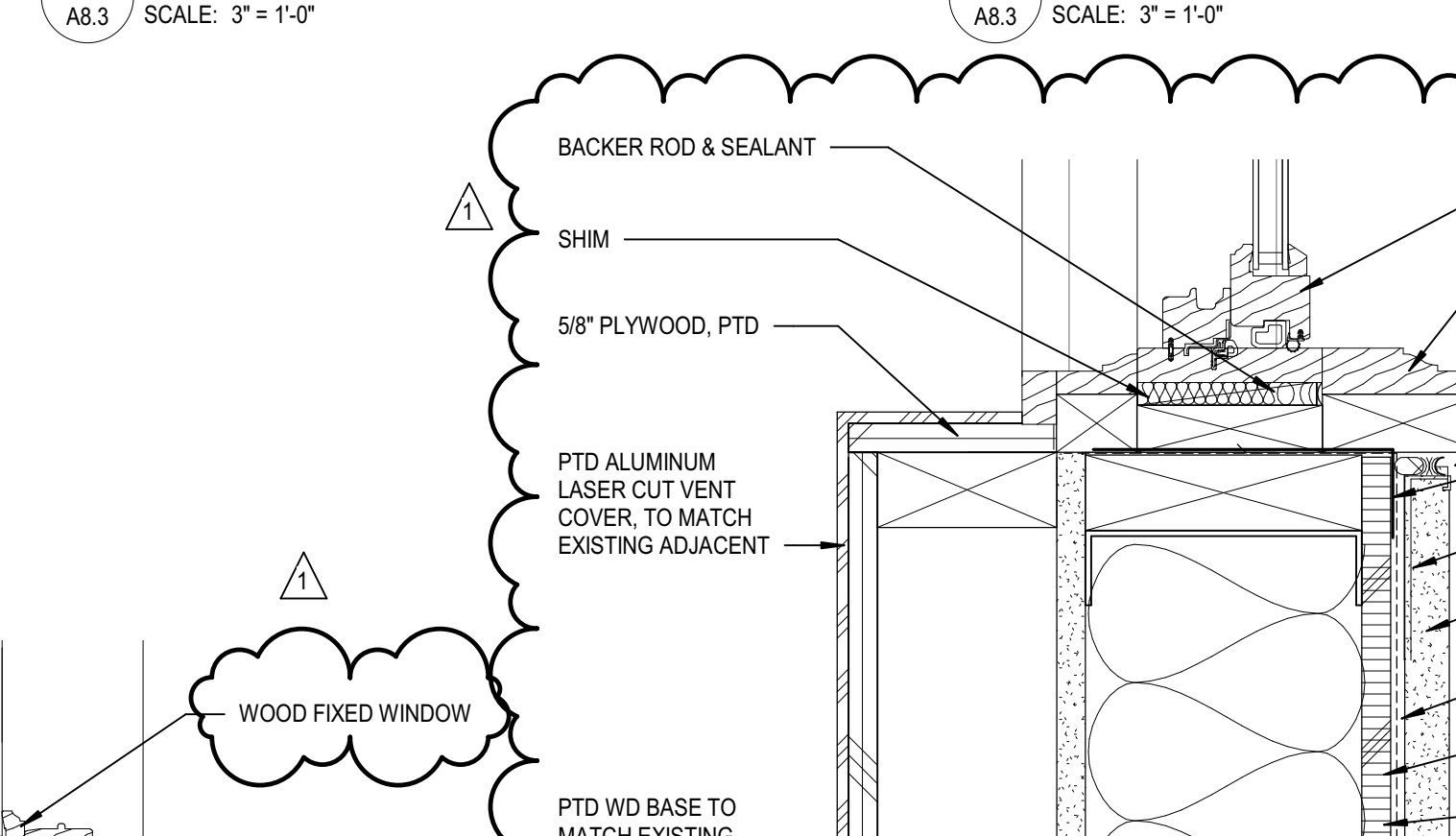
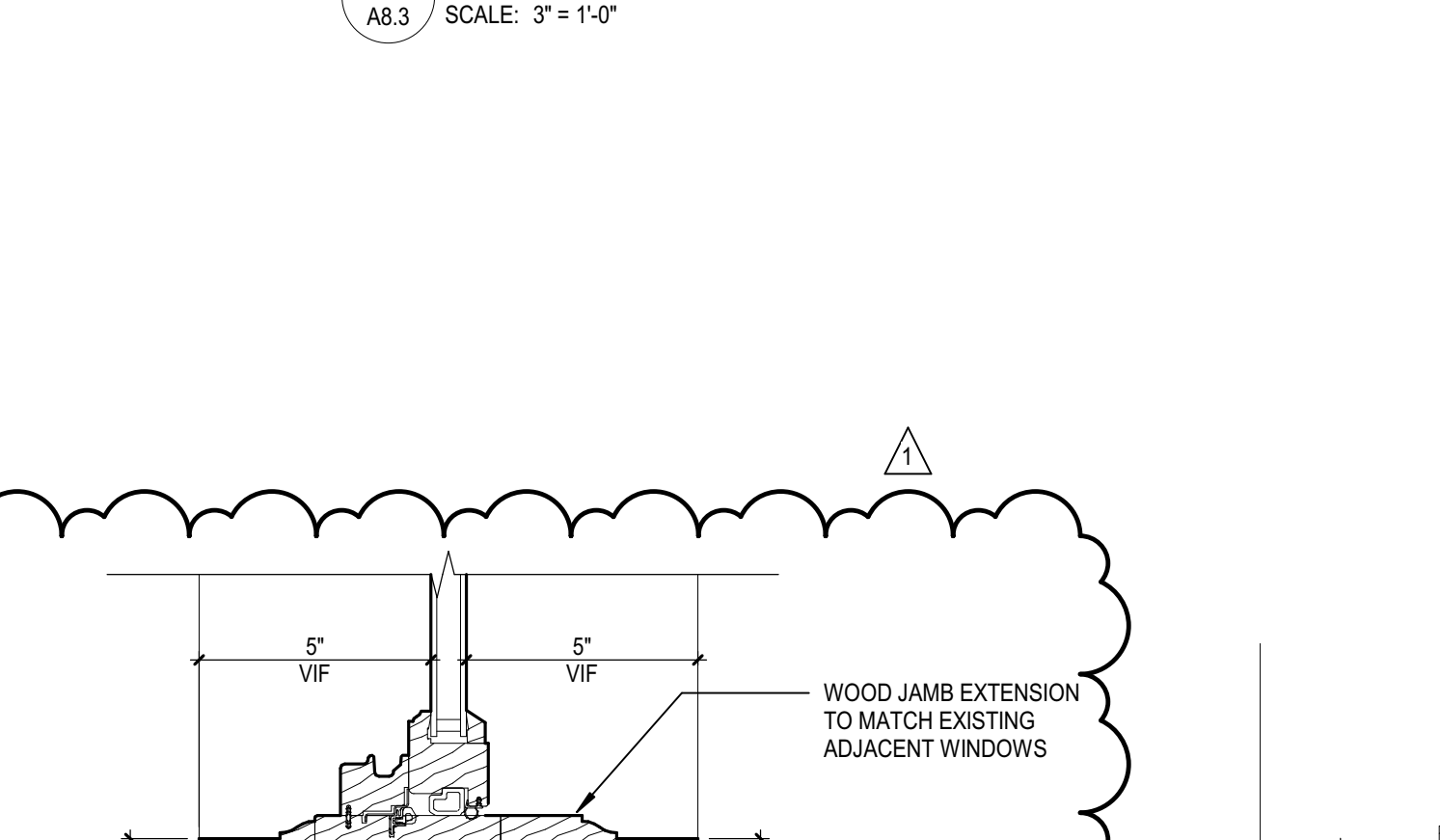
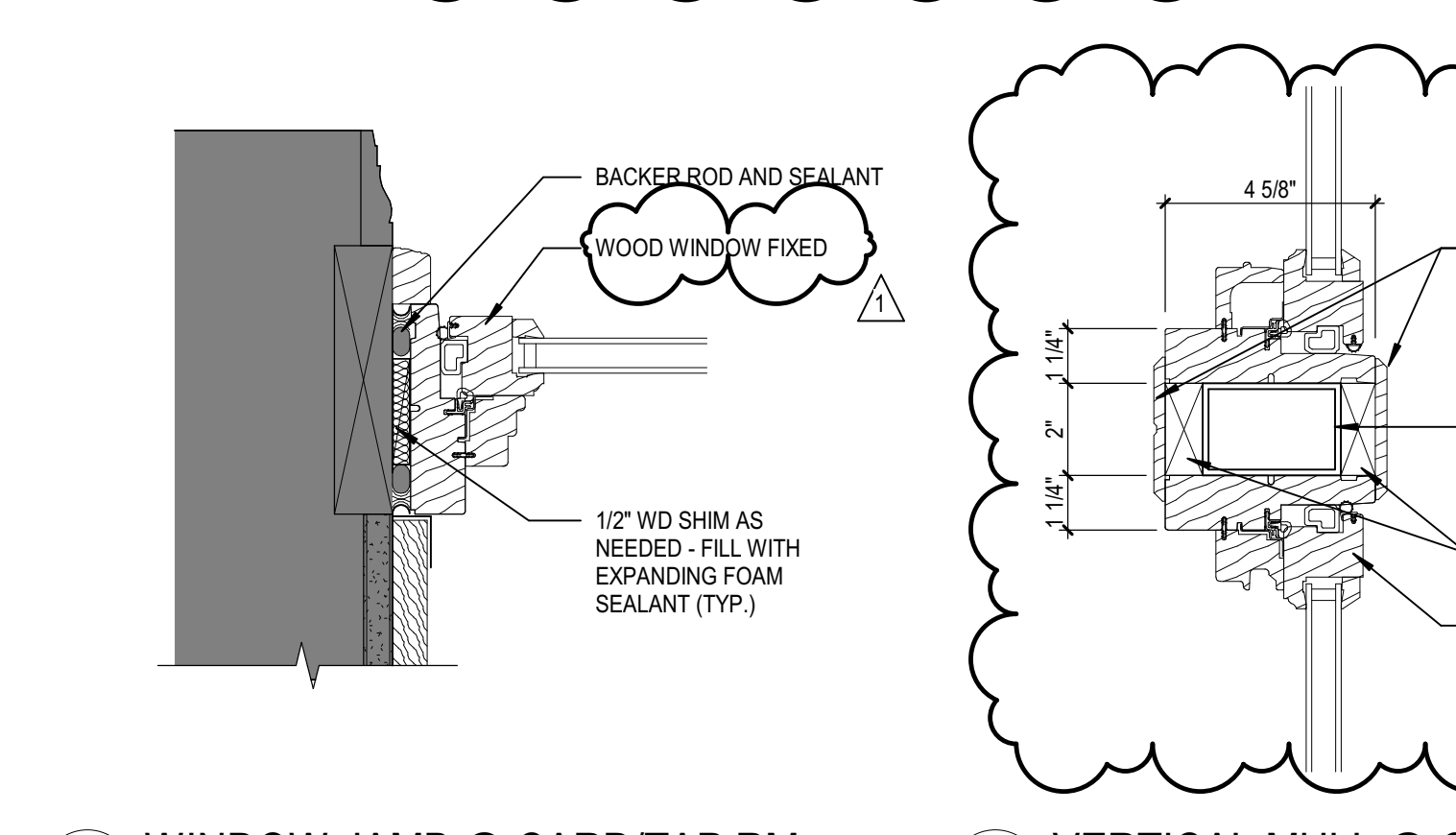
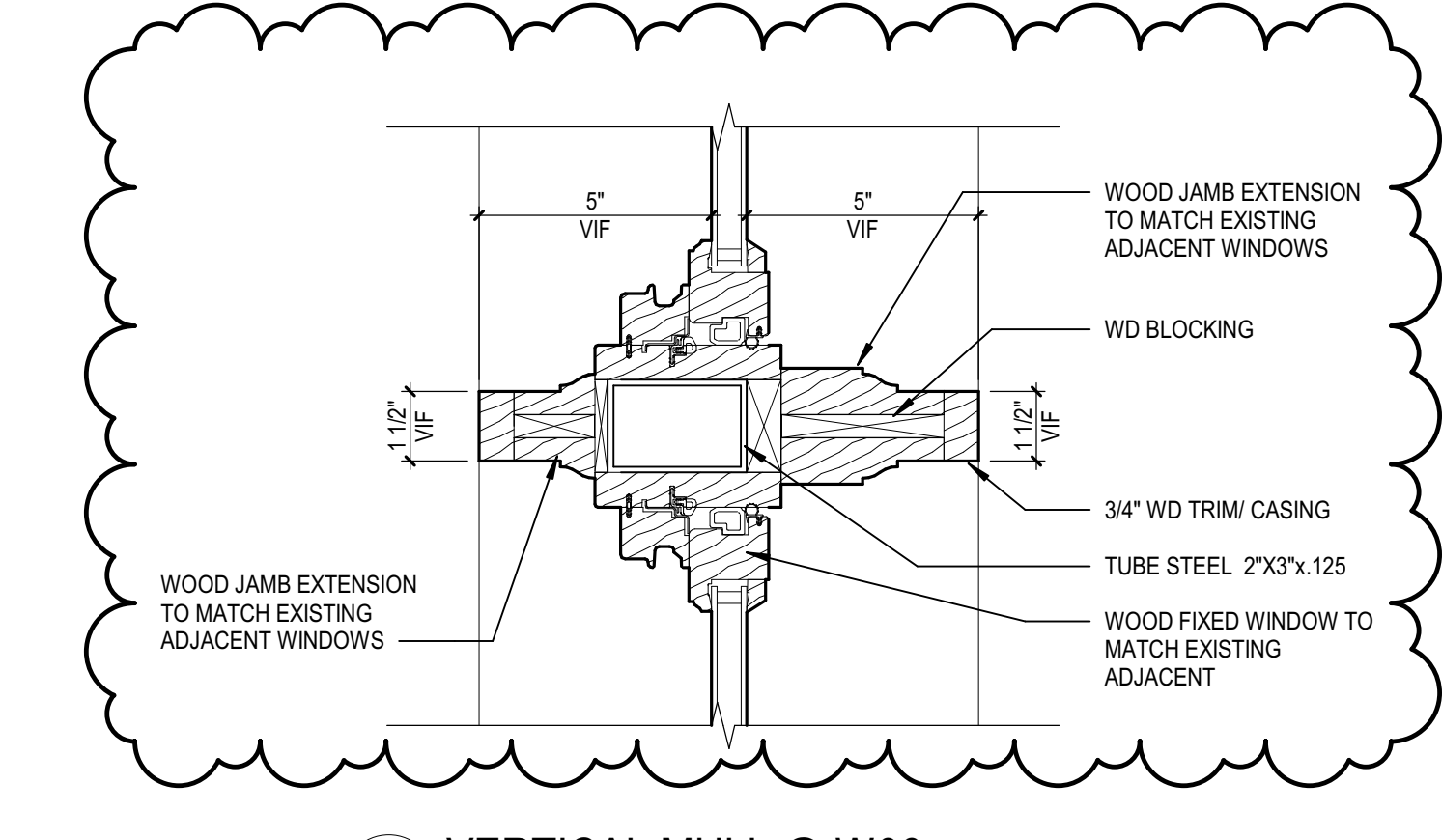
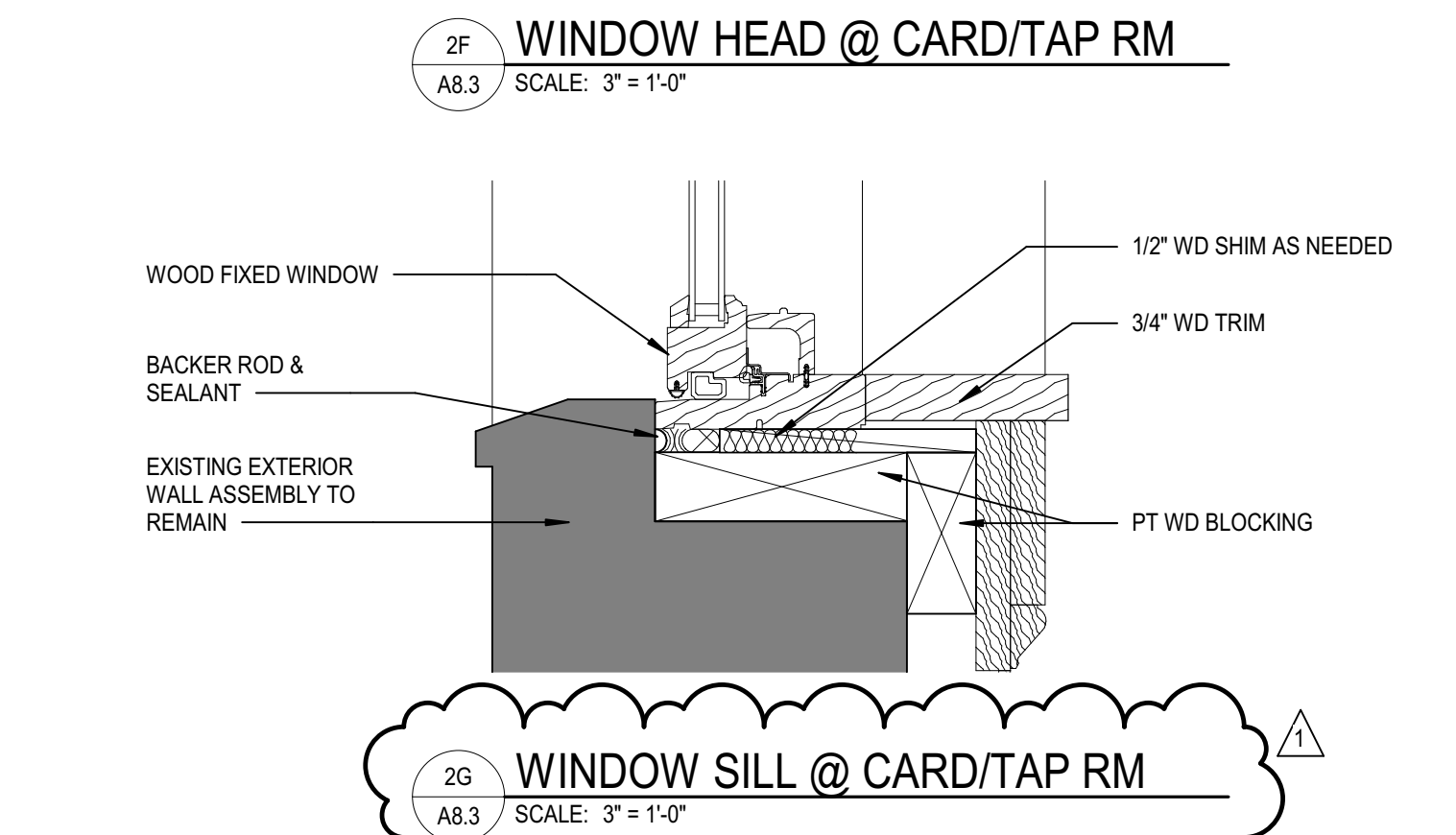
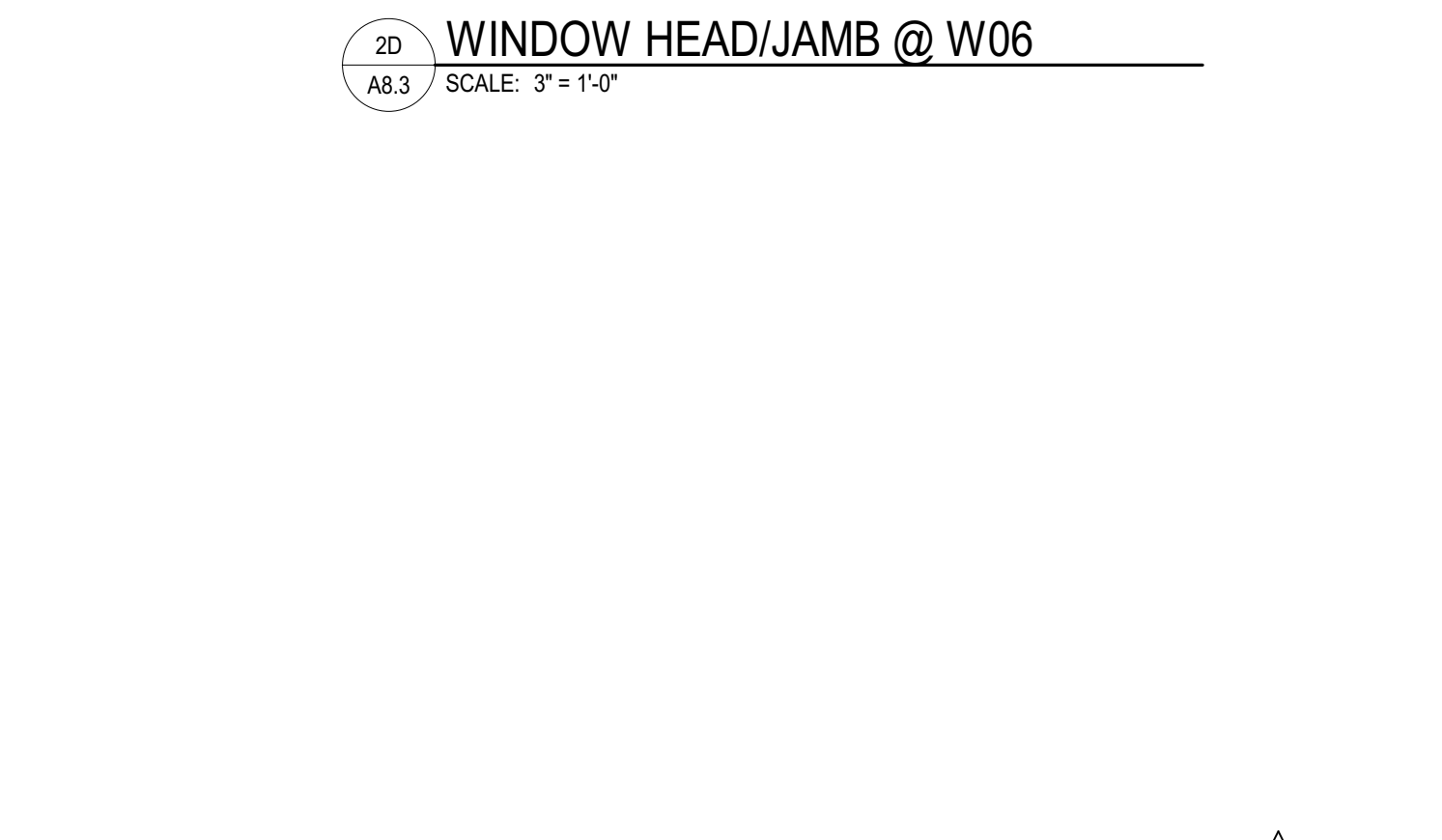
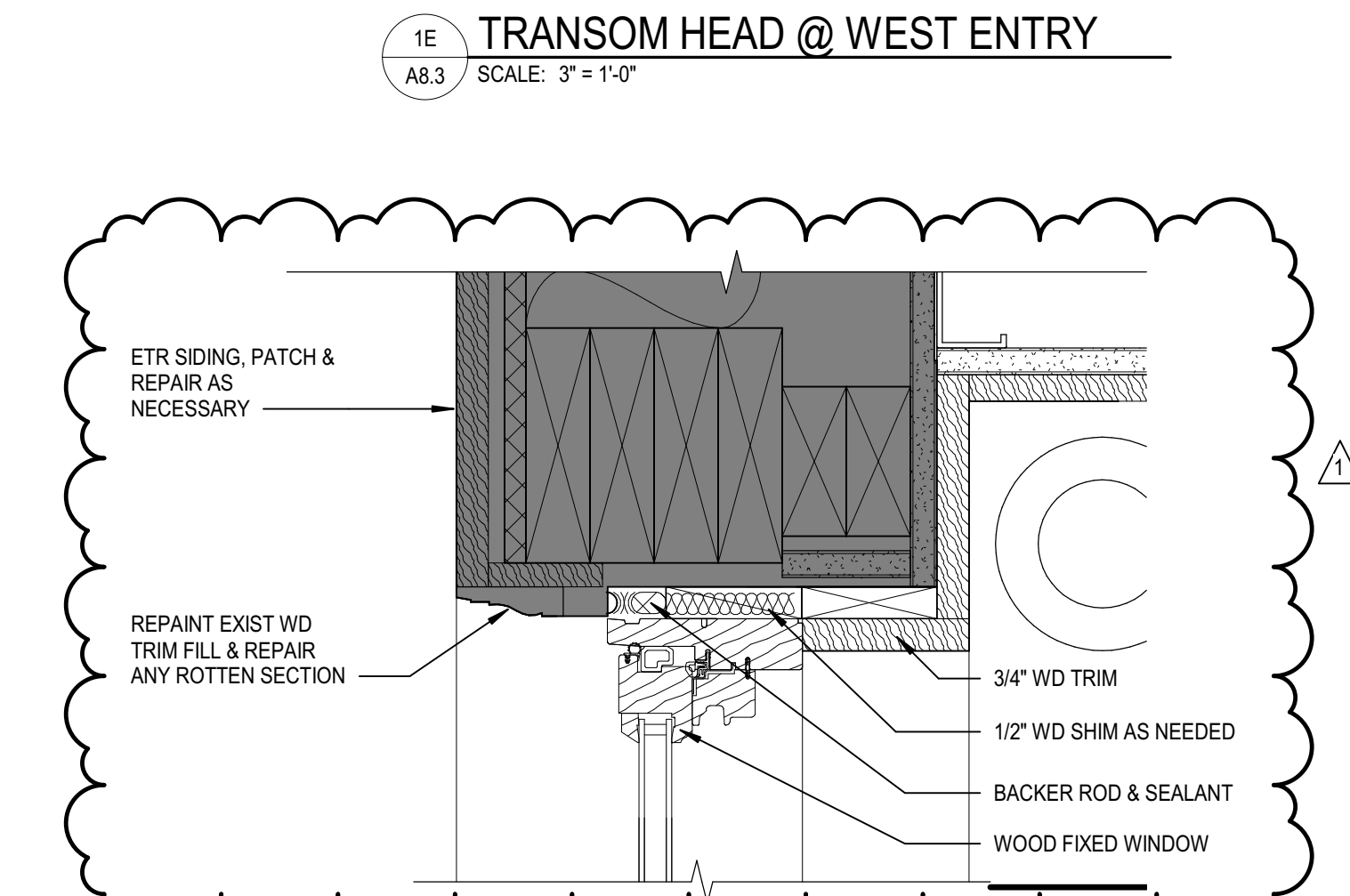
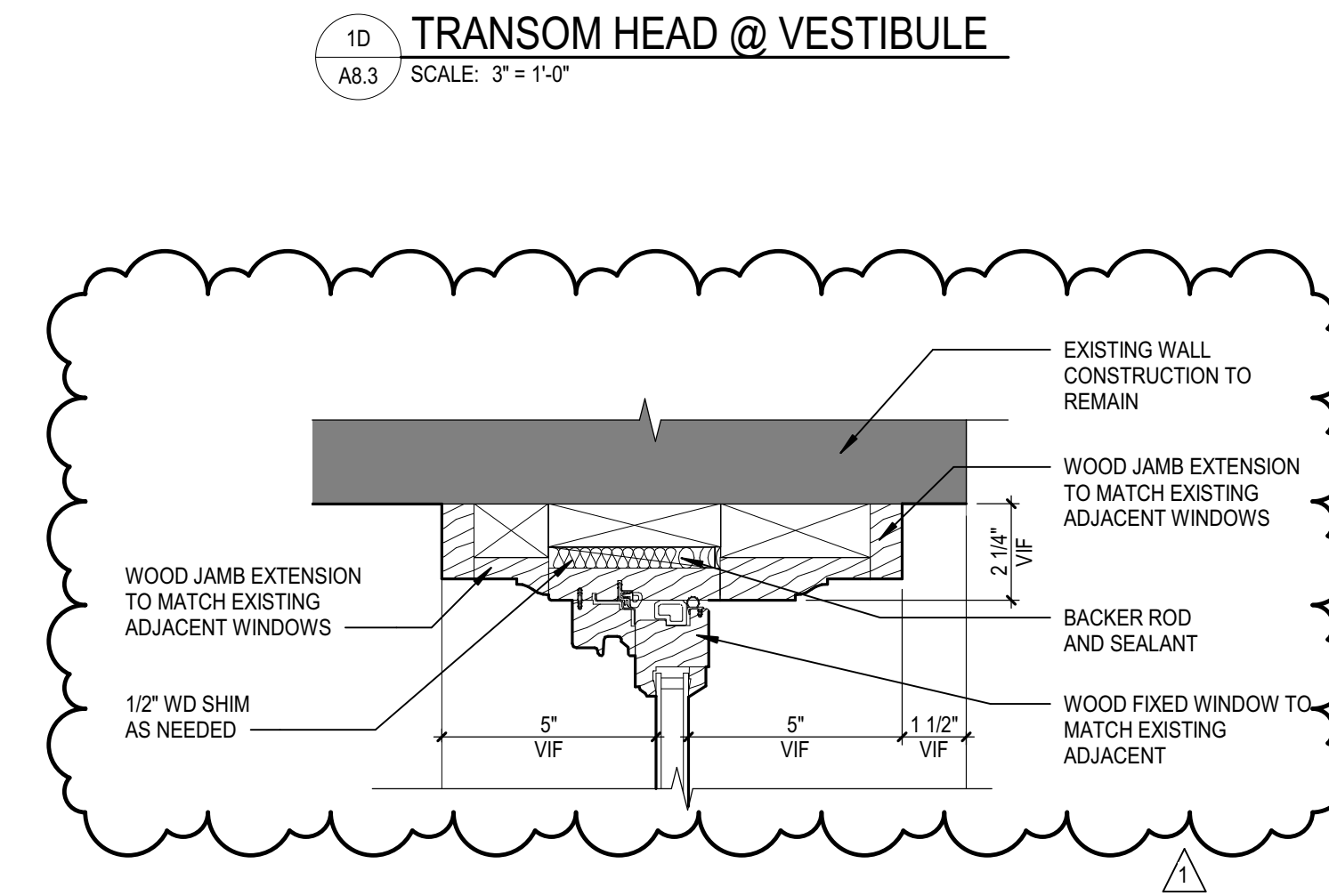
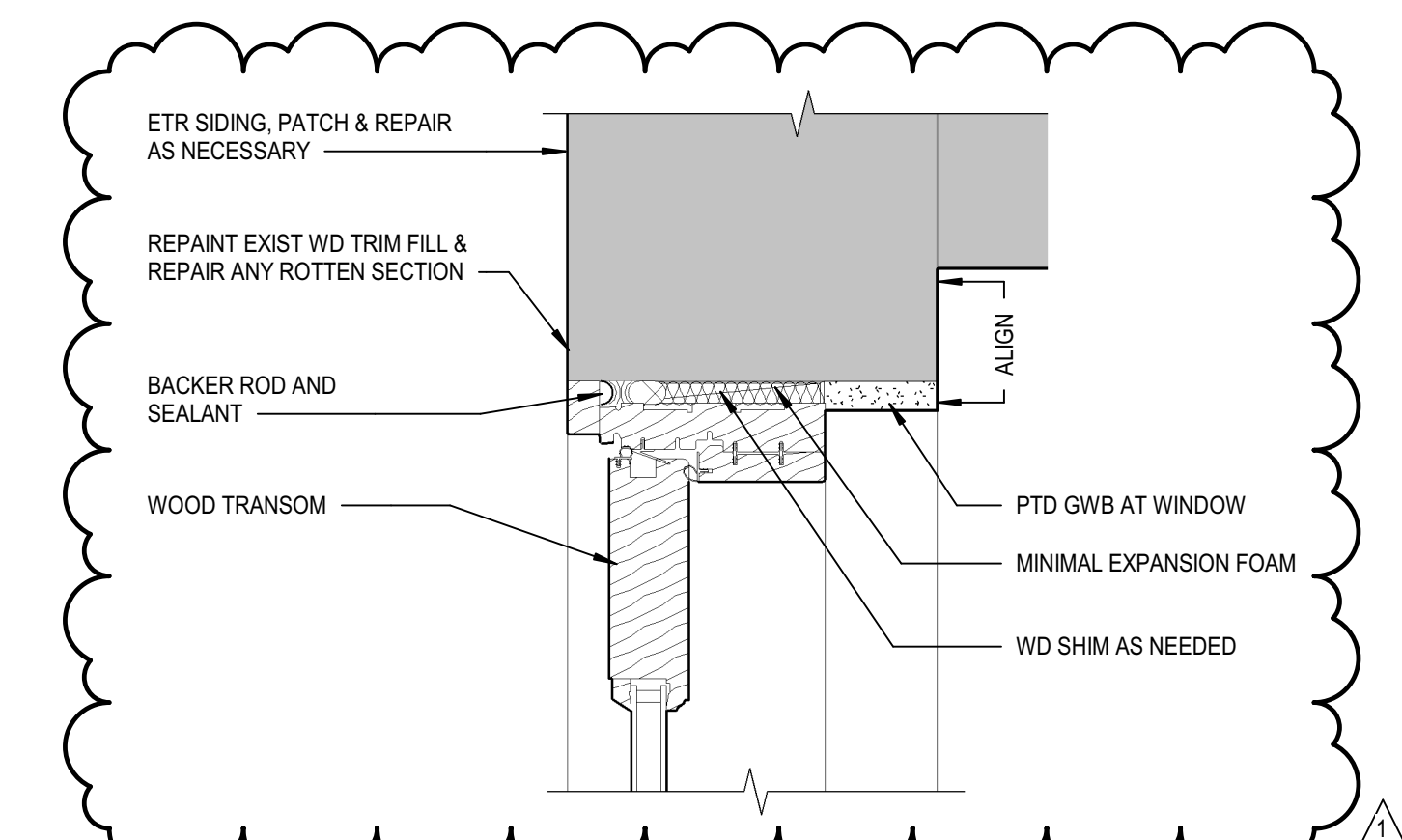
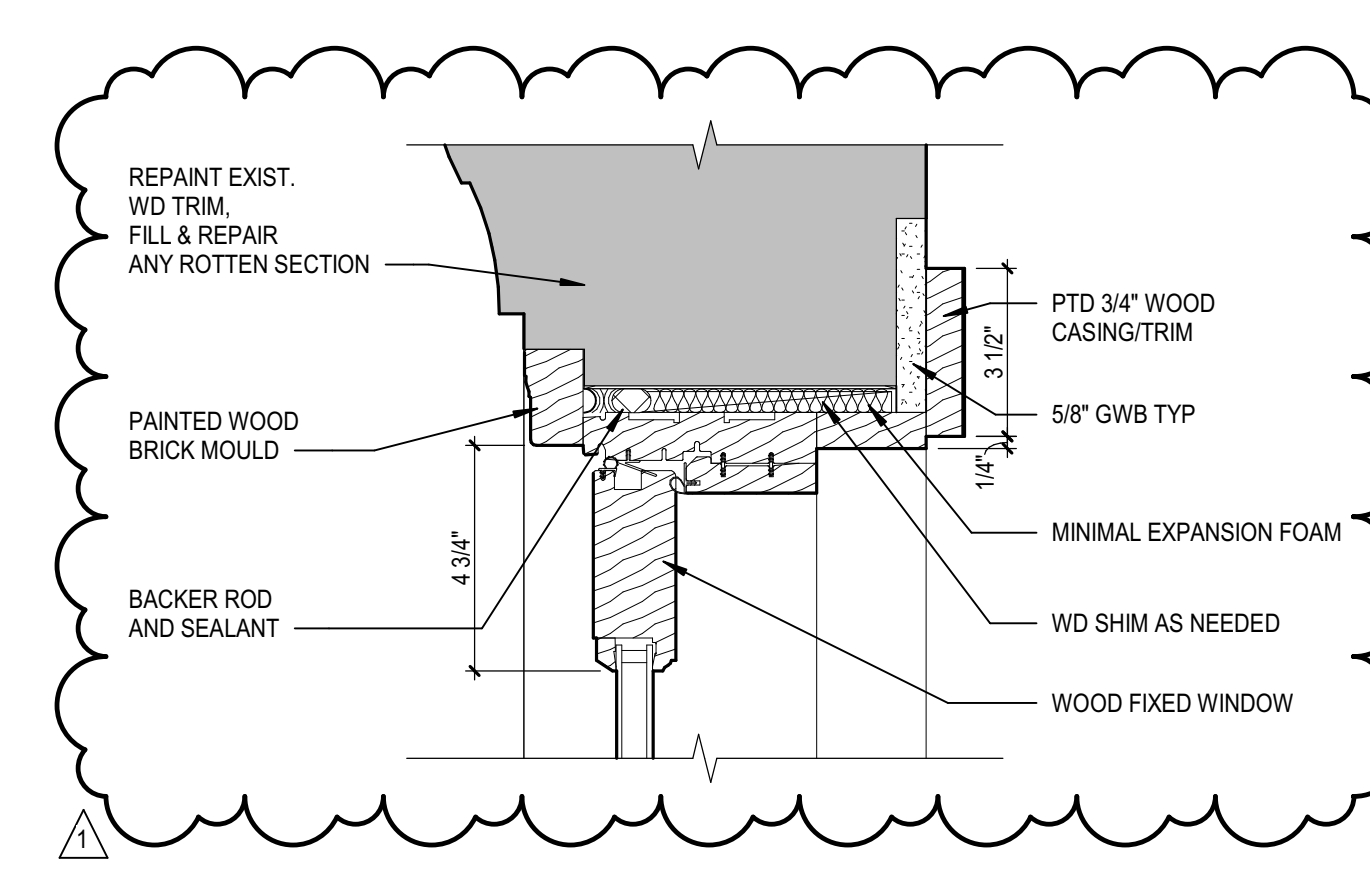
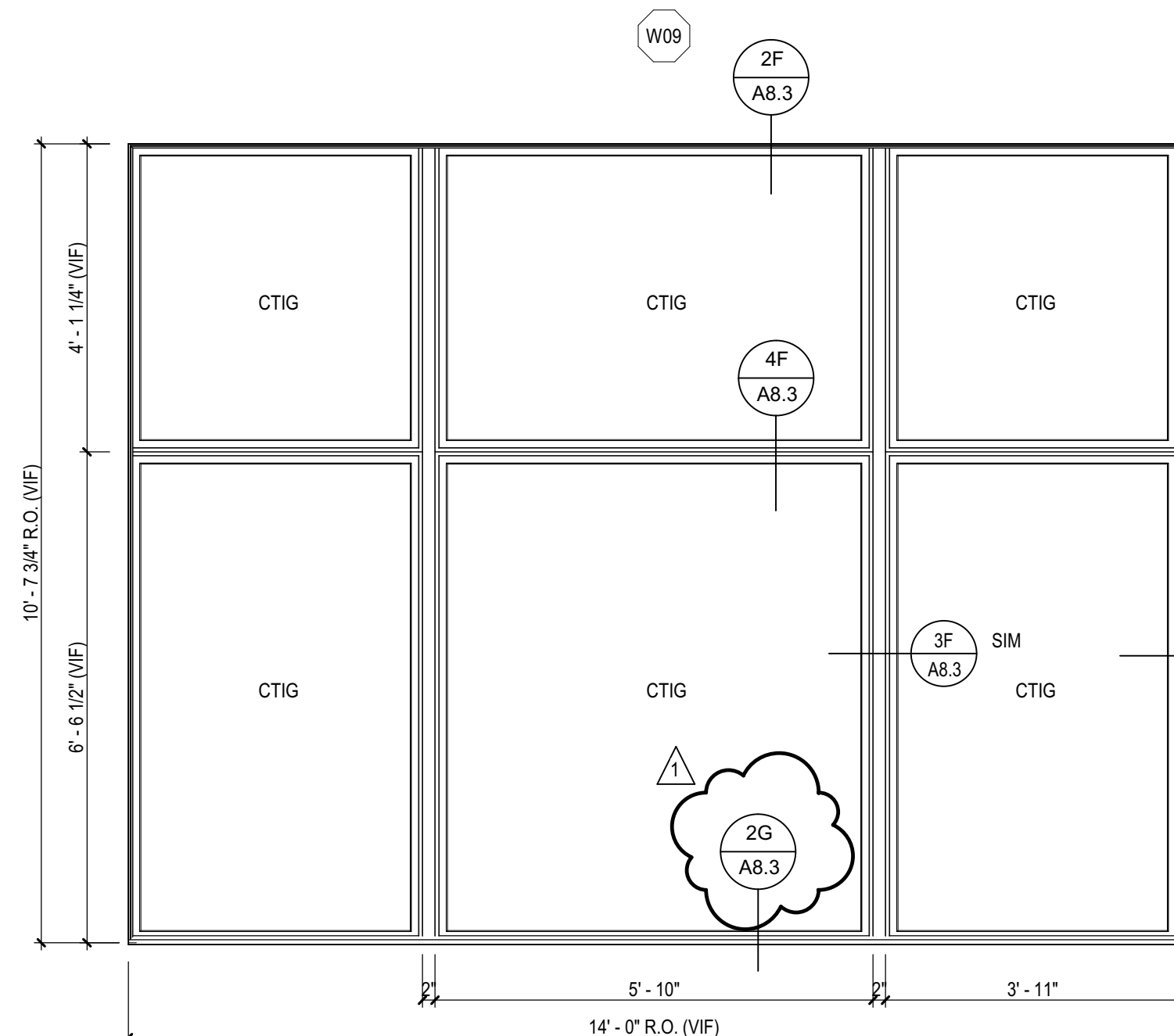
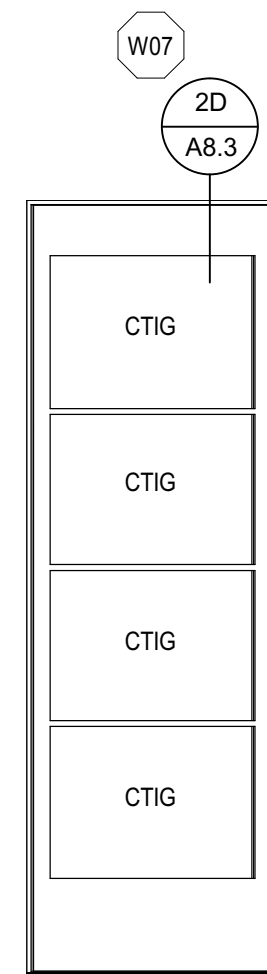
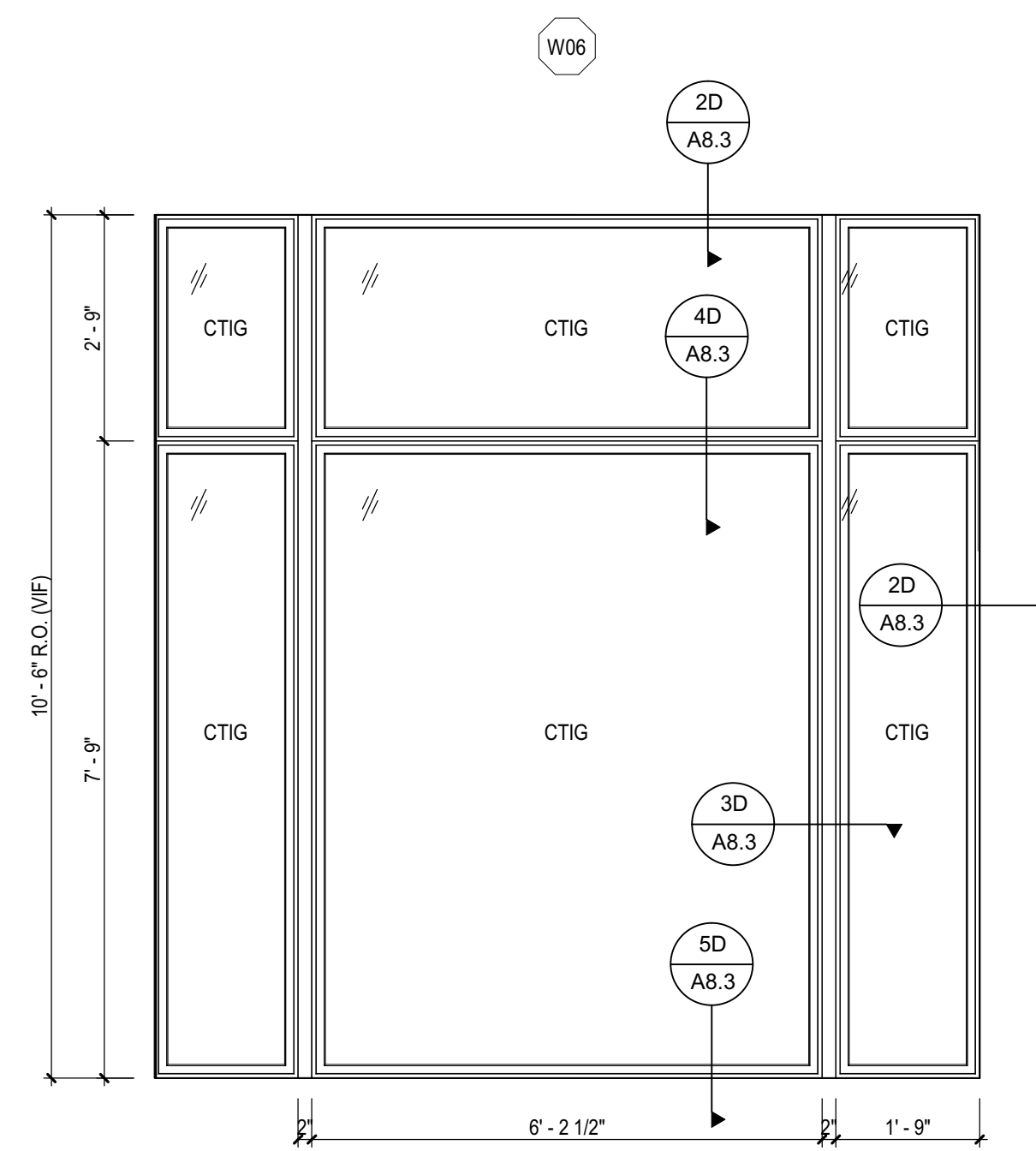
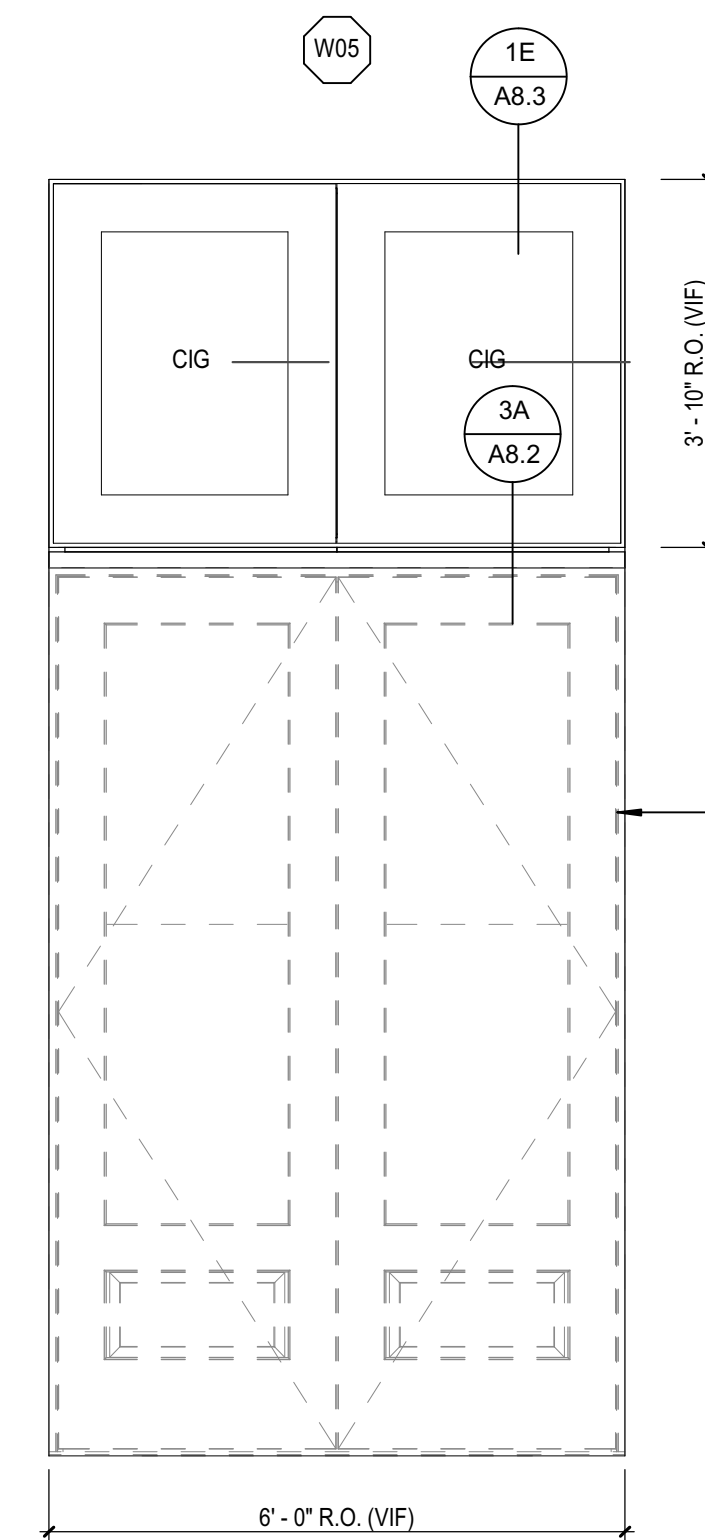
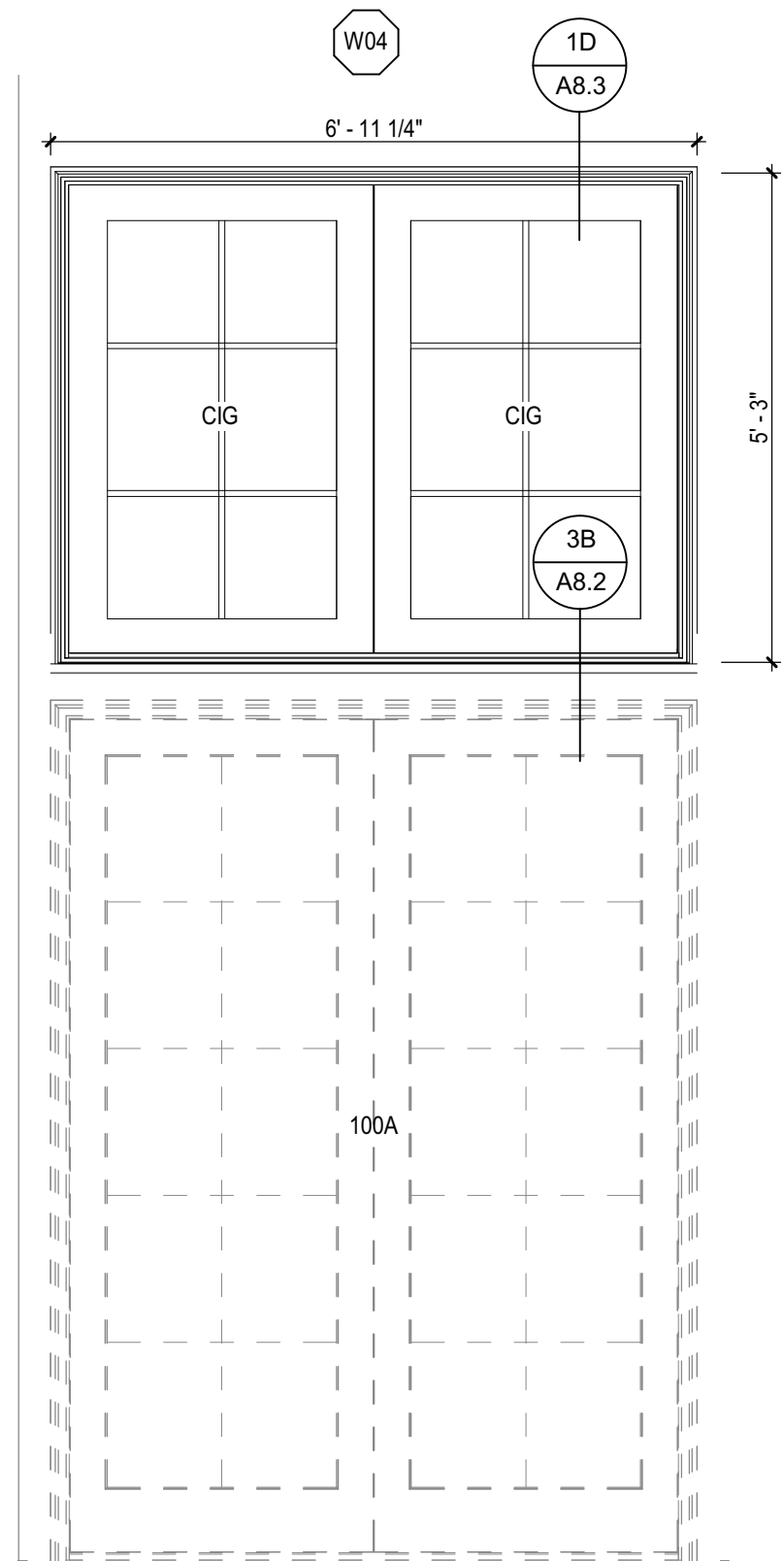
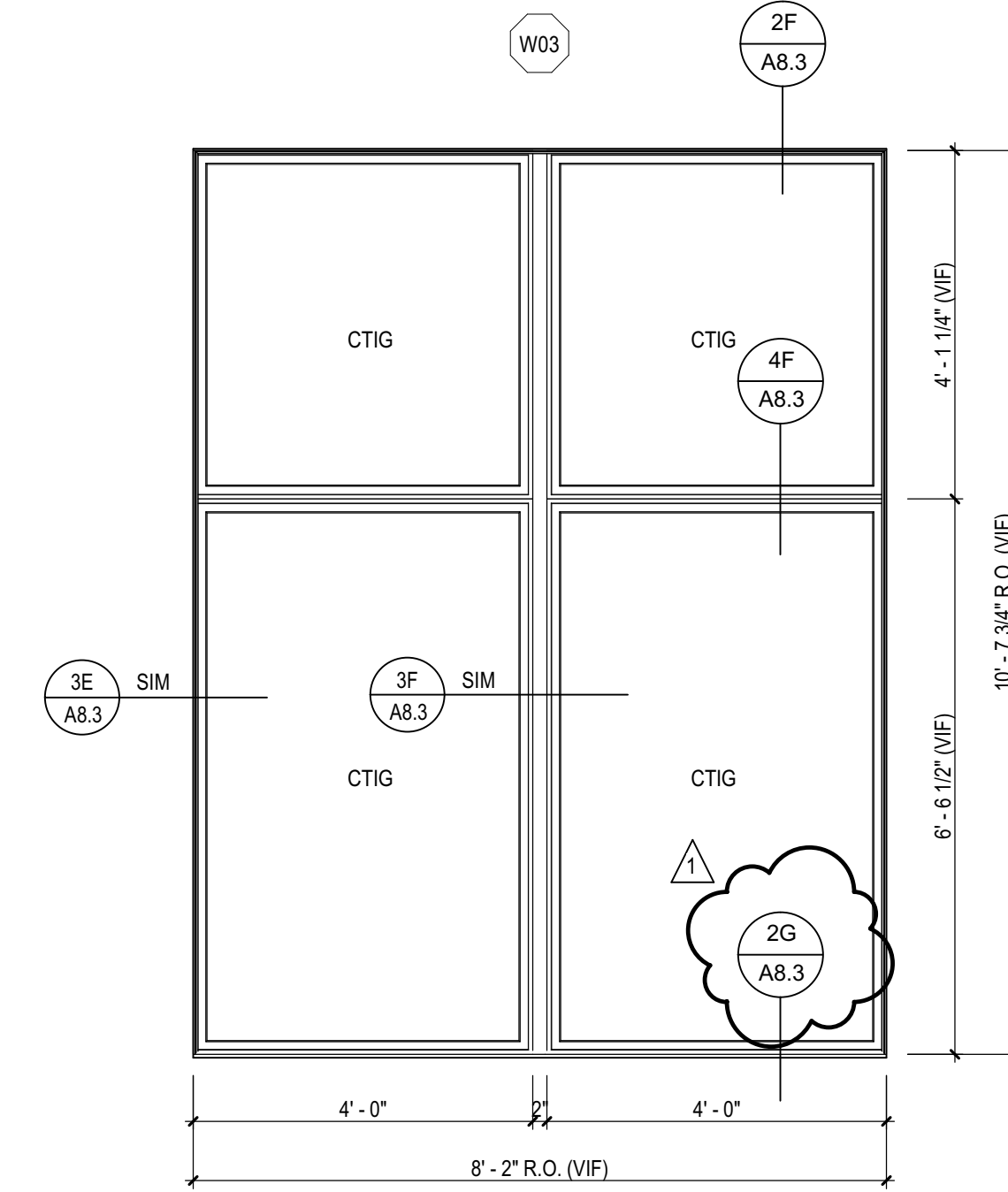
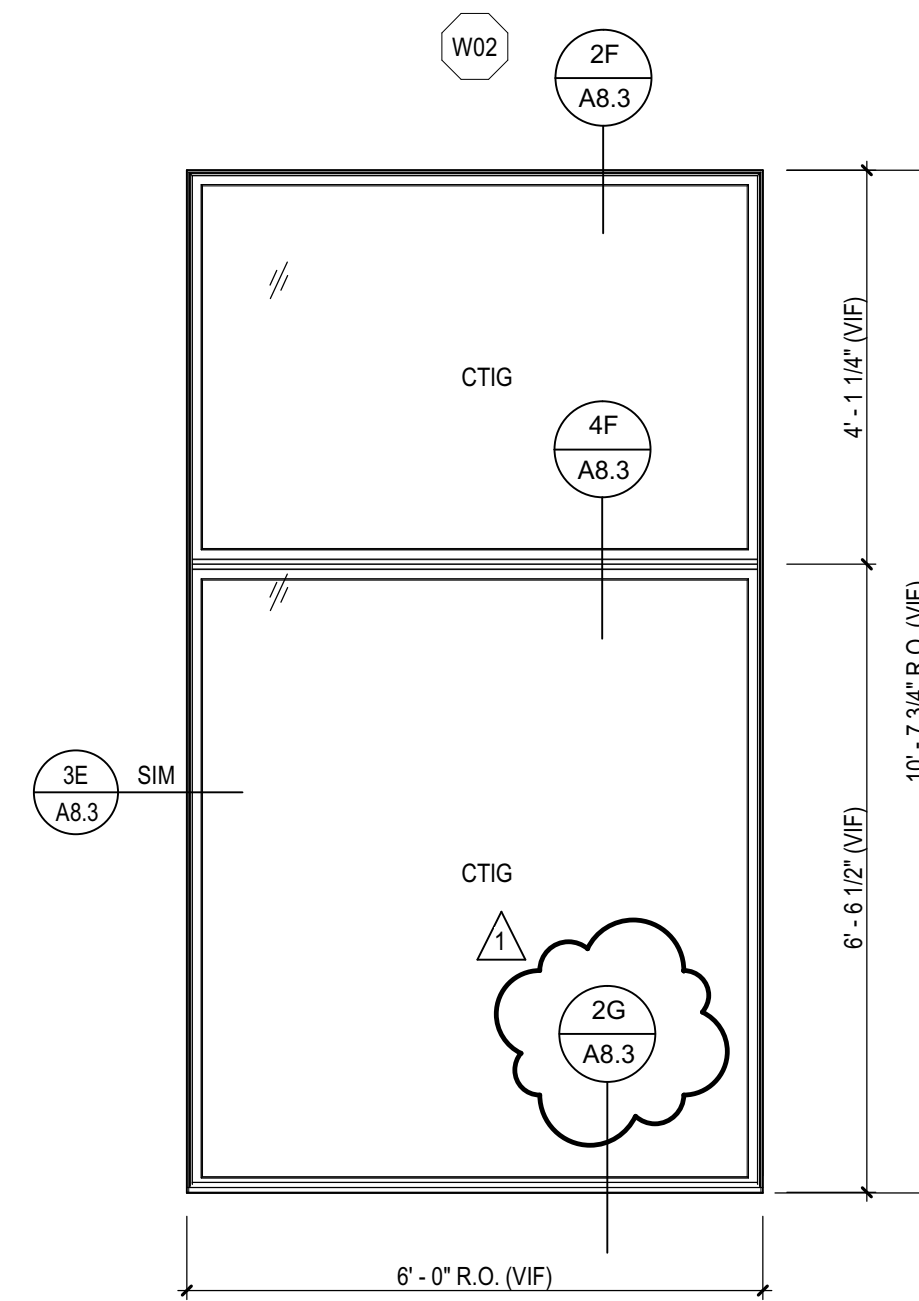
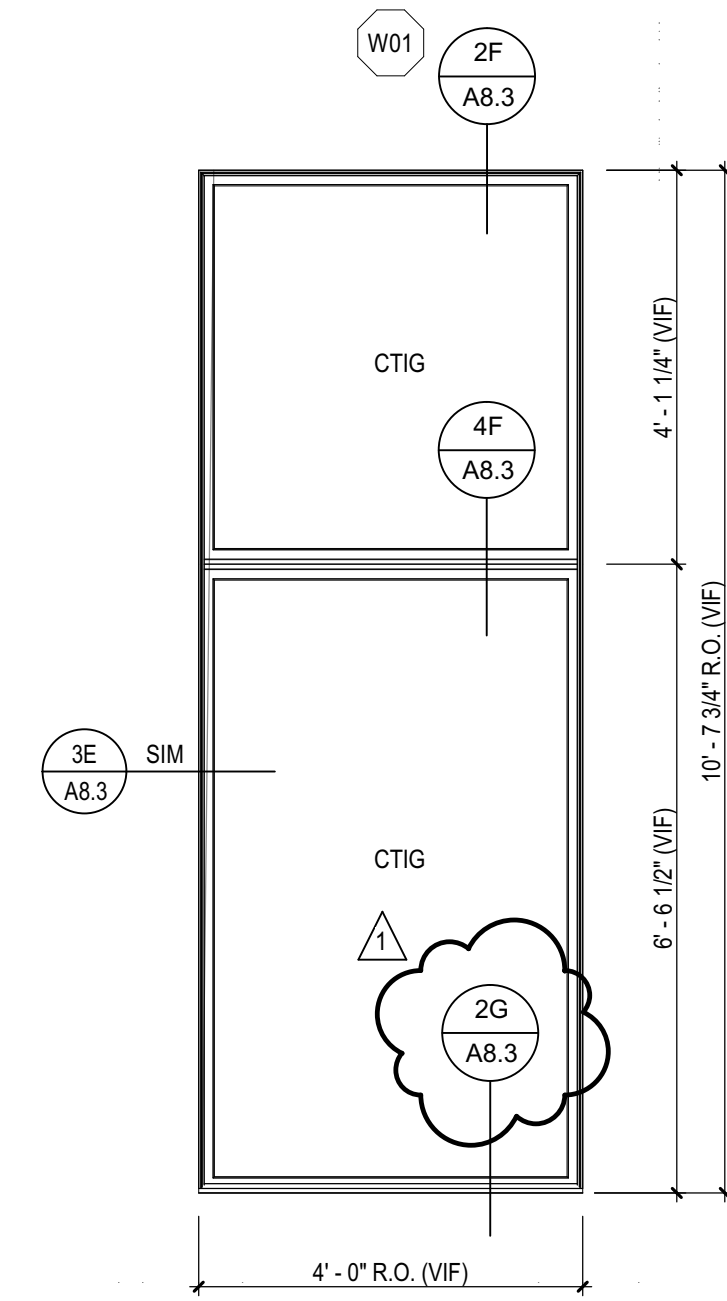
- GENERAL NOTES
- ALL EXTERIOR HOLLOW METAL FRAMES SHALL BE FILLED WITH INSULATION.
 - ALL HOLLOW METAL FRAMES SET IN METAL STUD WALLS SHALL BE FILLED WITH MINERAL WOOL BLANKET INSULATION.
 - ALL EXTERIOR FRAMES SHALL BE INSTALLED WITH 1/4" SHIM AND SEALANT AROUND PERIMETER OF FRAME.
 - GLASS TYPES FOR DOORS ARE INDICATED IN THE DOOR GLAZING COLUMN OF THE DOOR AND FRAME SCHEDULE. GLASS TYPES FOR FRAMES ARE INDICATED ON THE FRAME ELEVATIONS.
 - FOR COILING DOORS, GRILLES AND SECTIONAL DOORS, WIDTH AND HEIGHT DIMENSIONS SHOWN IN DOOR AND FRAME SCHEDULE REPRESENT FINISHED OPENING SIZE. CONTRACTOR TO COORDINATE EXACT SIZE OF DOOR WITH MANUFACTURER.
 - FRAME MANUFACTURER SHALL COORDINATE LOCATIONS OF ALL CONCEALED CONDUIT AND LINES REQUIRED FOR SECURITY SYSTEM HARDWARE PRIOR TO MANUFACTURING OF HOLLOW METAL FRAMES AND COORDINATE WITH SECURITY HARDWARE AND DEVICES.
 - PROVIDE HEAD RECEIVERS AT ALUMINUM STOREFRONTS AND CURTAIN WALLS AS REQUIRED FOR STRUCTURAL DEFLECTION ALLOWANCE.
 - SEE SPECIFICATIONS HARDWARE SECTION FOR HARDWARE SETS NOTED IN DOOR AND FRAME SCHEDULE.
 - FIELD VERIFY OPENING SIZES FOR ALL DOORS & WINDOWS PRIOR TO PRODUCTION OF SHOP DRAWINGS.

GLAZING TYPE DESCRIPTIONS

- CG CLEAR FLOAT GLASS
 CTG CLEAR INSULATING GLASS
 CTG CLEAR TEMPERED FLOAT GLASS
 CTIG CLEAR TEMPERED INSULATING GLASS
 TTG TINTED TEMPERED FLOAT GLASS

WINDOW TYPES

SCALE: 1/4" = 1'-0"

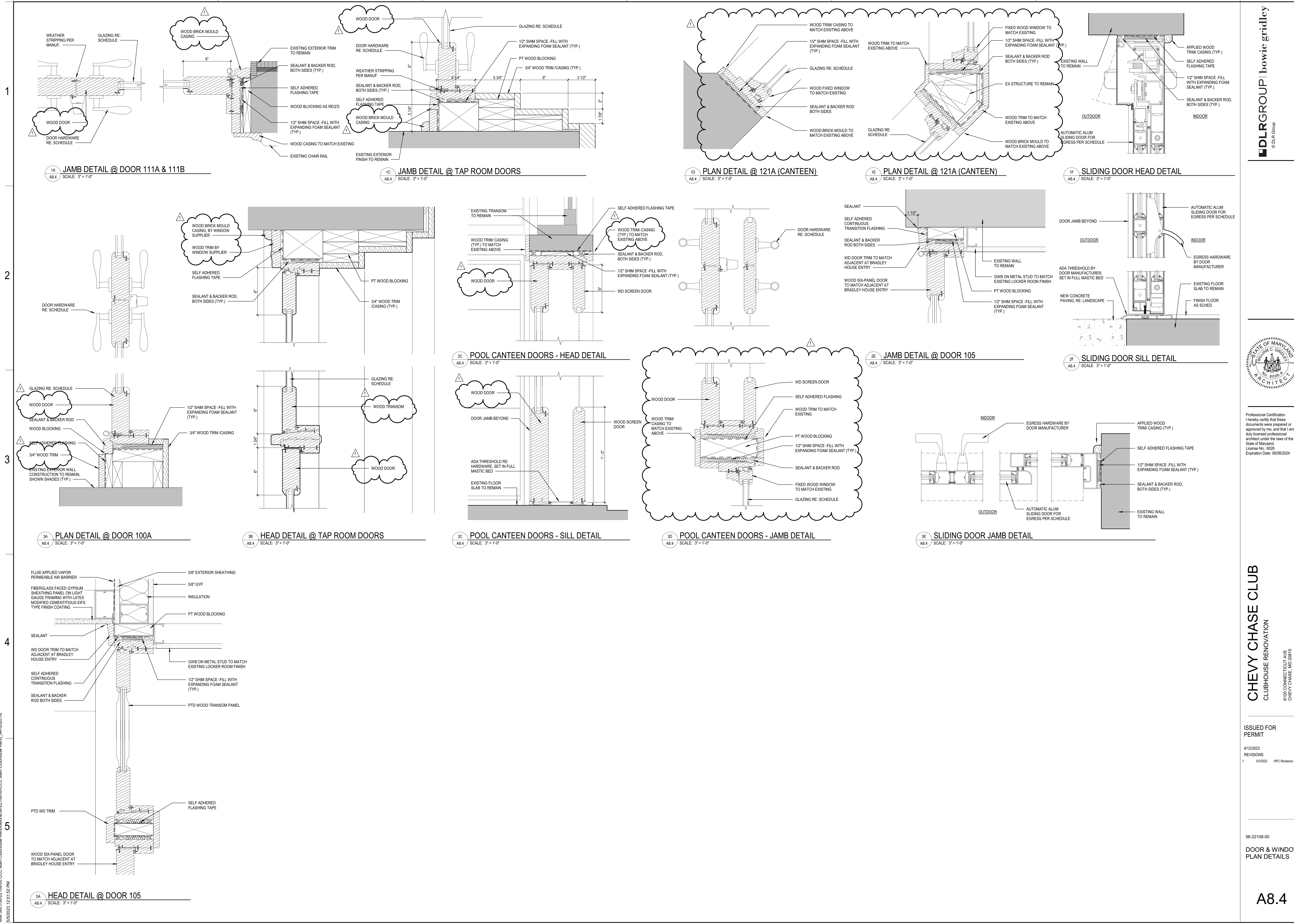


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1 5/3/2023 HPC Revisions

56-22108-00
WINDOW SCHEDULE & DETAILS

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4

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1A JAMB DETAIL @ DOOR 111A & 111B
A8.4 SCALE: 3" = 1'-0"

1C JAMB DETAIL @ TAP ROOM DOORS
A8.4 SCALE: 3" = 1'-0"

1D PLAN DETAIL @ 121A (CANTEEN)
A8.4 SCALE: 3" = 1'-0"

1E PLAN DETAIL @ 121A (CANTEEN)
A8.4 SCALE: 3" = 1'-0"

1F SLIDING DOOR HEAD DETAIL
A8.4 SCALE: 3" = 1'-0"

2C POOL CANTEEN DOORS - HEAD DETAIL
A8.4 SCALE: 3" = 1'-0"

2E JAMB DETAIL @ DOOR 105
A8.4 SCALE: 3" = 1'-0"

2F SLIDING DOOR SILL DETAIL
A8.4 SCALE: 3" = 1'-0"

3A PLAN DETAIL @ DOOR 100A
A8.4 SCALE: 3" = 1'-0"

3B HEAD DETAIL @ TAP ROOM DOORS
A8.4 SCALE: 3" = 1'-0"

3C POOL CANTEEN DOORS - SILL DETAIL
A8.4 SCALE: 3" = 1'-0"

3D POOL CANTEEN DOORS - JAMB DETAIL
A8.4 SCALE: 3" = 1'-0"

3E SLIDING DOOR JAMB DETAIL
A8.4 SCALE: 3" = 1'-0"

5A HEAD DETAIL @ DOOR 105
A8.4 SCALE: 3" = 1'-0"



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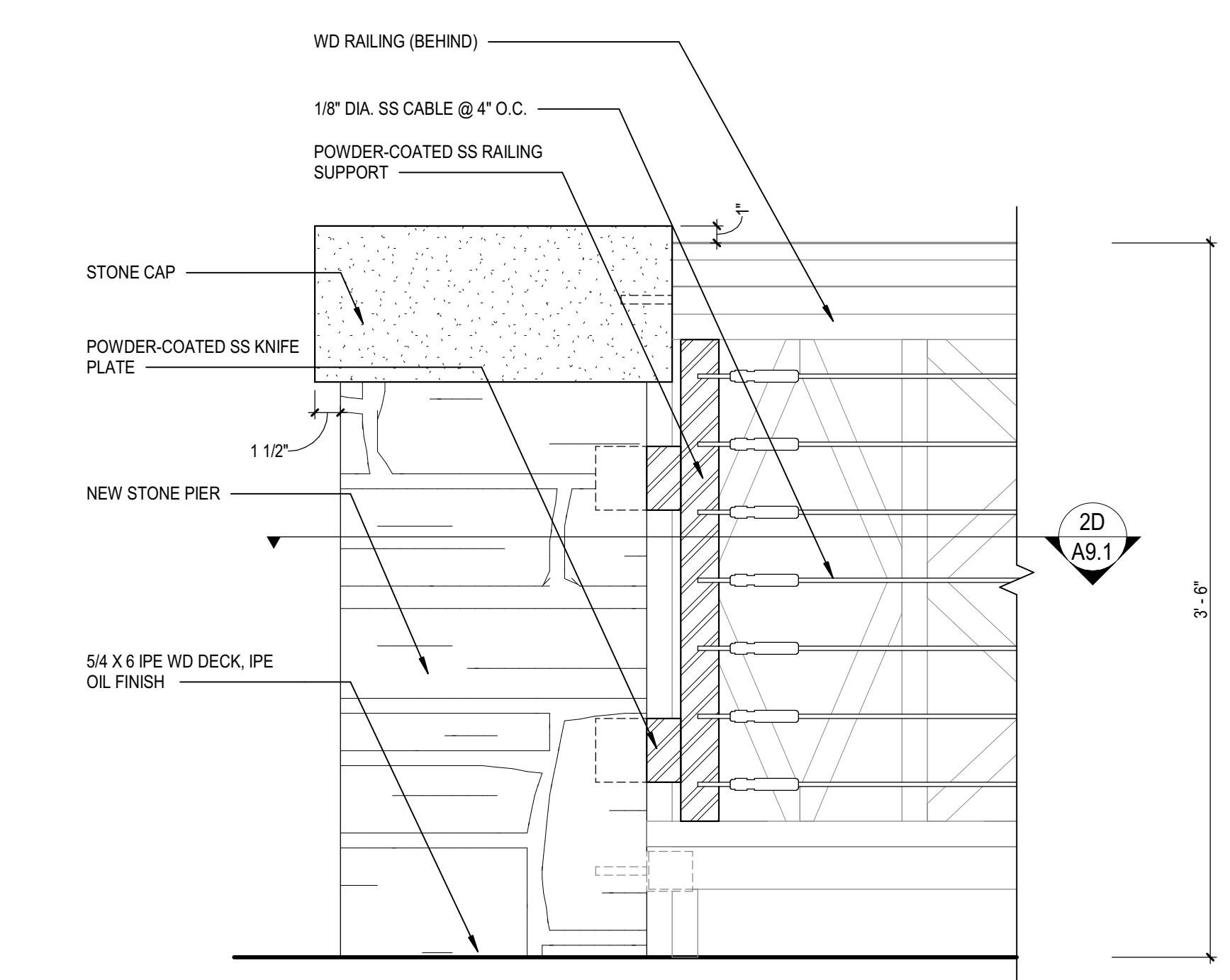
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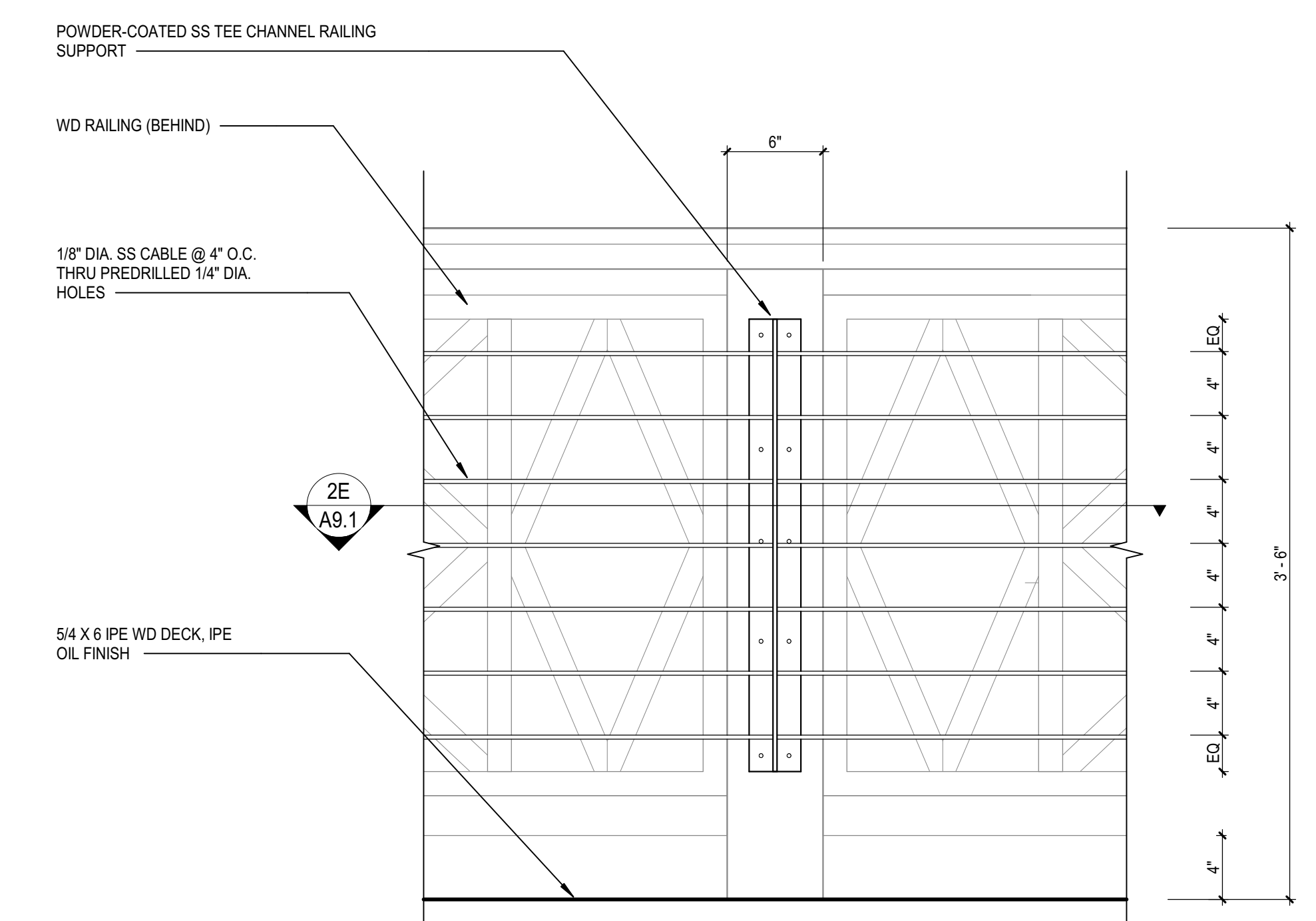


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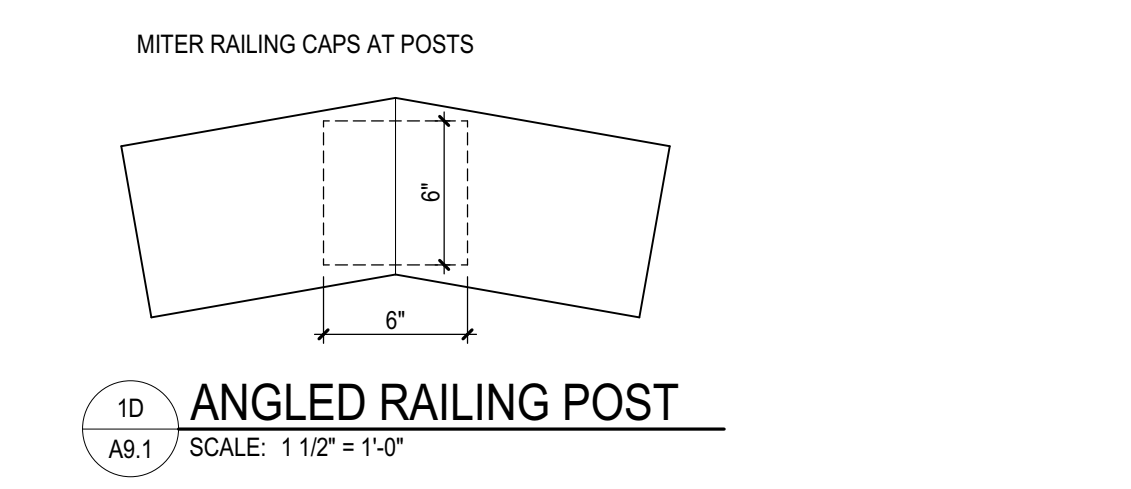
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4/12/2023
REVISIONS
1 5/3/2023 HPC Revisions



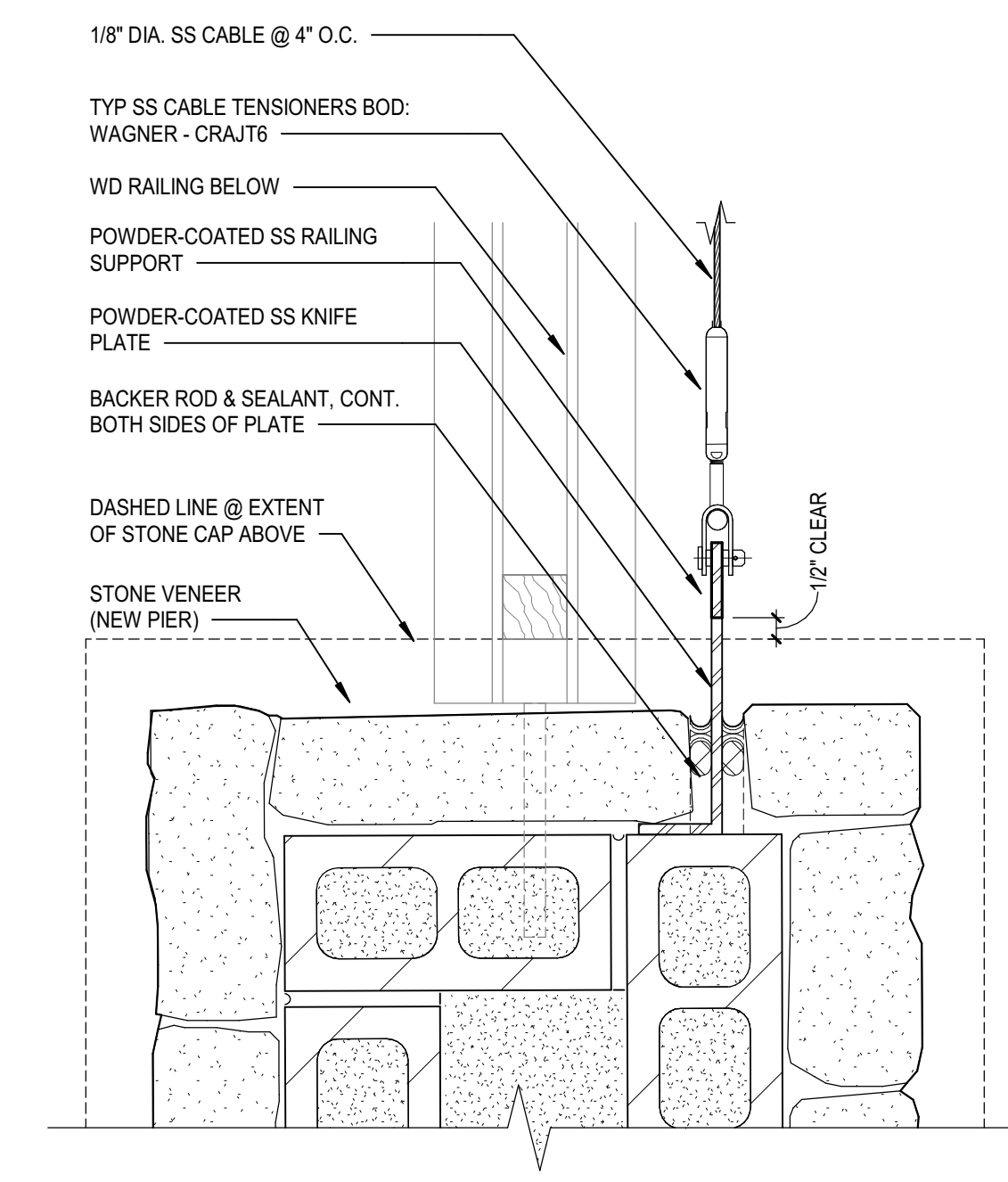
2A NEW RAILING @ STONE PIER ELEVATION
A9.1 SCALE: 1 1/2" = 1'-0"



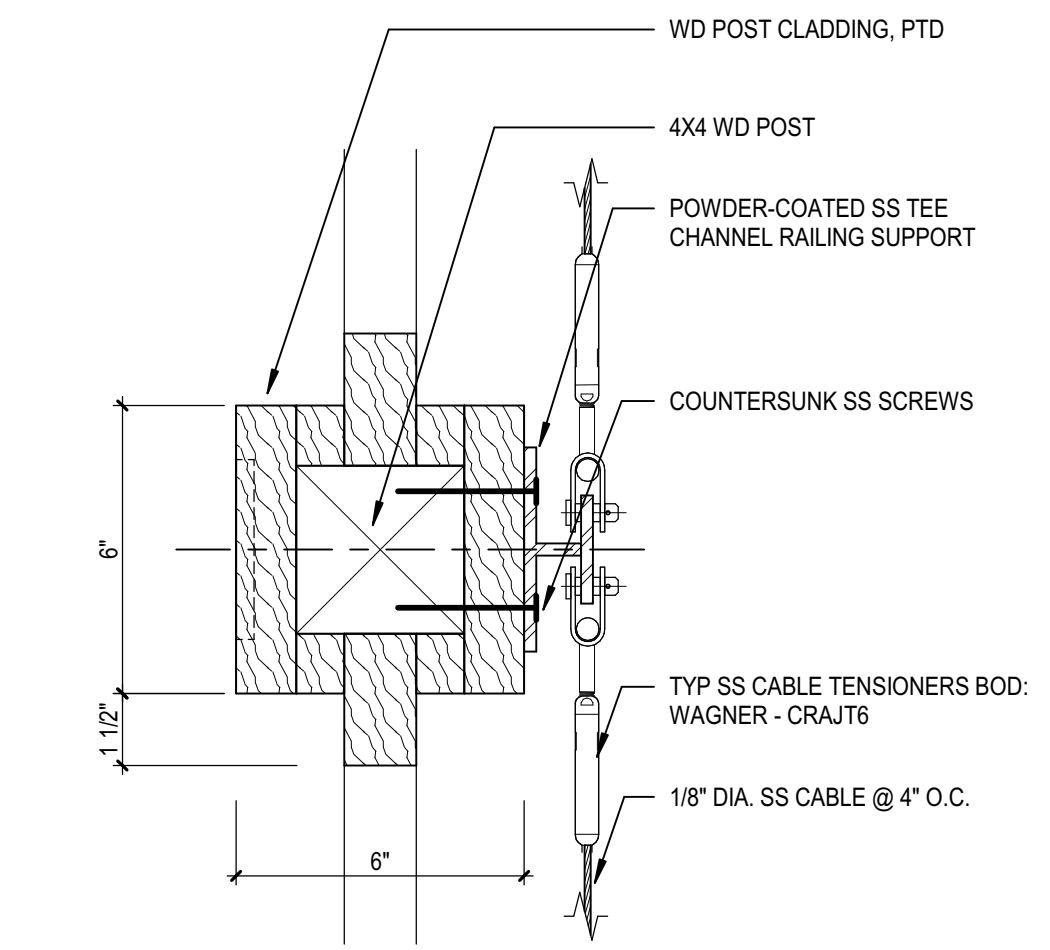
2C TERRACE ELEVATION - RAILING @ STL CABLE SUPPORT
A9.1 SCALE: 1 1/2" = 1'-0"



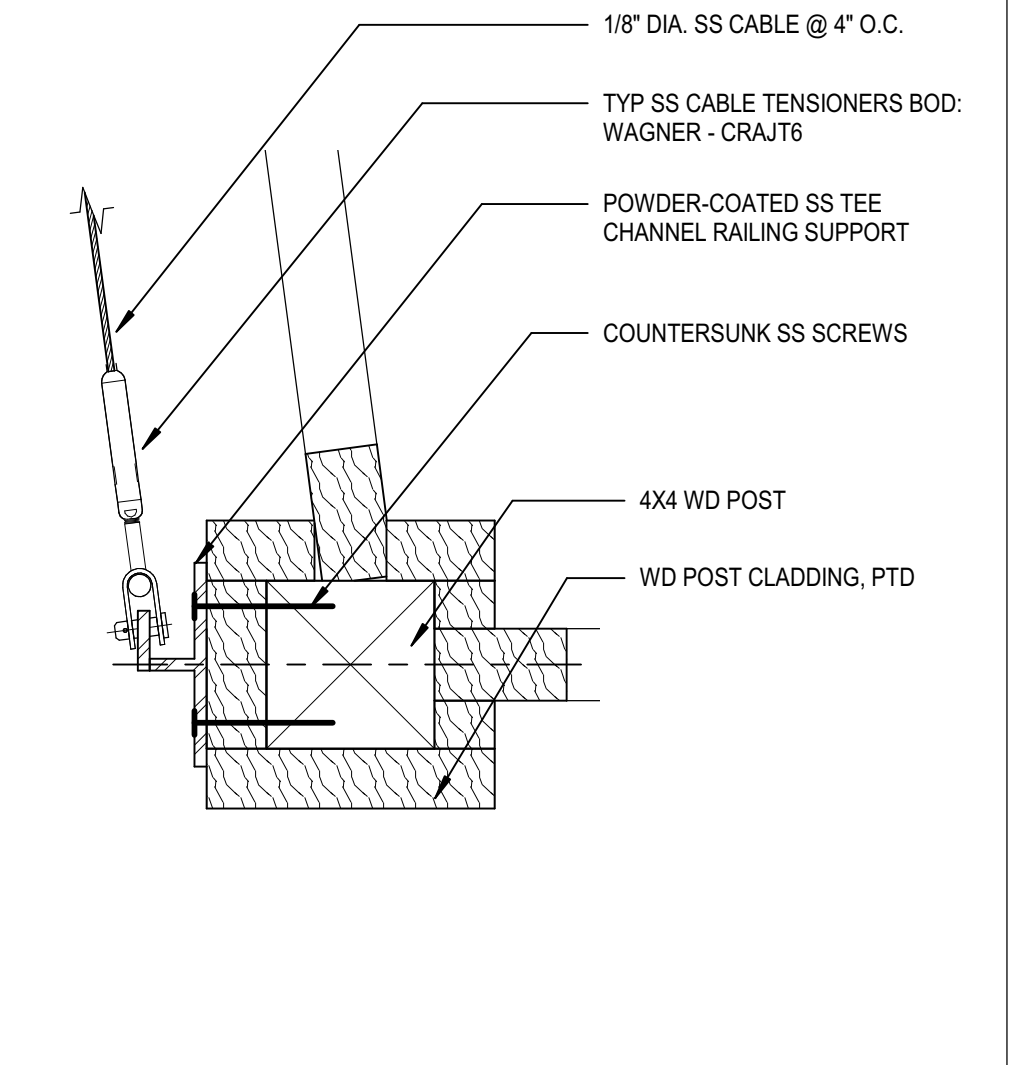
1D ANGLED RAILING POST
A9.1 SCALE: 1 1/2" = 1'-0"



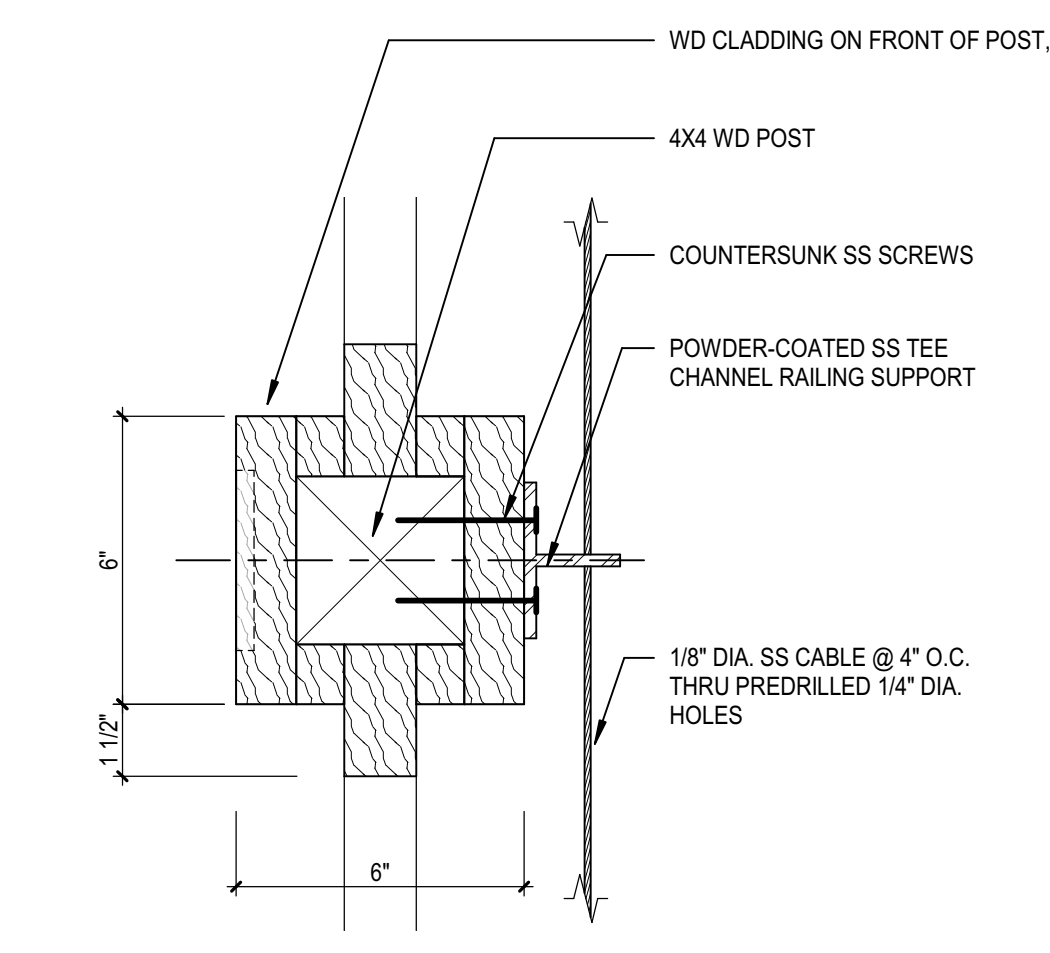
2D TYP RAILING POST @ PIER
A9.1 SCALE: 3" = 1'-0"



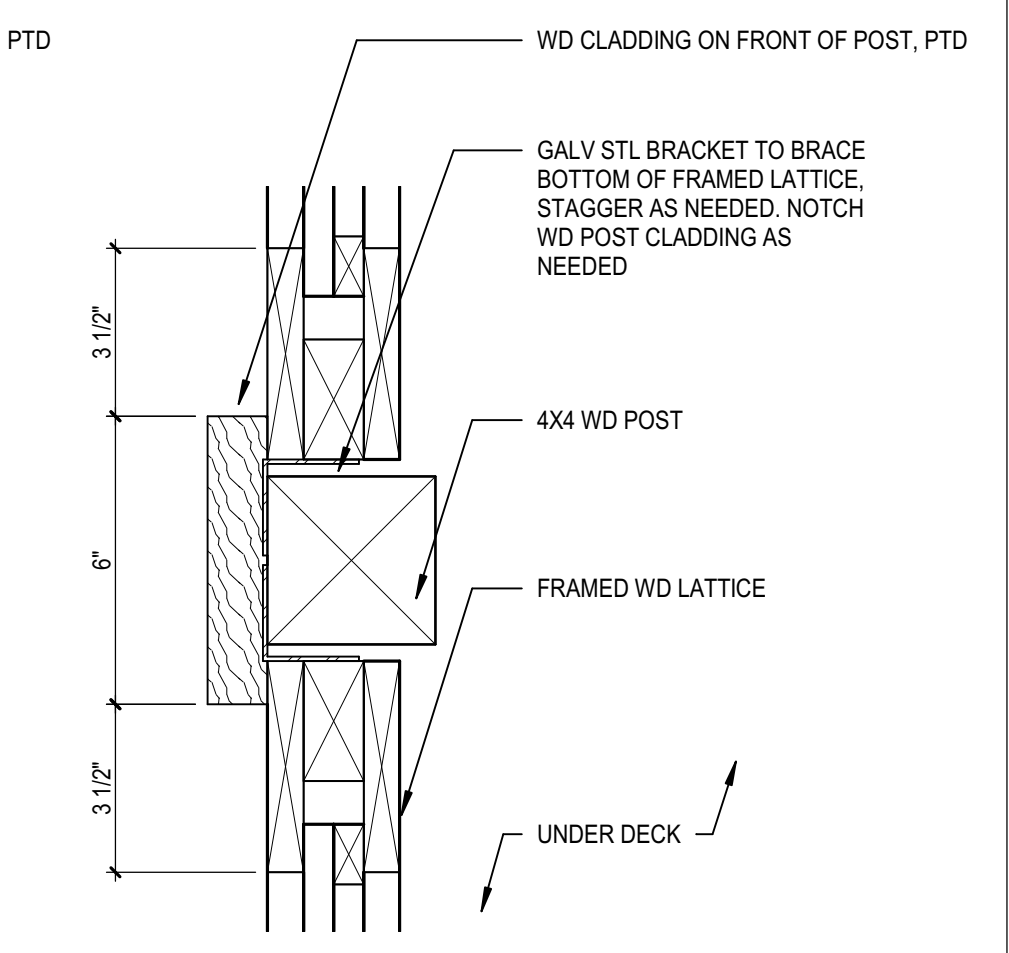
1E TYP RAILING POST @ TENSIONER
A9.1 SCALE: 3" = 1'-0"



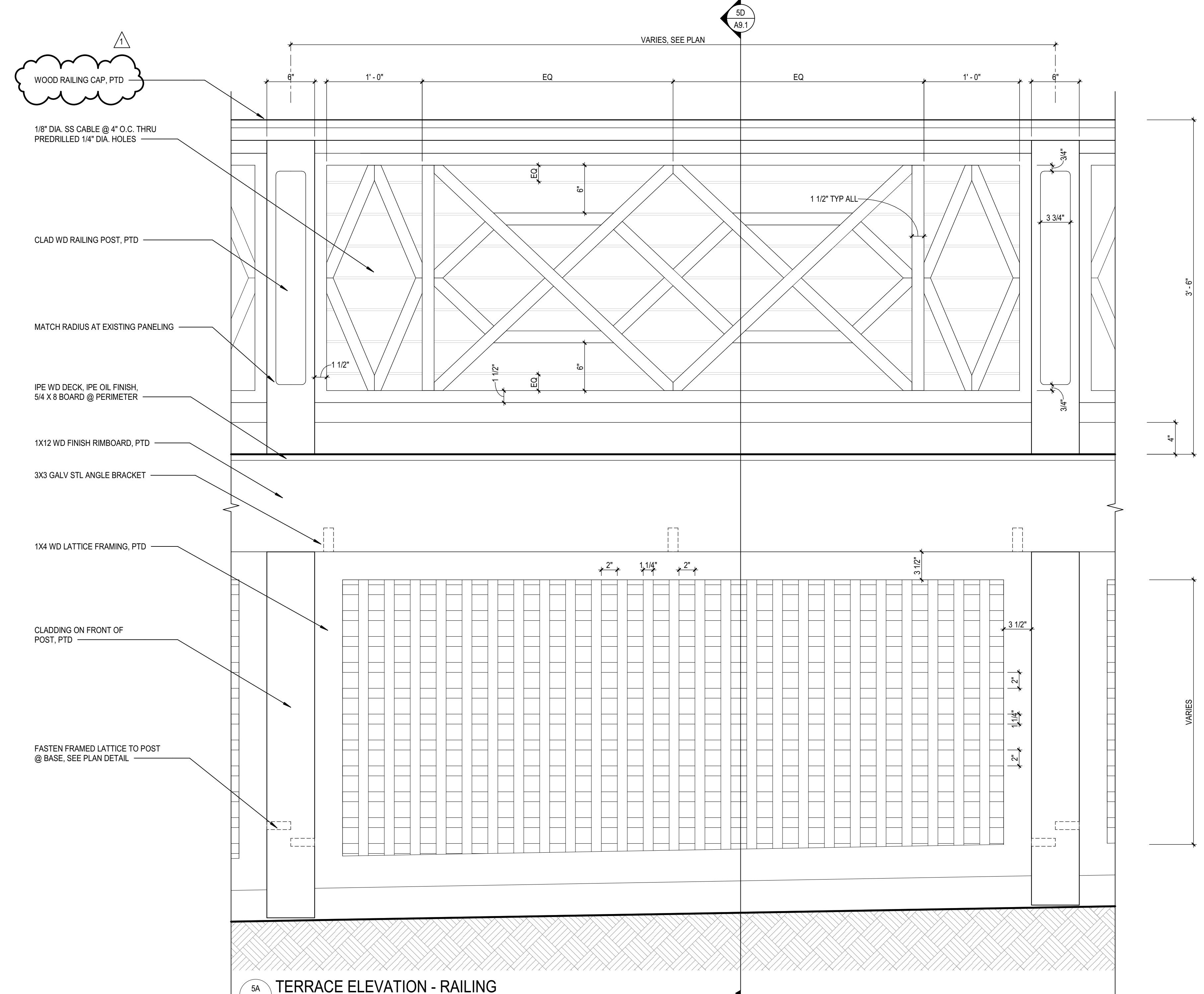
1F TYP RAILING POST @ END TENSIONER
A9.1 SCALE: 3" = 1'-0"



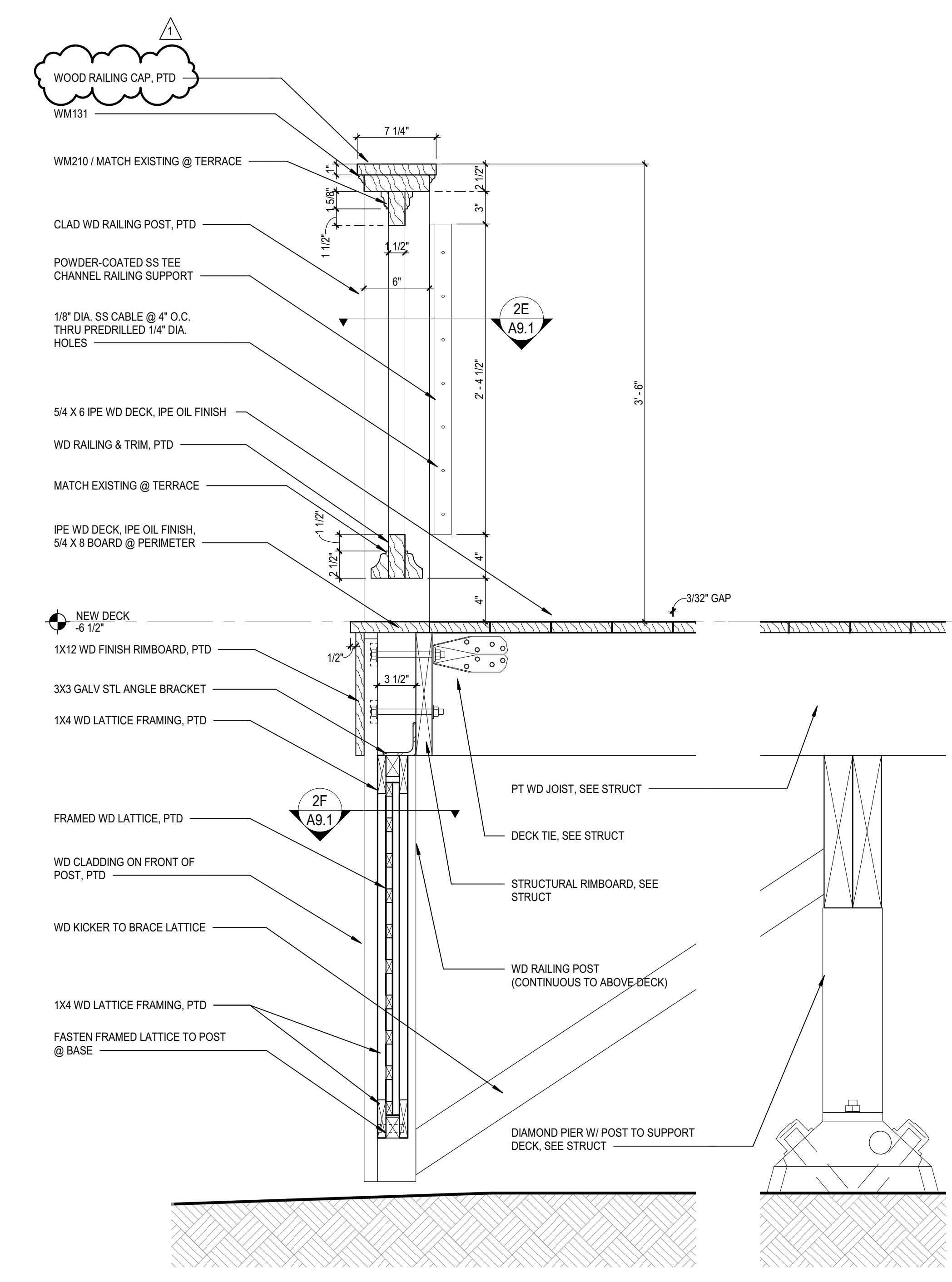
2E TYP RAILING POST
A9.1 SCALE: 3" = 1'-0"



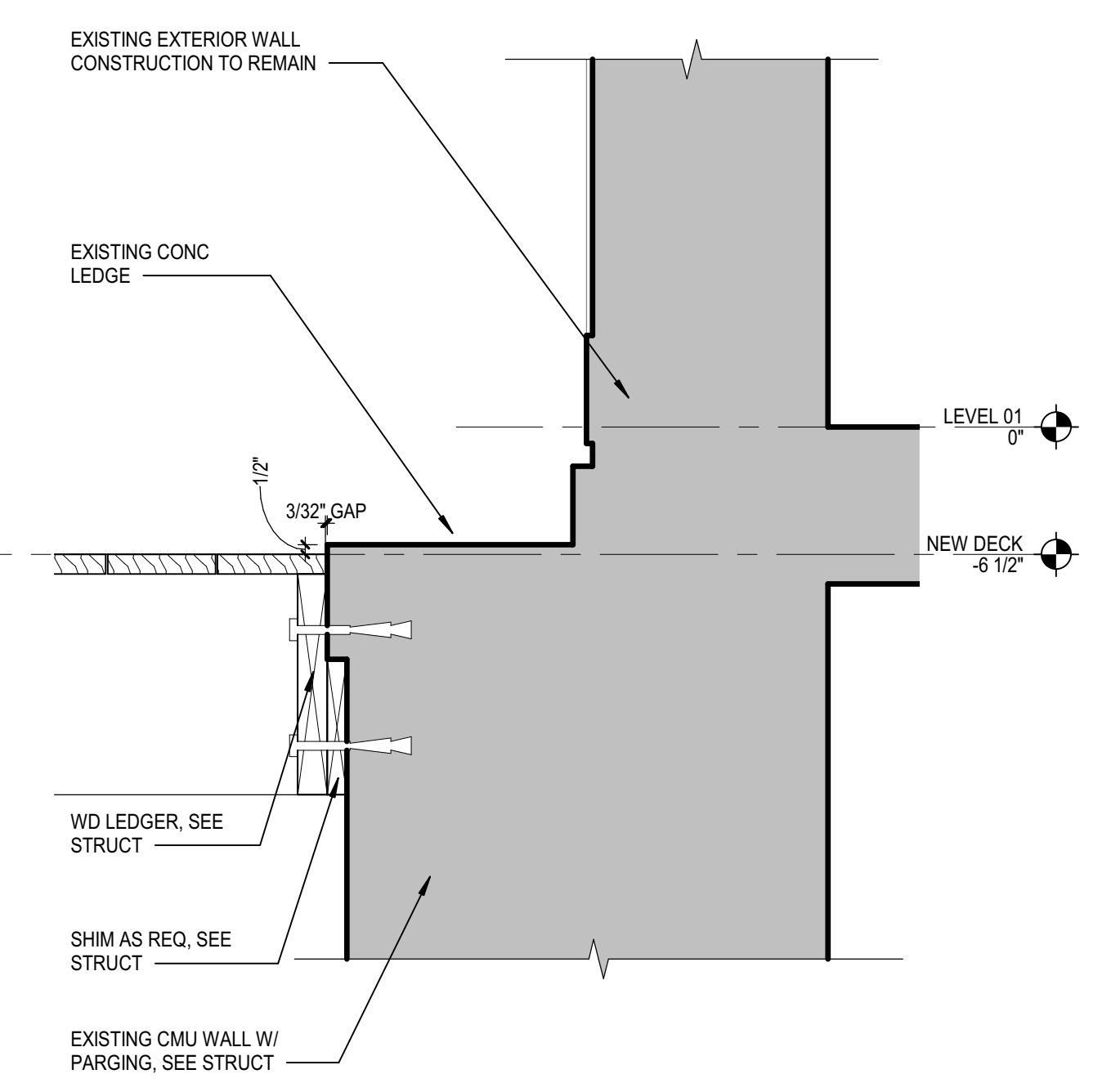
2F TYP RAILING POST BELOW DECK
A9.1 SCALE: 3" = 1'-0"



5A TERRACE ELEVATION - RAILING
A9.1 SCALE: 1 1/2" = 1'-0"



5D TERRACE RAILING & EDGE OF DECK SECTION
A9.1 SCALE: 1 1/2" = 1'-0"



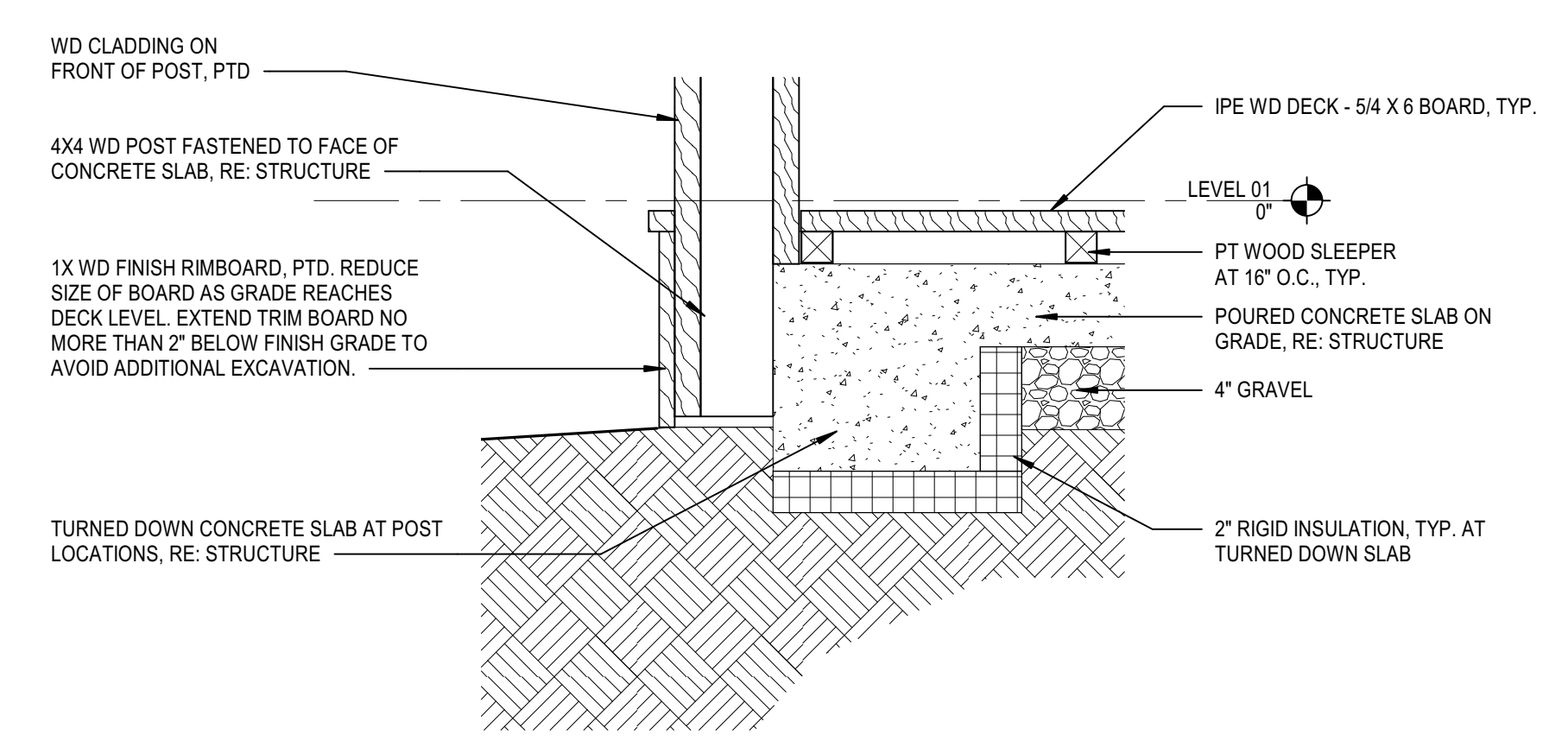
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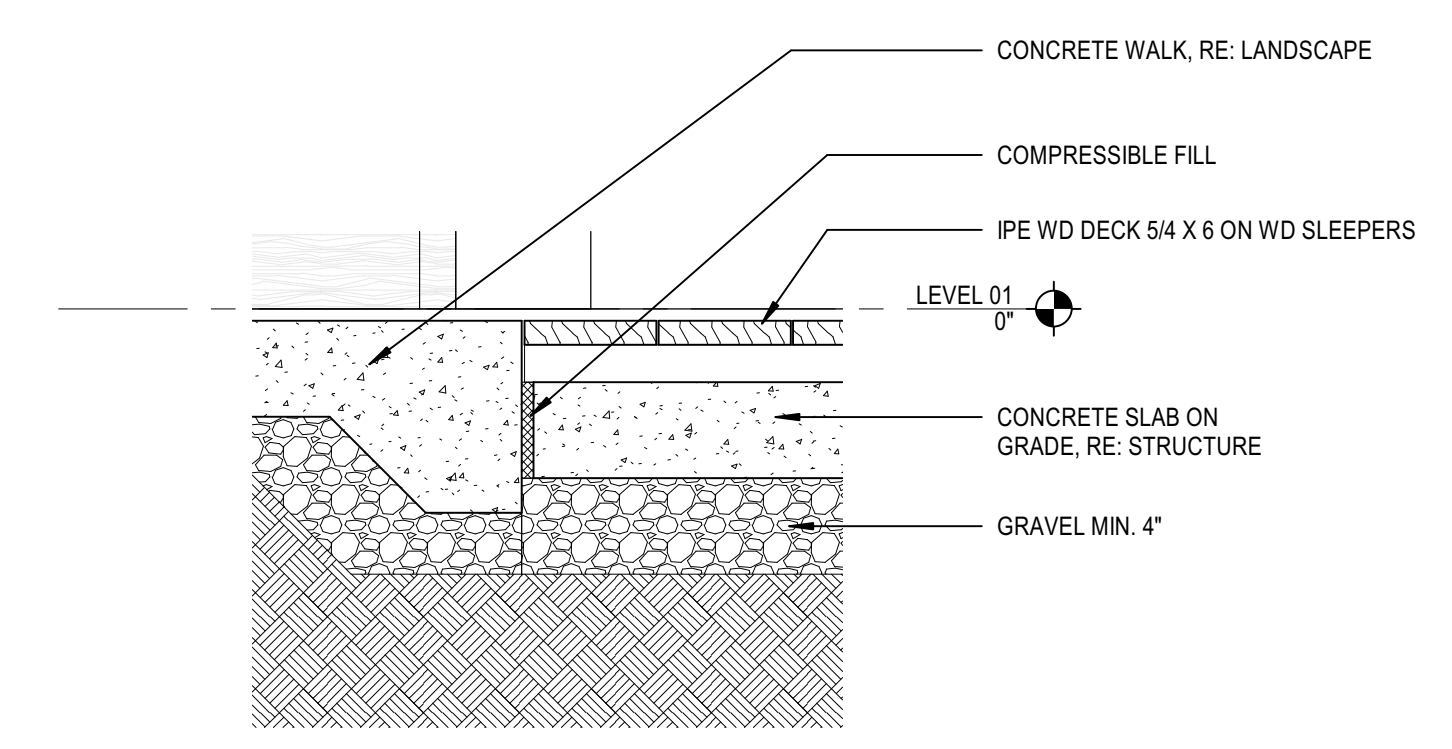
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.
License No.: 6036
Expiration Date: 06/08/2024

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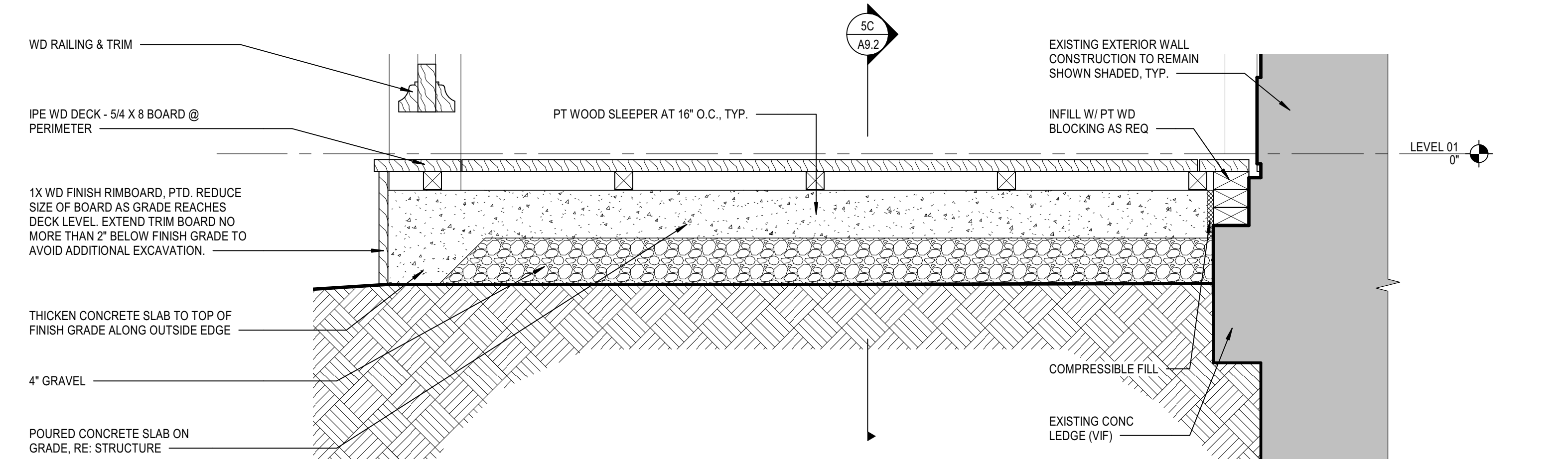
56-22108-00
EXTERIOR DETAILS



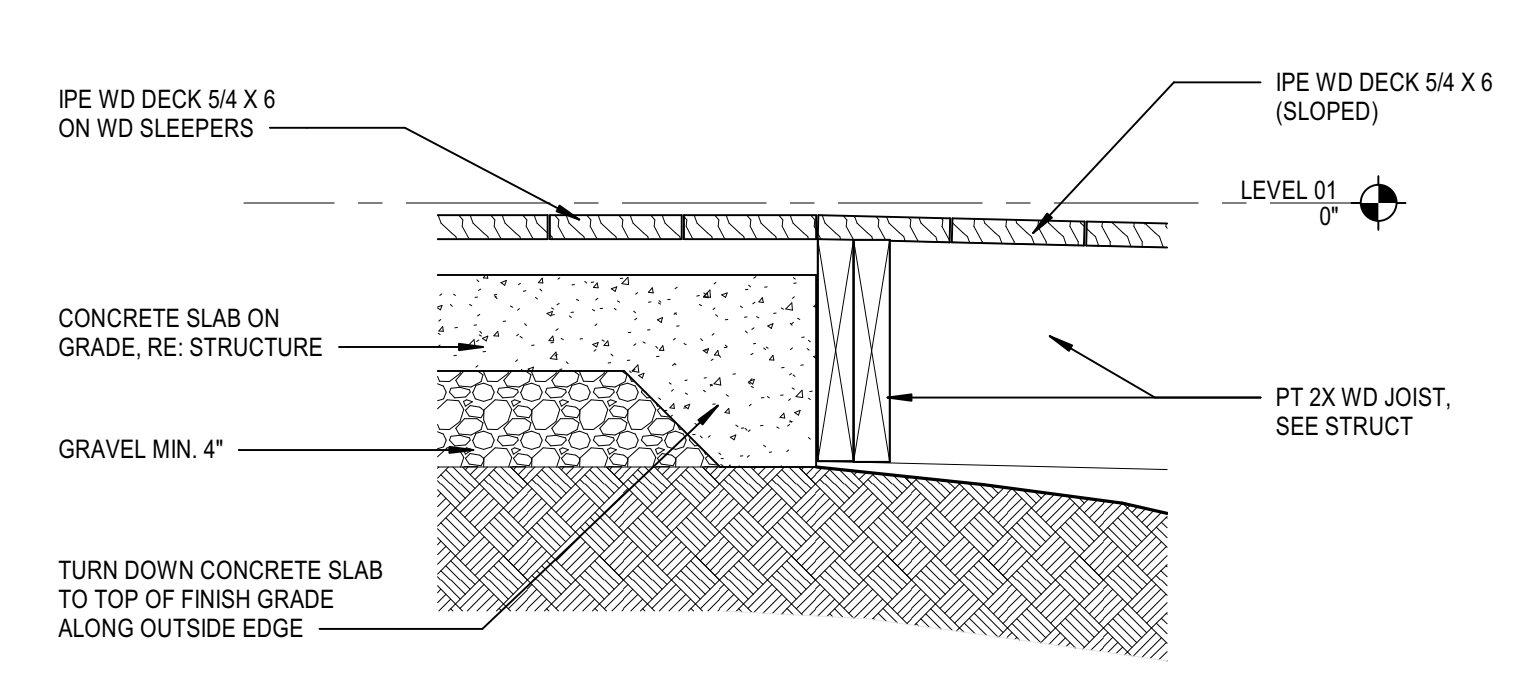
1D SECTION DETAIL @ POST CONNECTION
SCALE: 1 1/2" = 1'-0"



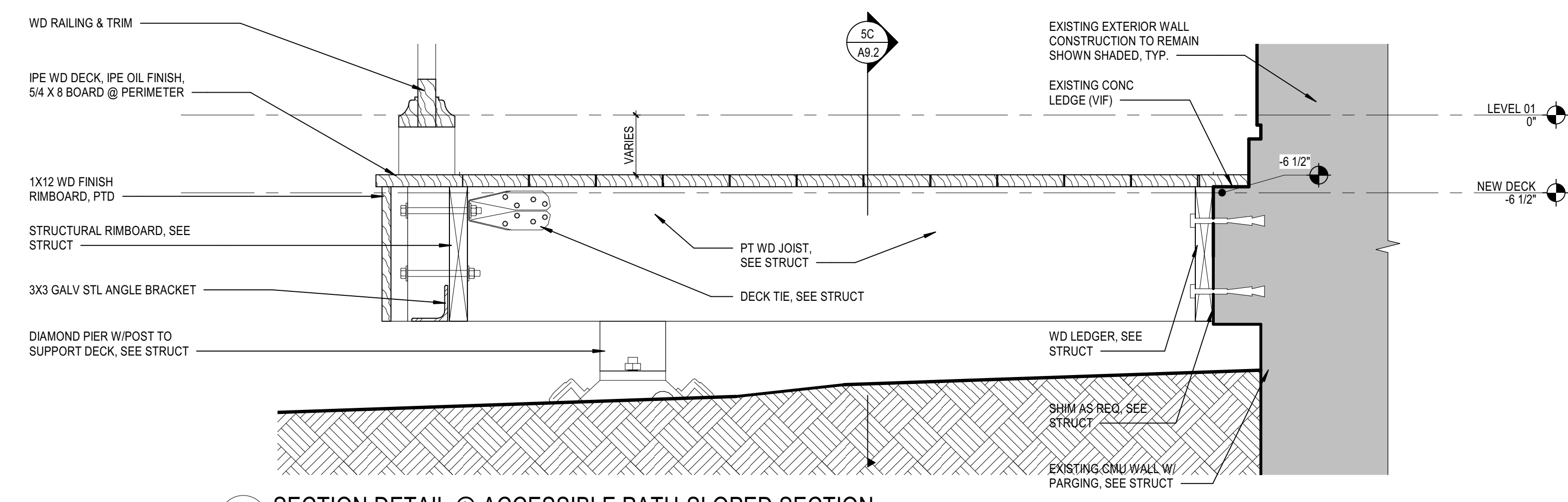
2C SECTION DETAIL @ NEW SIDEWALK
SCALE: 1 1/2" = 1'-0"



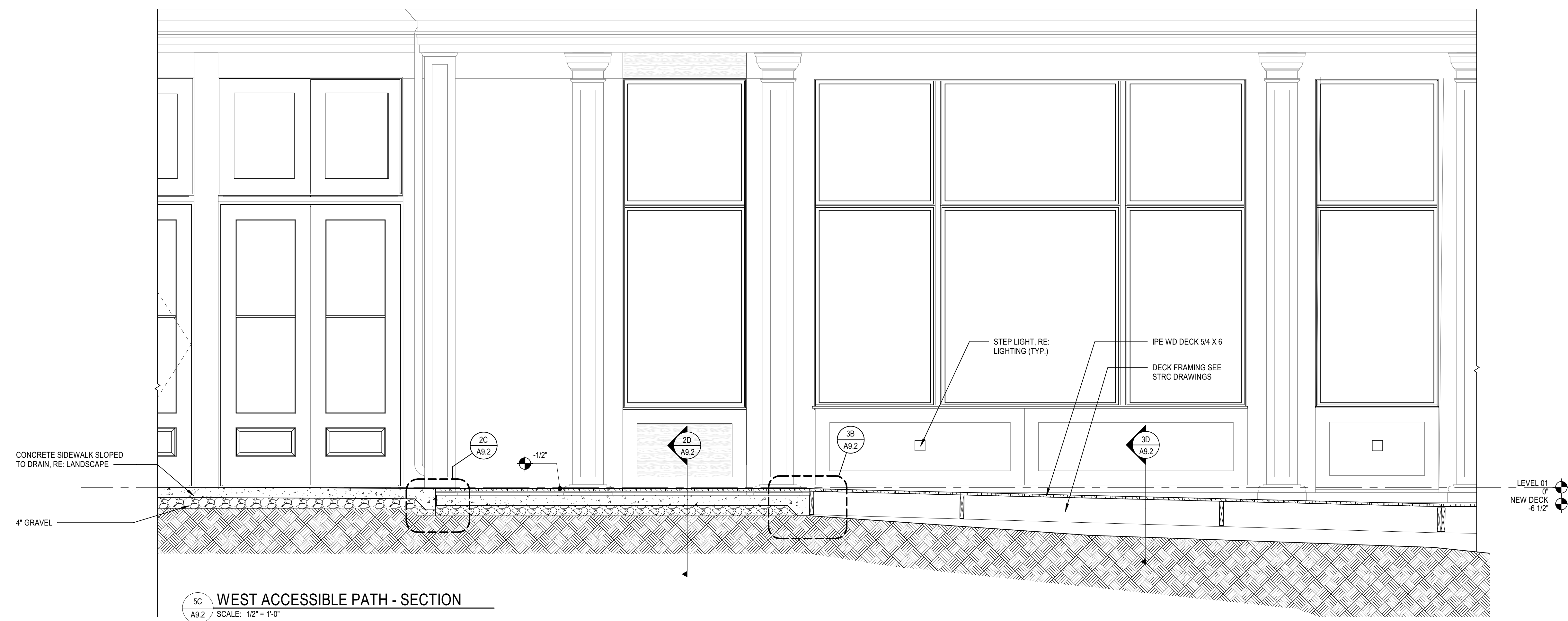
2D SECTION DETAIL @ ACCESSIBLE PATH-SLAB ON GRADE
SCALE: 1 1/2" = 1'-0"



3B SECTION DETAIL @ SIDEWALK / DECK
SCALE: 1 1/2" = 1'-0"



3D SECTION DETAIL @ ACCESSIBLE PATH-SLOPED SECTION
SCALE: 1 1/2" = 1'-0"

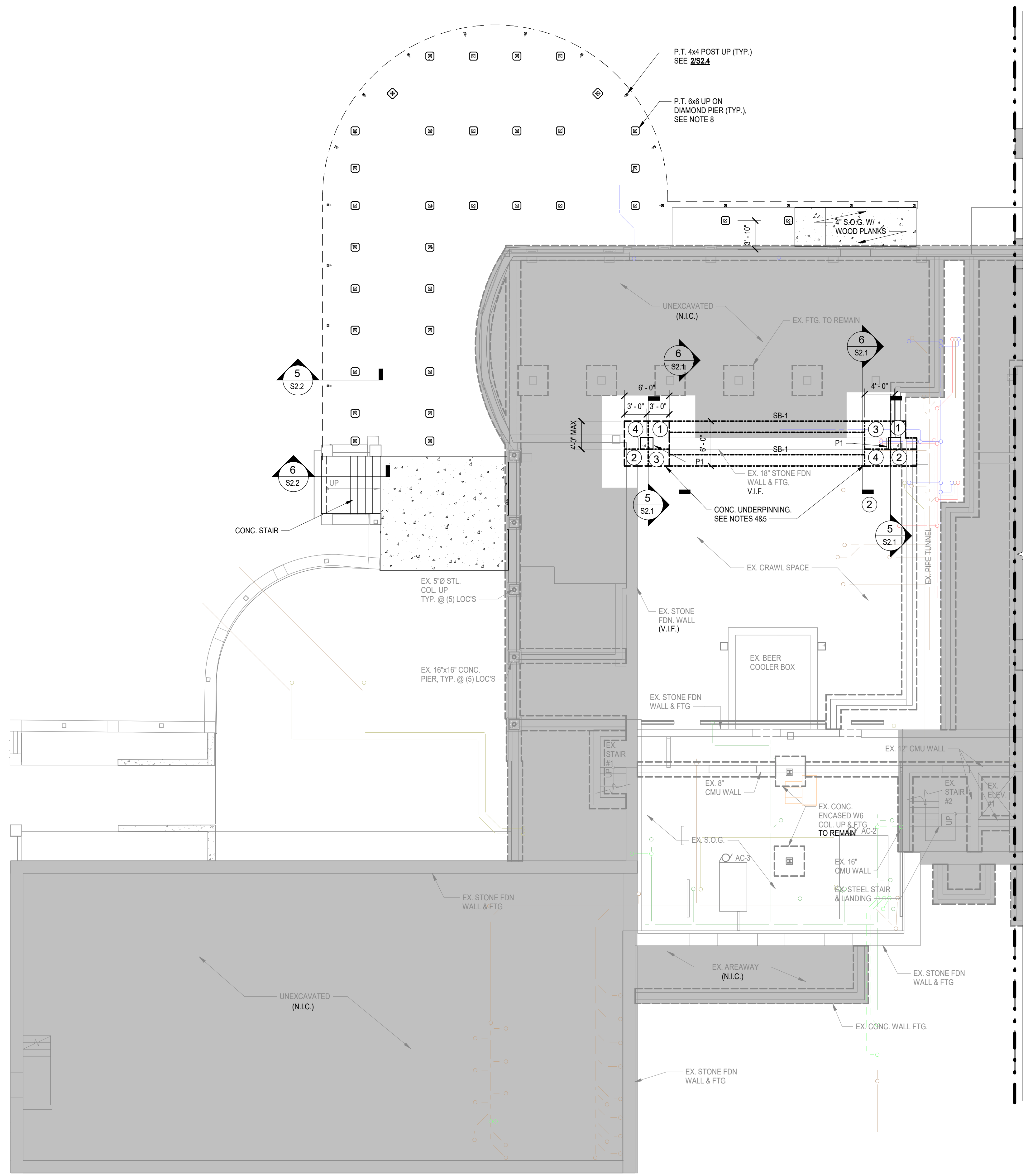


3C WEST ACCESSIBLE PATH - SECTION
SCALE: 1/2" = 1'-0"

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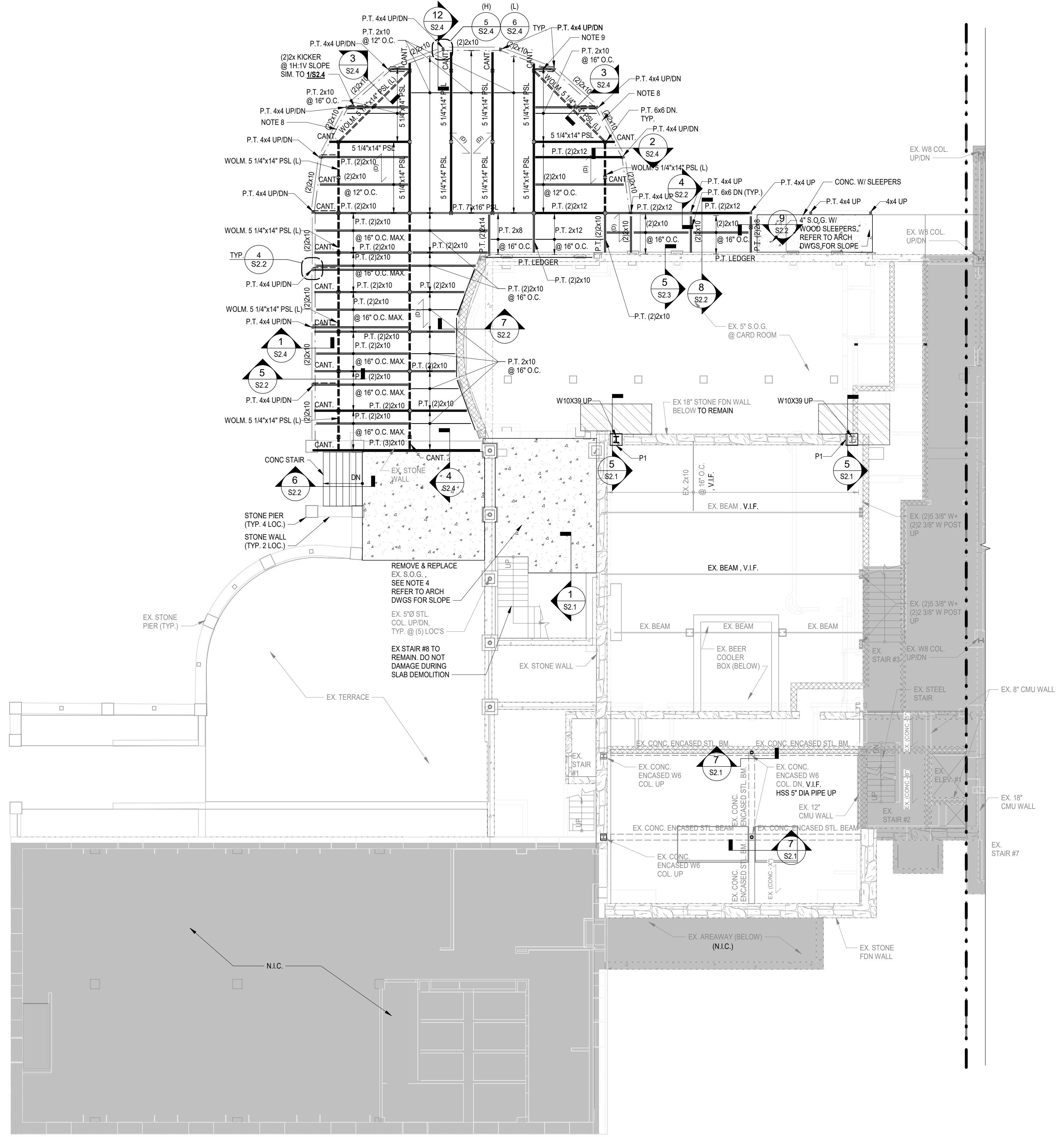
A B C D E F



1 BASEMENT / FOUNDATION PLAN SOUTH
S1.0A SCALE: 1/8" = 1'-0"

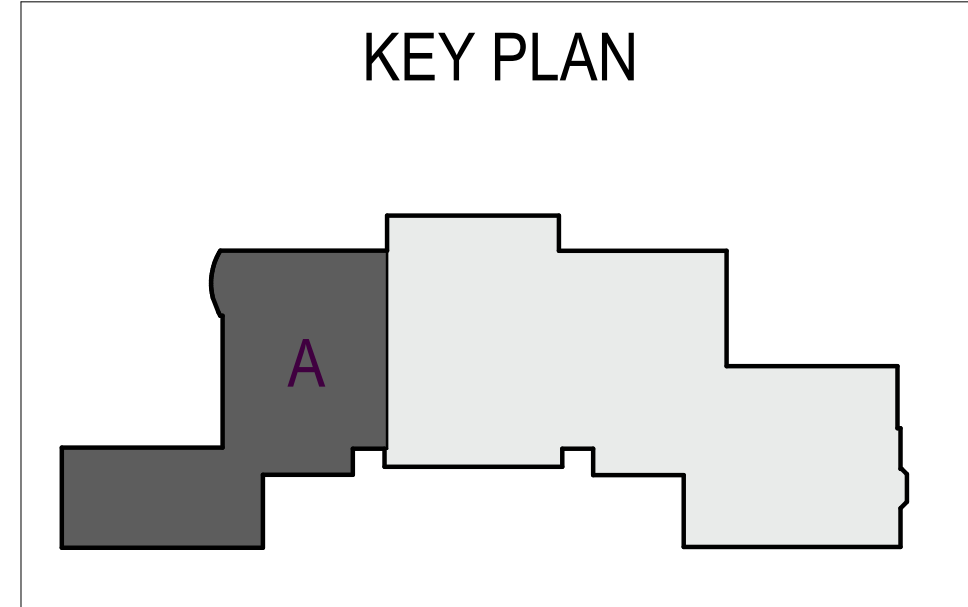
- FOUNDATION NOTES:**
1. ASSUMED ALLOWABLE SOIL BEARING PRESSURE = 4,000 PSF.
 2. P1 DESIGNATES 20"x20" CONCRETE PILASTER
 3. EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
 4. EXISTING WALL TO BE UNDERPINNED. UNDERPINNING OF EXISTING WALLS SHALL BE DONE SEQUENTIALLY WITH EXTREME CARE TO AVOID DAMAGING ANY EXISTING CONSTRUCTION OR DISTRIBUTING ANY EXISTING UTILITIES. (CIRCLED NUMBERS) DENOTE TYPICAL INSTALLATION SEQUENCE. UNDERPINNING SHALL BE A DELEGATED DESIGN PREPARED BY CONTRACTOR'S UNDERPINNING ENGINEER. UNDERPINNING SHOWN ON THE STRUCTURAL DRAWINGS IS CONCEPTUAL. FINAL UNDERPINNING DESIGN SHALL BE DETERMINED BY THE CONTRACTOR'S UNDERPINNING ENGINEER. REFERENCE DESIGN NOTES FOR MORE INFORMATION.
 5. PROVIDE TEMPORARY SHORING OF EXISTING STRUCTURE AS NEEDED FOR NEW CONSTRUCTION AS DESIGNATED ON PLAN.
 6. NON-LOAD BEARING WALLS ARE SHOWN ONLY FOR CLARITY OF NEW STRUCTURAL ELEMENTS. REFER TO ARCHITECTURAL DRAWINGS FOR WALL TYPE, THICKNESS, AND LOCATIONS.
 7. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
 8. DIAMOND PIERS ARE TO BE DESIGNED BY A SPECIALTY ENGINEER AND SHALL PROVIDE A MINIMUM WORKING COMPRESSIVE CAPACITY OF 8 KIPS USING A MINIMUM 2.0 FACTOR OF SAFETY AND A MINIMUM WORKING UPLIFT CAPACITY OF 1 KIPS USING A MINIMUM 1.5 FACTOR OF SAFETY. REFERENCE DESIGN NOTES FOR ADDITIONAL INFORMATION.
 9. SB-1 DESIGNATES 18"Wx24"D CONCRETE STRAP BEAM REINFORCED WITH (3)#8 T&B w/ #4 TIES @ 10" O.C. BEAM SHALL BE CONSTRUCTED CONCURRENTLY WITH CONCRETE UNDERPINNING AND SHALL BE COMPLETED PRIOR TO INSTALLATION OF THE WALL OPENING.

TREE PROTECTION TO BE PRIORITIZED. CONDUCT PRE-CONSTRUCTION MEETING BEFORE CONSTRUCTION BEGINS.



2 LEVEL 01 FLOOR FRAMING PLAN - SOUTH
S1.0A SCALE: 1/8" = 1'-0"

- FRAMED FLOOR NOTES:**
1. (H) DESIGNATES SPAN DIRECTION OF WOOD PORCH DECKING. REFER TO ARCHITECTURAL DRAWINGS.
 2. EX (CONC - S) DESIGNATES THE SPAN DIRECTION OF EXISTING CONCRETE FLOOR SLAB
 3. P1 DESIGNATES 20"x20" CONCRETE PILASTER
 4. EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
 5. SLAB ON GRADE SHALL BE NORMAL WEIGHT CONCRETE OVER 15-MIL VAPOR RETARDER ON 4" GRAVEL BASE. REINFORCED WITH 6x6-W2 1xW2.1 W.W.F. THICKNESS OF SLAB ON GRADE INFILL SHALL MATCH THE EXISTING.
 6. [Hatched Area] DESIGNATES THE EXTENT OF EXISTING CARD ROOM SLAB ON GRADE TO BE REMOVED AND REPLACED AS NEEDED FOR NEW CONSTRUCTION. SEE DETAIL 1S2.1
 7. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
 8. TERRACE DECKING ELEVATION DATUM OCCURS @ EL. 370.58'
 9. --- DESIGNATES TENSIONED CABLE GUARDRAIL, DESIGNED BY GUARDRAIL MANUFACTURER.



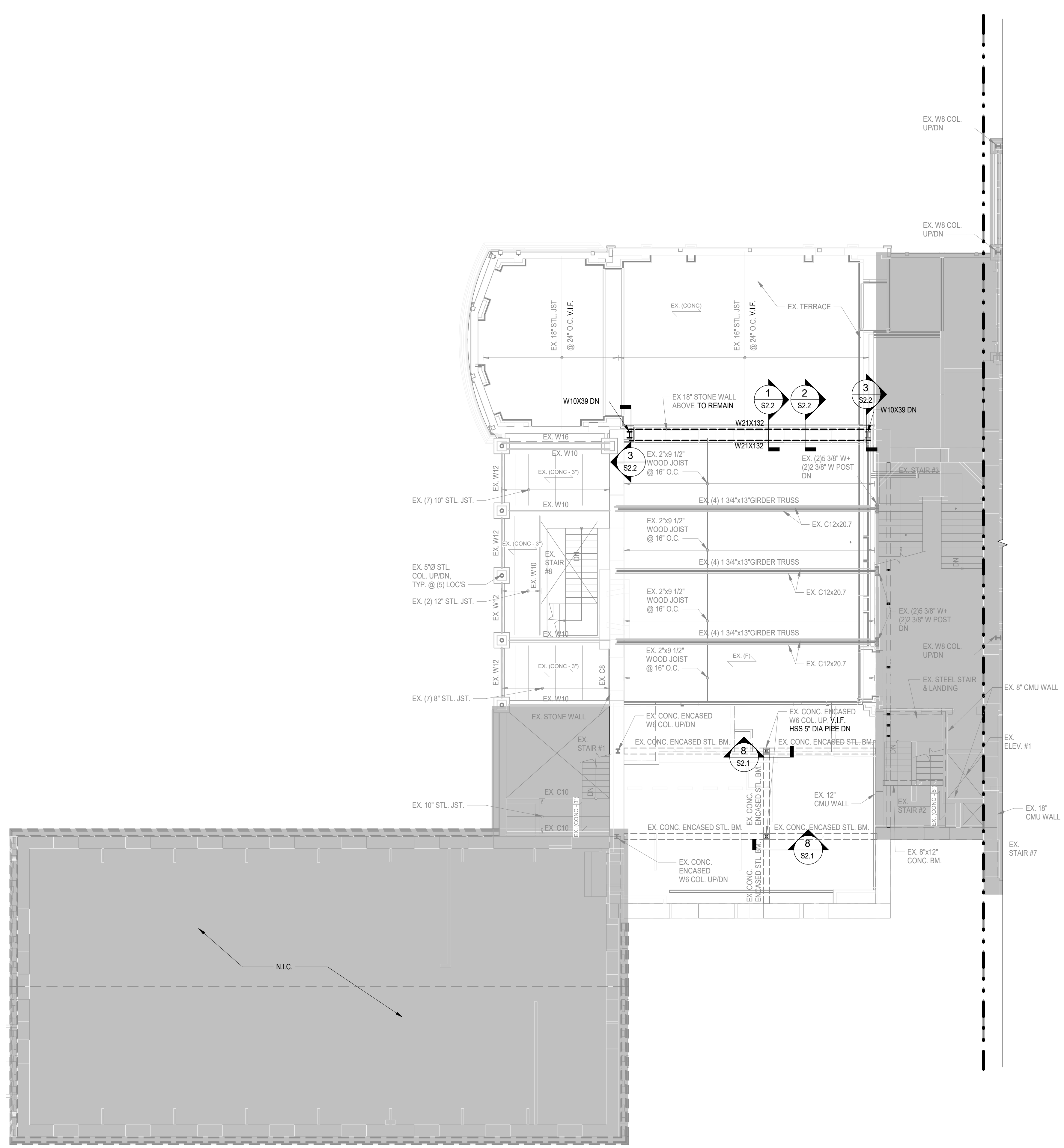
Linton Engineering, L.L.C.
46090 Lake Center Plaza
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Potomac Falls, VA 20165
(703) 571-5223 (2025)
LE Project # 22-051 LE Project Engineer: DT
Professional Certification:
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License Number: 22166
Expiration Date: 07/28/2024

CHEVY CHASE CLUB
CLUBHOUSE RENOVATION
6100 CONNECTICUT AVE
CHEVY CHASE, MD 20815

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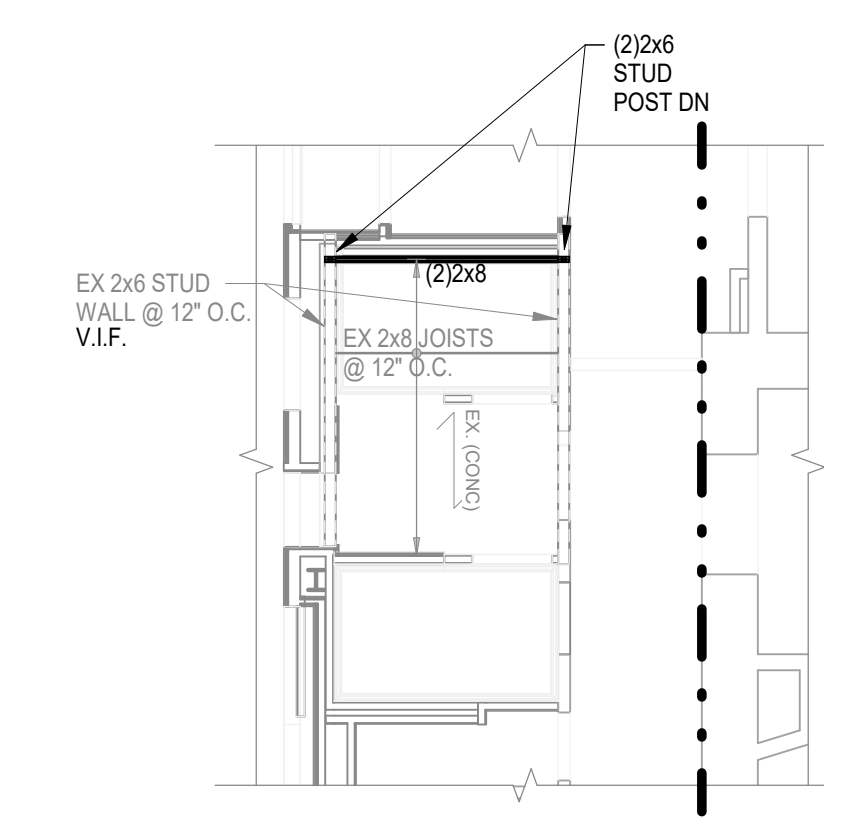
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BASEMENT / FOUNDATION PLAN AND LEVEL 01 FLOOR FRAMING PLAN - SOUTH
S1.0A

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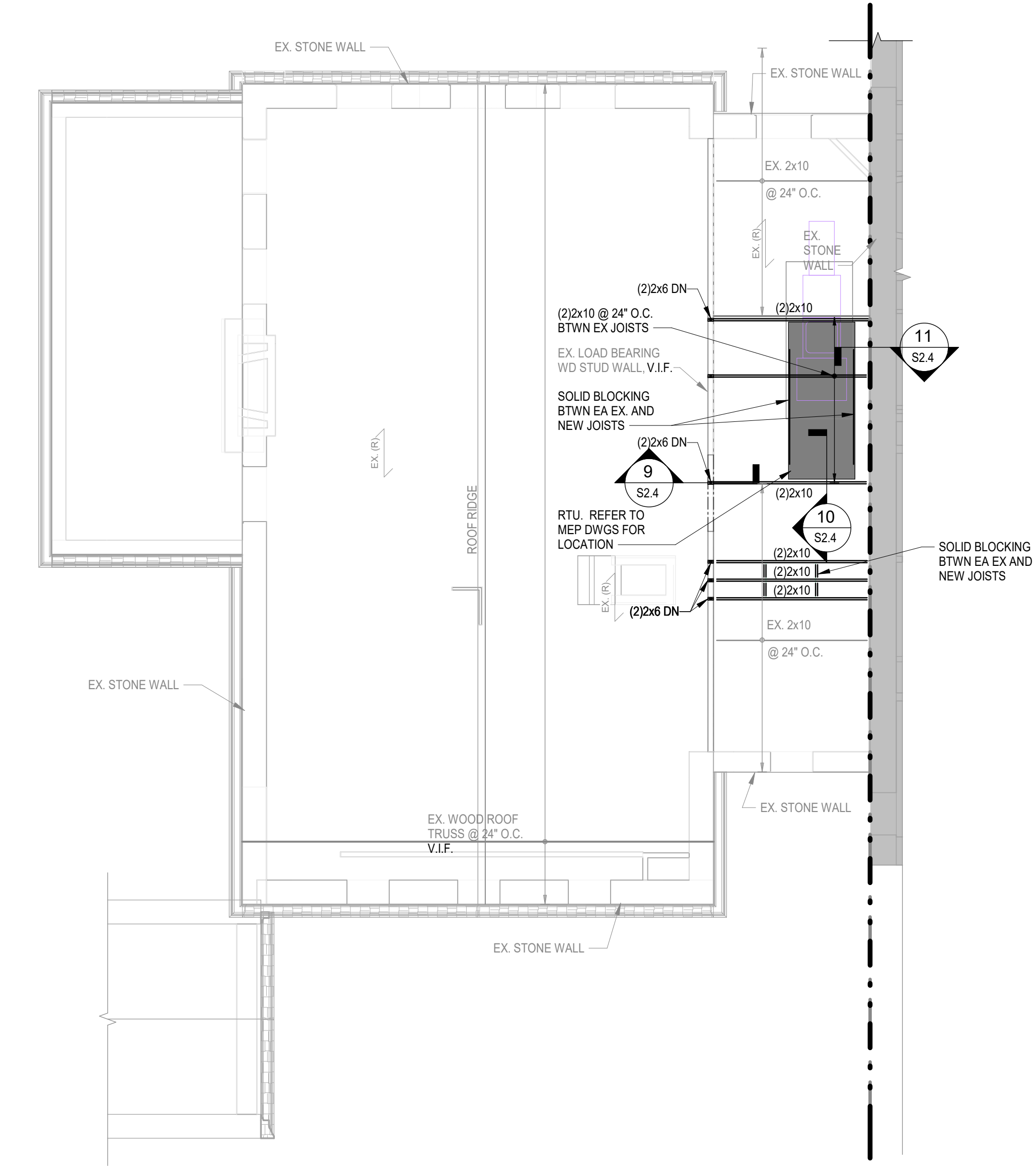


1 LEVEL 02 FLOOR FRAMING PLAN - SOUTH
S1.1A SCALE: 1/8" = 1'-0"

- LEVEL 02 FLOOR FRAMING PLAN NOTES:**
- EX (P) DESIGNATES THE SPAN DIRECTION OF EXISTING PLYWOOD FLOOR SHEATHING.
 - EX (CONC) DESIGNATES THE SPAN DIRECTION OF EXISTING CONCRETE FLOOR SLAB.
 - EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS NOT SHOWN.
 - REFERENCE MEP DRAWINGS FOR ALL GOVERNING INFORMATION REGARDING MECHANICAL EQUIPMENT ABOVE THE CLUB ROOM. CONTRACTOR SHALL VERIFY EXISTING ROOF STRUCTURAL FRAMING AT MECHANICAL EQUIPMENT LOCATION.

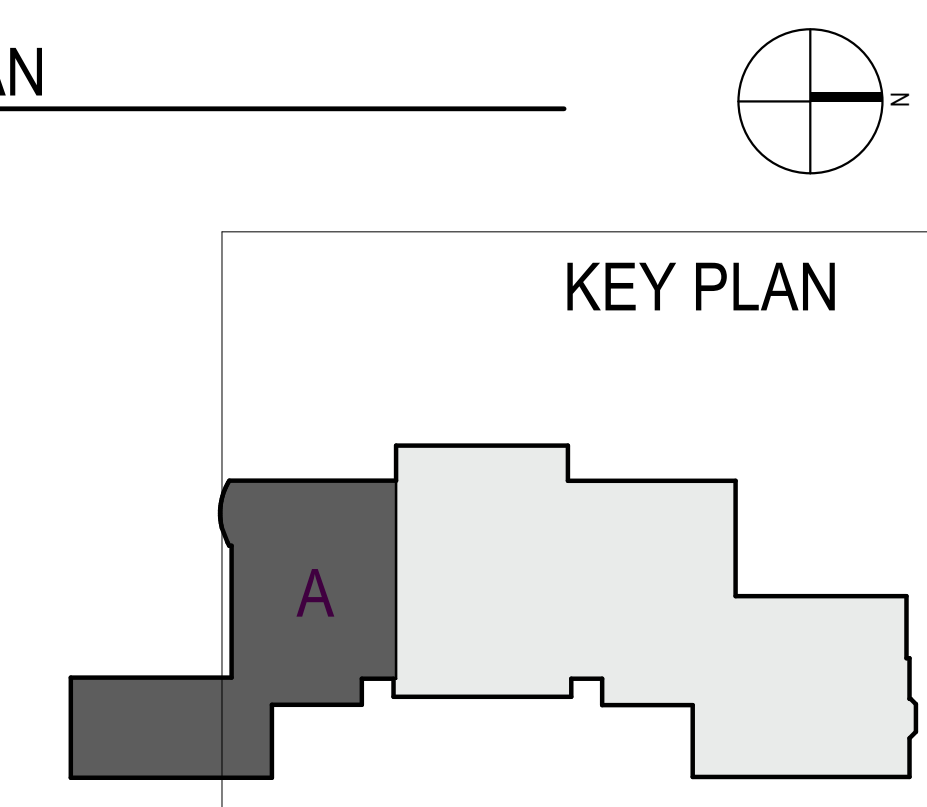


3 MECHANICAL MEZZANINE FRAMING PLAN
S1.1A SCALE: 1/8" = 1'-0"



2 PARTIAL ROOF FRAMING PLAN
S1.1A SCALE: 1/8" = 1'-0"

- PARTIAL ROOF PLAN NOTES:**
- EX (P) DESIGNATES THE SPAN DIRECTION OF EXISTING PLYWOOD ROOF SHEATHING.



KEY PLAN

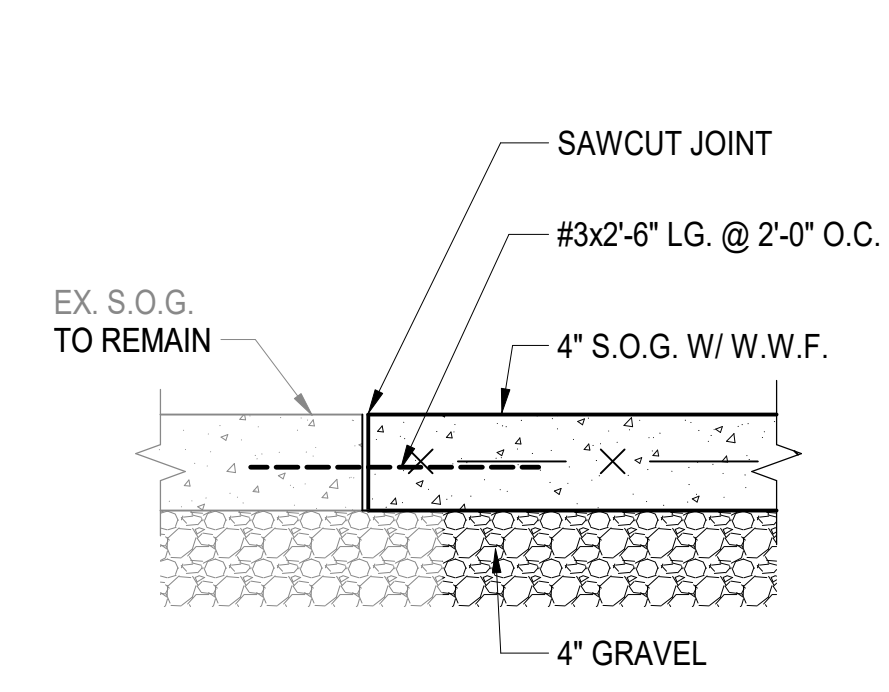
MECH UNIT WEIGHT SCHEDULE			
MARK	SIZE (LxWxH)	WEIGHT (LBS)	CURB WEIGHT (LBS)
MAU-1	-	1,300	-
KEF-2	-	750	-

NOTES:
IF A MECHANICAL UNIT TO BE INSTALLED WEIGHS MORE THAN INDICATED IN ABOVE TABLE, UNIT SIZE AND WEIGHT SHALL BE SUBMITTED TO STRUCTURAL ENGINEER FOR REVIEW.

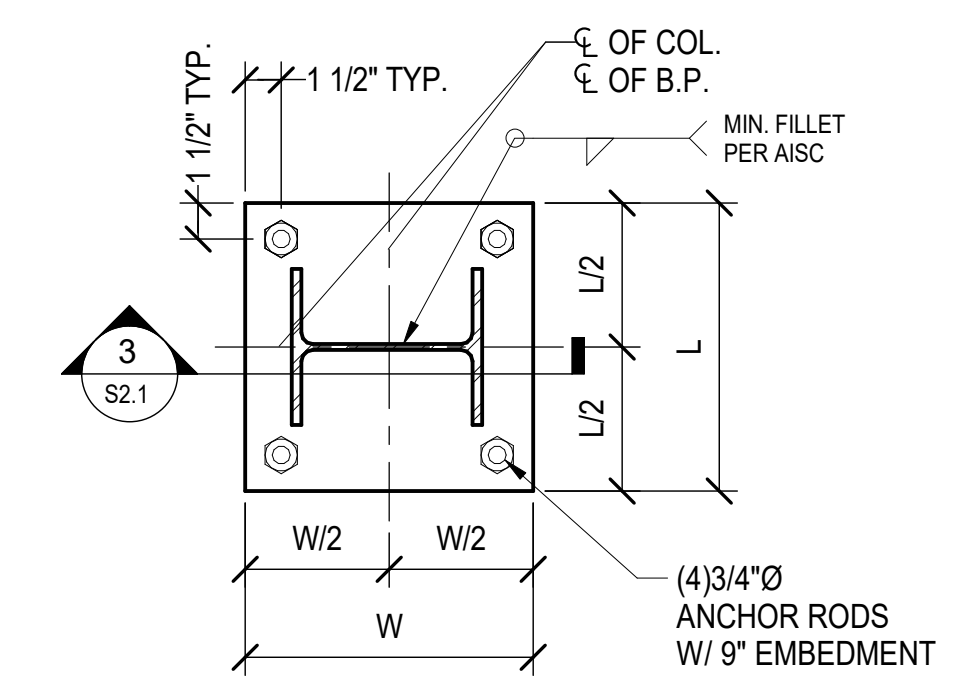


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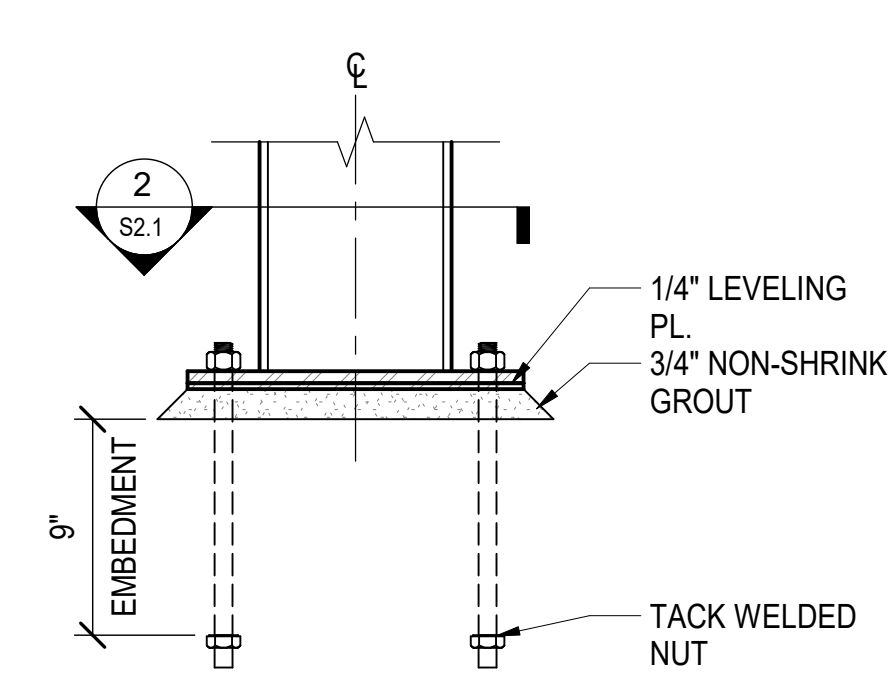
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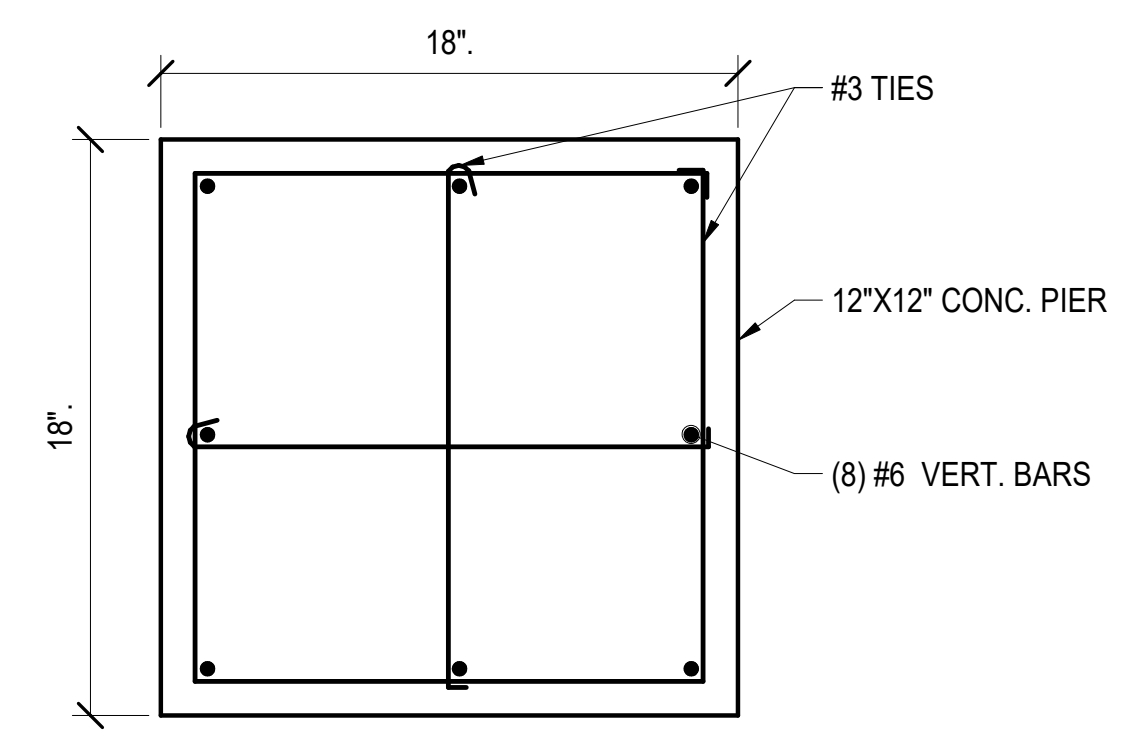
1 TYP. SLAB CUT SECTION
S2.1 SCALE: 1 1/2" = 1'-0"



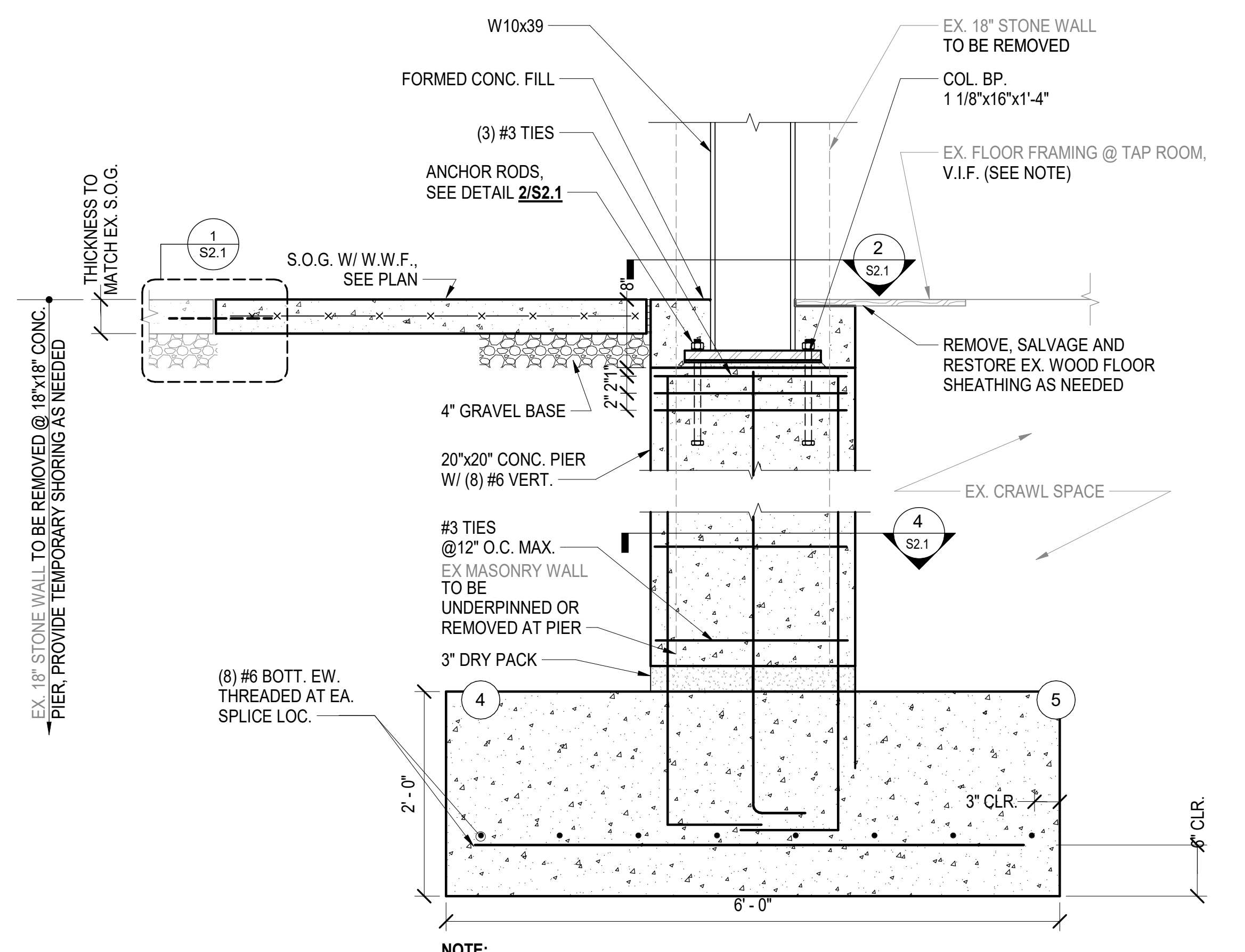
2 TYP. BASE PL. DET.
S2.1 SCALE: 1 1/2" = 1'-0"



3 TYP. BASE PL. DETAIL
S2.1 SCALE: 1 1/2" = 1'-0"

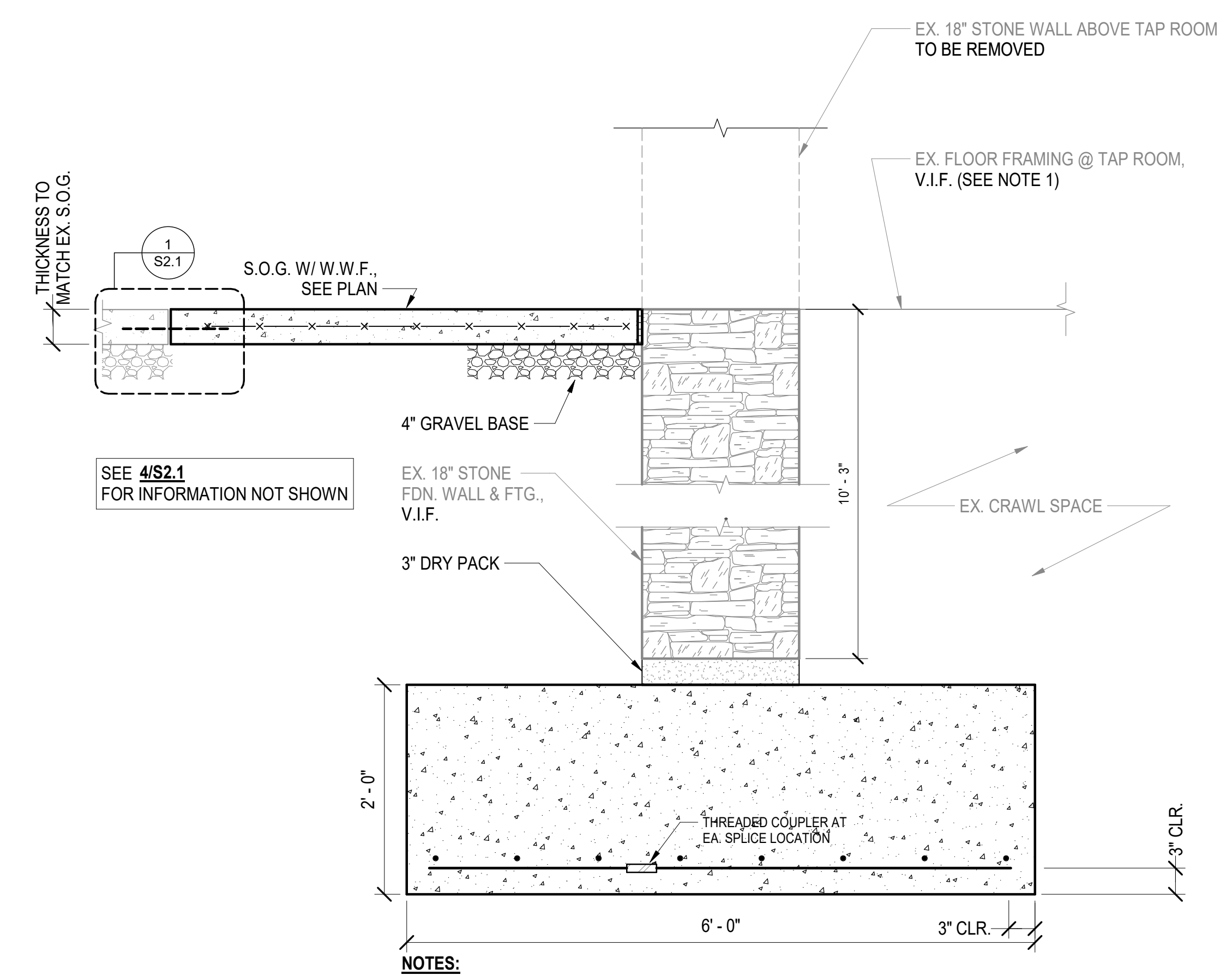


4 CONC. COLUMN DET.
S2.1 SCALE: 1 1/2" = 1'-0"



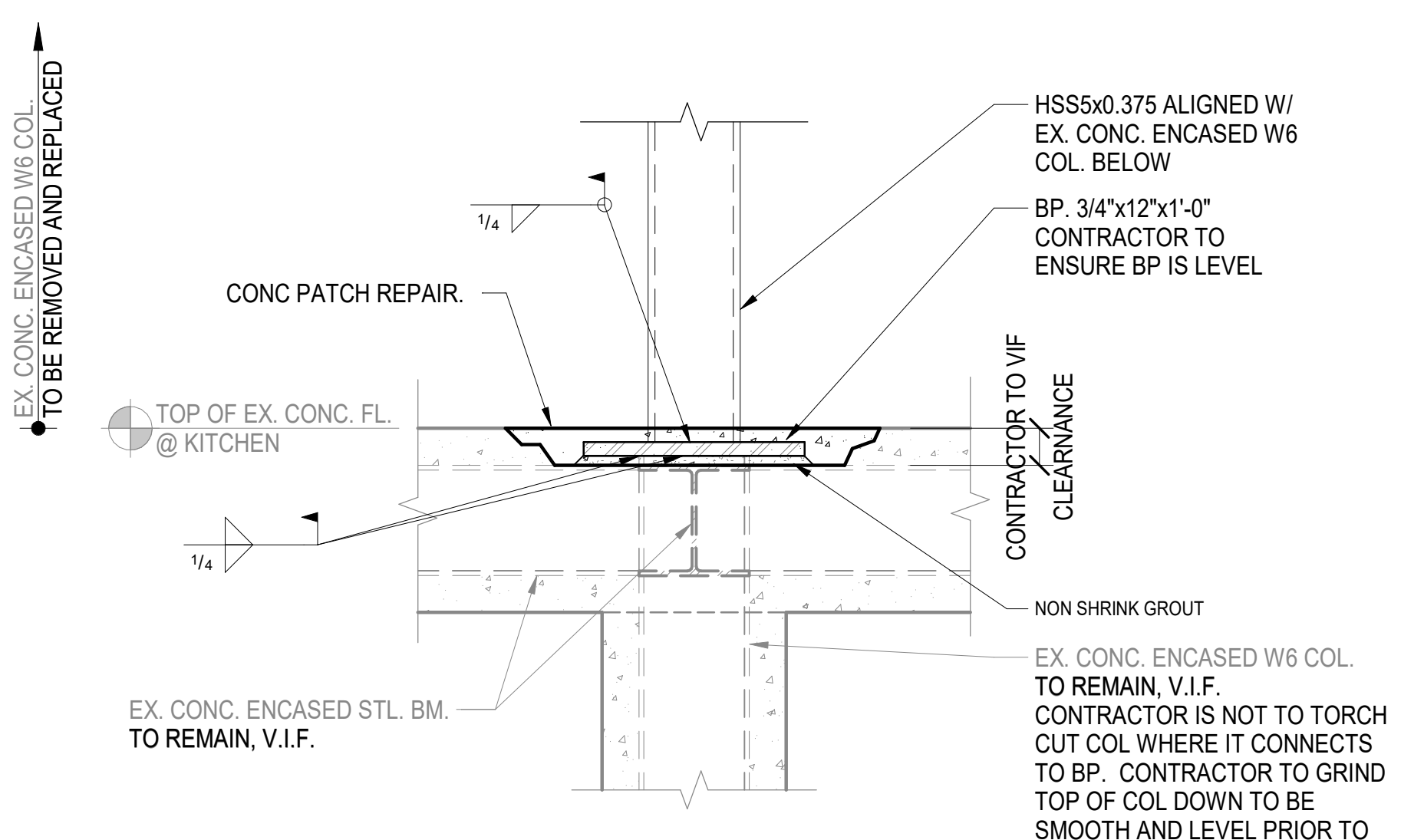
5 COL. FTG. DETAIL
S2.1 SCALE: 1" = 1'-0"

NOTE:
1. INSTALL TEMPORARY SHORING OF EXISTING FLOOR STRUCTURE AT TAP ROOM AS REQUIRED BEFORE PROCEEDING WITH ANY WORK AND TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION IS COMPLETED. DESIGN OF TEMPORARY SHORING BY OTHERS.
2. UNDERPINNING SHALL BE A DELEGATED DESIGN AND UNDERPINNING SHOWN ON THE STRUCTURAL DRAWINGS IS CONCEPTUAL ONLY. FINAL UNDERPINNING DESIGN SHALL BE DETERMINED BY THE CONTRACTOR'S UNDERPINNING ENGINEER. REFERENCE DESIGN NOTES FOR MORE INFORMATION. SEE PLAN FOR TYPICAL UNDERPINNING SECTIONS INSTALLATION SEQUENCE.
3. SEE PLAN FOR UNDERPINNING LOCATIONS & NOTES
4. REBAR SHALL BE CONTINUOUS ACROSS UNDERPINNING JOINTS. PROVIDE THREADED COUPLERS ON BARS WHICH EXTEND INTO UNEXCAVATED SECTIONS.



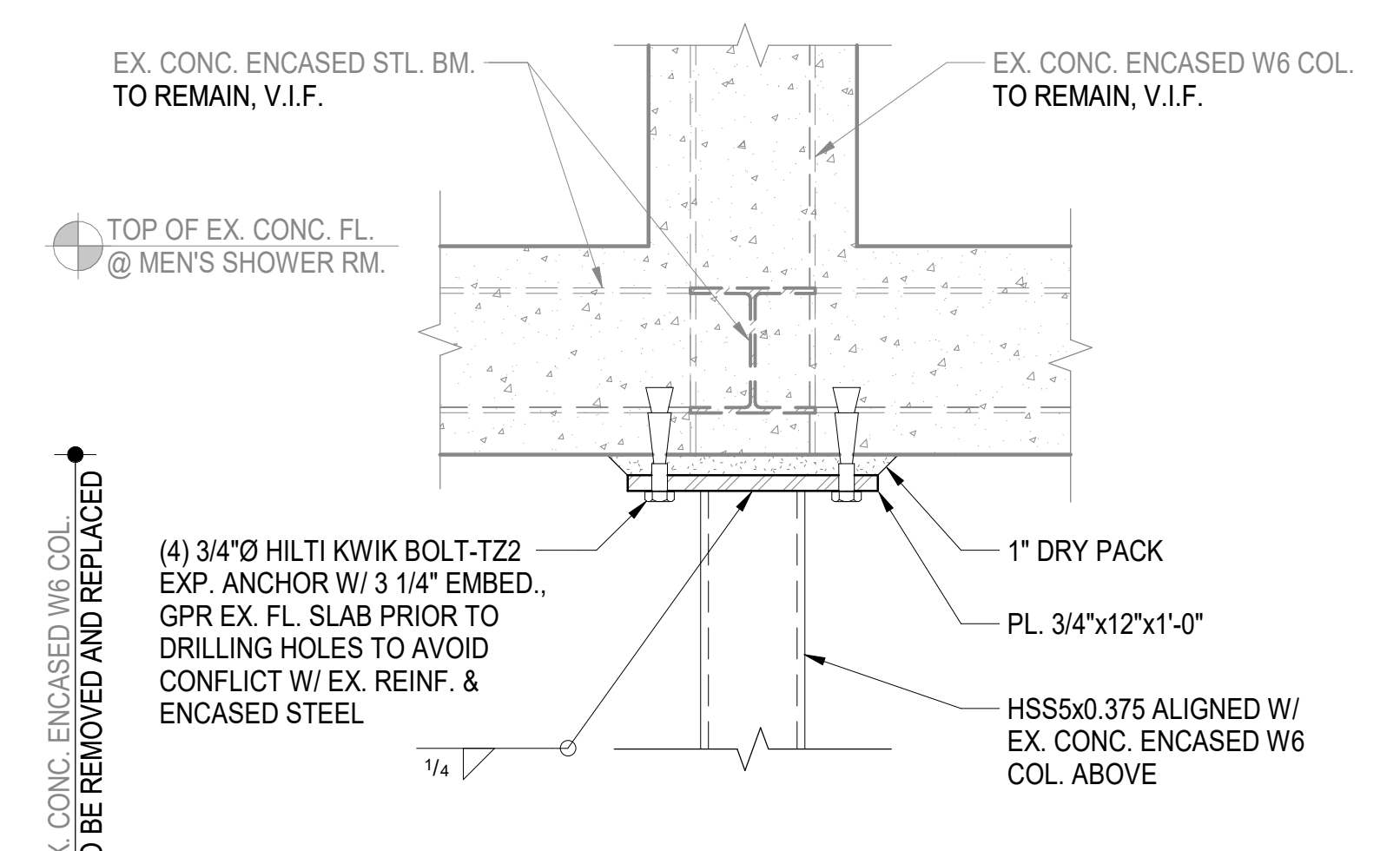
6 TYP. UNDERPINNING DET. @ EX. STONE WALL FTG.
S2.1 SCALE: 1" = 1'-0"

NOTES:
1. INSTALL TEMPORARY SHORING OF EXISTING FLOOR STRUCTURE AT TAP ROOM AS REQUIRED BEFORE PROCEEDING WITH ANY WORK. TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION IS COMPLETED. DESIGN OF TEMPORARY SHORING BY OTHERS.
2. UNDERPINNING SHALL BE A DELEGATED DESIGN AND UNDERPINNING SHOWN ON THE STRUCTURAL DRAWINGS IS CONCEPTUAL ONLY. FINAL UNDERPINNING DESIGN SHALL BE DETERMINED BY THE CONTRACTOR'S UNDERPINNING ENGINEER. REFERENCE DESIGN NOTES FOR MORE INFORMATION. SEE PLAN FOR TYPICAL UNDERPINNING SECTIONS INSTALLATION SEQUENCE.



7 EX. COL. REPLACEMENT DET.
S2.1 SCALE: 1 1/2" = 1'-0"

NOTE:
INSTALL TEMPORARY SHORING OF EXISTING FLOOR STRUCTURE AT MEN'S SHOWER ROOM ABOVE KITCHEN AS REQUIRED BEFORE PROCEEDING WITH ANY WORK AND TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION IS COMPLETED. DESIGN OF TEMPORARY SHORING BY OTHERS.



8 EX. COL. REPLACEMENT DET.
S2.1 SCALE: 1 1/2" = 1'-0"

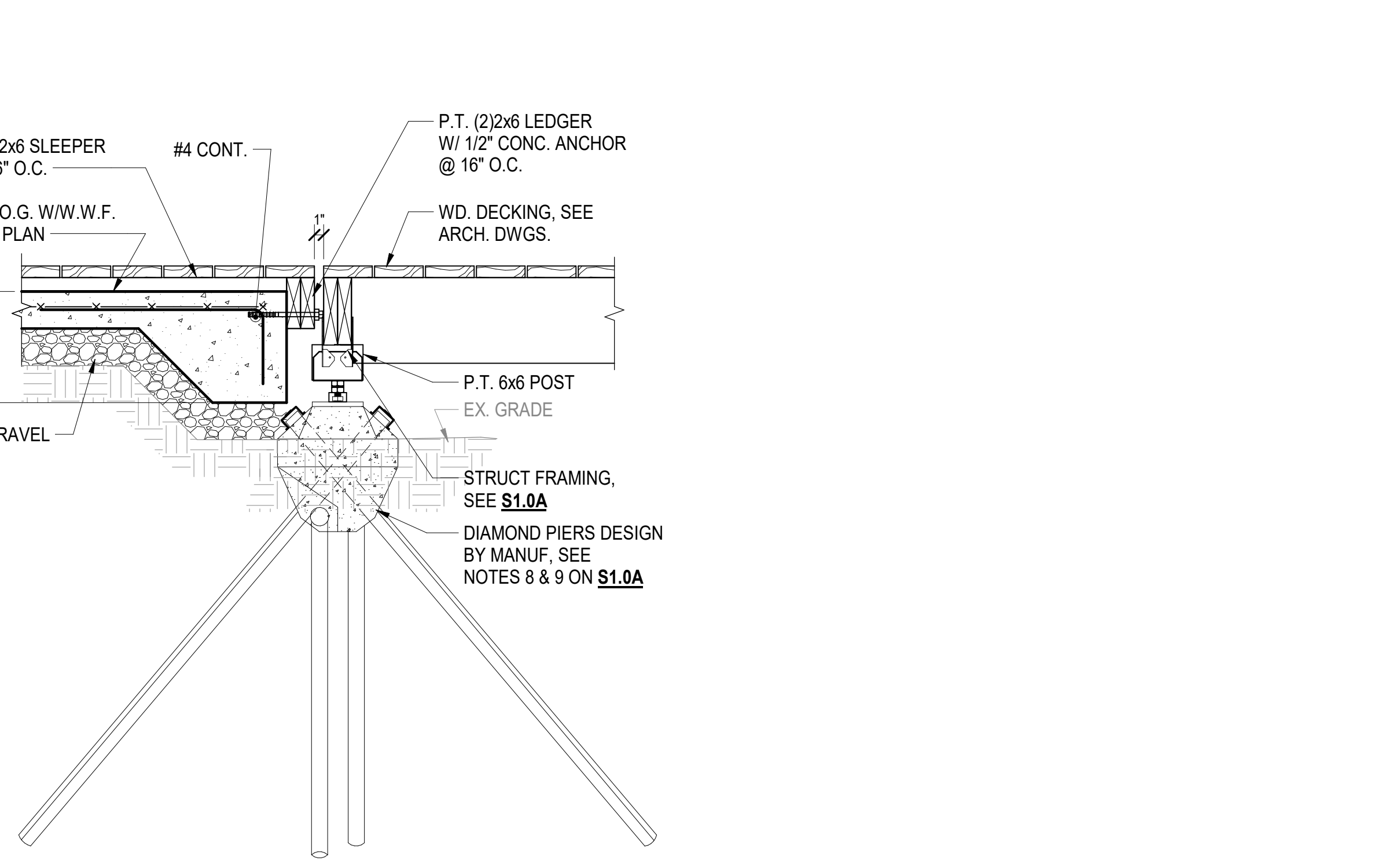
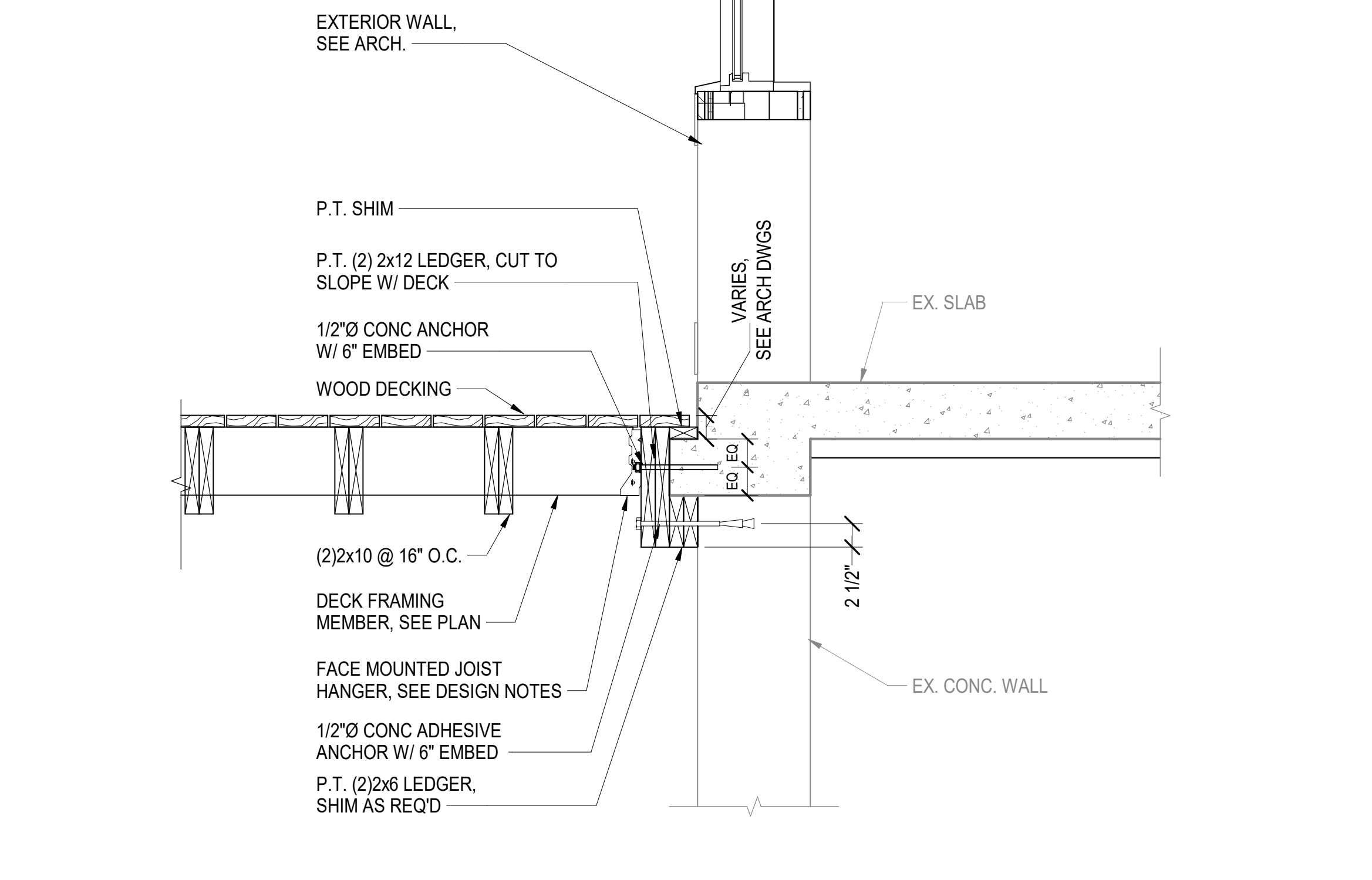
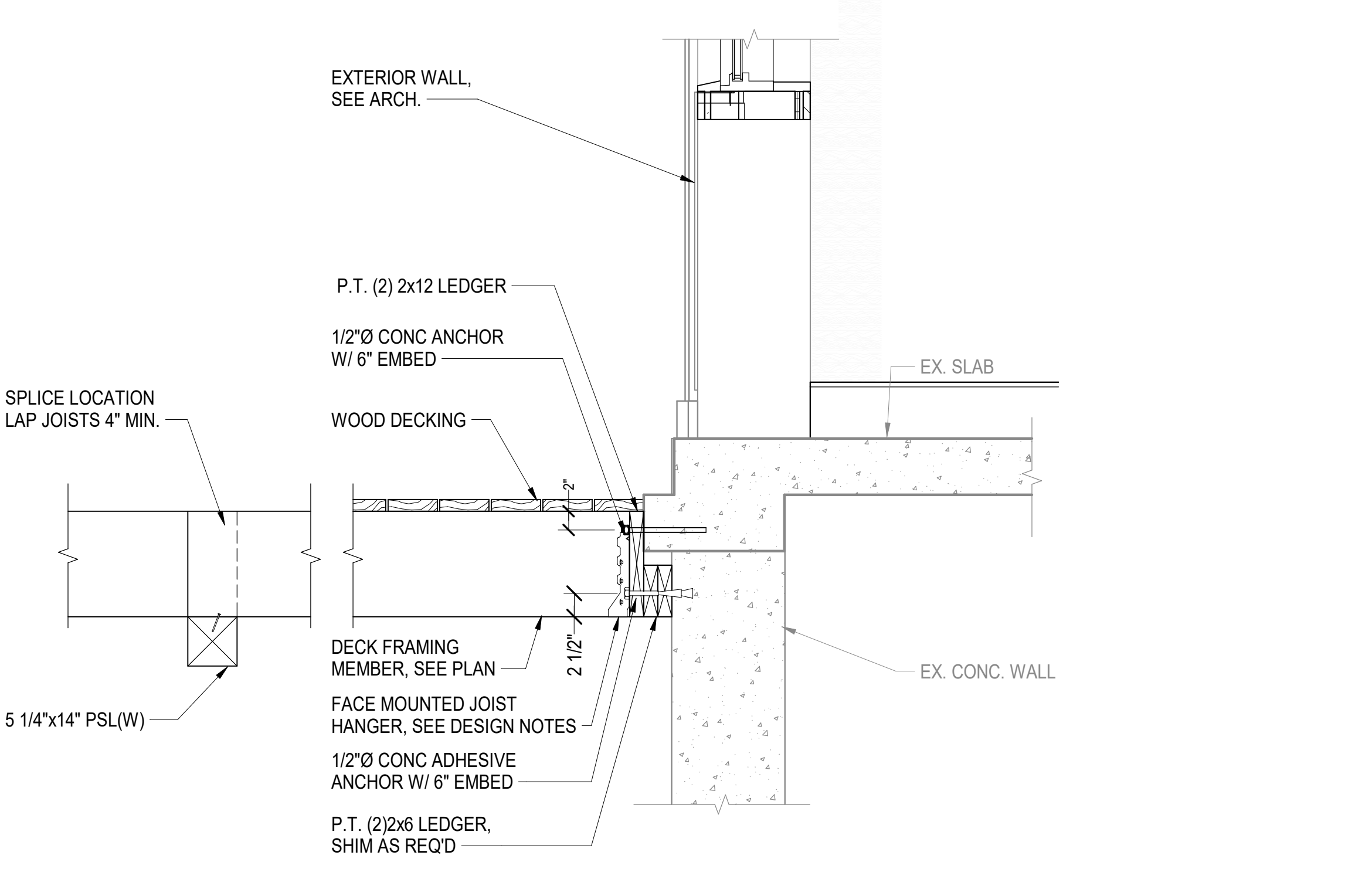
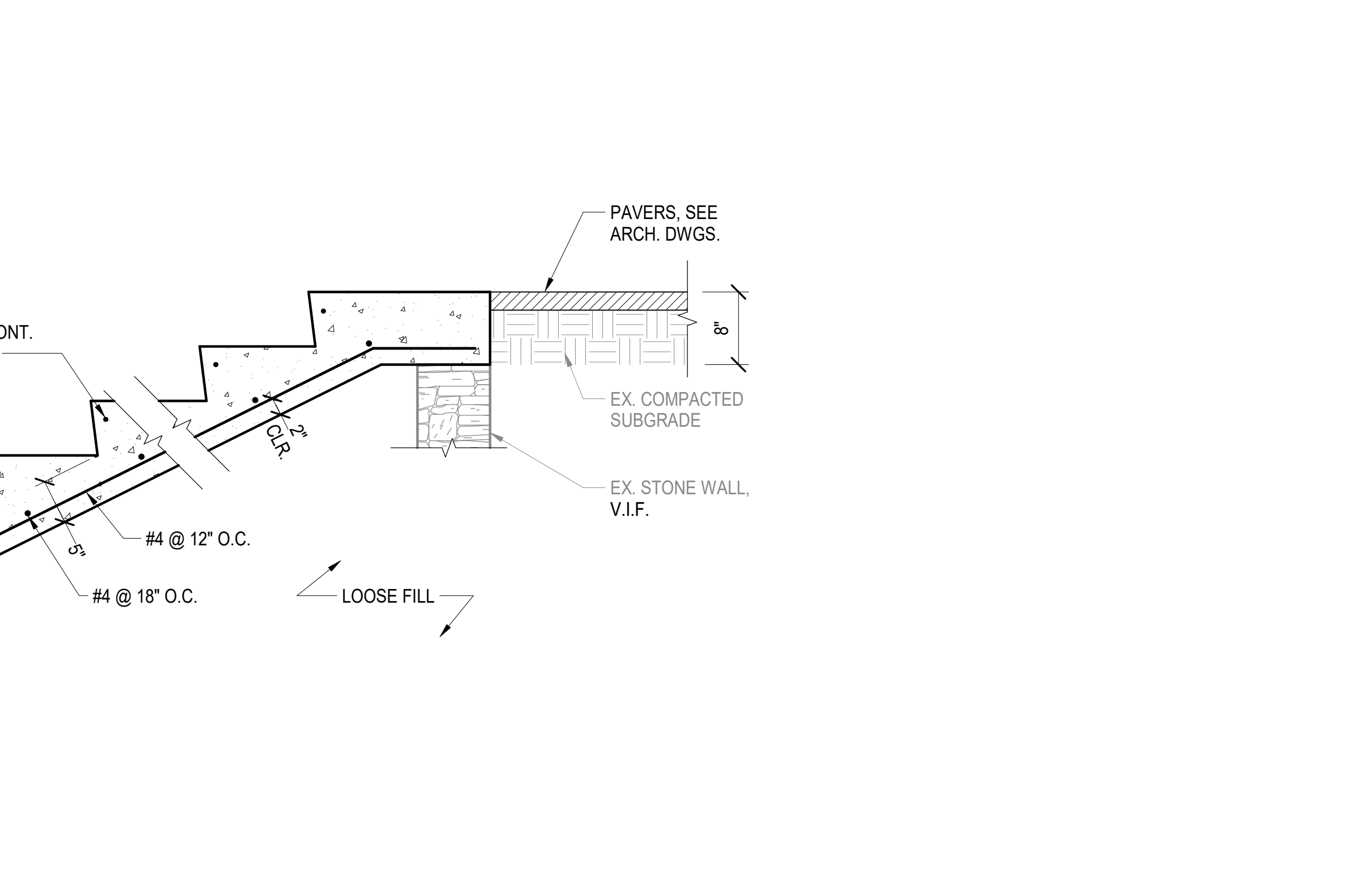
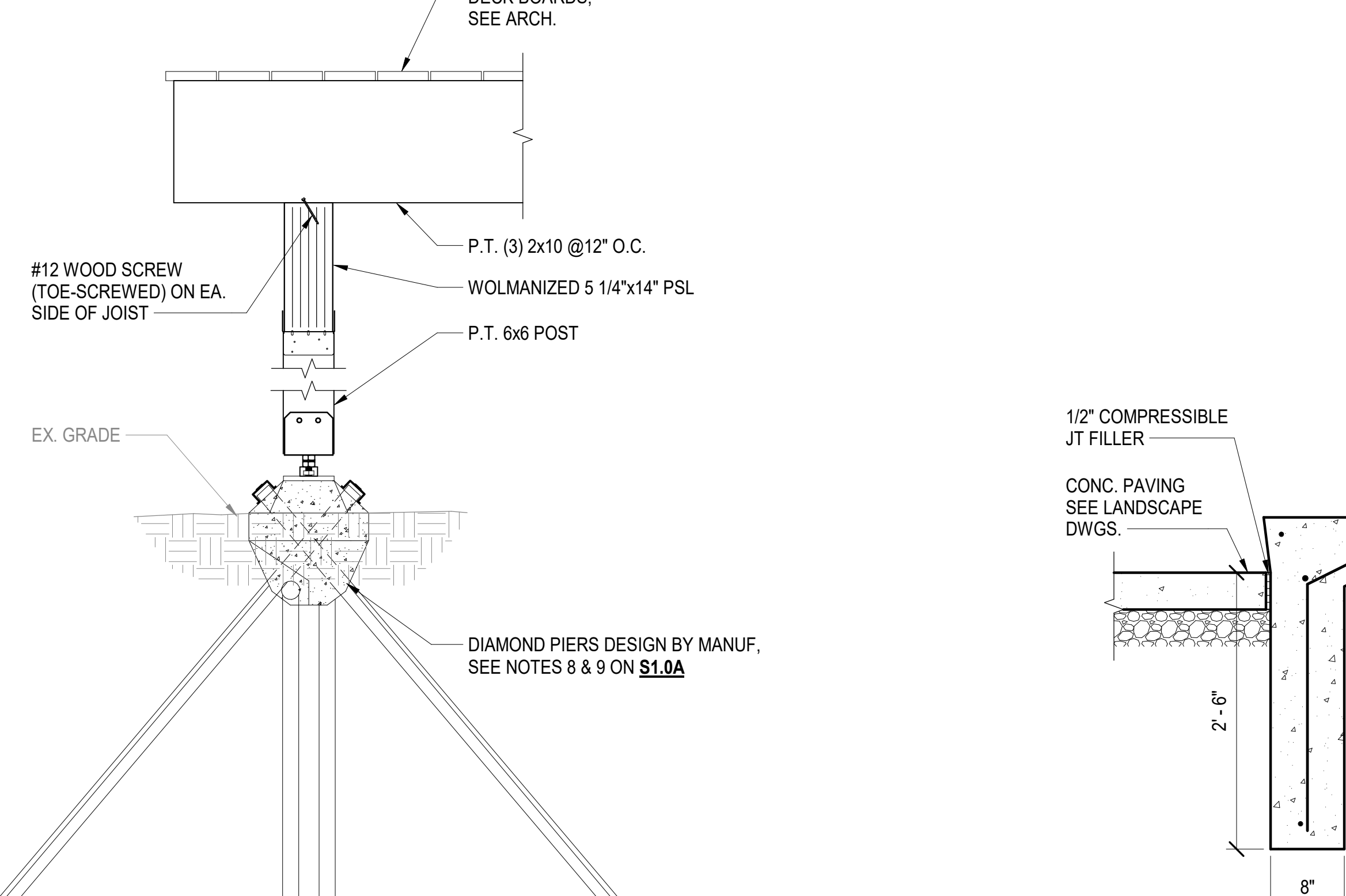
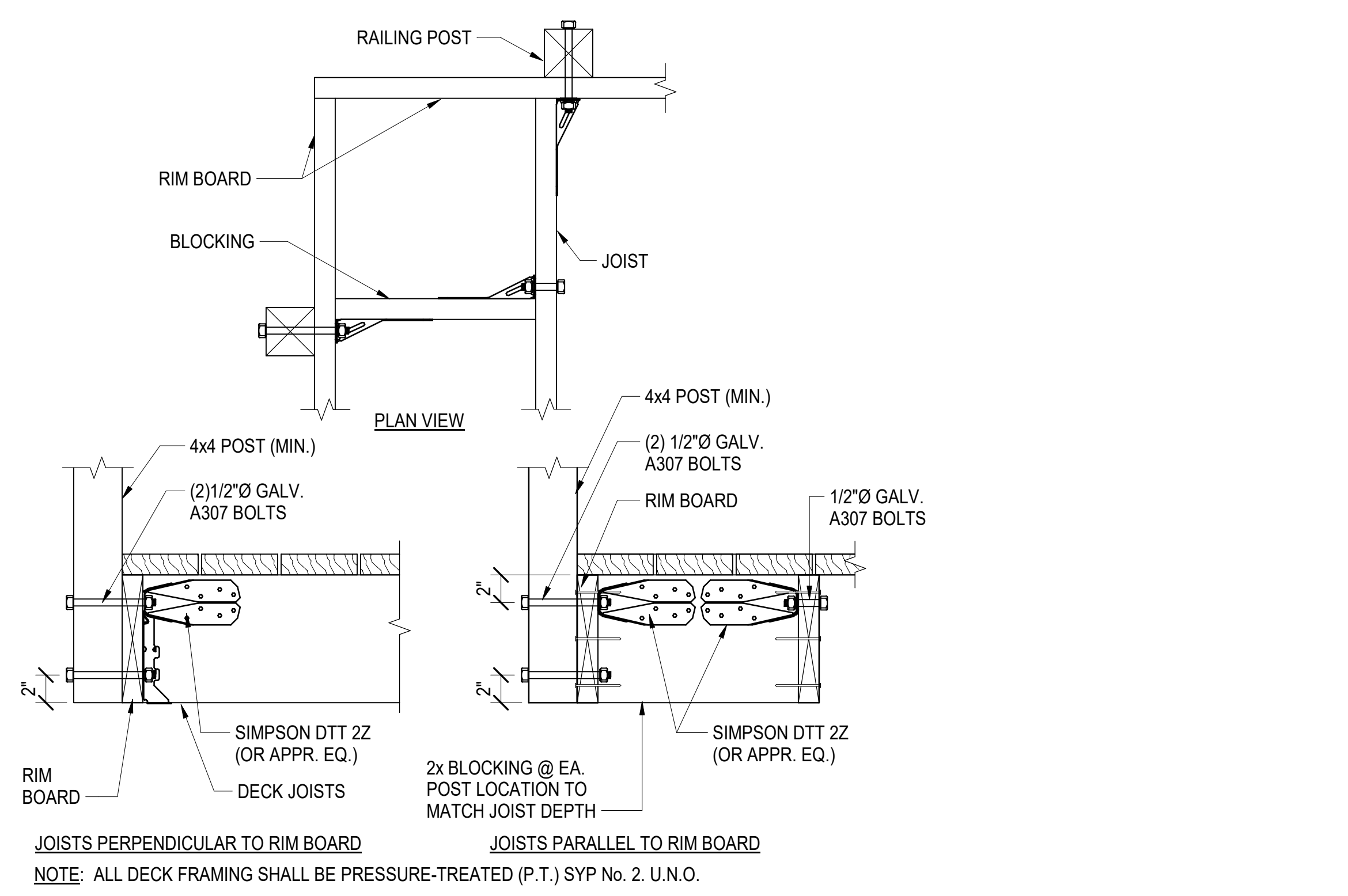
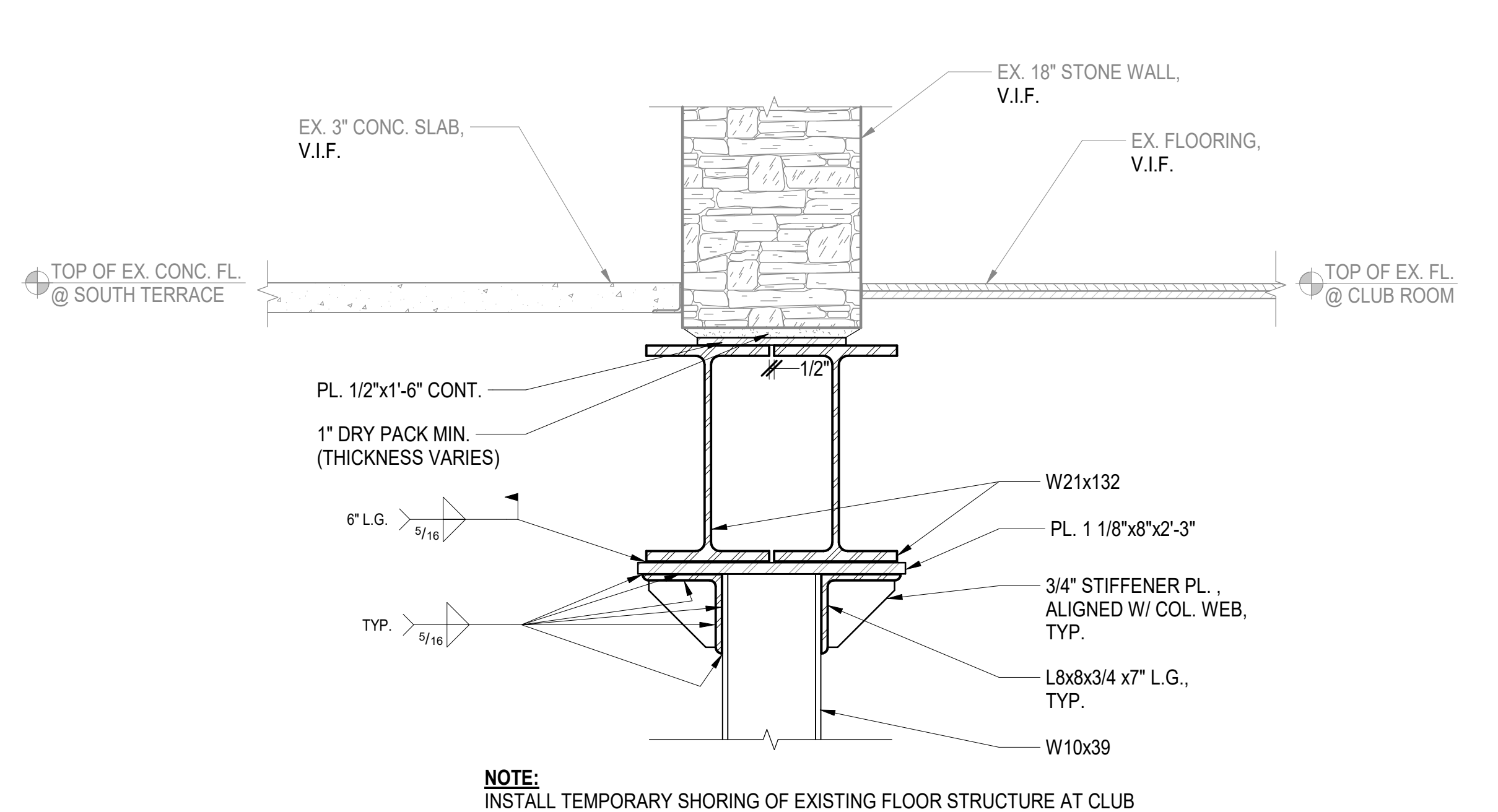
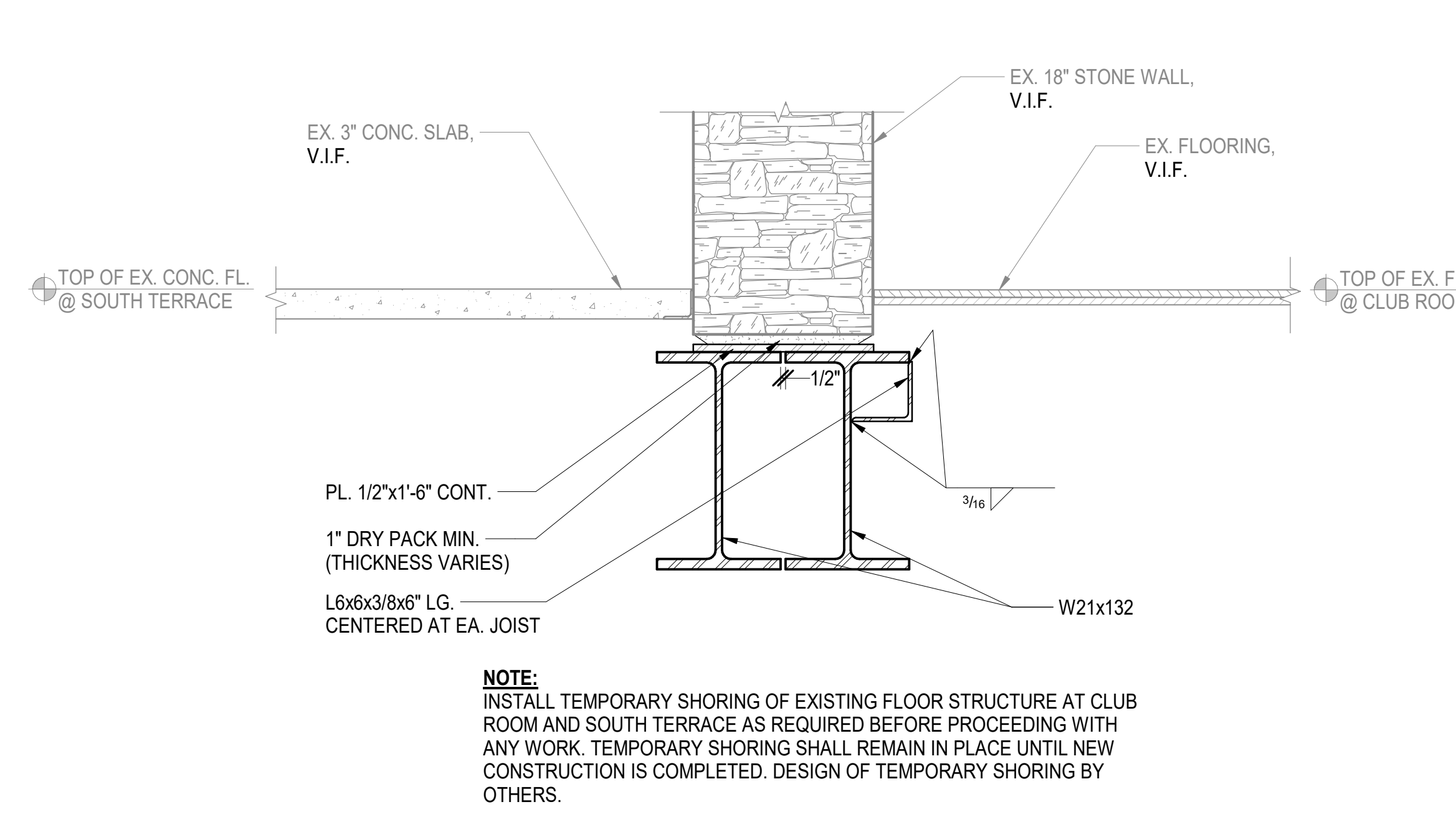
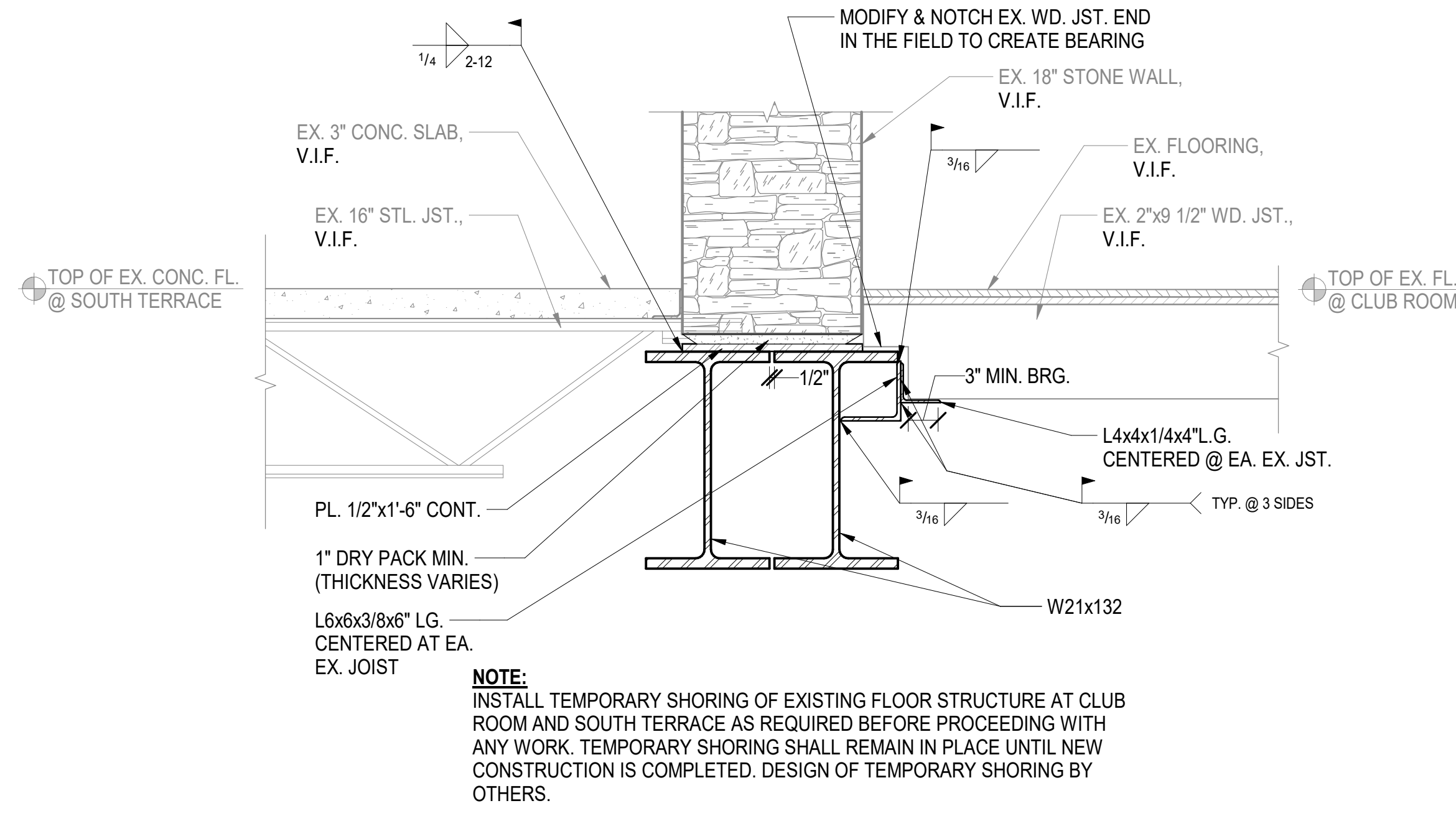
NOTE:
INSTALL TEMPORARY SHORING OF EXISTING FLOOR STRUCTURE AT MEN'S SHOWER ROOM ABOVE KITCHEN AS REQUIRED BEFORE PROCEEDING WITH ANY WORK AND TEMPORARY SHORING SHALL REMAIN IN PLACE UNTIL NEW CONSTRUCTION IS COMPLETED. DESIGN OF TEMPORARY SHORING BY OTHERS.



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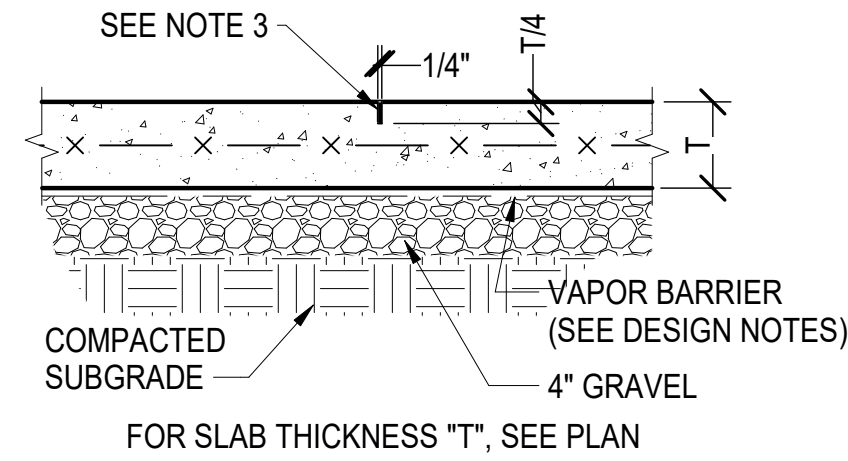
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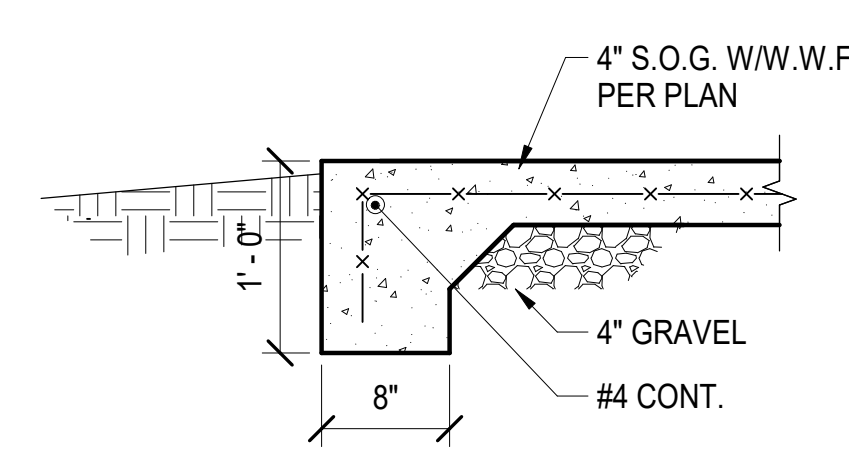
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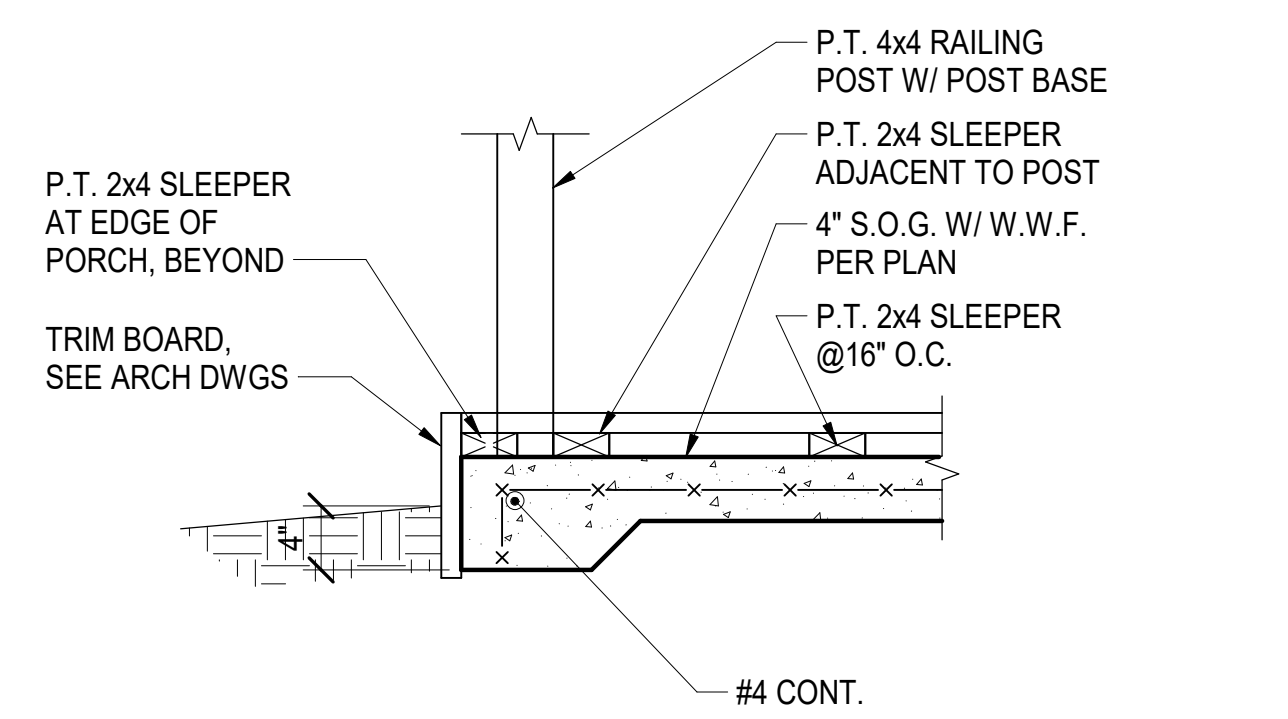


- CONTROL JOINT**
1. PROVIDE SUPPORT TO HOLD REINF. IN POSITION.
 2. SAW CUT CONTROL JOINTS TO DIVIDE SLAB INTO NEAR-SQUARE SHAPES NOT EXCEEDING THREE x SLAB THICKNESS IN FEET (SQ. FT. AREA = 3 x "T" x 12) AS SOON AS WHEN CONC. HAS HARDENED SUFFICIENTLY TO PERMIT CUTTING WITHOUT CHIPPING, SPALLING, OR TEARING.
 3. FILL JOINT W/ EPOXY SEALANT AFTER SLAB HAS CURED.

1 TYP. SLAB ON GRADE CONTROL JOINT DETAIL
SCALE: 1" = 1'-0"

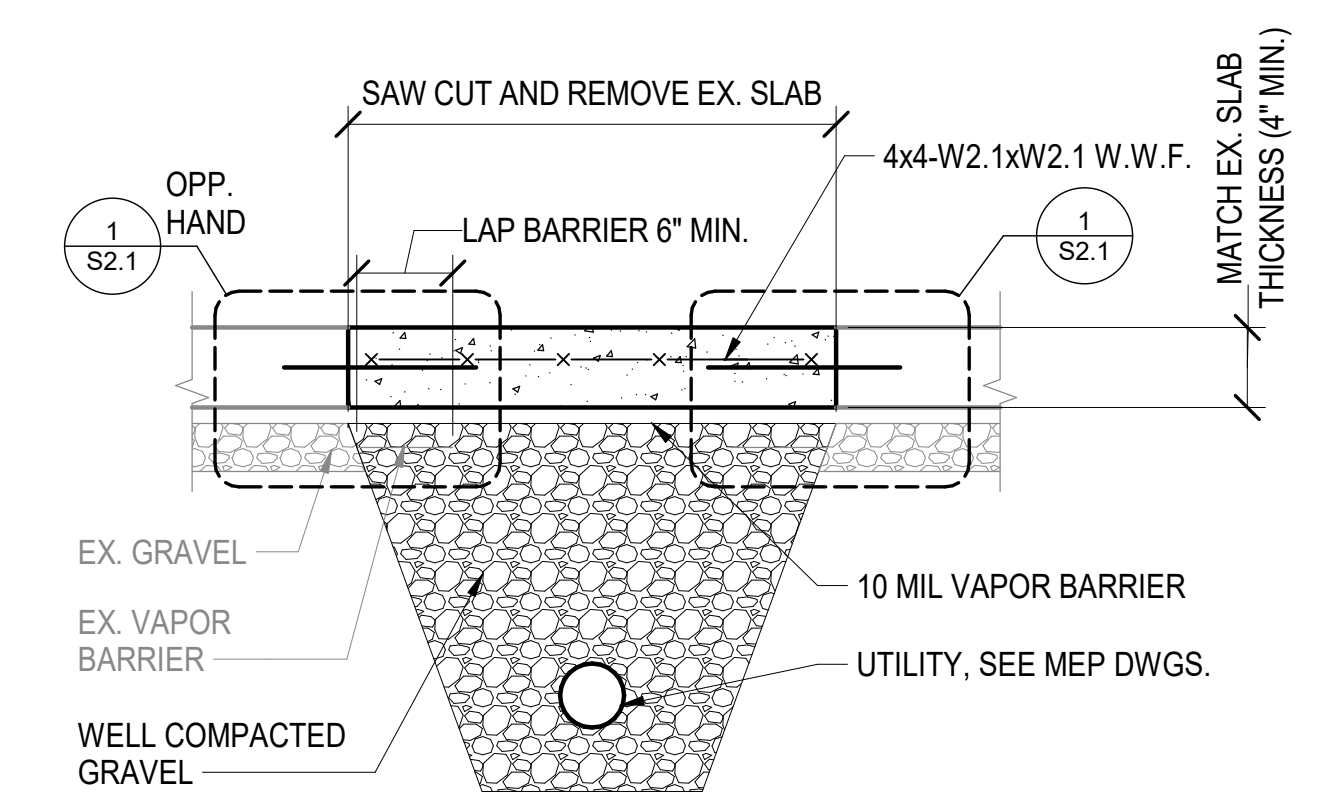


2 TYP. TURN DOWN SLAB EDGE
SCALE: 1" = 1'-0"



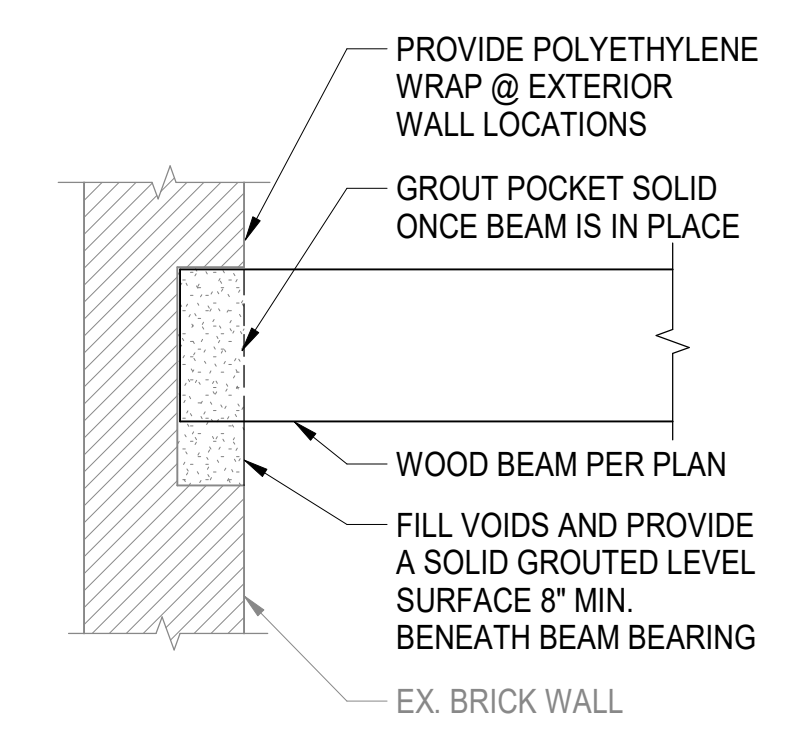
CONTRACTOR TO VERIFY PRESCENCE OF EXISTING TREE ROOTS W/ ARBORIST

3 TYP. TURN DOWN SLAB EDGE
SCALE: 1" = 1'-0"

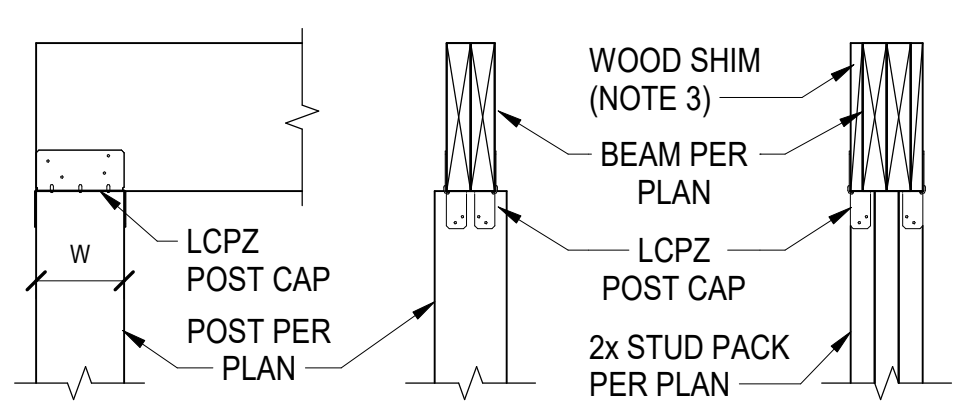


- NOTE:**
1. CONTRACTOR SHALL COORDINATE UTILITY TRENCH SIZES AND LOCATIONS WITH PLUMBING AND ELECTRICAL DRAWINGS.
 2. REFER TO PLUMBING DWGS FOR LOCATIONS

4 TYP. S.O.G. PATCHING @ UTILITY TRENCH
SCALE: 1" = 1'-0"

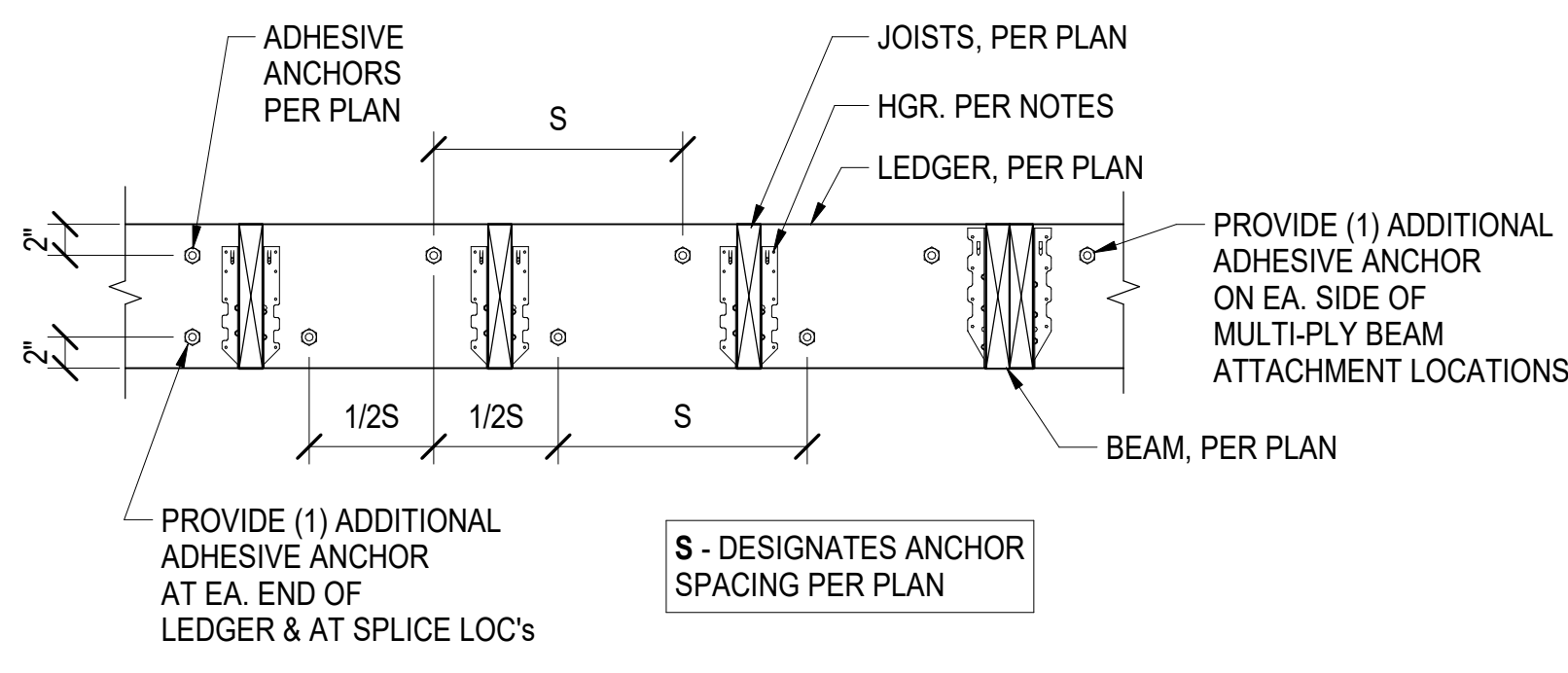


5 TYP. WOOD BEAM BRG. ON EX. MASONRY WALL
SCALE: 1" = 1'-0"

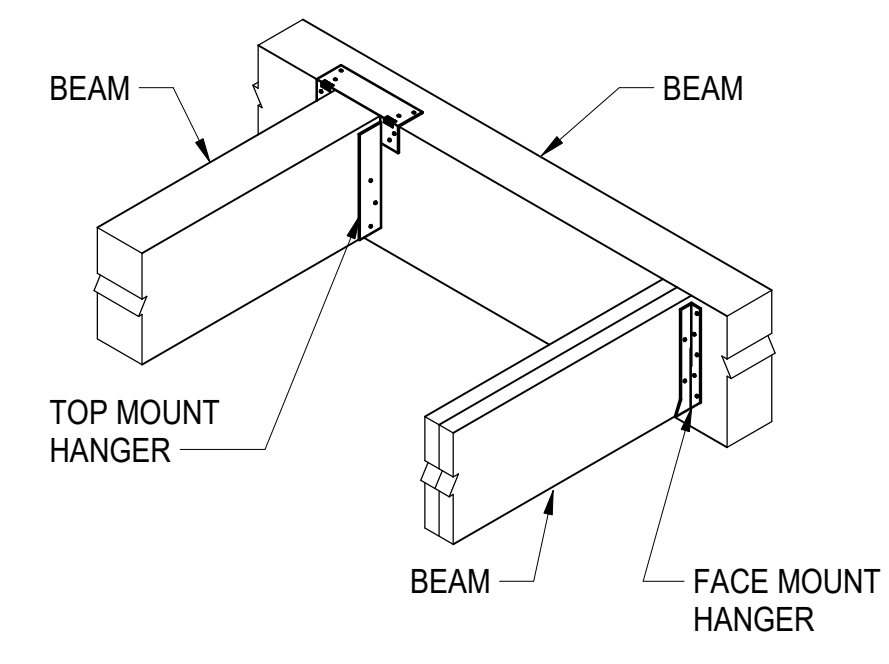


- NOTES:**
1. PROVIDE LCPZ POST CAP TO MATCH "W" DIMENSION OF POST.
 2. SHIM POST WITH SOLID WOOD BLOCKING OR SHEATHING AS NEEDED FOR FIT-UP IN LCPZ POST CAP.
 3. WHERE BEAMS ARE TO BE SUPPORTED ON STUD PACK POSTS WITH PARALLEL PILES, SHIM BEAM AS NEEDED, FLUSH WITH EDGE OF POST.
 4. PROVIDE WOOD SHIMS PER XX/SXX.
 5. THIS DETAIL IS NOT APPLICABLE WHERE THE BEAM IS WIDER THAN THE POST OR NOT CENTERED ON THE POST.

6 TYP. POST FIT-UP DET.
SCALE: 1" = 1'-0"



7 LEDGER CONNECTION DETAIL
SCALE: 1" = 1'-0"



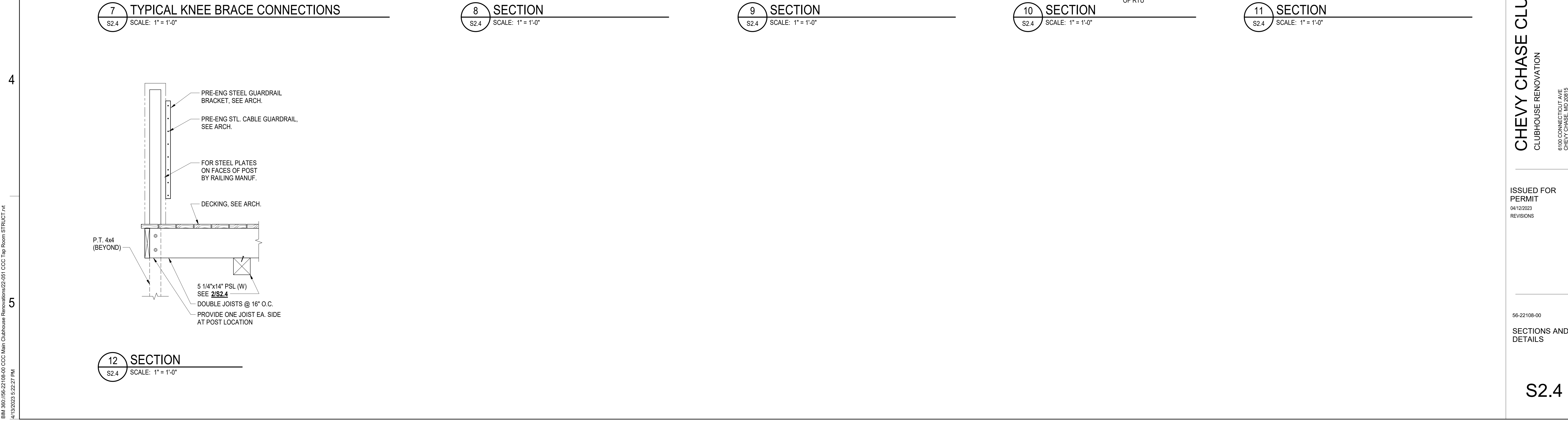
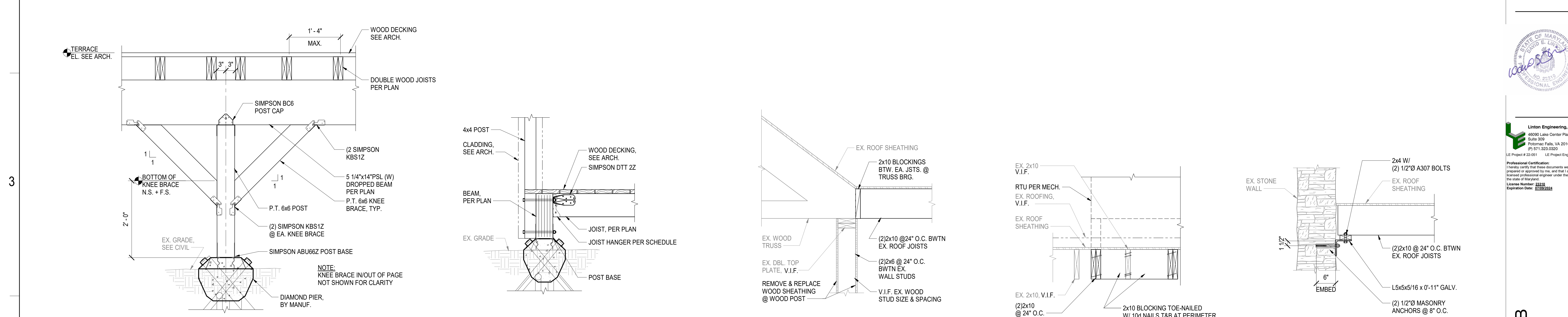
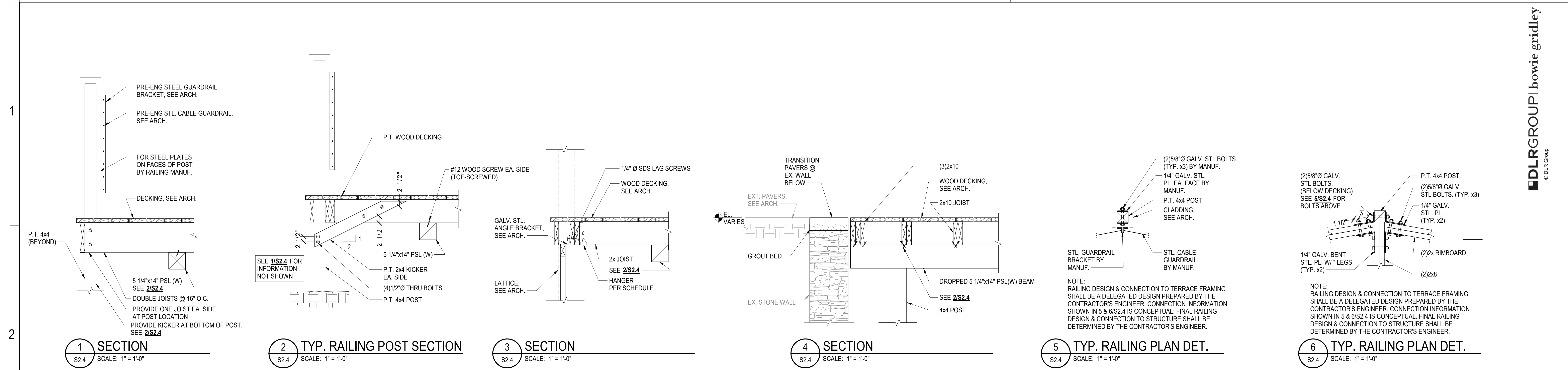
8 BEAM TO BEAM CONN DETAIL
SCALE: 1/2" = 1'-0"



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License Number: 22216
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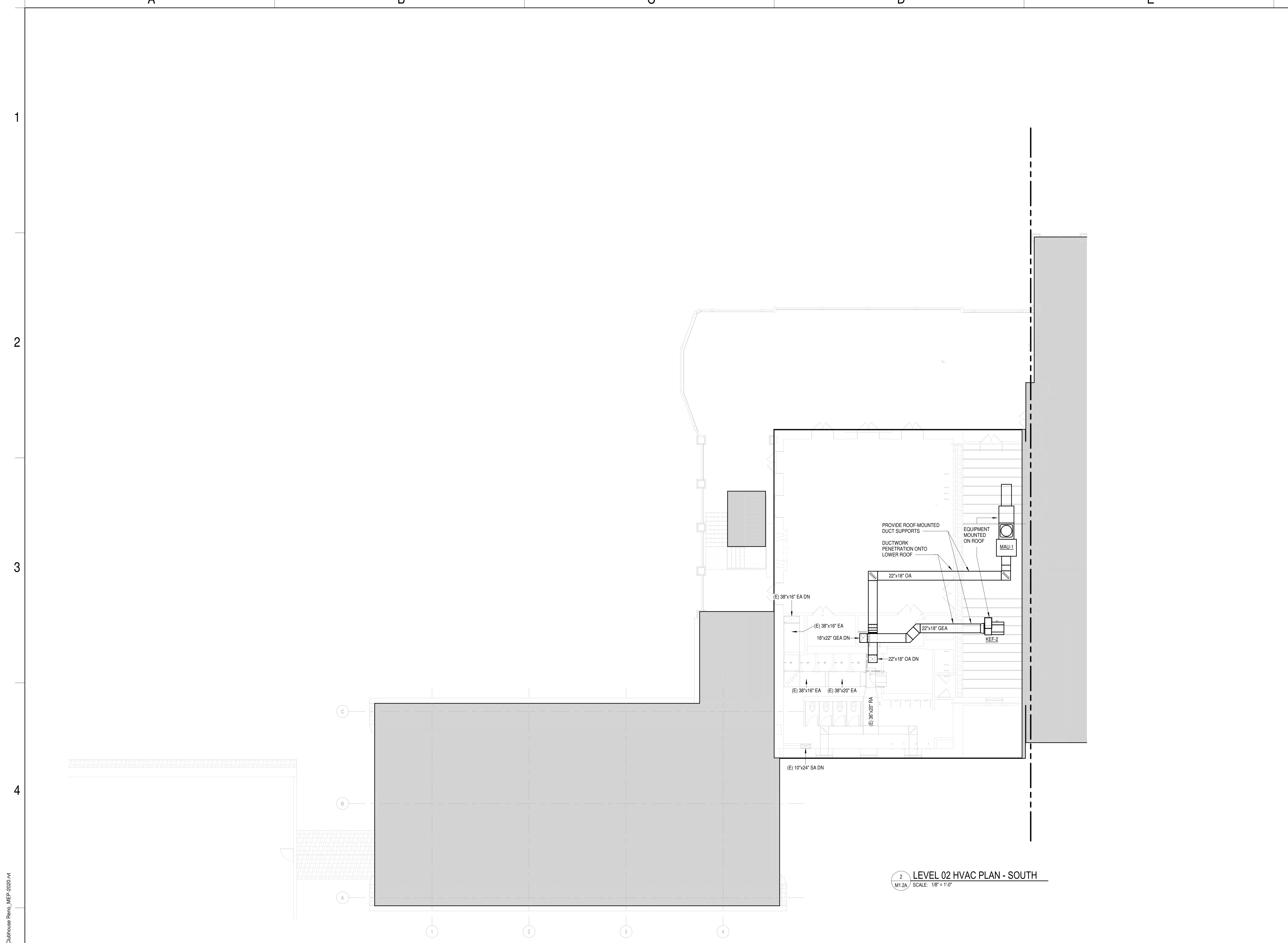


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L.E. Project # 22-051 L.E. Project Engineer: DT

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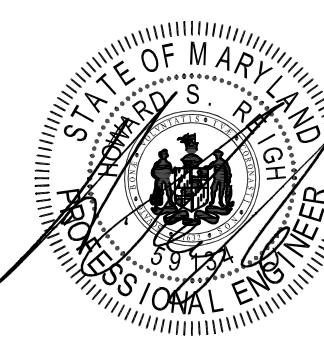
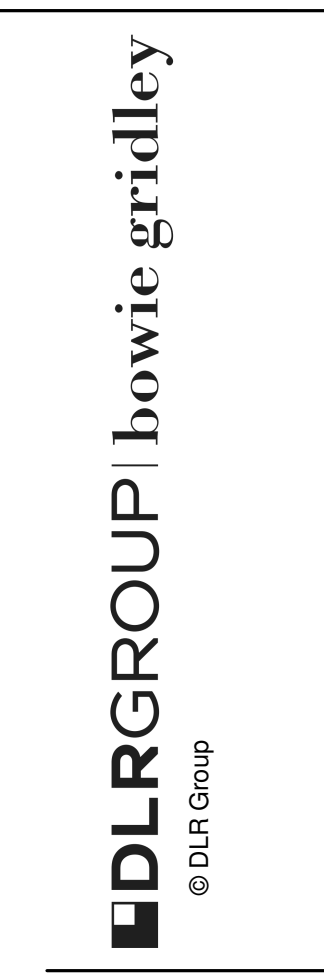
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SECTIONS AND DETAILS

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HVAC AND PIPING NOTES

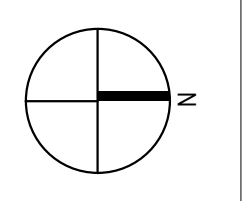
1. SHADED REGIONS OF BUILDING ARE NOT IN THE SCOPE OF THE PROJECT.
2. IT IS THE CONTRACTOR'S RESPONSIBILITY FOR ANY COSTS ASSOCIATED WITH CHANGES NEEDED AS A RESULT OF USING EQUIPMENT DIFFERENT THAN THE BASIS OF DESIGN.
3. COORDINATE PIPING/DUCT PENETRATIONS THRU WALLS, ROOFS, OR CEILING WITH GENERAL CONTRACTOR.
4. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING METHODS OF BRINGING IN NEW MECHANICAL EQUIPMENT THROUGH BUILDING INTO MECHANICAL ROOMS.
5. THE SUPPLY RUNOUT TO A DIFFUSER IS NOTED BY THE NECK SIZE GIVEN ON PLAN UNLESS OTHERWISE NOTED.
6. PLANS DO NOT INCLUDE ALL OFFSETS FOR COORDINATION WITH DUCT, PIPING, LIGHTING, AND STRUCTURAL SYSTEMS. PROVIDE ALLOWANCES FOR REQUIRED EFFORTS.
7. WHEN MOUNTING OR LOCATING EQUIPMENT COORDINATE WITH ALL DISCIPLINES TO ALLOW REQUIRED SPACE NEED FOR COIL AND FILTER PULLS.
8. LIMIT ALL FLEXIBLE DUCT RUNS TO 3 FEET MAXIMUM LENGTH. FLEXIBLE DUCT(S) SHALL BE OF THE SAME SIZE AS THE DIFFUSER NECKS THAT THEY CONNECT TO UNLESS OTHERWISE NOTED.
9. BALANCING DAMPERS SHALL BE LOCATED ABOVE ACCESSIBLE CEILING. IF THIS IS NOT POSSIBLE, VOLUME DAMPERS SHALL BE PROVIDED WITH REMOTE DAMPER OPERATORS WITH ADJUSTABLE COVER IN NON-ACCESSIBLE CEILING AREAS.
10. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATIONS OF CEILING DIFFUSERS, REGISTERS, AND GRILLES. COORDINATE WITH ELECTRICAL CEILING COMPONENTS AND FIRE SPRINKLERS.
11. ALL BRANCHES FROM MAINS ARE TO HAVE A HIGH EFFICIENCY TAKEOFFS.



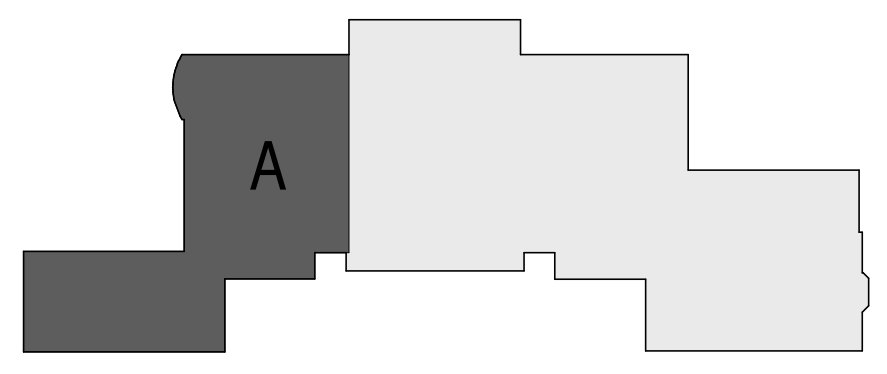
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59154. EXPIRATION DATE 03-24-2024

CHEVY CHASE CLUB
CLUBHOUSE RENOVATION
6100 CONNECTICUT AVE
CHEVY CHASE, MD 20815

ISSUED FOR PERMIT
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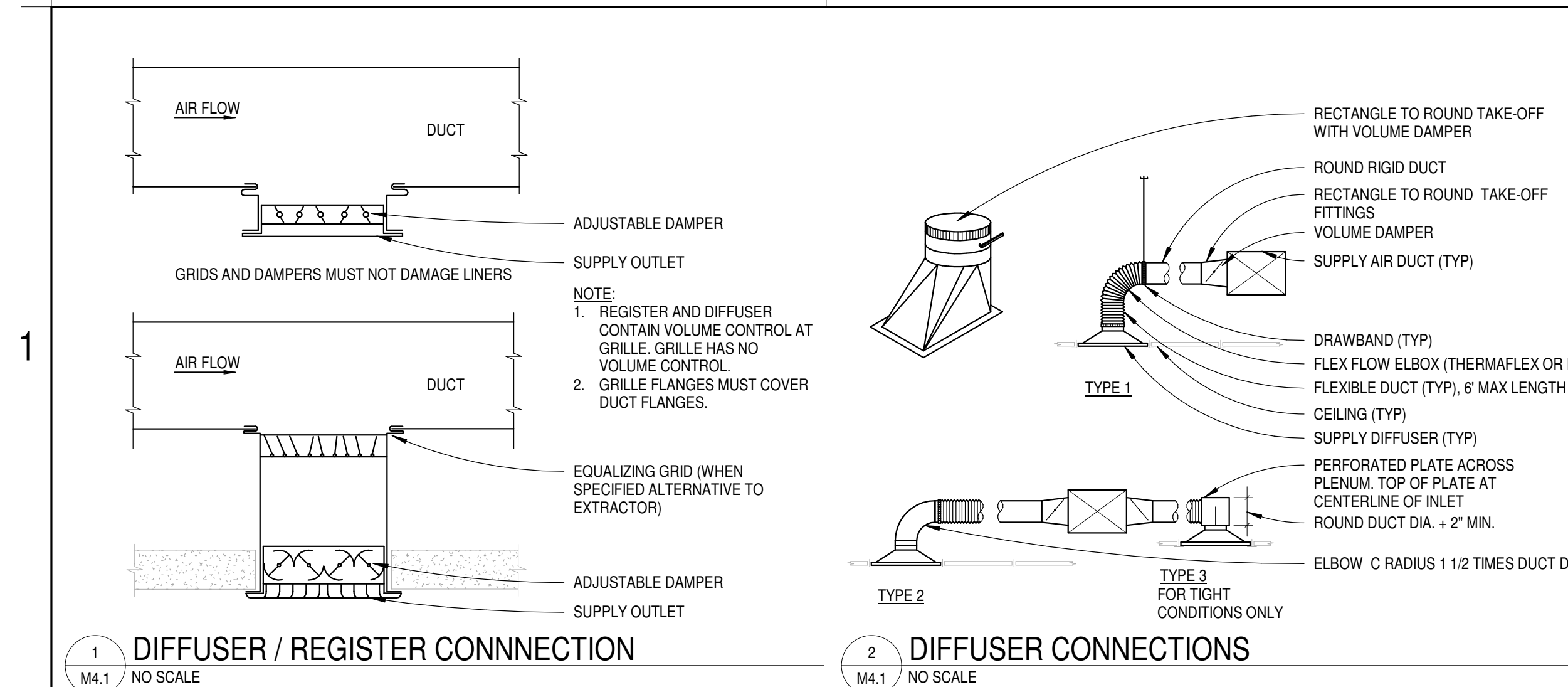
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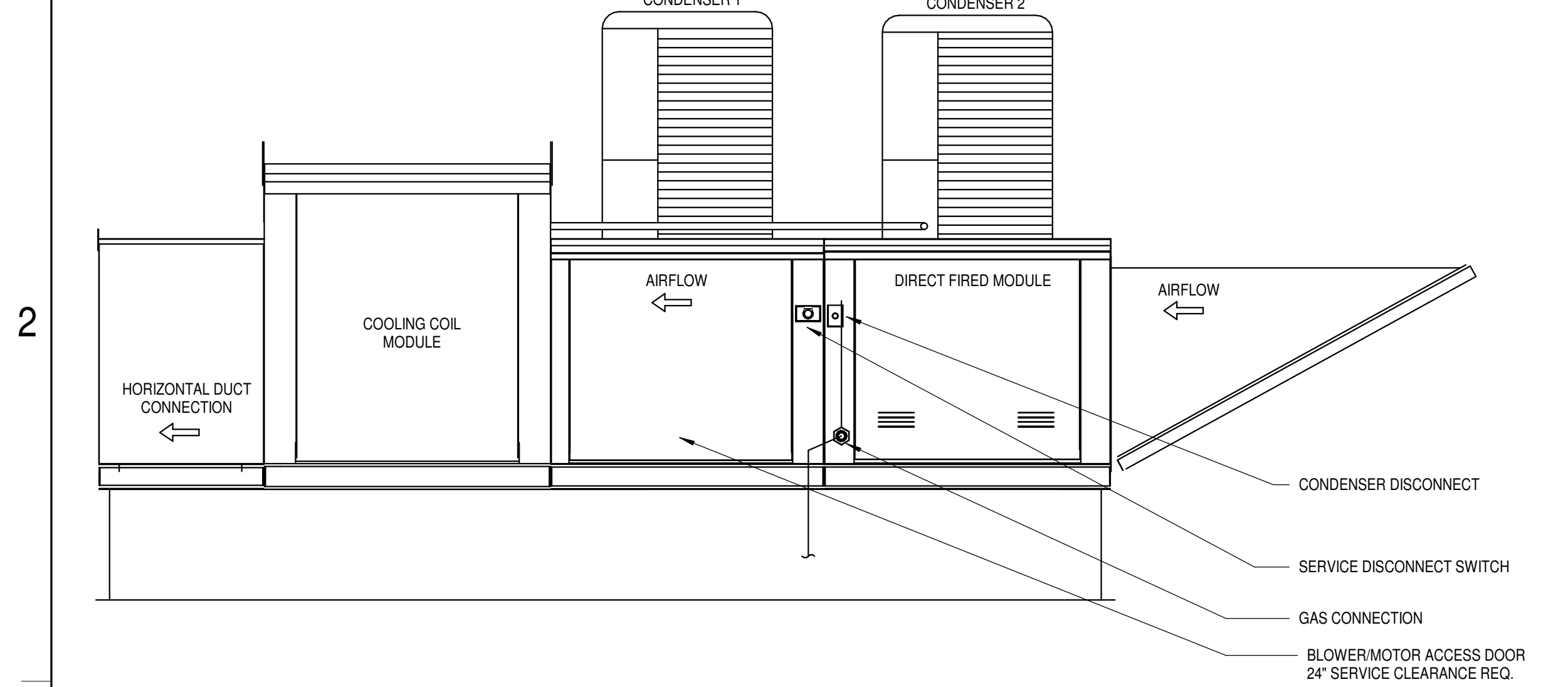
56-22108-00
LEVEL 02 HVAC PLAN - SOUTH

M1.2A

BM 360756-22108-00 CCC Main Clubhouse Renovations-56-22108-00-CCC Main Clubhouse Reno_MEP-2023.rvt
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1 DIFFUSER / REGISTER CONNECTION
M4.1 / NO SCALE



2 DIFFUSER CONNECTIONS
M4.1 / NO SCALE



3 OUTDOOR DUCTWORK INSULATION
M4.1 / NO SCALE



4 ROOF MOUNTED DUCT SUPPORTS
M4.1 / NO SCALE



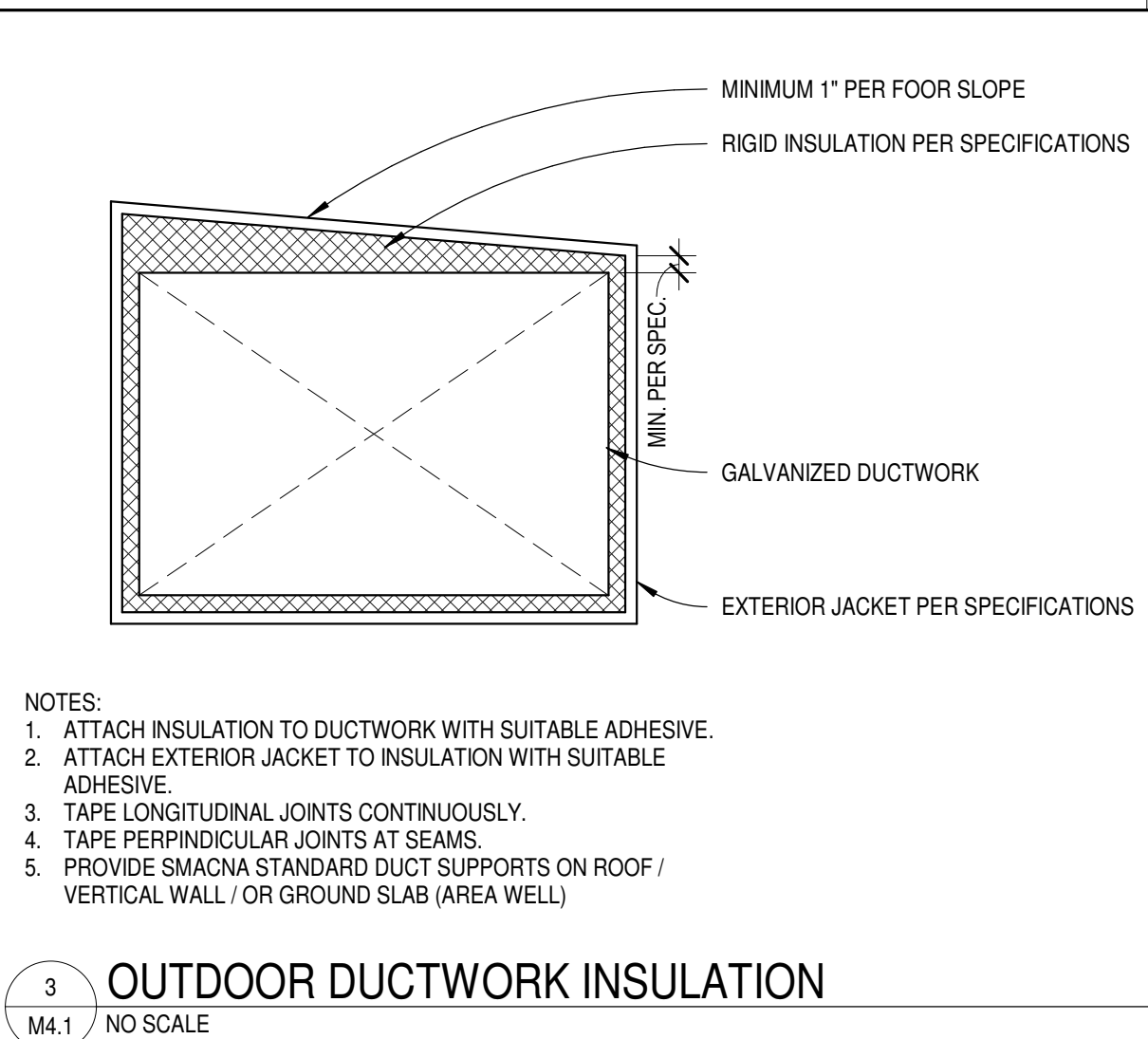
5 CONDENSATE DRAIN P-TRAP
M4.1 / NO SCALE



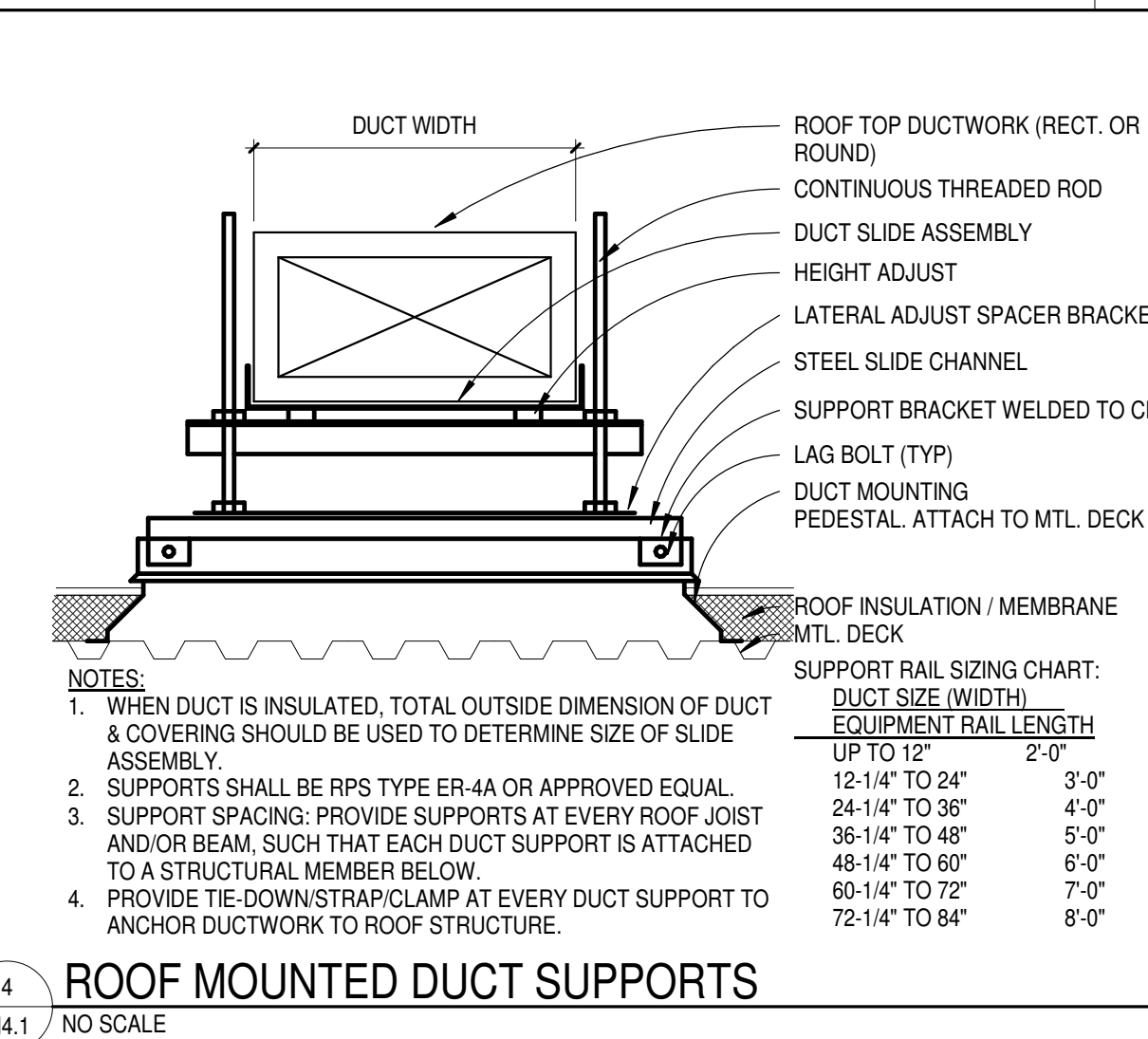
6 2-WAY COIL CONNECTION
M4.1 / NO SCALE



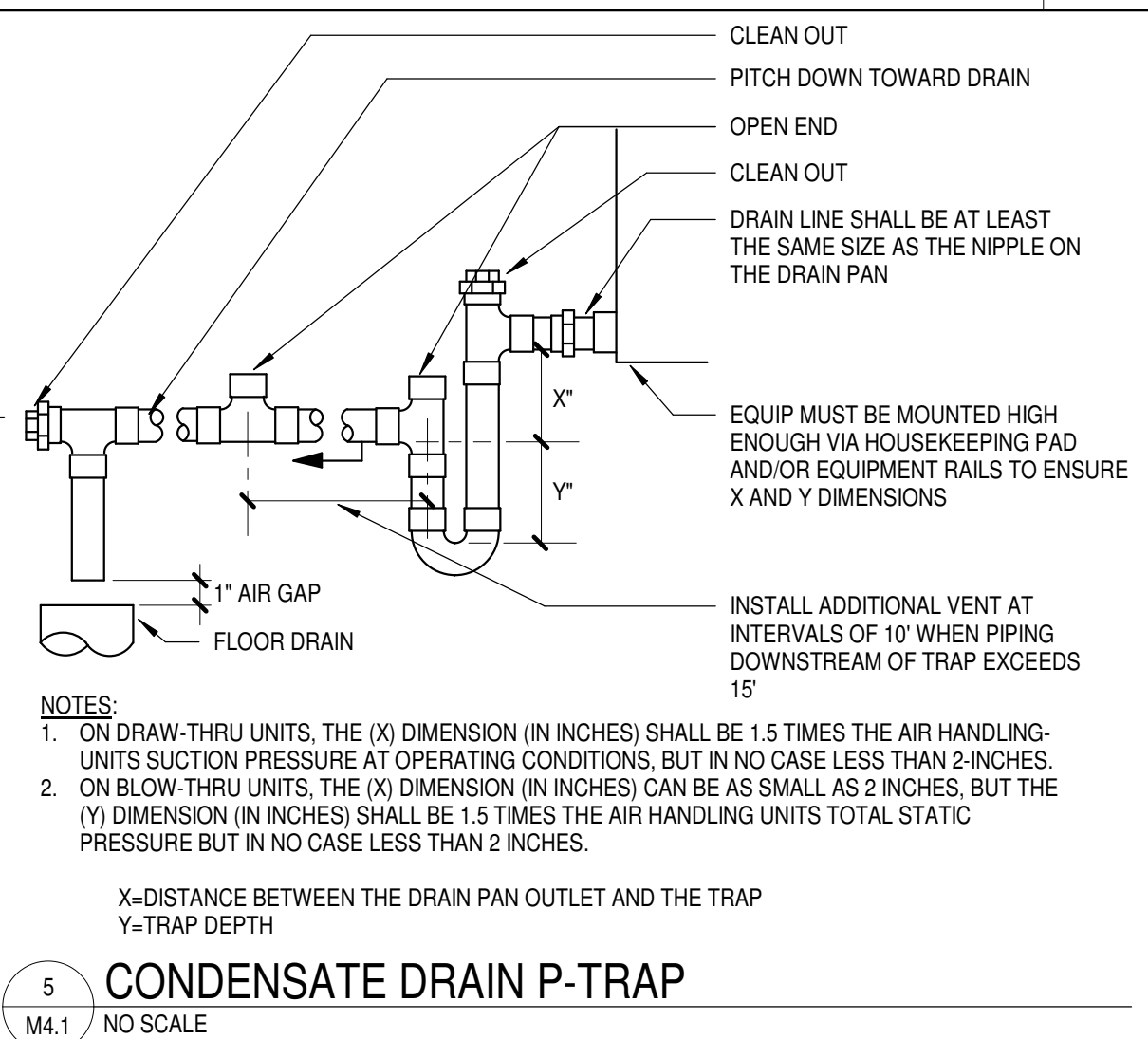
7 MODULAR PACKAGED COOLING MAKE-UP AIR UNIT
M4.1 / NO SCALE



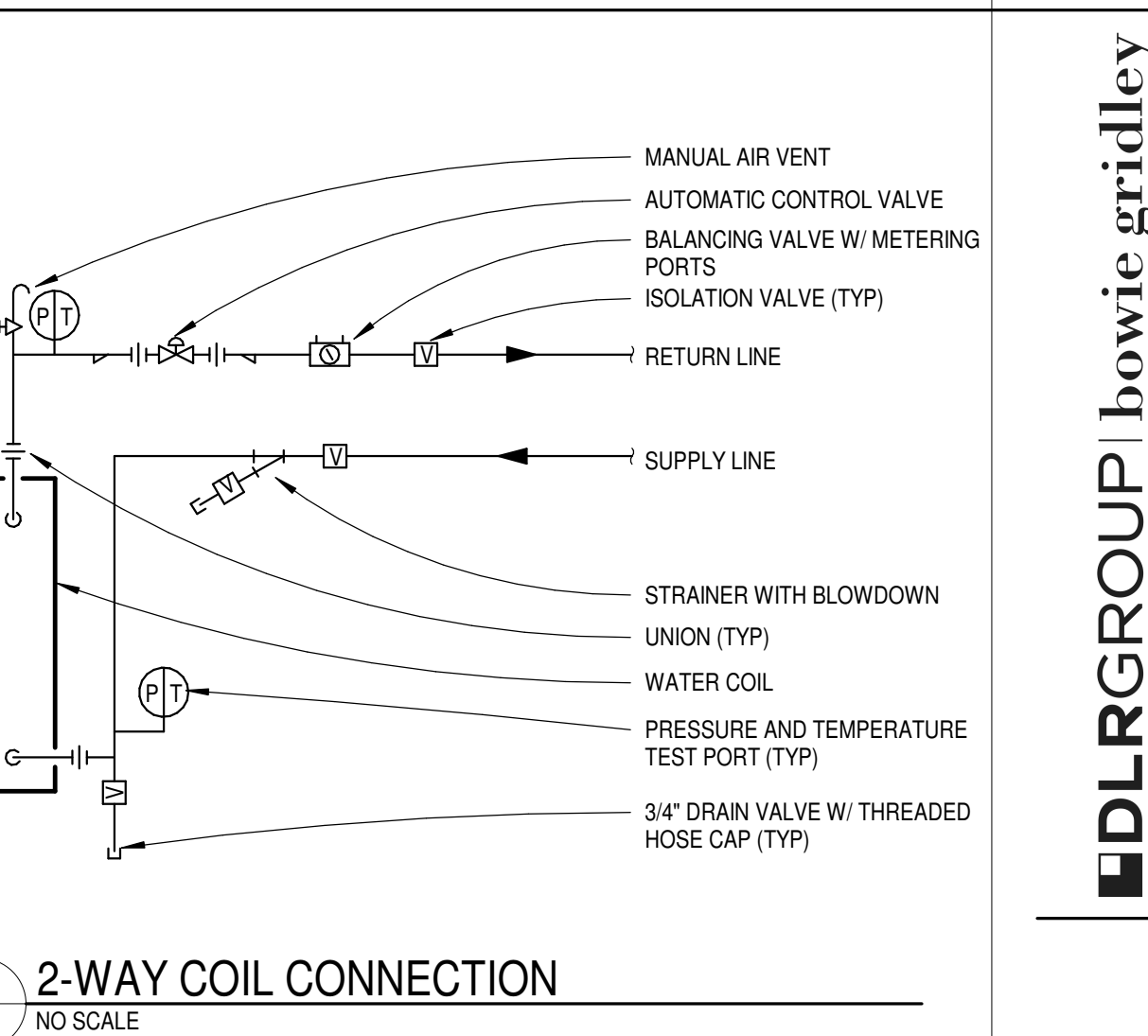
3 OUTDOOR DUCTWORK INSULATION
M4.1 / NO SCALE



4 ROOF MOUNTED DUCT SUPPORTS
M4.1 / NO SCALE



5 CONDENSATE DRAIN P-TRAP
M4.1 / NO SCALE



6 2-WAY COIL CONNECTION
M4.1 / NO SCALE

AIR HANDLING UNIT (FACTORY BUILT) SCHEDULE															
MARK	TYPE	MINIMUM OUTSIDE AIR	SUPPLY FAN SECTION DATA				ELECTRICAL DATA				COOLING COIL MARK	HEATING COIL MARK	BASIS OF DESIGN	MECH NOTES	
			CFM	BLADE TYPE	RPM	STATIC PRESSURE	HP	V	PH	HZ					
						EXT (IN WG)	TOT (IN WG)								
AC-1	DRAW THRU	800	4000	DDP	2,650	1	3.081	5	208	3	60	CC-1	HC-1	TRANE UCCA SIZE 8	1 THRU 5
AC-2	DRAW THRU	13100	13100	DDP	2,950	1	3.208	(2) 7.5	208	3	60	CC-2	HC-2	TRANE UCCA SIZE 25	1 THRU 5
AC-3	DRAW THRU	500	2700	DDP	2,700	1	2.748	3	208	3	60	CC-3	HC-3	TRANE UCCA SIZE 6	1 THRU 5
HV-3	DRAW THRU	19300	19300	DDP	2,000	2	3.14	10	208	3	60	---	HC-3A	TRANE CSAA SIZE 35	1 THRU 5
HV-4	DRAW THRU	6230	6230	DDP	2,500	2	2.676	7.5	208	3	60	---	HC-4	TRANE UCCA SIZE 12	1 THRU 5

MECHANICAL NOTES:
 1. EXTERNAL STATIC PRESSURE AS SHOWN IS EXTERNAL TO THE UNIT AND IS THE STATIC PRESSURE AVAILABLE FOR DUCTWORK AND ACCESSORIES.
 TOTAL STATIC PRESSURE = EXTERNAL + INTERNAL STATIC PRESSURE. DESIGN FOR MID-LIFE PRESSURE DROP FOR FILTER LOADING. THIS IS IN ADDITION TO THE CLEAN FILTER PRESSURE DROP.
 2. ALL SECTIONS (FIELD OR FACTORY FABRICATED) OF THE AIR HANDLING UNIT SHALL BE DOUBLE WALL INSULATED AS PER THE SPECIFICATIONS.
 3. PROVIDE ACCESS DOORS IN ALL FILTER, ACCESS AND FAN MODULES.
 4. PROVIDE DOUBLE WALL DRAIN PANS UNDER ALL COIL MODULES OR SECTIONS.
 5. DAMPERS LOCATED IN THE MIXING BOX / ECONOMIZER MODULE SHALL BE PROVIDED BY THE AHU MANUFACTURER. SEE SPECIFICATIONS.

COIL - CHILLED WATER SCHEDULE															
MARK	SERVES	CFM	COIL SIZE W x H (IN)	MIN ROWS	AIR SIDE				WATER SIDE				BASIS OF DESIGN	MECH NOTES	
					MAX FACE VELOCITY (FPM)	MAX AIR PD (IN WC)	MIN SEN CAP (MBH)	TOTAL CAP (MBH)	EAT DB (°F)	LAT DB (°F)	GPM	MAX WATER PD (FT WC)			EWT (°F)
CC-1	AC-1	4000	50 X 30	6	525	0.635	110.23	150.84	80 / 67	55 / 54.84	18.0	3.30	44.00	60.66	TRANE 1, 2
CC-2	AC-2	13100	80 X 60	6	550	0.763	361.01	496.76	80 / 67	55 / 54.76	68.0	5.07	44.00	58.56	TRANE 1, 2
CC-3	AC-3	2700	45 X 32	6	500	0.508	75.78	105.54	80 / 67	55 / 54.6	16.0	3.30	44.00	57.10	TRANE 1, 2

MECHANICAL NOTES:
 1. COIL CRITERIA:
 A. 0.0000 FOULING FACTOR.
 B. 3.0 FEET PER SECOND WATER VELOCITY.
 C. 5.0 GALLONS COIL WATER VOLUME.
 D. 80 FINS PER FOOT AND 0.02" TUBES.
 2. MAXIMUM FIN SPACING SHALL BE 10 FINS PER INCH.

COIL - HOT WATER SCHEDULE														
MARK	SERVES	CFM	COIL SIZE W x H (IN)	MIN ROWS	AIR SIDE				WATER SIDE				BASIS OF DESIGN	MECH NOTES
					MAX FACE VELOCITY (FPM)	MAX AIR PD (IN WC)	MIN SEN CAP (MBH)	TOTAL CAP (MBH)	EAT DB (°F)	LAT DB (°F)	GPM	MAX WATER PD (FT WC)		
HC-1	AC-1	4000	50 X 30	1	525	0.165	143.2	45.0	78.0	7.0	0.3	180.0	138.1	TRANE 1
HC-2	AC-2	13100	80 X 60	1	550	0.134	781.4	0.0	55.0	43.0	9.8	180.0	143.5	TRANE 1
HC-3	AC-3	2700	45 X 32	1	480	0.103	98.4	45.0	78.0	8.0	0.5	180.0	154.7	TRANE 1
HC-3A	HV-3	19300	87 X 54	1	580	0.119	721.2	55.0	90.0	72.0	10.2	180.0	160.0	TRANE 1
HC-4	HV-4	6230	70 X 40	2	510	0.184	206.5	55.0	90.0	8.0	0.1	180.0	131.2	TRANE 1

MECHANICAL NOTES:
 1. MAXIMUM FIN SPACING SHALL BE 10 FINS PER INCH.

FAN SCHEDULE															
MARK	SERVES	FAN TYPE	CFM	ESP (IN WG)	FAN RPM	DRIVE TYPE	ELECTRICAL DATA				MAX MOTORIZED DAMPER	UNIT WEIGHT (LBS)	BASIS OF DESIGN	MECH NOTES	
							HP	V	PH	HZ					
KEP-1	MAIN KITCHEN	CENT	16200	3	1725	BELT	15	208	3	60	---	750	COOK 330 CPA	1 THRU 6	
KEP-2	TAPROOM KITCHEN	CENT	3710	2	1015	DIRECT	5	208	3	60	20.1	---	750	CAPTIVE/FAIRE USB24DD-RM	1 THRU 6

MECHANICAL NOTES:
 1. PROVIDE UTILITY SET GREASE CUP.
 2. FAN SELECTION WITH THE FOLLOWING PARAMETER: NOT ALLOWED TO OPERATE IN MOTOR SAFETY FACTOR.
 3. DISCHARGE ORIENTATION VERTICAL UPPER LEFT - CW INLET SIDE. PROVIDE WITH 24" DISCHARGE EXTENSION.
 4. PROVIDE DISCONNECT SWITCH IN NEMA-1 ENCLOSURE FACTORY MOUNTED AND WIRED.
 5. FAN SHALL BE INTERLOCKED WITH KITCHEN HOOD CONTROLS.
 6. PROVIDE SPRING VIBRATION ISOLATORS.

ROOF-TOP MAKEUP AIR UNIT - GAS FIRED SCHEDULE																						
MARK	CFM	TYPE	% OA	FAN DATA				MINIMUM COOLING CAPACITY AT ENTERING CONDITIONS SHOWN				HEATING DATA				ELECTRICAL DATA		UNIT WEIGHT (LBS)	BASIS OF DESIGN	MECH NOTES		
				ESP (IN WG)	TSP (IN WG)	HP	TOTAL CAP (MBH)	SENS. CAP (MBH)	EAT DBWB (°F)	LAT DBWB (°F)	INPUT (MBH)	OUTPUT (MBH)	EAT (°F)	LAT (°F)	V	PH	HZ				MCA	MAX FUSE AMPS
MAU-1	2968	DIRECT-FIRED	100	0.75	---	3	56.7	37.8	91.74	78.8 / 68.8	240.8	221.5	0.0	70.0	208	3	60	11.9	20	1300	CAPTIVE/FAIRE A2-D.500-20D-MPU	1 THRU 6

MECHANICAL NOTES:
 1. UNIT SHALL BE PROVIDED WITH A MOTORIZED DAMPER ON INLET AIR.
 2. UNIT SHALL BE PROVIDED WITH A 20" HIGH INSULATED CURB AND RAIL SYSTEM.
 3. PROVIDE WITH A SINGLE CIRCUIT MODULAR PACKAGED COOLING OPTION, INCLUDING CONDENSERS, DX COIL, FILTER/DRYER KIT, THERMAL EXPANSION VALVE, R410A REFRIGERANT, AND REFRIGERANT PIPING.
 4. UNIT SHALL BE PROVIDED WITH FREEZE PROTECTION, HEAT INLET AIR SENSOR, DIRTY FILTER SWITCH, EXTERNAL COOLING LOCKOUT RELAY, SERVICE RECEPTACLE, TYPE III FIRE STAT, SMOKE DETECTOR, AND BMS MONITORING WITH REMOTE INTERFACE AND 75' CORD.
 5. COORDINATE WITH ELECTRICAL CONTRACTOR FOR MOUNTING OF CONTROL PANEL FOR UNIT.
 6. UNIT TO BE INTERLOCKED WITH KITCHEN HOOD CONTROLS. SUPPLIED BY OTHERS.

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CHEVY CHASE CLUB
 CLUBHOUSE RENOVATION
 6100 CONNECTICUT AVE
 CHEVY CHASE, MD 20815

ISSUED FOR PERMIT
 4/12/2023
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56-22108-00
 HVAC DETAILS & SCHEDULES

M4.1

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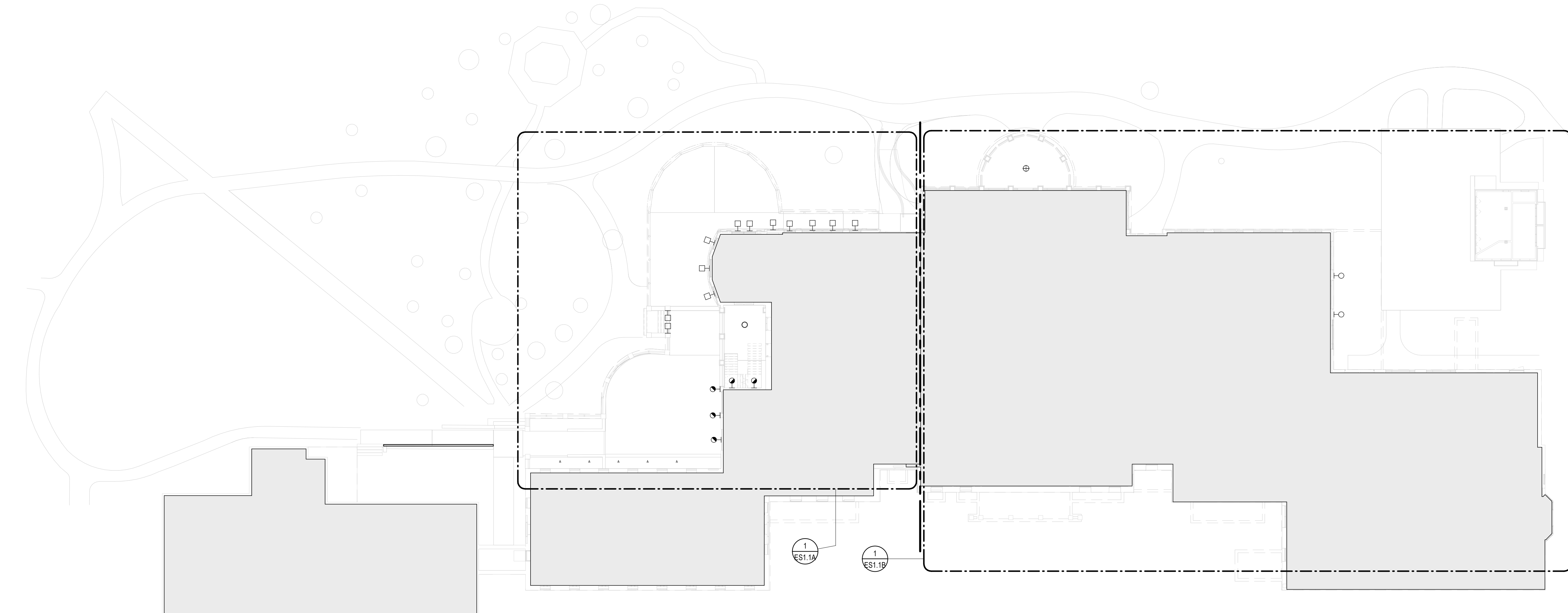
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1 SITE LIGHTING - OVERALL
 ES1.0 SCALE: 1" = 20'-0"

BM 360766-22108-00 CCC Main Clubhouse Renovations5622108-00-CCC Main Clubhouse Reno MEP-2020.rvt
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CHEY CHASE CLUB
 CLUBHOUSE RENOVATION
 6100 CONNECTICUT AVE
 CHEY CHASE, MD 20815

ISSUED FOR PERMIT
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 REVISIONS

56-22108-00
 SITE LIGHTING
 PLAN - OVERALL

ES1.0

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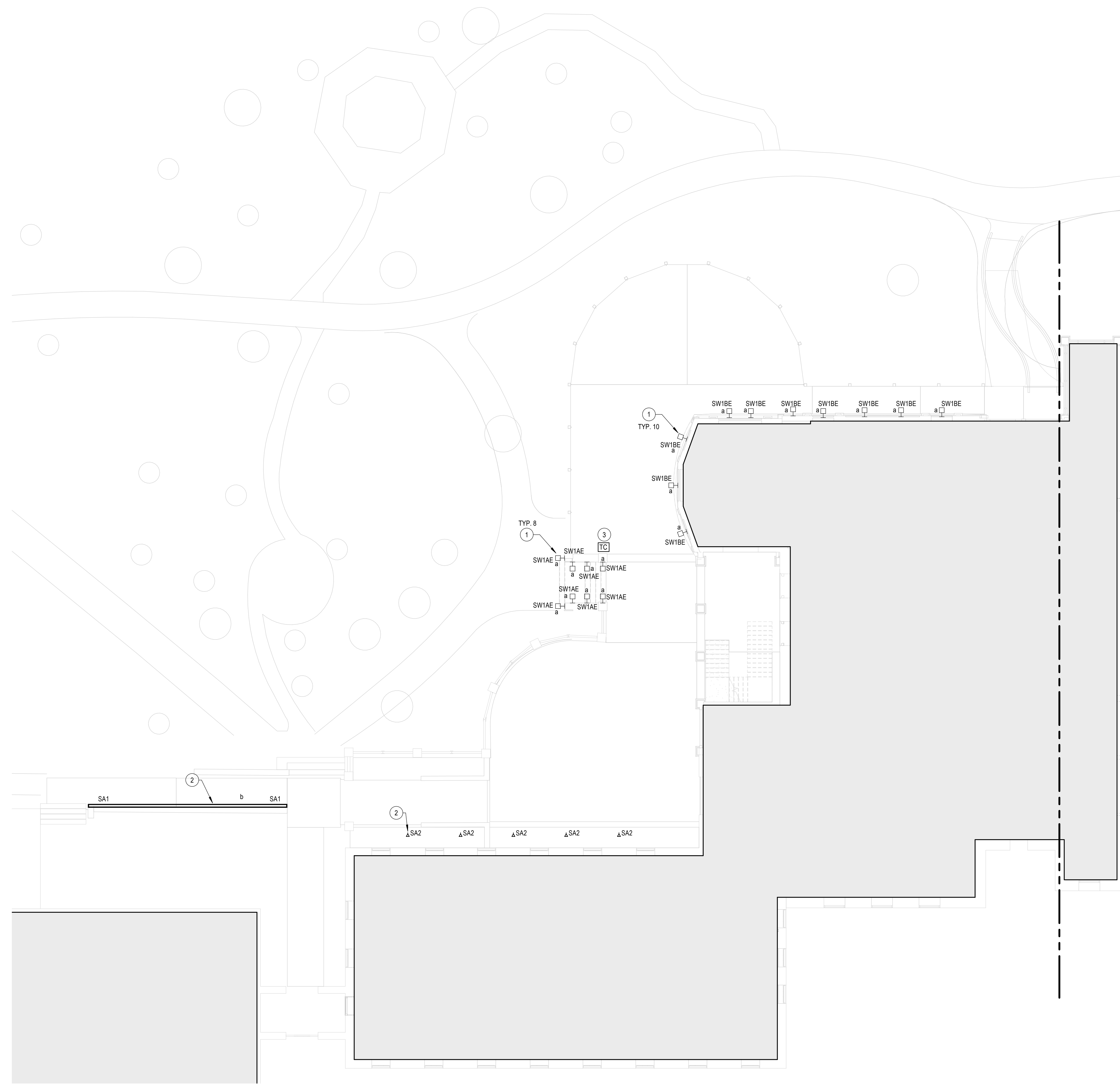
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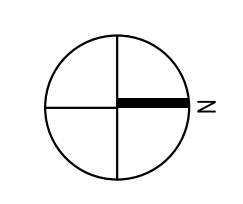
SHEET NOTES

- 1 PROVIDE 2#12 + 1#12 GND BACK TO CIRCUIT PKC-2. CONNECT TO CENTRAL BATTERY INVERTER INV-8, EMERGENCY LIGHTING RELAY, AND TIME CLOCK IN BASEMENT MECH RM #2. SEE SHEET E3.0A.
- 2 NEW SITE LIGHT TO BE CONNECTED TO EXISTING LANDSCAPE LIGHTING CIRCUIT SERVING AREA. PROVIDE TIMECLOCK FOR LIGHTING CONTROL.
- 3 NEW TIMECLOCK FOR SITE LIGHTING CONTROL TO BE LOCATED UNDERNEATH NEW DECK.



1 SITE LIGHTING - ENLARGED SOUTH

ES1.1A SCALE: 1" = 10'-0"



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CHEVY CHASE, MD 20815

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ENLARGED SITE LIGHTING PLAN - SOUTH

ES1.1A

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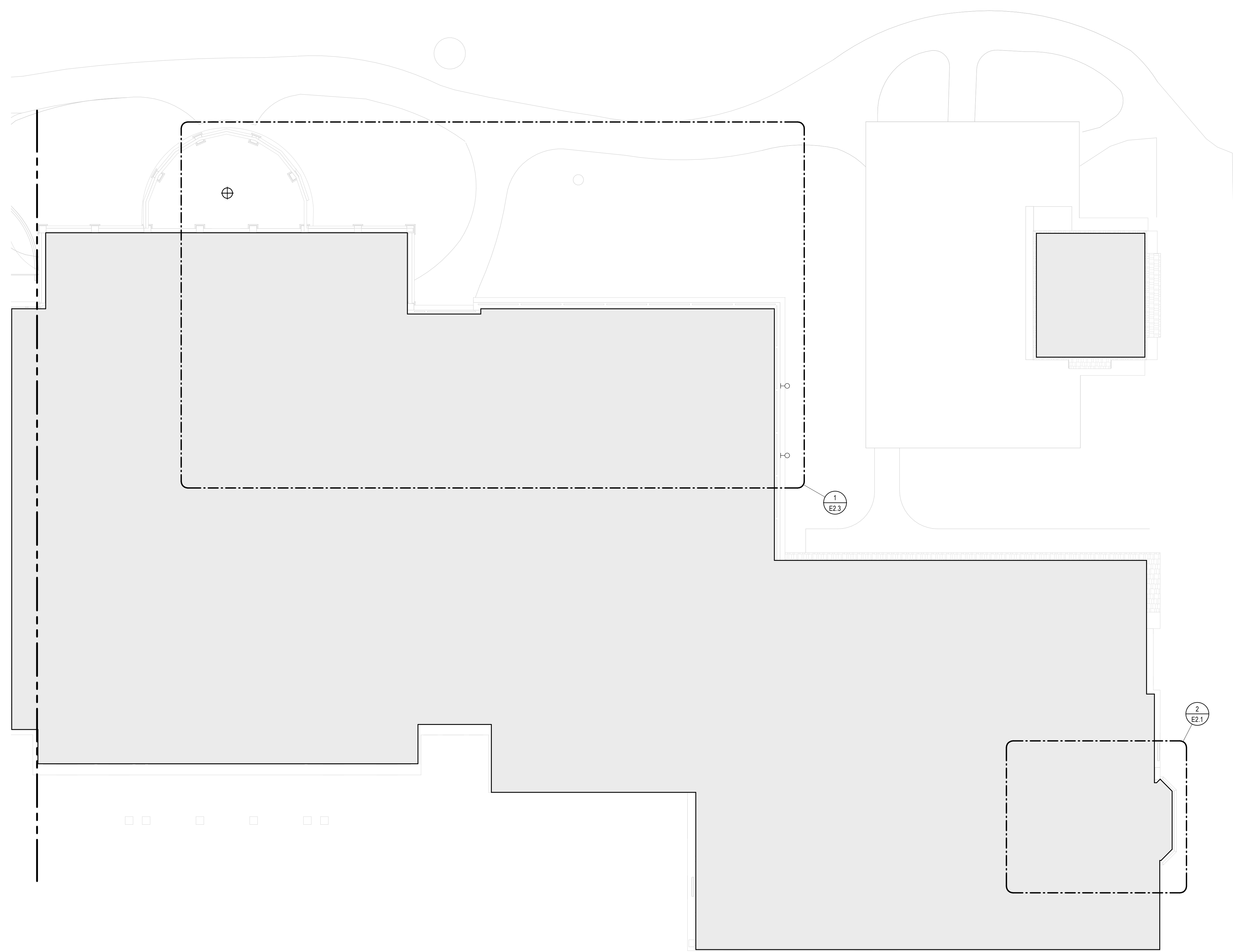
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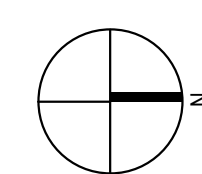
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1 SITE LIGHTING - ENLARGED NORTH
ES1.1B SCALE: 1" = 10'-0"



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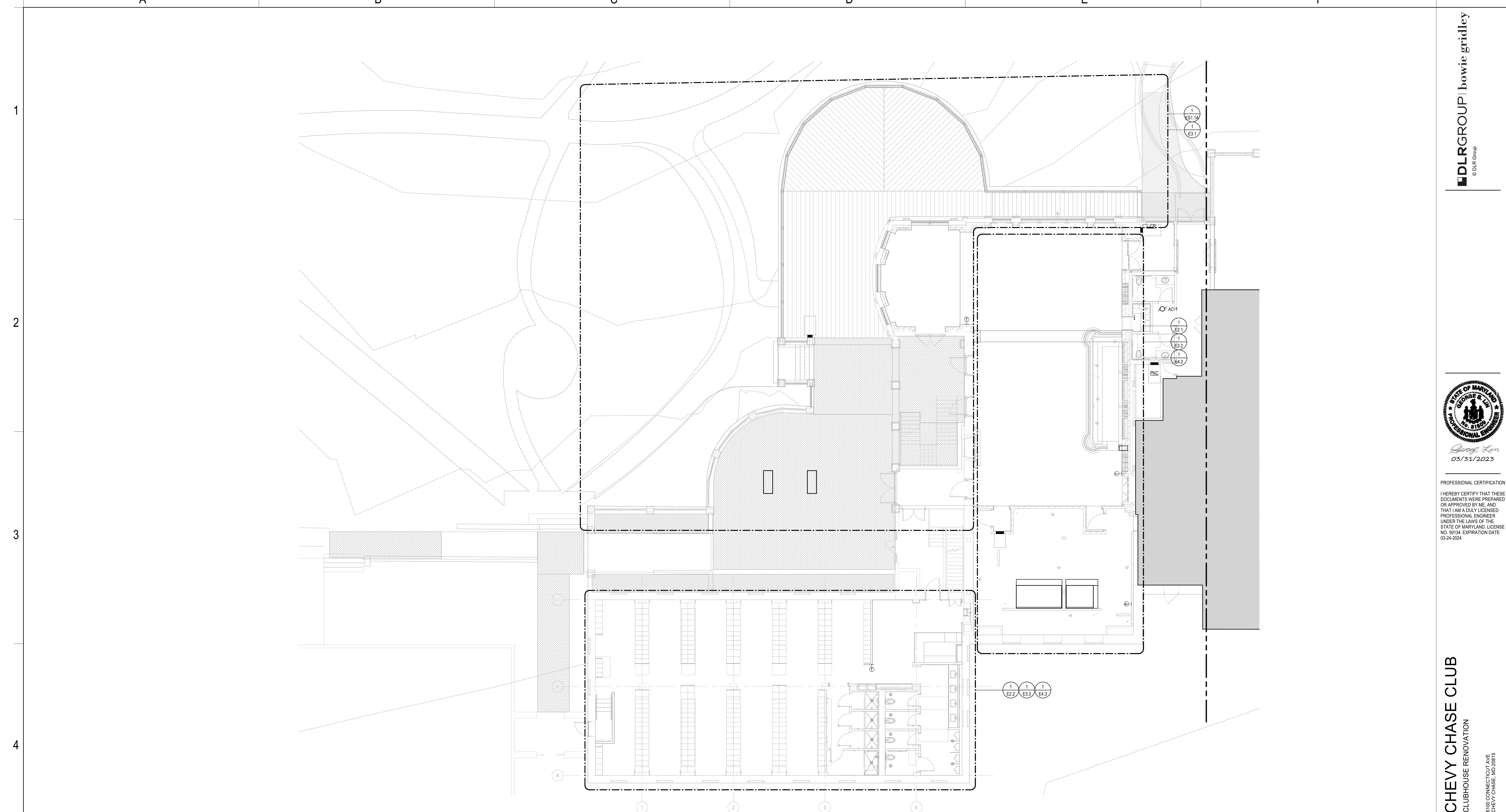
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REVISIONS

56-22108-00
ENLARGED SITE LIGHTING PLAN - NORTH

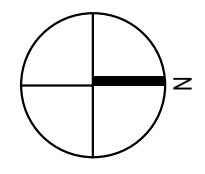
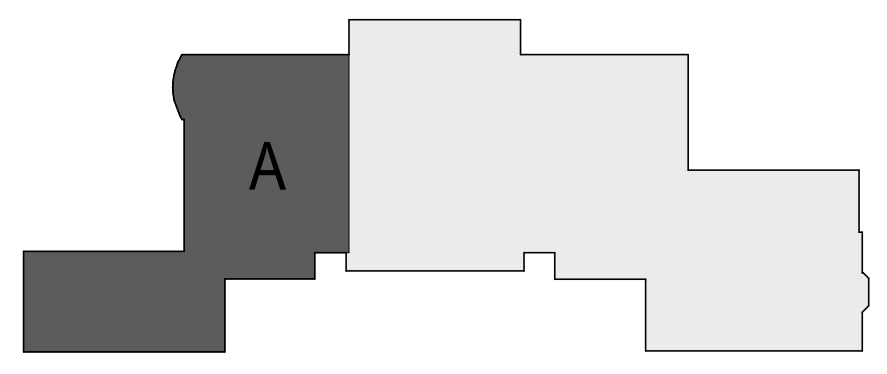
ES1.1B

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1 ELECTRICAL LEVEL 01 FLOOR PLAN - SOUTH
E1.1A SCALE: 1/8" = 1'-0"

KEY PLAN



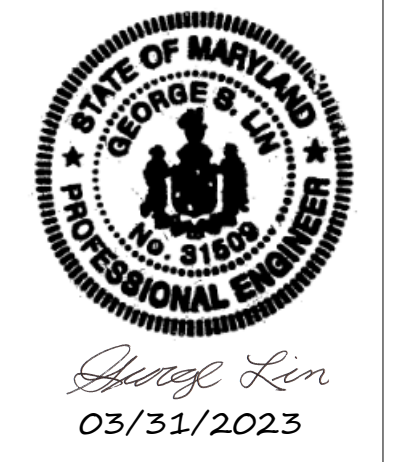
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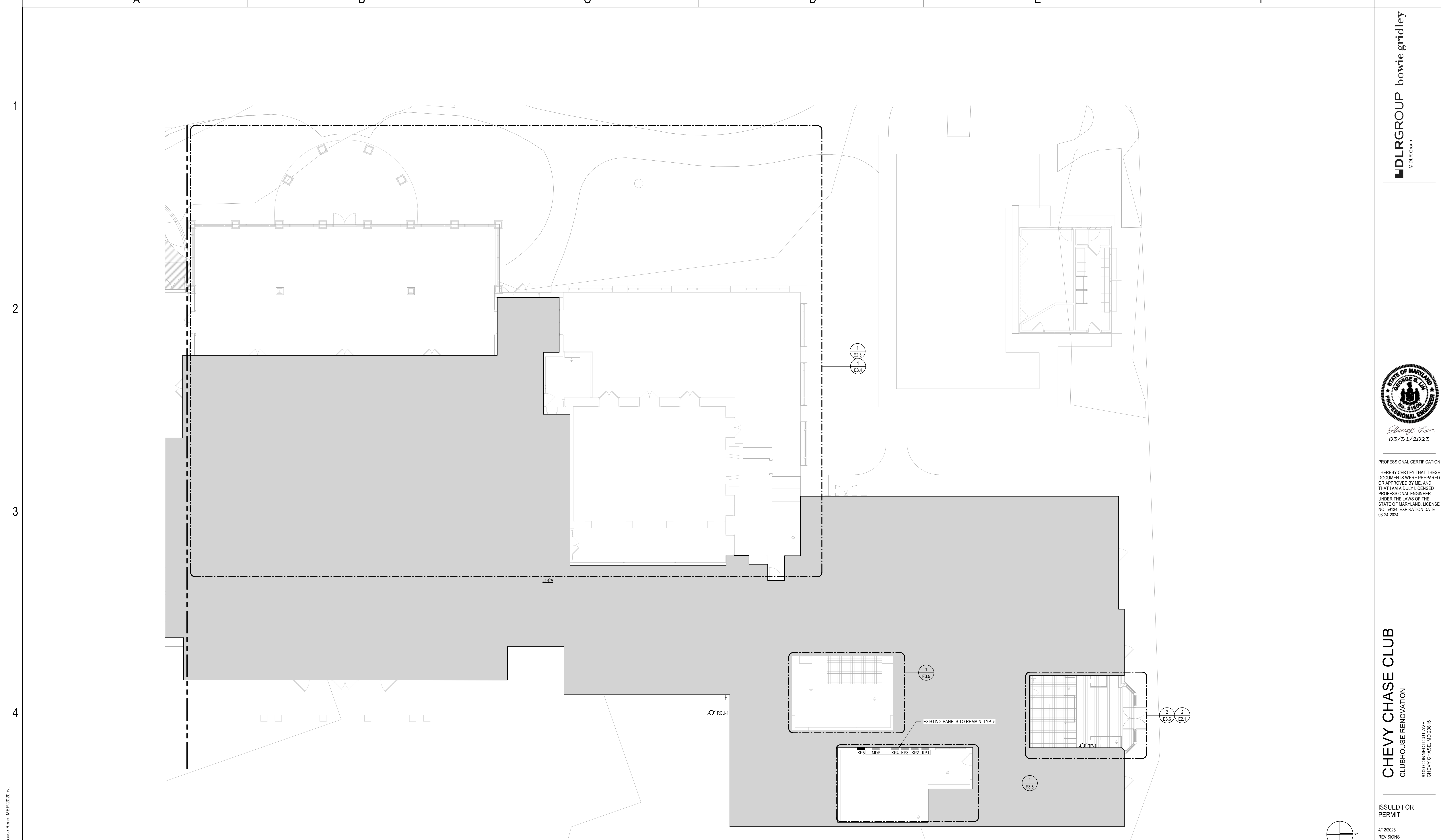
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ELECTRICAL LEVEL 01 FLOOR PLAN - SOUTH

E1.1A

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CLUBHOUSE RENOVATION
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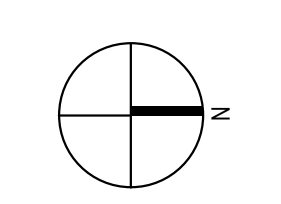
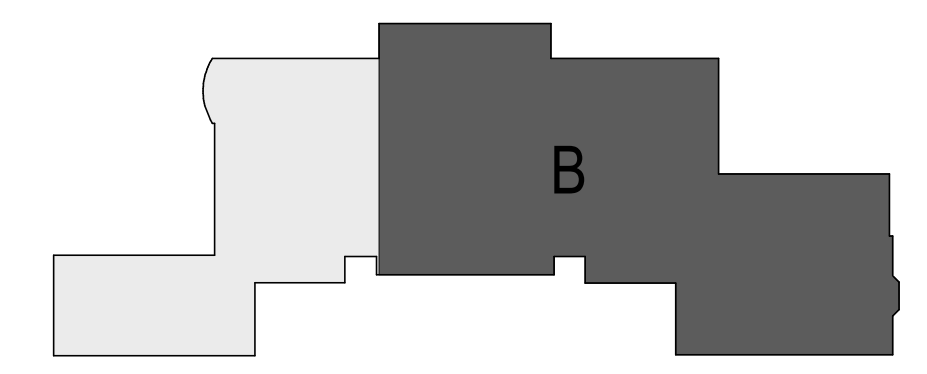




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1
ELECTRICAL LEVEL 01 FLOOR PLAN - NORTH
 E1.1B SCALE: 1/8" = 1'-0"

KEY PLAN



George Len
 03/31/2023

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CHEVY CHASE CLUB

CLUBHOUSE RENOVATION

6100 CONNECTICUT AVE

CHEVY CHASE, MD 20815

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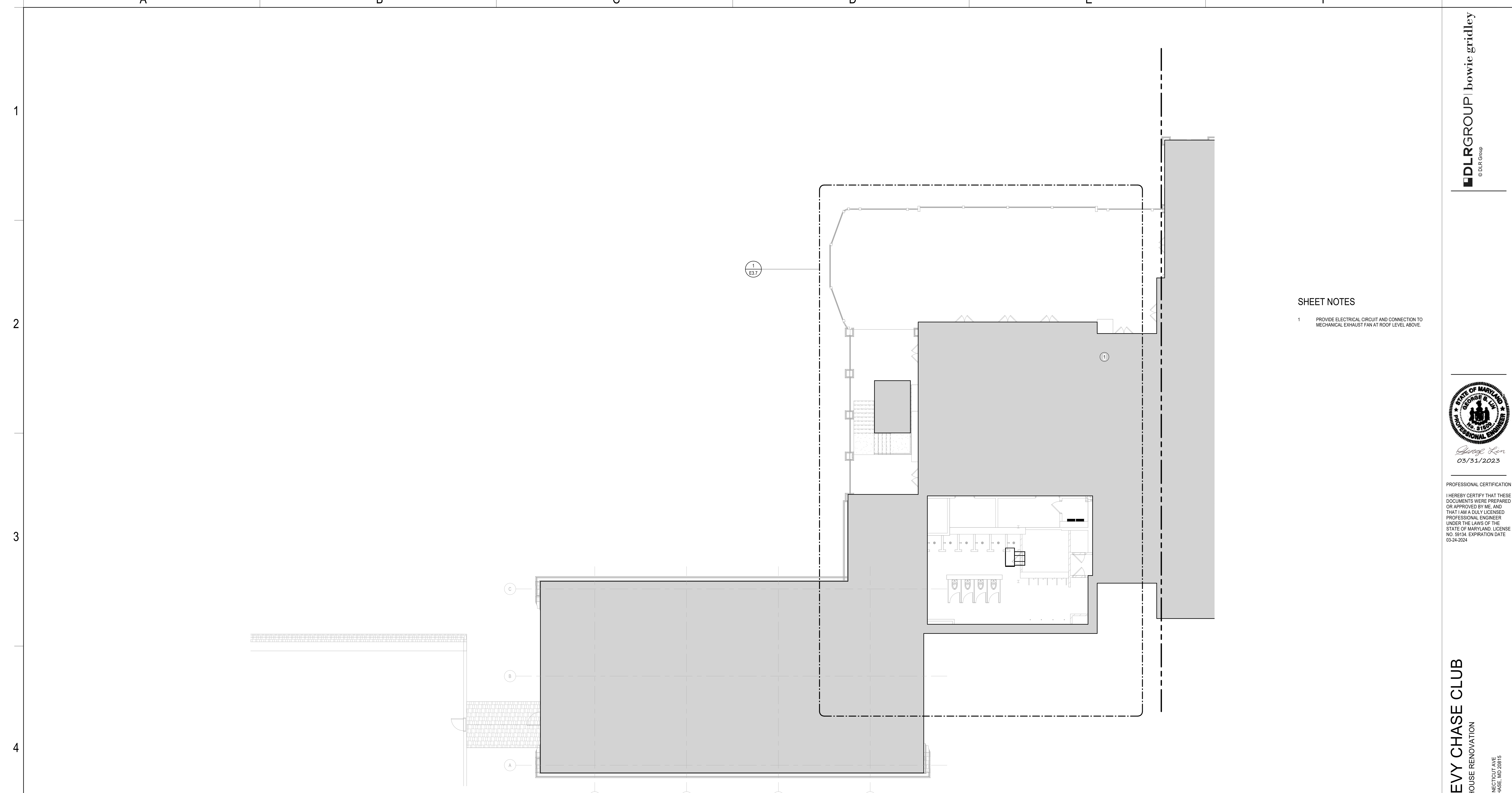
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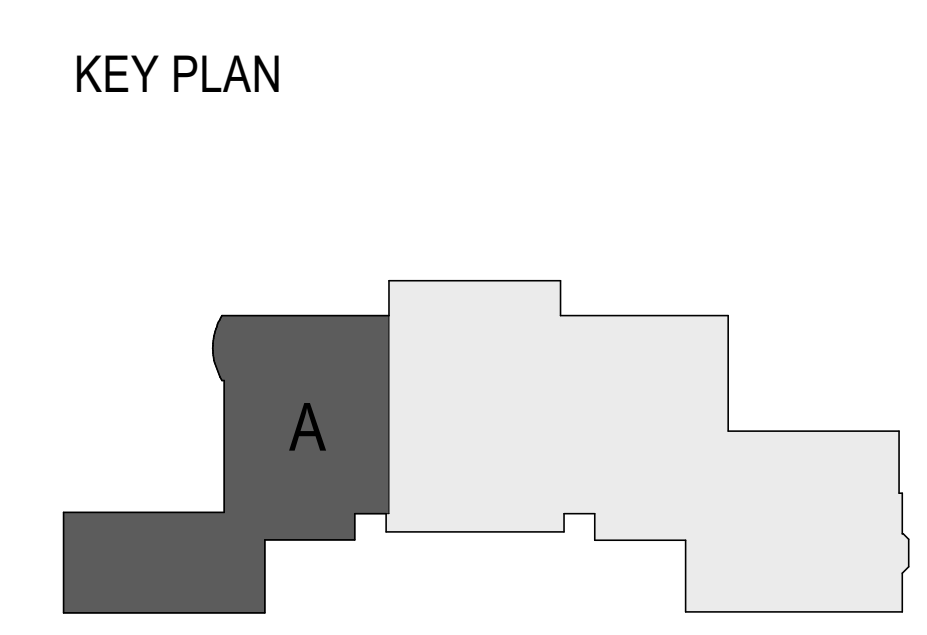
ELECTRICAL LEVEL 01 FLOOR PLAN - NORTH

E1.1B



ELECTRICAL LEVEL 02 FLOOR PLAN - SOUTH
 E1.2A SCALE: 1/8" = 1'-0"

SHEET NOTES
 1 PROVIDE ELECTRICAL CIRCUIT AND CONNECTION TO MECHANICAL EXHAUST FAN AT ROOF LEVEL ABOVE.



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 ELECTRICAL LEVEL 02 FLOOR PLAN - SOUTH

E1.2A

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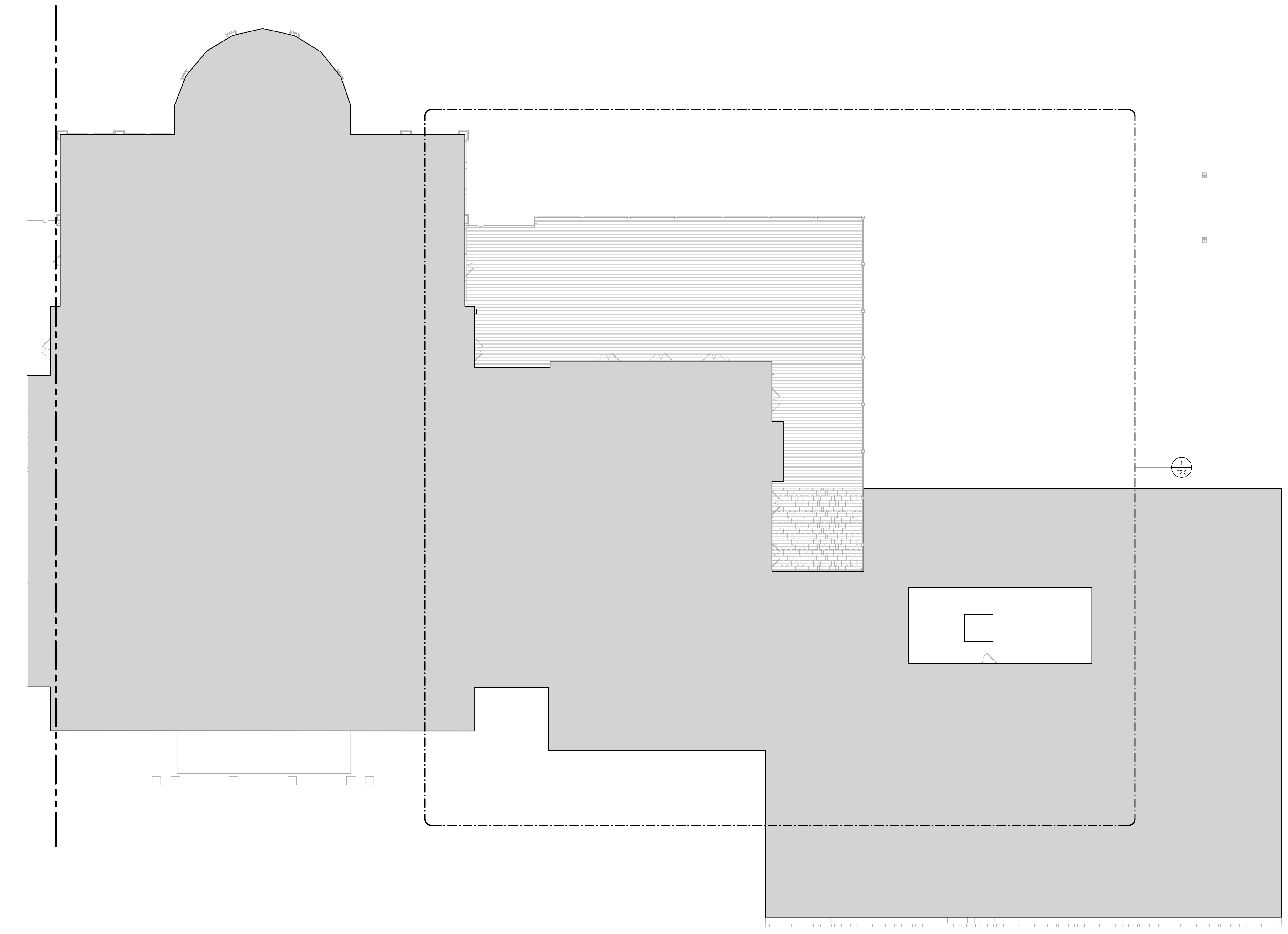
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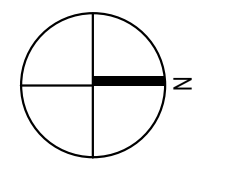
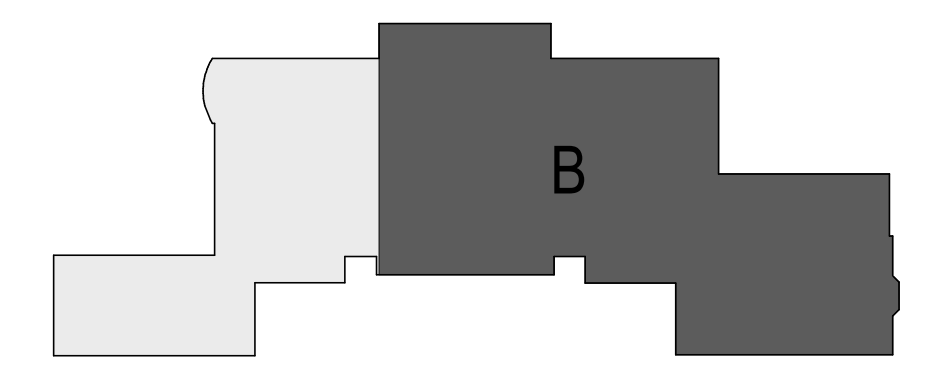
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E1.2B SCALE: 1/8" = 1'-0"

ELECTRICAL LEVEL 02 FLOOR PLAN - NORTH

KEY PLAN



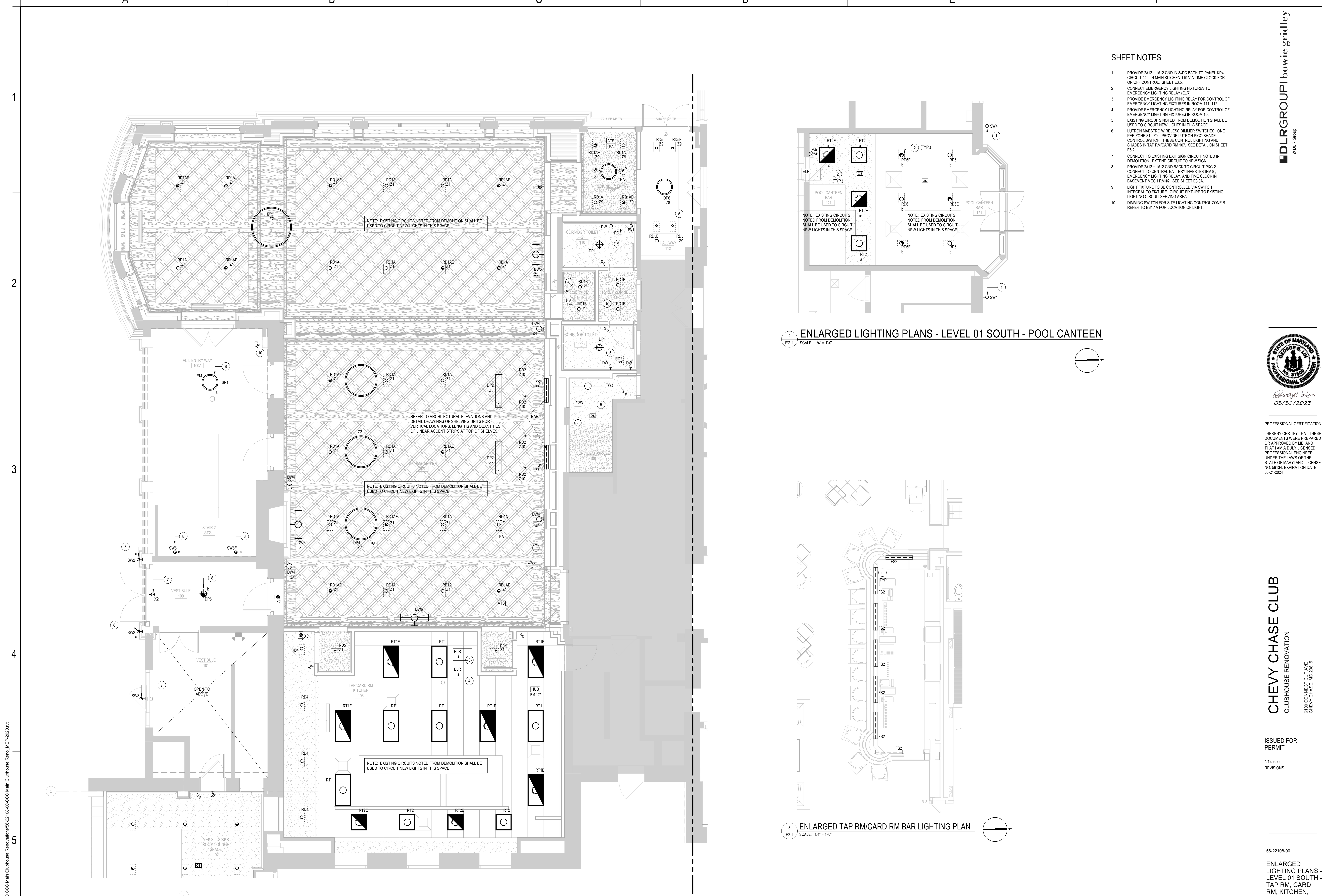
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ELECTRICAL LEVEL 02 FLOOR PLAN - NORTH

E1.2B



1 ENLARGED LIGHTING PLANS - LEVEL 01 SOUTH - TAP RM & CARD RM
E2.1 SCALE: 1/4" = 1'-0"

2 ENLARGED LIGHTING PLANS - LEVEL 01 SOUTH - POOL CANTEEN
E2.1 SCALE: 1/4" = 1'-0"

3 ENLARGED TAP RM/CARD RM BAR LIGHTING PLAN
E2.1 SCALE: 1/4" = 1'-0"

SHEET NOTES

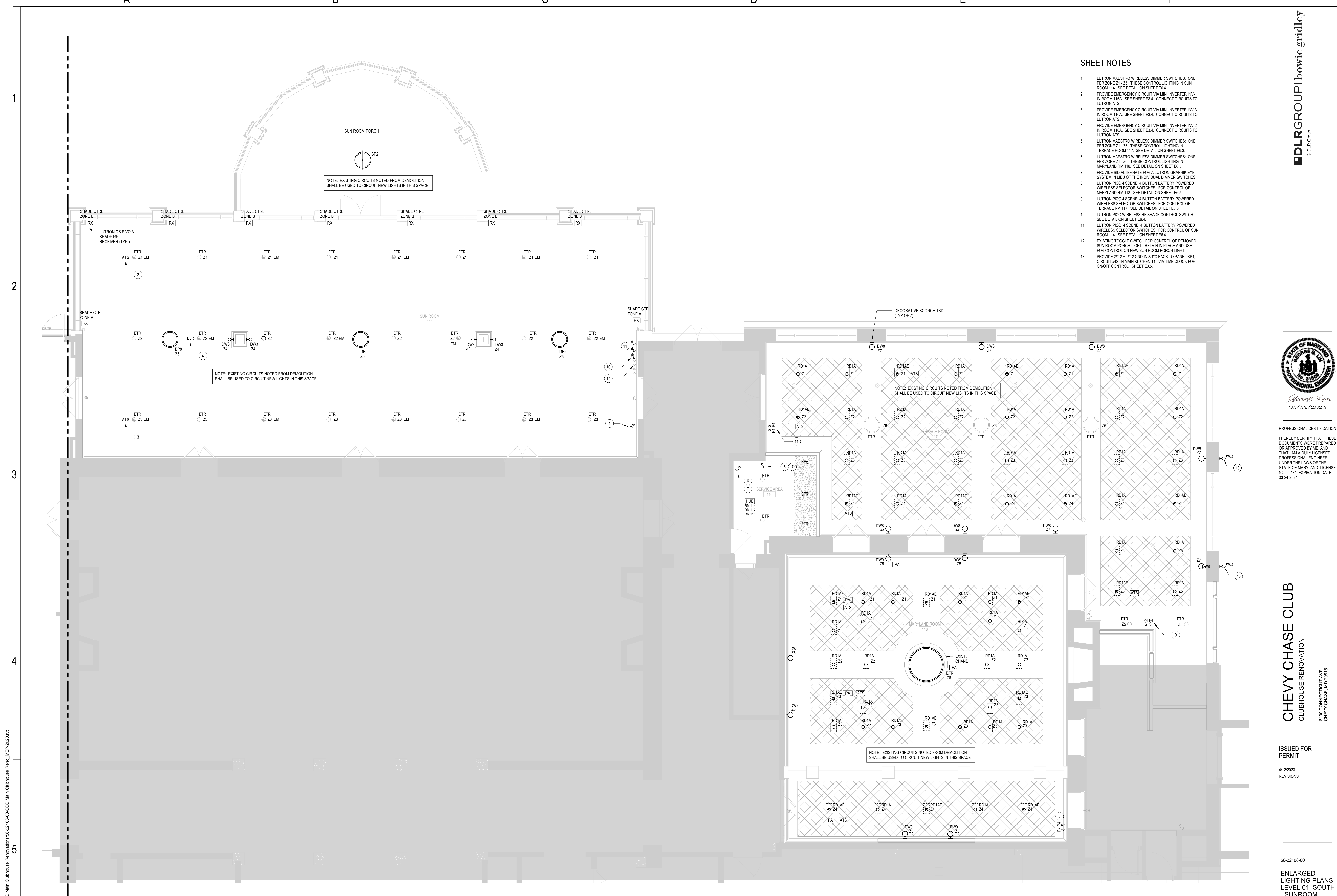
- 1 PROVIDE 2#12 + 1#12 GND IN 34" C BACK TO PANEL KP4. CIRCUIT #42 IN MAIN KITCHEN 119 VIA TIME CLOCK FOR ON/OFF CONTROL. SHEET E3.5.
- 2 CONNECT EMERGENCY LIGHTING FIXTURES TO EMERGENCY LIGHTING RELAY (ELR).
- 3 PROVIDE EMERGENCY LIGHTING RELAY FOR CONTROL OF EMERGENCY LIGHTING FIXTURES IN ROOM 111, 112.
- 4 PROVIDE EMERGENCY LIGHTING RELAY FOR CONTROL OF EMERGENCY LIGHTING FIXTURES IN ROOM 106.
- 5 EXISTING CIRCUITS NOTED FROM DEMOLITION SHALL BE USED TO CIRCUIT NEW LIGHTS IN THIS SPACE.
- 6 LUTRON MAESTRO WIRELESS DIMMER SWITCHES - ONE PER ZONE Z1 - Z9. PROVIDE LUTRON PICO SHADE CONTROL SWITCH. THESE CONTROL LIGHTING AND SHADES IN TAP RM/CARD RM 107. SEE DETAIL ON SHEET E3.2.
- 7 CONNECT TO EXISTING EXIT SIGN CIRCUIT NOTED IN DEMOLITION. EXTEND CIRCUIT TO NEW SIGN.
- 8 PROVIDE 2#12 + 1#12 GND BACK TO CIRCUIT PKC-2. CONNECT TO CENTRAL BATTERY INVERTER INV-8. EMERGENCY LIGHTING RELAY AND TIME CLOCK IN BASEMENT MECH RM #2. SEE SHEET E3.0A.
- 9 LIGHT FIXTURE TO BE CONTROLLED VIA SWITCH INTEGRAL TO FIXTURE. CIRCUIT FIXTURE TO EXISTING LIGHTING CIRCUIT SERVING AREA.
- 10 DIMMING SWITCH FOR SITE LIGHTING CONTROL ZONE B. REFER TO E3.1A FOR LOCATION OF LIGHT.

BM 360766-22108-00 CCC Main Clubhouse Renovation5622108-00-CCC Main Clubhouse Reno_MEP-2020.rvt
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PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 59134. EXPIRATION DATE 03-31-2024

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SHEET NOTES

- 1 LUTRON MAESTRO WIRELESS DIMMER SWITCHES. ONE PER ZONE Z1 - Z3. THESE CONTROL LIGHTING IN SUN ROOM 114. SEE DETAIL ON SHEET E3.4.
- 2 PROVIDE EMERGENCY CIRCUIT VIA MINI INVERTER INV-1 IN ROOM 116A. SEE SHEET E3.4. CONNECT CIRCUITS TO LUTRON ATS.
- 3 PROVIDE EMERGENCY CIRCUIT VIA MINI INVERTER INV-3 IN ROOM 116A. SEE SHEET E3.4. CONNECT CIRCUITS TO LUTRON ATS.
- 4 PROVIDE EMERGENCY CIRCUIT VIA MINI INVERTER INV-2 IN ROOM 116A. SEE SHEET E3.4. CONNECT CIRCUITS TO LUTRON ATS.
- 5 LUTRON MAESTRO WIRELESS DIMMER SWITCHES. ONE PER ZONE Z1 - Z6. THESE CONTROL LIGHTING IN TERRACE ROOM 117. SEE DETAIL ON SHEET E3.3.
- 6 LUTRON MAESTRO WIRELESS DIMMER SWITCHES. ONE PER ZONE Z1 - Z6. THESE CONTROL LIGHTING IN MARYLAND RM 118. SEE DETAIL ON SHEET E3.5.
- 7 PROVIDE BID ALTERNATE FOR A LUTRON GRAPHIK EYE SYSTEM IN LIEU OF THE INDIVIDUAL DIMMER SWITCHES.
- 8 LUTRON PICO 4 SCENE. 4 BUTTON BATTERY POWERED WIRELESS SELECTOR SWITCHES. FOR CONTROL OF MARYLAND RM 118. SEE DETAIL ON SHEET E3.5.
- 9 LUTRON PICO 4 SCENE. 4 BUTTON BATTERY POWERED WIRELESS SELECTOR SWITCHES. FOR CONTROL OF TERRACE RM 117. SEE DETAIL ON SHEET E3.3.
- 10 LUTRON PICO WIRELESS RF SHADE CONTROL SWITCH. SEE DETAIL ON SHEET E3.4.
- 11 LUTRON PICO 4 SCENE. 4 BUTTON BATTERY POWERED WIRELESS SELECTOR SWITCHES. FOR CONTROL OF SUN ROOM 114. SEE DETAIL ON SHEET E3.4.
- 12 EXISTING TOGGLE SWITCH FOR CONTROL OF REMOVED SUN ROOM PORCH LIGHT. RETAIN IN PLACE AND USE FOR CONTROL ON NEW SUN ROOM PORCH LIGHT.
- 13 PROVIDE 2#12 - 1#12 GND IN SMC BACK TO PANEL RPA. CIRCUIT #42 IN MAIN KITCHEN 119 VIA TIME CLOCK FOR ON/OFF CONTROL. SHEET E3.5.



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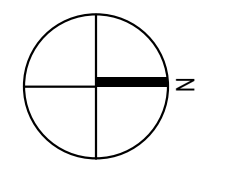
56-22108-00
ENLARGED LIGHTING PLANS - LEVEL 01 SOUTH - SUNROOM, MARYLAND RM & TERRACE RM

E2.3

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ENLARGED LIGHTING PLANS - LEVEL 01 SOUTH - SUNROOM, MARYLAND RM, & TERRACE RM

1 E2.3 SCALE: 1/4" = 1'-0"



A

B

C

D

E

F

SHEET NOTES

1 CONNECT TO EXISTING CIRCUIT CONDUCTORS AS NOTED IN DEMOLITION.

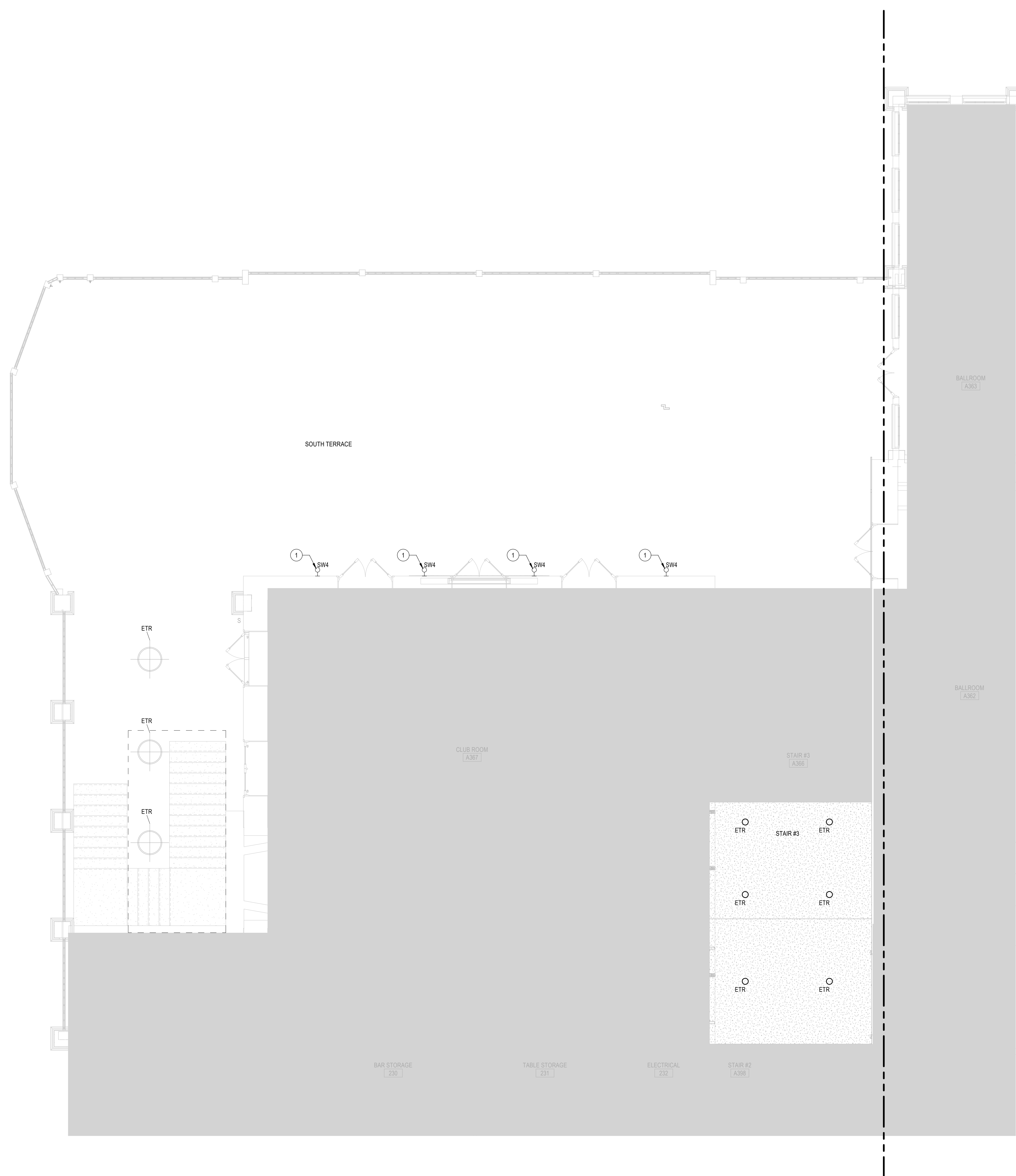
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2

3

4

5



1 ENLARGED LIGHTING PLANS - LEVEL 02 SOUTH - TERRACE
 E2.4 SCALE: 1/4" = 1'-0"



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 ENLARGED LIGHTING PLANS - LEVEL 02 SOUTH - TERRACE

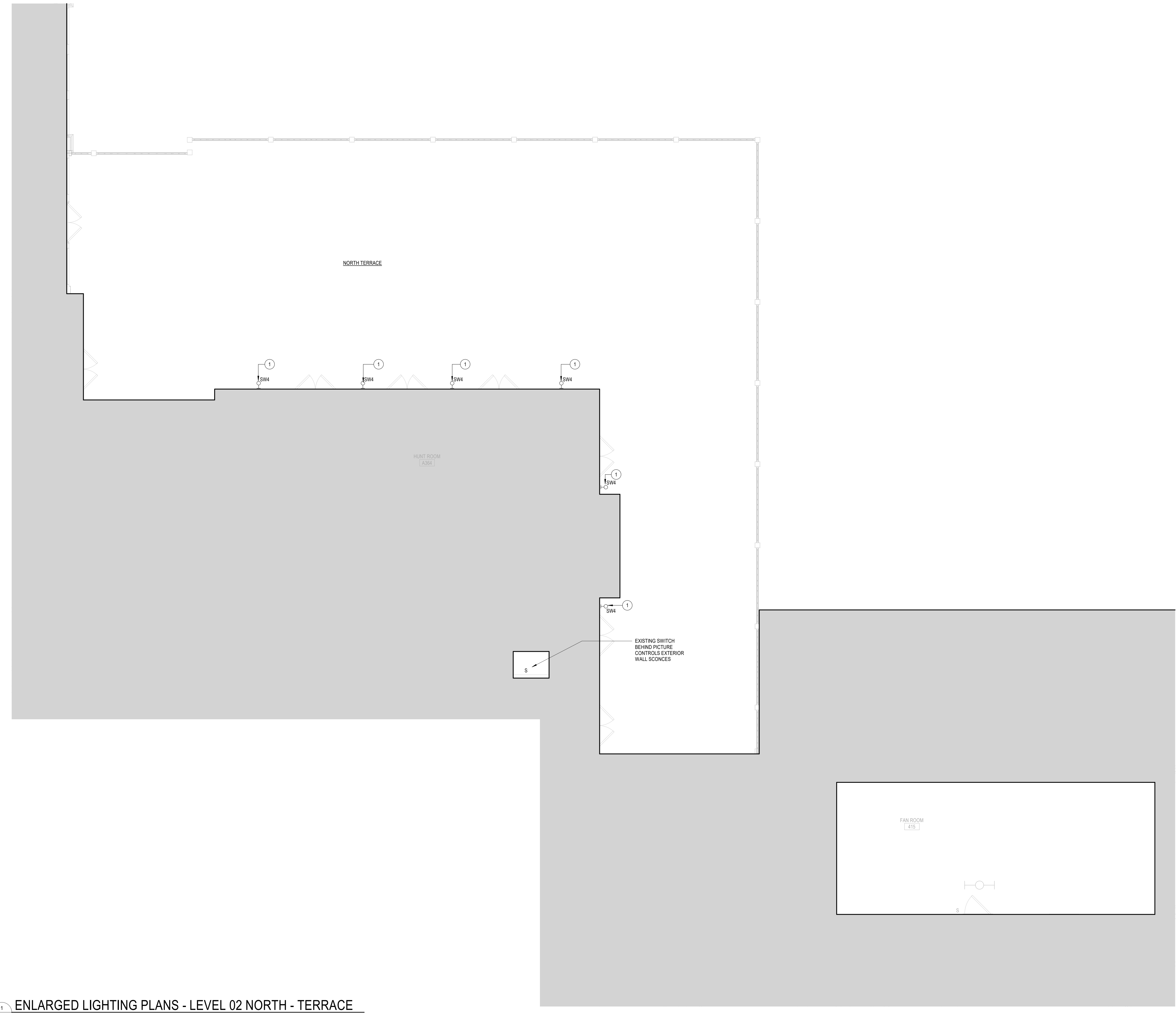
E2.4

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SHEET NOTES

1 CONNECT TO EXISTING CIRCUIT CONDUCTORS AS NOTED IN DEMOLITION.

1
2
3
4
5



1 ENLARGED LIGHTING PLANS - LEVEL 02 NORTH - TERRACE
E2.5 SCALE: 1/4" = 1'-0"



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ENLARGED LIGHTING PLANS - LEVEL 02 NORTH - TERRACE

MECHANICAL EQUIPMENT SCHEDULE

MECHANICAL EQUIPMENT SCHEDULE table with columns: ID, NO., LOCATION, NAME, HP, FLA (A), MCA (A), MCCP (A), TOTAL LOAD (VA), VOLTAGE (V), PHASE, DISCONNECT, STARTER, CIRCUIT NUMBER, CIRCUIT, NOTES. Includes equipment like TOILET CORRIDOR, MECH RM #2, MECH RM #5, FAN ROOM, STAIR #2, STAIR #3, POOL CANTEN BAR.

LIGHTING FIXTURE SCHEDULE

LIGHTING FIXTURE SCHEDULE table with columns: TYPE, OPCI/CPCI, DESCRIPTION, MFR, MODEL, CONSTRUCTION, LIGHT SOURCE, Color Temperature (Text), BALLAST/DRIVER, VOLT, WATTS, WATTS PER FOOT, EMERGENCY COMPONENT, NOTE. Includes fixtures like DECORATIVE PENDANT LIGHT, SURFACE MOUNTED UNDERCOUNTER LED TASK LIGHT, RECESSED CEILING LIGHT, etc.

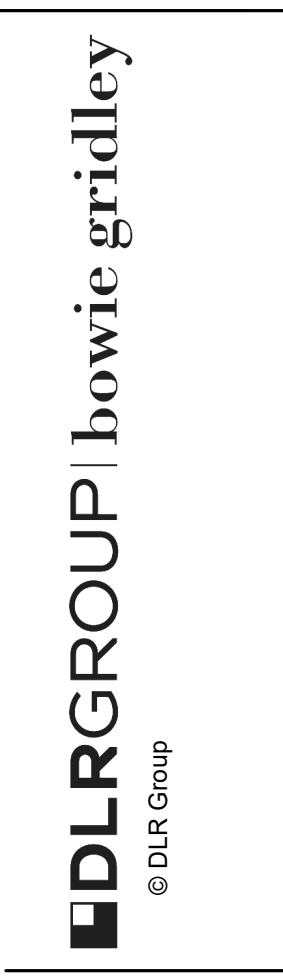
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4

5

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LUMINAIRE AND MECHANICAL EQUIPMENT SCHEDULES