

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	30 Hesketh Street, Chevy Chase	<b>Meeting Date:</b>	4/12/2023
<b>Resource:</b>	Contributing Resource <b>Chevy Chase Village Historic District</b>	<b>Report Date:</b>	3/15/2023
<b>Applicant:</b>	Jonathan Hacker & Kristen Donogue (Henry Chuang – Agent)	<b>Public Notice:</b>	3/8/2023
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Yes
		<b>Staff:</b>	John Liebertz

**Permit Number:** 936072 REVISION

**PROPOSAL:** Amendment to a previously approved HAWP for fenestration and other alterations.

**STAFF RECOMMENDATION**

Staff recommends that the Historic Preservation Commission (HPC) **approve with one (1) condition** the HAWP application with final approval of all details delegated to staff:

1. Specifications for the replacement of the existing asphalt driveway with cobblestone shall be submitted to staff for review. Staff will verify the compatibility of the material prior to approval of the HAWP and building permit drawings.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Tudor Revival  
**DATE:** 1917-1923



*Figure 1: The subject property at 30 Hesketh Street is located at the southeast corner of the intersection of Hesketh Street and Cedar Parkway. The red outline is the boundary of the Chevy Chase Village Historic District and the yellow star is the location of the subject house.  
Source: Montgomery Planning.*

## PROPOSAL

The applicant proposes the following amendments to their previously approved HAWP: 1) removal of the non-historic, non-operable, fixed wood shutters; 2) installation of two-panel, operable wood shutters; and 3) replacement of the existing asphalt driveway with a cobblestone driveway (no changes to the overall dimensions of the hardscape).

## APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Chevy Chase Village Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

### *Chevy Chase Village Historic District Guidelines*

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

**“Lenient Scrutiny”** means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

**“Moderate Scrutiny”** involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

**“Strict Scrutiny”** means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny. Parking pads and other paving in front yards should be discouraged.
- Shutters should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, however, they should be subject to strict scrutiny if they are visible from the public right-of-way.

***Montgomery County Code, Chapter 24A-8***

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation***

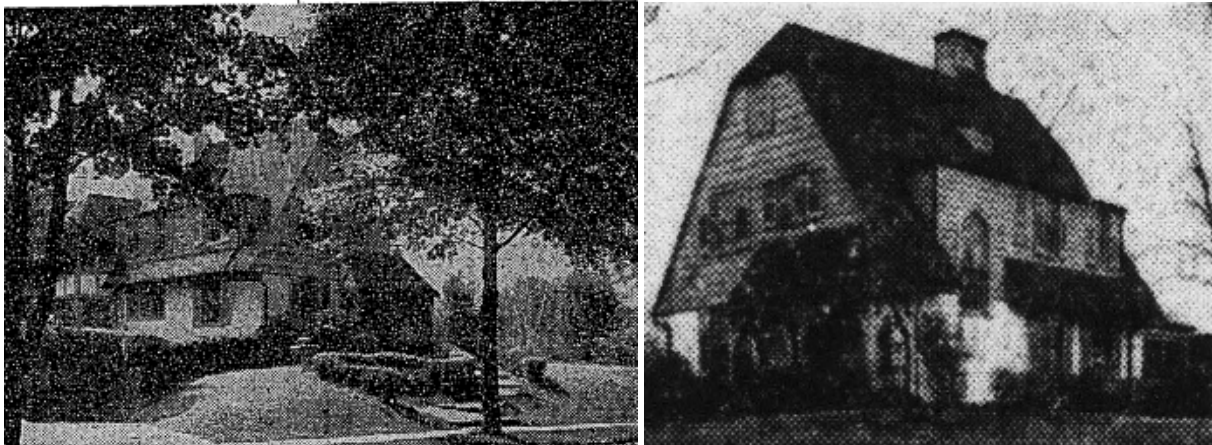
The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

## STAFF DISCUSSION

The subject property is Contributing Resource in the Chevy Chase Village Historic District. The Tudor Revival-influenced, wood-frame house was constructed between 1917 and 1923. The building is located at the southeast corner of Hesketh Street (to the north) and Cedar Parkway (to the west). Numerous alterations have occurred to the house including but not limited to: 1) the reorientation of the façade towards Hesketh Street; 2) the infill of an original basement-level garage (date unknown); 3) construction of a two-story addition on the east elevation along Hesketh Street (ca. 1960); 4) construction of a basement-level garage (ca. 1970) to the east of the previous addition; and 5) an HPC-approved two-story addition above the basement-level garage (2005). *Figure 2* shows photographs from sale advertisements for the house in 1948 (left) and 1956 (right).

This Historic Area Work Permit (HAWP) is a revision to Permit #936072 approved in January 2021 and revised in June 2022. The HPC first approved the partial demolition, roof replacement, fenestration alterations, and construction of a rear addition. The following year, the HPC approved an amendment which included the infill a non-historic porch, replacement of non-historic fenestration, and construction of a one-story rear addition in lieu of the two-story rear addition originally approved, among other revisions.<sup>1</sup> Staff approved the in-kind replacement of the remainder of the wood windows in March 2023.

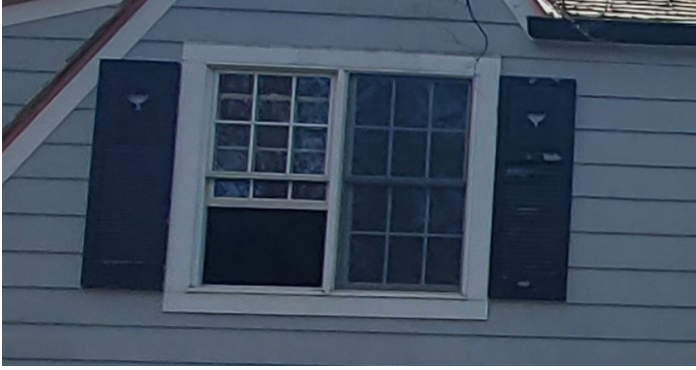


*Figure 2: Photographs of 30 Hesketh Street, 1948 (left) and 1956 (right).  
Source: Chronicling America.*

The applicant proposes the following amendments: 1) removal of the non-historic, non-operable, fixed wood shutters; 2) installation of two-panel, louvered, operable wood shutters; and 3) replacement of the existing asphalt driveway with a cobblestone driveway (no changes to the overall dimensions of the hardscape).

Staff finds the replacement of the shutters to be consistent with the applicable guidelines. The proposal removes the existing non-historic, non-operable, fixed wood shutters installed in the mid-to-late twentieth century. These faux shutters were inappropriately attached directly to the siding at the edge of the window casing, and in many instances, the dimensions of the shutters would fail to cover the window if operable (*Figure 3*). The proposal recalls the shutters evident in historic photographs (*Figure 2*). The proposed two-panel, louvered, operable wood shutters feature edge mounted shutter hinges (jamb hinges) and tie backs. The shutters would be sized to cover the window and folding shutters would be installed where appropriate. Therefore, the proposal restores a removed feature of the house, is compatible with the overall design of the dwelling, and is consistent with the character of the historic district.

<sup>1</sup> For more information on the previously approved HAWPs, see the following, <https://montgomeryplanning.org/wp-content/uploads/2020/12/I.F-30-Hesketh-Street-Chevy-Chase.pdf> (2021) and <https://montgomeryplanning.org/wp-content/uploads/2022/06/I.K-30-Hesketh-Street-Chevy-Chase-936072-REVISION.pdf> (2022).



*Figure 3: Example of the existing non-historic shutters, 2023.  
Source: Montgomery Planning.*

Staff finds that the replacement of the asphalt-paved driveway with a cobblestone driveway of matching dimensions to be consistent with the applicable guidelines. All final specifications for the driveway should be submitted to staff prior to the issuance of the final permit including the type of stone.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the conditions, consistent with the Criteria for Issuance in Chapter 24A-8(b)(1), (2) and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*, and *Chevy Chase Village Historic District Guidelines* outlined above.

### **STAFF RECOMMENDATION**

Staff recommends that the Historic Preservation Commission (HPC) **approve with one (1) condition** the HAWP application with final approval of all details delegated to staff:

1. Specifications for the replacement of the existing asphalt driveway with cobblestone shall be submitted to staff for review. Staff will verify the compatibility of the material prior to approval of the HAWP and building permit drawings.

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [john.liebertz@montgomeryplanning.org](mailto:john.liebertz@montgomeryplanning.org) to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Tax Account No.:

AGENT/CONTACT (if applicable):

Name:
Address:
Daytime Phone:
E-mail:
City:
Zip:
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent
Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:



Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

THOMSON & COOKE ARCHITECTS

Permit 936072  
30 Hesketh St  
Revision Narrative - Windows  
March 29, 2022

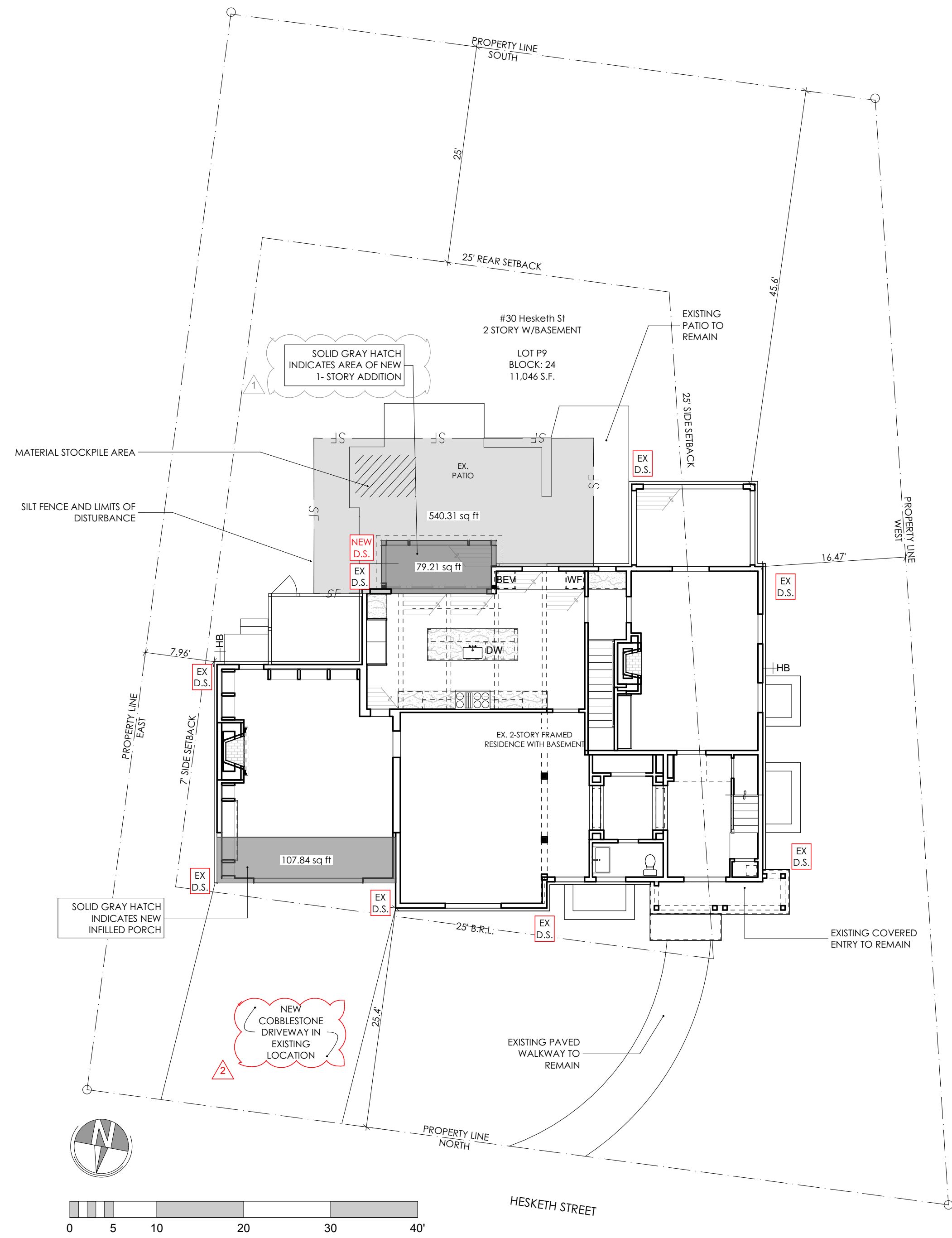
Dear John Liebertz,

Please see the notes below for the scope of revisions to the original permit 936072. The scope of this HAWP is for proposed shutters and driveway replacement.

1. We would like to replace the shutters on the house. Please see sheet 0004 for details.
2. These shutters will be operable and sized to cover the entire window opening. Folding shutters will be used where required.
3. We would like to replace the existing driveway with cobbles. The footprint will remain unchanged. Material specification will be provided.

Best,  
Henry Chuang





**BUILDING COVERAGE:**

EXIST BUILDING COVERAGE: 2,130 SF  
 PROPOSED BUILDING ADDITION: ± 98 SF  
 PROPOSED BUILDING COVERAGE: 2,228 SF

**PROPOSED BLDG COV. PERCENTAGE =**

2,228 SF/11,046 SF  
**20%**  
 (35% MAX)

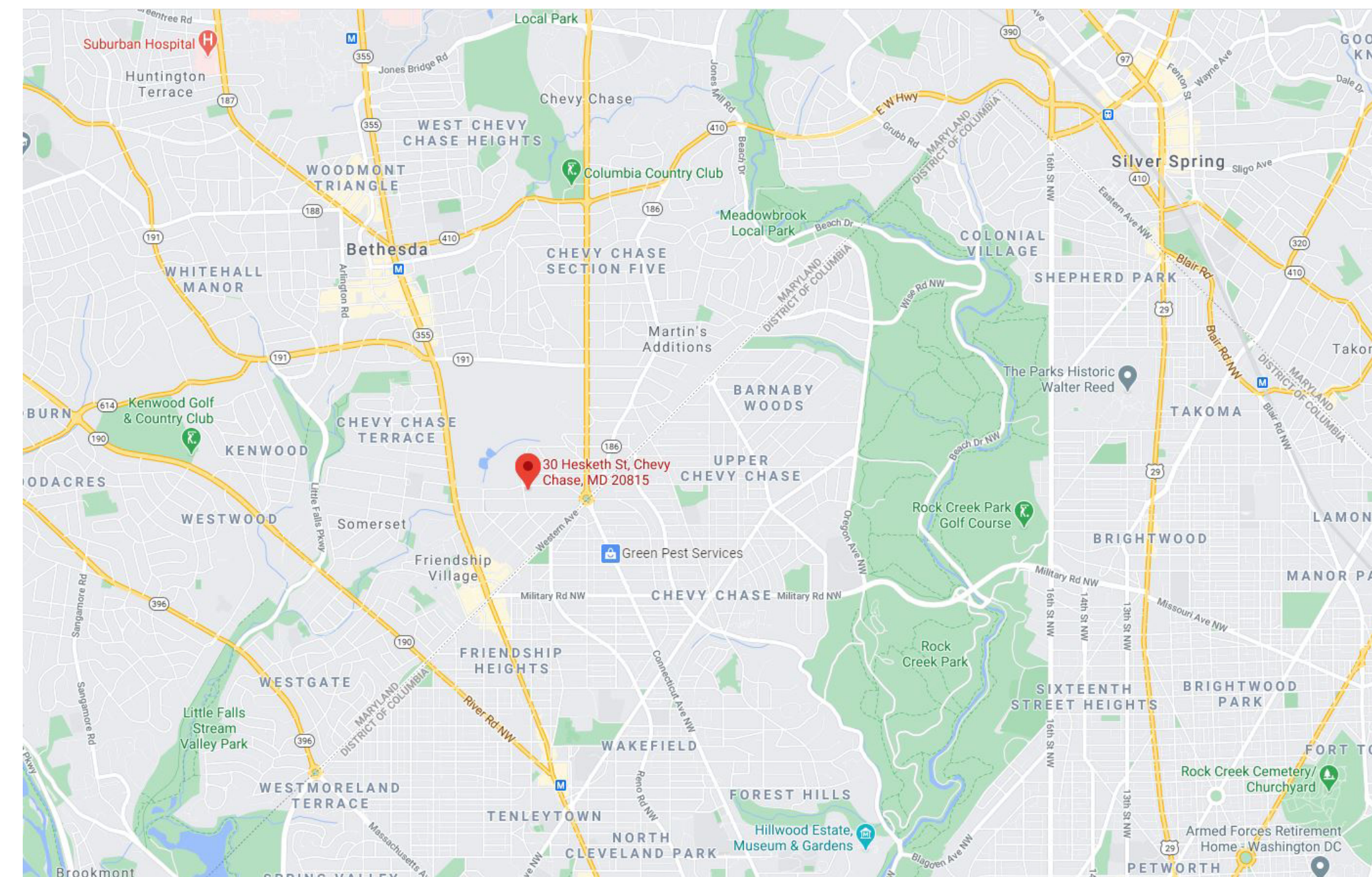
**NET INCREASE BUILDING COVERAGE:**

**98 SF**  
 PERVIOUS SURFACE: EXIST: 66% (7,269 SF)  
 PROPOSED: 65% (7,171 SF)

**GENERAL NOTES :**

ADDRESS: 30 Hesketh Street  
 Chevy Chase, MD 20815  
 LOCATION: LOT 24, BLOCK 3, CHEVY CHASE SECTION 3  
 PLAT NUMBER: 106  
 ZONING: R-60  
 SETBACKS ALLOWED: FRONT - 25'  
 LEFT SIDE - 7'; RIGHT SIDE - 25' SETBACK  
 (ABBUTTING LOT FRONTS ON THE SIDE STREET)  
 REAR - 20' SETBACK PER CHEVY CHASE  
 VILLAGE (SECTION 2 REGULATION)  
 SETBACKS PROVIDED: SEE PLAN  
 LOT AREA: 11,046 SF  
 BUILDING HEIGHT: 31'-1" TO PEAK OF ROOF  
 25'-11" TO MEAN ROOF HEIGHT  
 AREA OF DISTURBANCE: 540 SF  
 VOLUME OF EXCAVATION: 24 CUBIC YARDS (216 CUBIC FEET)

**NOTE: NO CHANGE TO EXISTING GRADING**



Vicinity Map

**Donoghue Hacker Residence**  
 30 Hesketh Street Chevy Chase MD 20815



PERMIT SET  
 © THOMAS A. COODE ARCHITECTURE

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17073, expiration date 09-04-2024

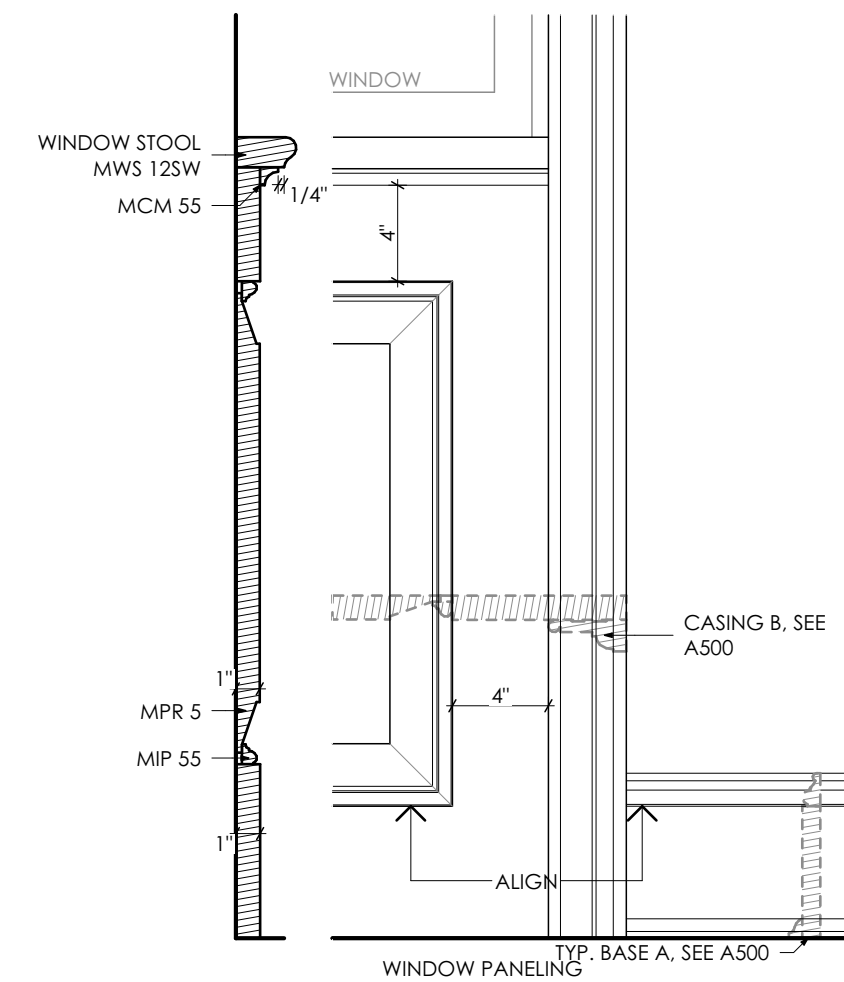
Site Plan

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision
08-04-2022	Pricing Set
01-31-2023	90% CD Set
03-10-2023	Permit Revision 2

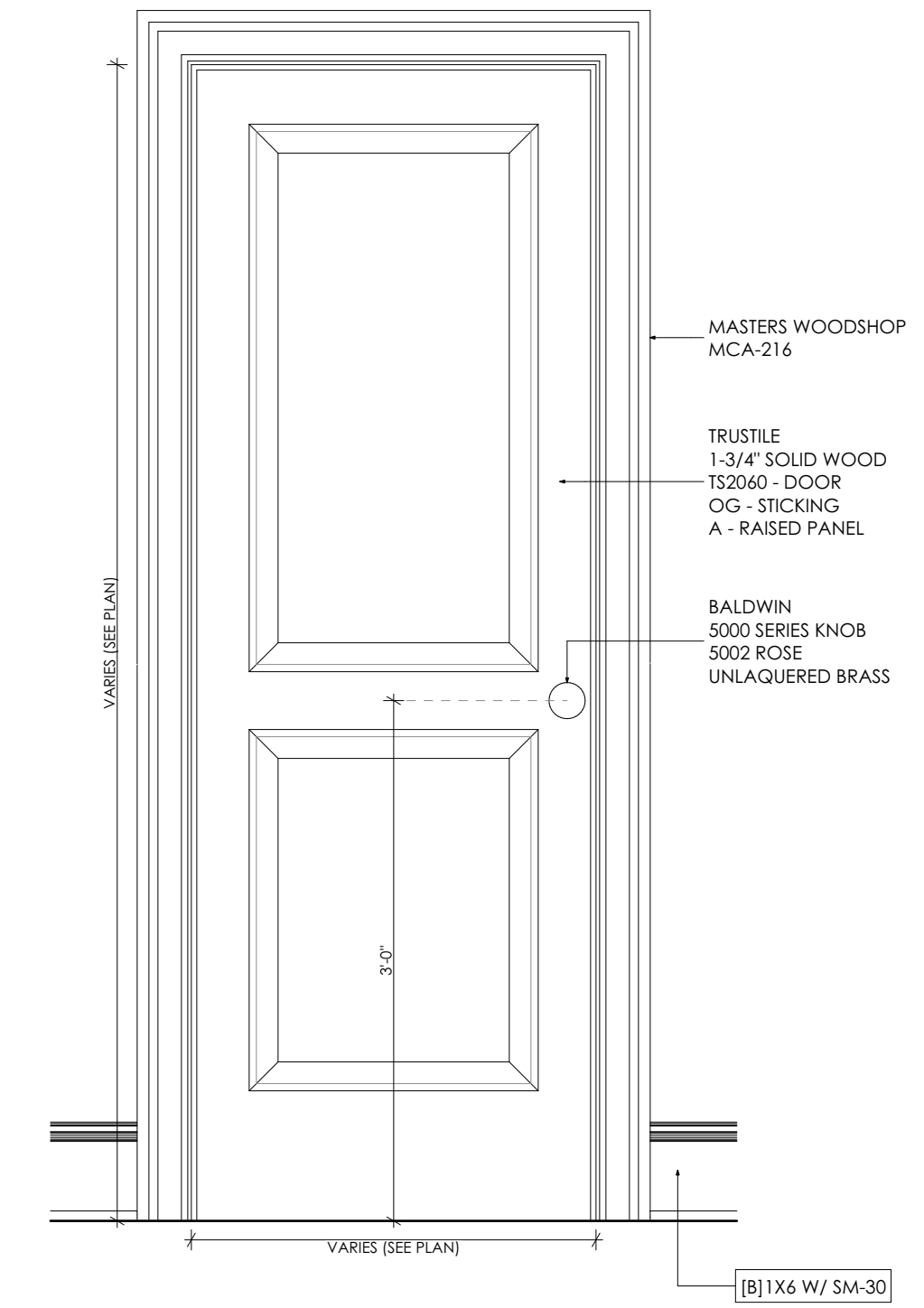
Interior Door Schedule								
ID	Qty	Size	Type	Leaf Thickness	Lites	Operation	Hardware	Note
101	1	(2)2-0x6-8	Two Panel	1 3/4"		Pocket		
103	1	5-0x6-8	Cased Opening	1 3/4"				
104	1	5-0x6-8	Cased Opening	1 3/4"				
108	1	3-0x6-8	Cased Opening	1 3/4"				
109	1	3-0x6-8	Cased Opening	1 3/4"				
110	1	3-0x6-8	Cased Opening	1 3/4"				
201	1	2-8x6-8	Two Panel	1 3/4"		Swing		
202	1	2-8x6-8	Cased Opening	1 3/4"				
203	1	2-6x6-8	Two Panel	1 3/4"		Swing		
204	1	2-8x6-8	Two Panel	1 3/4"		Swing		
204	1	2-6x6-8	Two Panel	1 3/4"		Swing		
205	1	2-2x6-8	Shower	0 3/8"				
217	1	3-6x6-8	Cased Opening	1 3/4"				Replacement, VIF.
R102	1	2-4x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R105	1	2-4x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R106	1	2-4x4-4	Two Panel	1 3/4"		Swing		Replacement, VIF.
R107	1	(2)2-2x6-8	French	1 3/4"	2WSH	Swing		Replacement, VIF.
R206	1	3-0x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R207	1	3-0x6-8	Two Panel	1 3/4"		Pocket		Replacement, VIF.
R208	1	2-3x6-8	Two Panel	1 3/4"		Pocket		Replacement, VIF.
R209	1	2-6x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R210	1	(2)2-0x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R211	1	2-8x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R212	1	2-4x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R213	1	2-4x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R214	1	2-4x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R215	1	2-8x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.
R216	1	(2)2-6x6-8	Two Panel	1 3/4"		Swing		Replacement, VIF.

Exterior Door Schedule									
ID	Qty	Type	Manufacturer	Model/Size	Lites	Transom		Location	Note
						Height	Lites		
D101	1	French	Loewen	2-4x7-6	See Elevation			Kitchen	Tempered
D102	1	French	Loewen	2-4x7-6	See Elevation			Kitchen	Tempered
D104	1	French	Loewen	2-10x6-9	3WSH			Family Room	Tempered
D105	1	Glazed/Paneled	Loewen	3-3x6-9	3WSH			Entry	Tempered
D106	1	French	Loewen	2-6x7-6	2W4H			Breakfast	Tempered
D107	1	French	Loewen	6-8x7-6	6W4H			Breakfast	Tempered
D108	1	French	Loewen	2-6x7-6	2W4H			Breakfast	Tempered
D201	1	French	Loewen	(2)2-3x6-8	See Elevation			Bedroom 1	Tempered
G101	1	Glazed/Paneled			4W2H			Garage	
G102	1	Glazed/Paneled			4W2H			Garage	

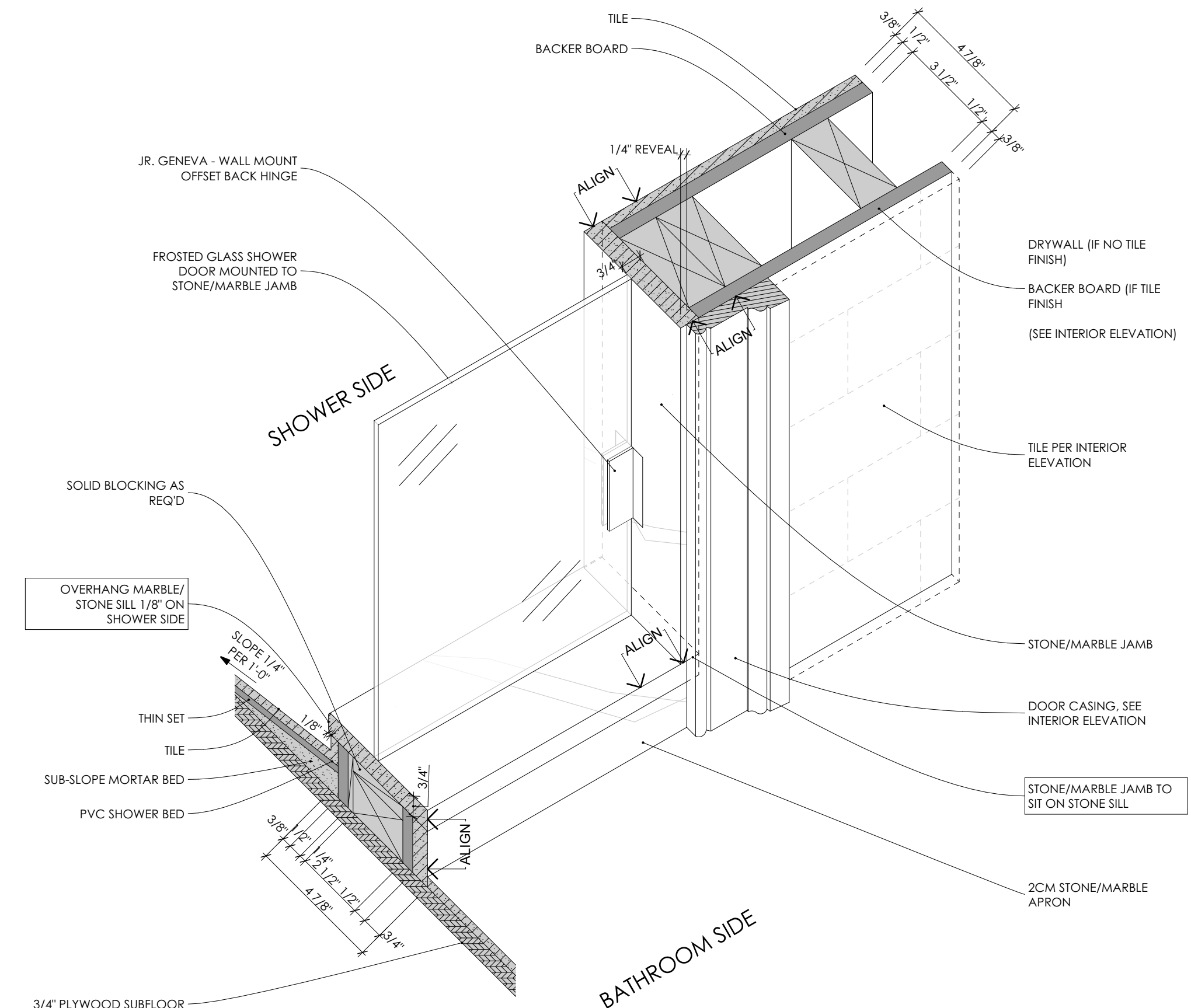
Window Schedule									
ID	Qty	Units	Model/Size	Type	Manuf.	Lites	Location	Note	
ALT101	1	2	3-0x5-1 2W	Double Hung		3W2H/3W2H	Living Room	Replacement, VIF	
ALT102	1	1	3-5x5-1	Double Hung		3W2H/3W2H	Living Room	Replacement, VIF	
ALT103	1	1	3-5x5-1	Double Hung		3W2H/3W2H	PDR	Replacement, VIF	
ALT104	1	1	3-5x5-1	Double Hung		3W2H/3W2H	Dining Room	Replacement, VIF	
ALT105	1	1	3-5x5-1	Double Hung		3W2H/3W2H	Dining Room	Replacement, VIF	
ALT201	1	2	2-10x5-0 2W	Double Hung		3W2H/3W2H	Master Bedroom	Replacement, VIF	
ALT202	1	2	3-0x4-5 2W	Double Hung		3W2H/3W2H	Bedroom 3	Replacement, VIF	
ALT203	1	1	3-5x4-5	Double Hung		3W2H/3W2H	Bedroom 2	Replacement, VIF	
ALT204	1	1	3-5x4-5	Double Hung		3W2H/3W2H	Bedroom 2	Replacement, VIF	
ALT205	1	1	3-5x3-4	Awning		4W4H	Bath 2	Replacement, VIF	
ALT206	1	1	2-5x4-6	Double Hung		2W2H/2W2H	Bedroom 1	Replacement, VIF	
ALT207	1	1	2-5x4-6	Double Hung		2W2H/2W2H	Bedroom 1	Replacement, VIF	
ALT208	1	2	2-10x5-0 2W	Double Hung		3W2H/3W2H	Master Bedroom	Replacement, VIF	
ALT209	1	2	2-8x4-1 2W	Double Hung		3W2H/3W2H	Master Bath	Replacement, VIF	
ALT210	1	1	1-4x3-11	Double Hung		1W3H	Bath 1	Replacement, VIF	
W101	1	1	2-0x4-5	Casement		2W3H	Bar		
W102	1	2	2-0x4-5 2W	Casement		2W3H	Bar		
W104	1	3	2-8x3-11 3W	Double Hung		3W3H	Office	Replacement, VIF	
W105	1	4	2-8x3-11 4W	Double Hung		3W3H	Office	Replacement, VIF	
W106	1	3	2-8x3-11 3W	Double Hung		3W3H	Office	Replacement, VIF	
W201	1	1	2-0x4-5	Double Hung		2W2H/2W2H	Laundry		
W202	1	1	2-0x4-5	Double Hung		2W2H/2W2H	Laundry		
W301	1	1	2-0x4-0	Double Hung		2W3H			
W302	1	1	2-0x4-0	Double Hung		2W3H			



**3** Window Panel Detail  
1 1/2" = 1'-0"



**2** Typ. Interior Door  
1" = 1'-0"



**1** Shower Jamb Detail  
3" = 1'-0"



**Donoghue Hacker Residence**  
30 Hesketh Street Chevy Chase MD 20815

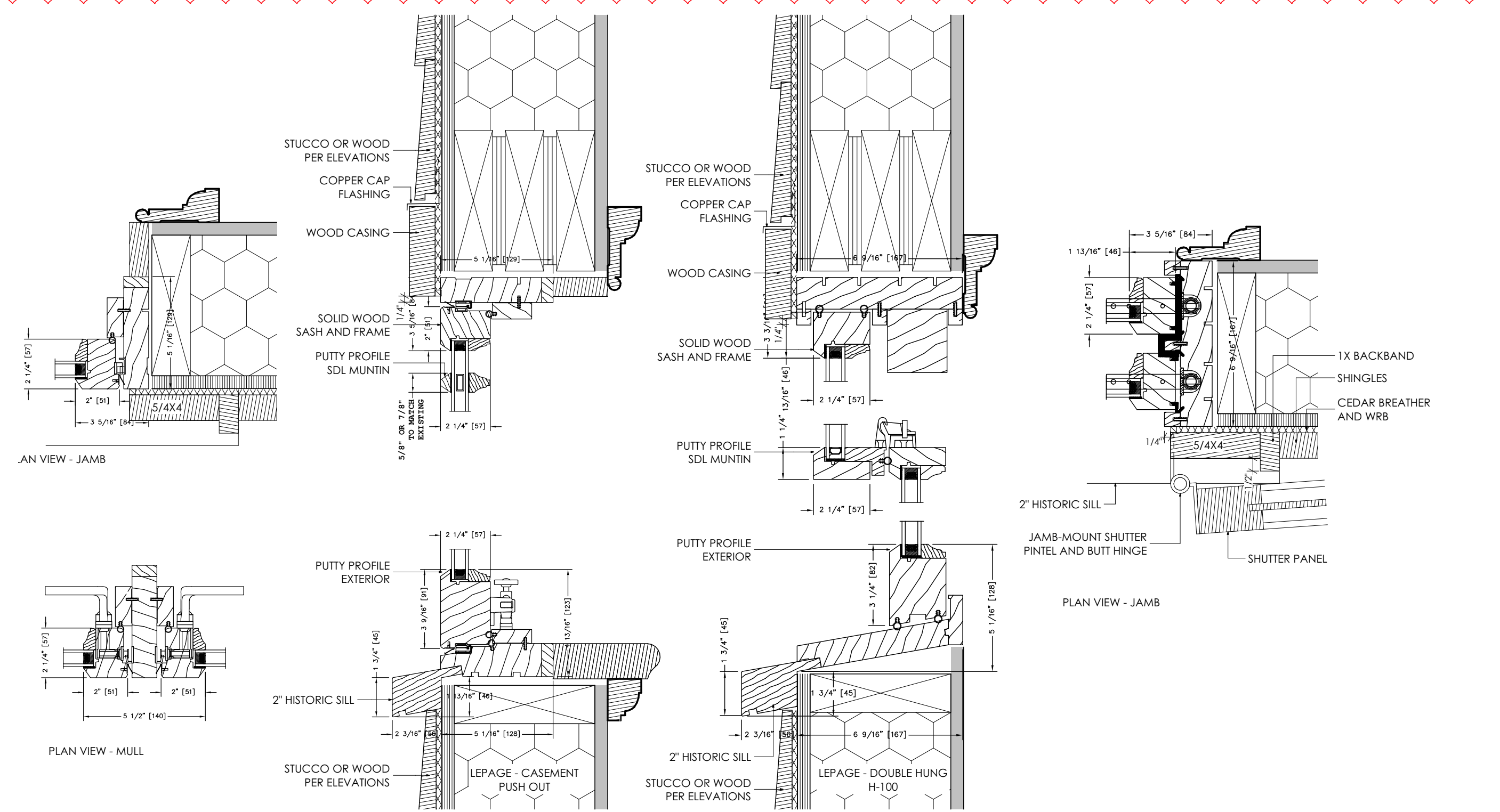
PERMIT SET  
© THOMAS N. COODE ARCHITECTURE

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17073, expiration date 09-04-2024

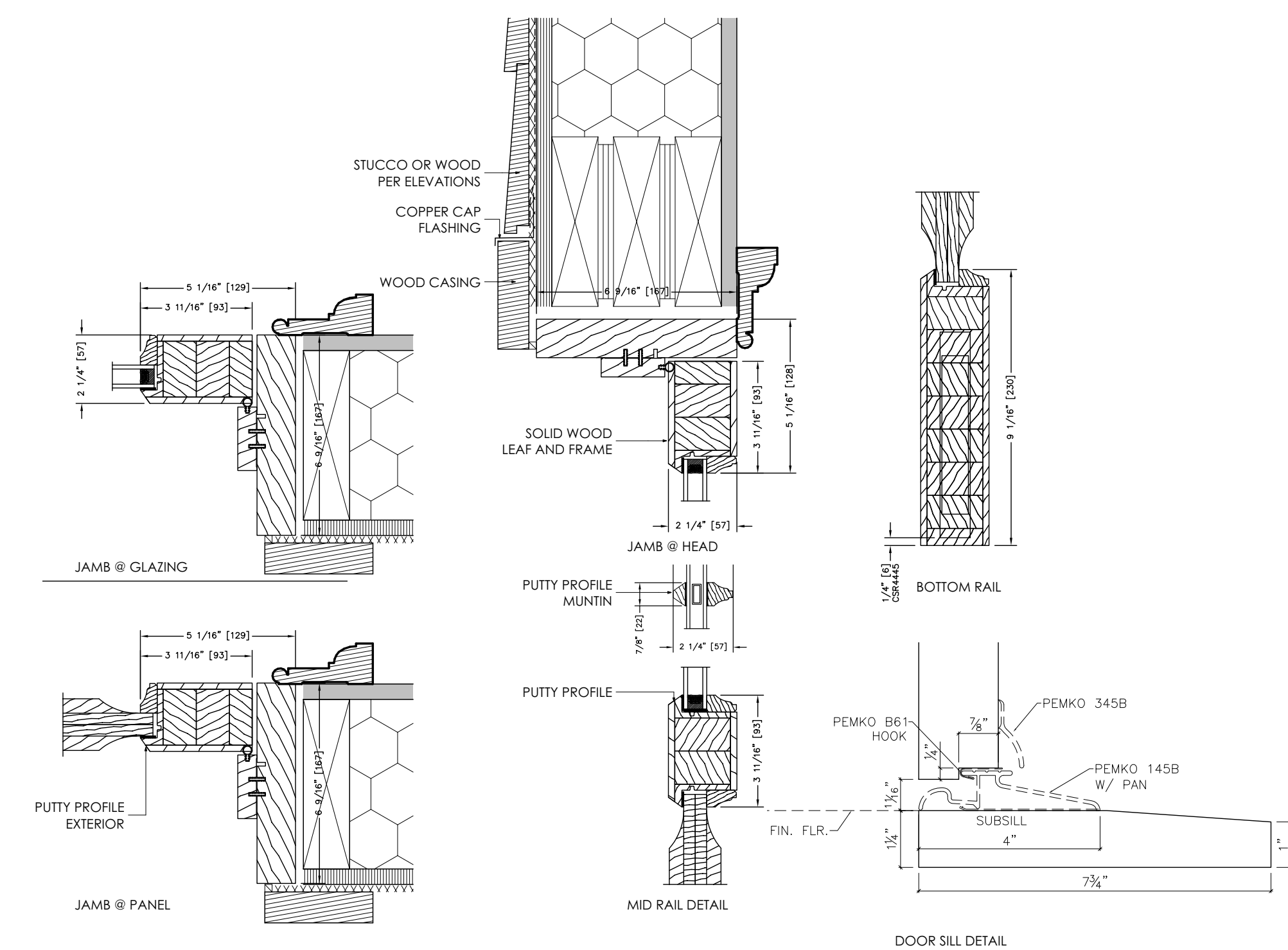
Window & Door Schedule

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision
08-04-2022	Pricing Set
01-31-2023	90% CD Set
03-10-2023	Permit Revision 2

**0003**



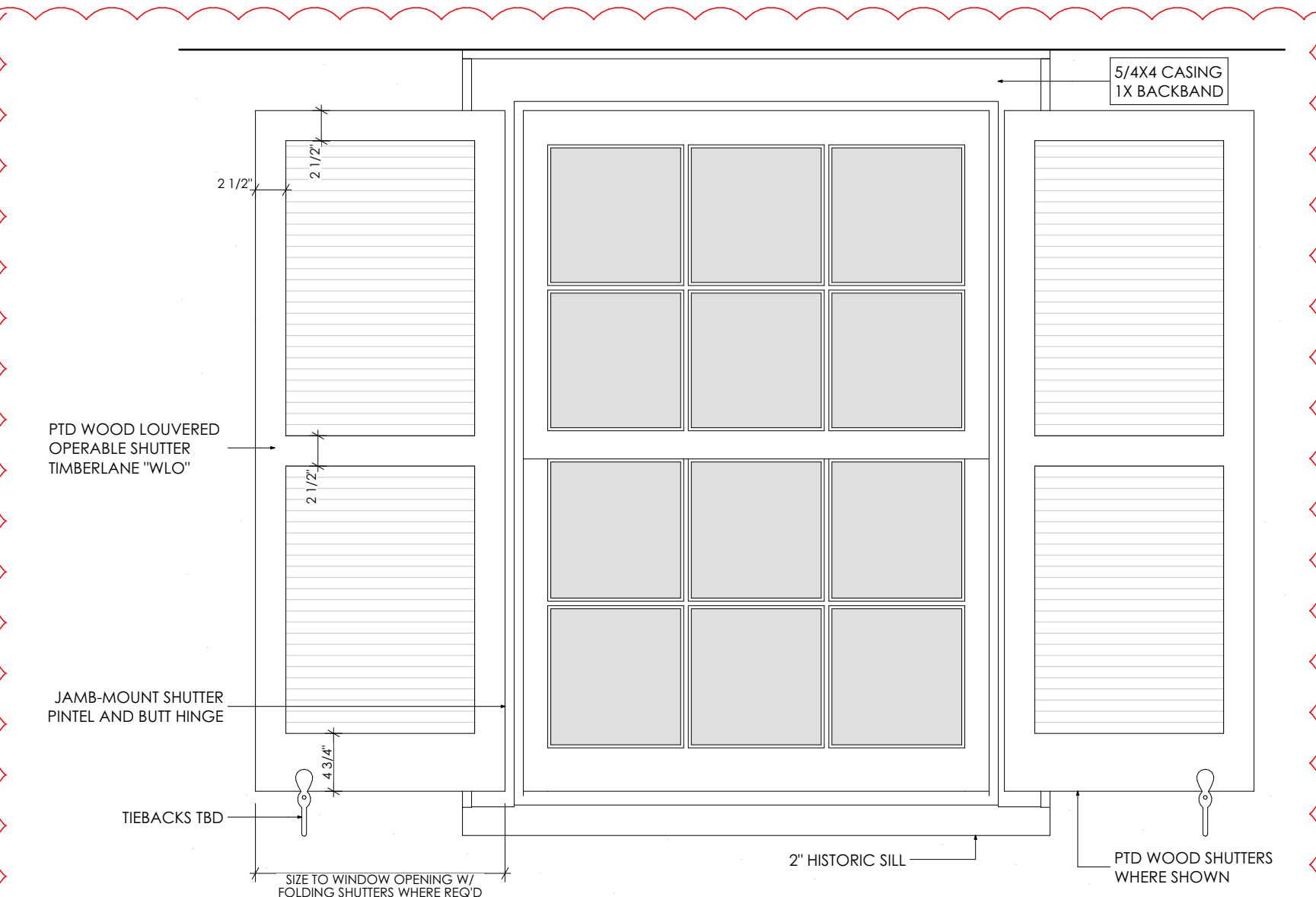
**1 Window Details**  
3" = 1'-0"



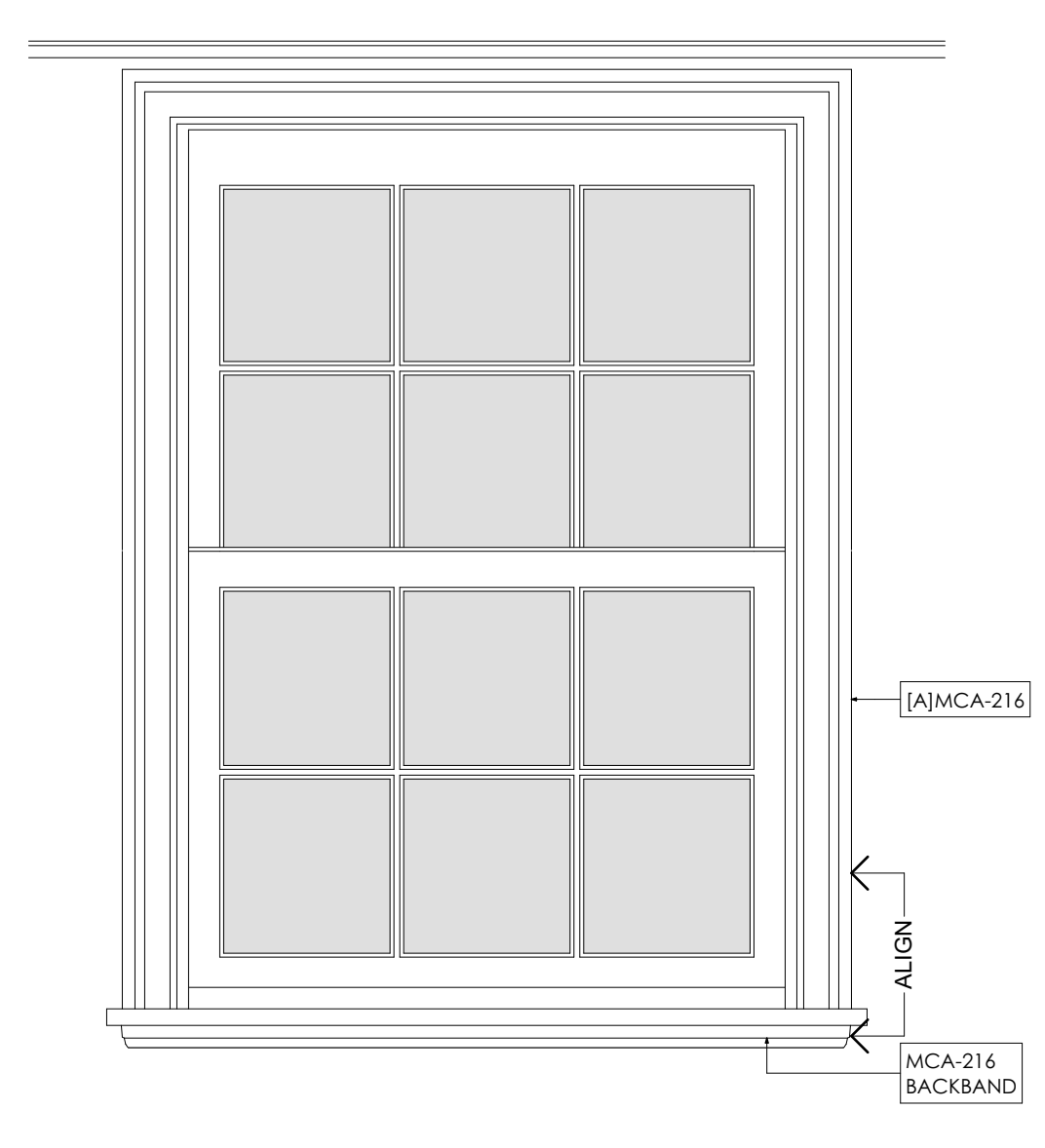
**2 Door Details**  
3" = 1'-0"




EXISTING FRONT DOOR



**4 Typ. Window - Ext.**  
1" = 1'-0"



**3 Typ. Window - Int.**  
1" = 1'-0"

  
**Donoghue Hacker Residence**  
 30 Hesketh Street Chevy Chase MD 20815  
 PERMIT SET  
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Fenestration Details

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision
08-04-2022	Pricing Set
01-31-2023	90% CD Set
03-10-2023	Permit Revision 2

**0004**



Manu Data

Hung Window H-100 – Wood

Frame:

- Pine, red grandis or mahogany
- Thickness 1 7/16" (36mm)
- Depth 4 9/16" (116mm)

Sash:

- Pine, red grandis or mahogany
- Thickness 1 3/4" (44,5mm)
- Colonial or putty glaze

Interior finish:

- Natural, primed, first coat, Lepage stain or paint over 50 colors

Exterior finish:

- Natural, primed, first coat, Lepage stain or paint over 50 colors

Hardware:

- Recessed, white coppertone, polish brass, oil rubbed bronze, satin nickel, satin chrome
- Surface mount: unlacquered brass, polish brass, polish nickel, oil rubbed bronze, satin nickel

Weather-strip

- Q-Ion and silicone

Insulated glass:

- Double glaze 3/4" (19 mm)
- "Technoform" spacer, bronze, white, black or grey.
- Argon

Glass available:

- Clear, grey, bronze, pinhead, glue-chip
- Low-e: Energy advantage, 272, 366, 189
- Tempered
- Laminated

Screen:

- Mesh: invisible fiberglass, grey or black aluminium
- Surround: white, coppertone
- Wood screen surround
- Retractable

Grilles:

- Removable 7/8"
- Internal Georgian 3/4", 1" or 1 1/4"
- Internal flat sash: 3/4", 3/4" or 1"
- Internal tubular: white, brass or pewter

Simulated Divided Lites (SDL):

- 3/4", 7/8", 1 1/4" or 1 3/4"
- Spacer bars: bronze, grey, white or black

True Divided Lites (TDL):

- TDL 1 3/4"
- TDL 1 1/2" (putty glaze sash)

Casing:

- 908
- Colonial
- 1 1/2" x 3 1/2" Flat casing
- 1 1/2" x 4 1/2" Flat casing
- 1 1/2" x 5 1/2" Flat casing

Sill Extension:

- Standard GB-021 (1" x 1 1/4")
- Standard GB-040 (1" x 3")
- Historical GB-036 (1 3/4" x 2 1/2")
- Historical GB-058 (1 3/4" x 3")

Exterior Jamb Extension:

- Finish and wood species same as exterior frame 1/8" min and 3" max

Interior Jamb Extension:

- Finish and wood species same as interior frame 1/8" min and 6" max

1 1/4" Sash Window - Minimums and Maximums:

Minimum width:	13 1/2"	Maximum width:	48"
Minimum height:	24"	Maximum height:	84"

Frame size, maximum: 23.1 sq. ft. (9 sq. ft. I.G.) (3mm glass) (operating sash)  
19 sq. ft. (7 sq. ft. I.G.) (4mm glass) (operating sash)

For more information, please visit our web site at [www.lepagemillwork.com](http://www.lepagemillwork.com)

1

2017-10-04

2

2017-10-04



Wood Casement

Manu-Data

Frame:

- Non Finger-Jointed Pine, Red Grandis or Mahogany
- Thickness : 1 1/8" ( 28 mm)
- Depth : 4 9/16" ( 116mm)

Sash:

- Non Finger-Jointed Pine, Red Grandis or Mahogany
- Thickness of 1 1/4" (44,5 mm) or 2 1/4" (57mm)
- Colonial or Putty Glaze Profile

Hardware:

- Truth : Encore Series
- Retractable handel with stainless steel multipoint lock
- Many colors options, see website
- Hinges : Egress, Standard or Heavy Duty

Weather Stripping:

- 2 step barrier:
- Wind breaker made of black polyflex
- 8 mm silicone bulb weather strip

Interior Finish:

- Natural, primed, first coat, Lepage stain or paint over 50 colors

Exterior Finish:

- Natural, primed, first coat, Lepage stain or paint over 50 colors

Insulated Glass:

- Double Glaze 3/4" (19 mm)
- Triple Glaze 1 1/4" (32mm) available with 2 1/4" (57mm) sash
- Spacer : "Technoform" bronze, white, grey, black
- Argon
- Others Glass options:
- Clear, grey, bronze, pinhead, glue-chip
- Low-e: Energy advantage, 272, 366, 189
- Tempered
- Laminated



Screen:

- Mesh: invisible fiberglass, grey or black aluminium
- Surround: white, coppertone, beige, oil rubbed bronze or black
- Wood screen surround
- Retractable

Grilles options:

Wide options of grilles between glass (GBG), simulate divided light (SDL) and true divided light (TDL).  
[See website for all options](#)

Casing and sill extensions:

[See website for all options](#)  
Custom casing also available on request

Minimum and maximum sizes for windows with 1 1/4" sash:

Minimum Width :	17" per section (14% at 60°)
Maximum Width :	40" per section
Minimum Height :	18" per section
Maximum Height :	96" per section

Minimum and maximum sizes for windows with 2 1/4" sash:

Minimum Width :	20" per section
Maximum Width :	40" per section
Minimum Height :	18" per section
Maximum Height :	96" per section

Maximum weight per sash : 130 lbs.

[See our website for more information : www.lepagemillwork.com](#)



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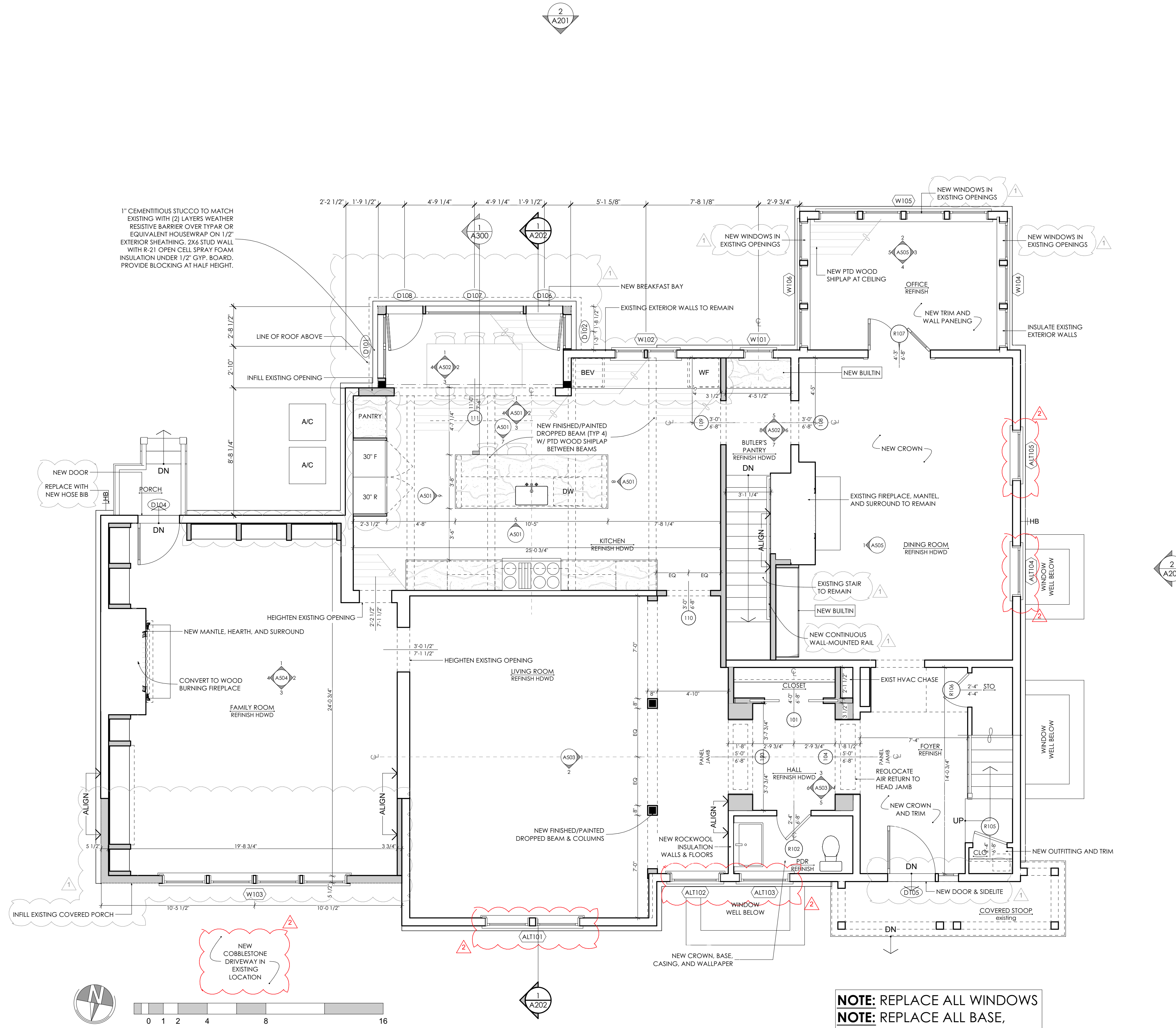
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Window General Specifications

12-05-2019	Existing Conditions
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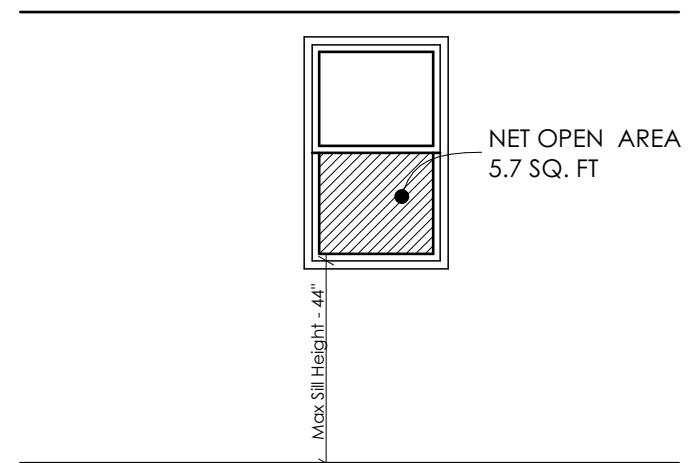
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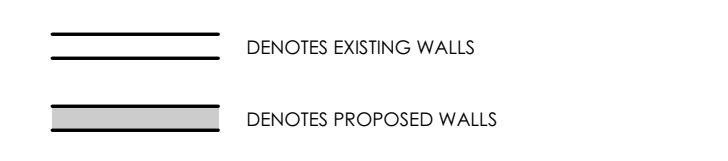


note: \*

ALL BEDROOM (I.E. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (IRC 2015, 310). THIS WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT WITH A CLEAR HEIGHT OF 24 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (IRC 2015, 310)



- GENERAL NOTES:**
- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING.
  - VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
  - ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DEDICATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP.
  - PROVIDE CARBON MONOXIDE ALARMS PER R315.1
  - ALL STAIRS HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R311 AND R312 OF THE 2015 IRC.
  - SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
  - ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" FOR WINDOW HEAD HEIGHTS.
  - ALL ANGLES ARE 90 AND OR 45 UNLESS NOTED OTHERWISE.
  - REFER TO EXTERIOR ELEVATIONS & DOOR/ WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS.
  - ALL DOOR DIMENSIONS GIVEN IN FEET AND INCHES.
  - ALL INTERIOR DOORS & CASED OPENINGS THAT ARE NOT DIMENSIONED TO CENTER LINE SHALL BE CENTERED IN THE WALL OR HELD W/IN. DISTANCE FROM CORNER FOR COMPLETE CASING, U.N.O.



- TYPICAL CONSTRUCTION NOTES**
- 1A. TYP. ROOF/CEILING CONSTRUCTION**  
ALASKAN CEDAR SHAKES OVER CEDAR BREATHER ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH 1" CLIPS. SEE FRAMING PLANS FOR RAFTER SIZE/ SPACING. R-49 OPEN CELL SPRAY FOAM INSULATION.
- 1B. TYP. LOW SLOPE METAL ROOF**  
STANDING SEAM PREFINISHED METAL ROOF ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH 1" CLIPS. SEE FRAMING PLANS FOR RAFTER SIZE/ SPACING. R-49 OPEN CELL SPRAY FOAM INSULATION (EXCEPT AT PORCHES).
- 2A. EXTERIOR WALL CONSTRUCTION A**  
CEMENTITIOUS LAP SIDING ON 1/2" EXTERIOR SHEATHING WITH TYPAR OR EQUIVALENT HOUSEWRAP. 2X6 STUD WALL WITH R-21 OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.
- 2B. EXTERIOR WALL CONSTRUCTION B**  
1" CEMENTITIOUS STUCCO TO MATCH EXISTING WITH (2) LAYERS WEATHER RESISTIVE BARRIER OVER TYPAR OR EQUIVALENT HOUSEWRAP ON 1/2" EXTERIOR SHEATHING. 2X6 STUD WALL WITH R-21 OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.
- 2C. TYPICAL FOUNDATION WALL**  
12" CONCRETE FOUNDATION WALL PARGED ABOVE GRADE. & 2" R-10 INTERIOR RIGID FOAM BOARD INSULATION AT CONDITIONED CRAWL SPACES. REFER TO STRUCTURAL.
- 3A. TYP. FLOOR CONSTRUCTION**  
3/4" T&G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILED) 2X OR 1 1/2" WOOD JOISTS PER STRUCTURAL WITH 1/2" GYP (SEE FRAMING PLANS FOR SIZE AND SPACING) R-21 @ PERIMETER BLOCKING AND R-19 AT CANTILEVERS/OVERHANGS.
- 4. TYP. INTERIOR WALL CONSTRUCTION**  
1/2" GYPSUM WALL BOARD ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C. (U.N.O.) PRESSURE TREATED SILL AT BASEMENT, MOISTURE RESISTANT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

**NOTE:**  
SEE TABLE 1 ON SHEET 0001 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.  
SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

**NOTE: REPLACE ALL WINDOWS**  
**NOTE: REPLACE ALL BASE, CASING, CROWN**  
**NOTE: REPLACE ALL DOORS**  
**NOTE: REPLACE ALL HOSE BIBS**  
**NOTE: REPLACE ALL REGISTERS WITH NEW FLUSH WOOD**

**Donoghue Hacker Residence**  
30 Hesketh Street Chevy Chase MD 20815

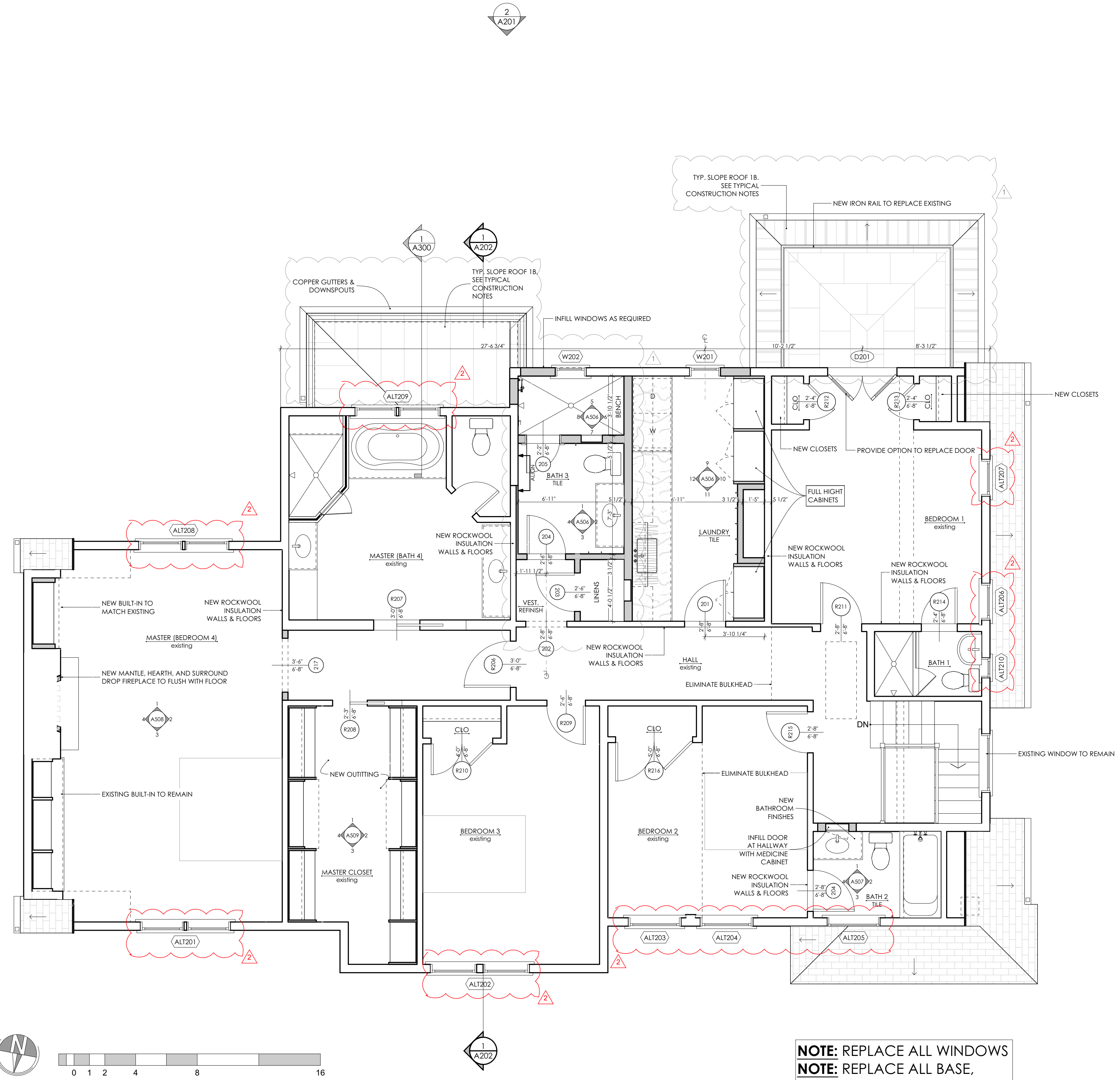


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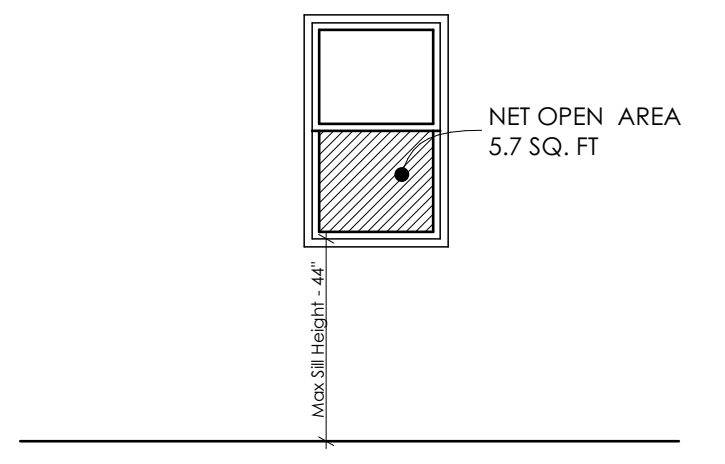
Proposed First Floor Plan/New Work

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing
05-17-2022	Permit Revision
08-04-2022	Pricing Set
01-31-2023	90% CD Set
03-10-2023	Permit Revision 2



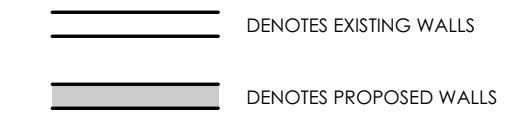
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**TYPICAL CONSTRUCTION NOTES**

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- 4. TYP. INTERIOR WALL CONSTRUCTION**  
1/2" GYPSUM WALL BOARD ON 2x4 OR 2x6 STUDS (SEE PLANS) @ 16" O.C. (U.N.O.) PRESSURE TREATED SILL AT BASEMENT. MOISTURE RESISTANT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

**NOTE:** REPLACE ALL WINDOWS  
**NOTE:** REPLACE ALL BASE, CASING, CROWN  
**NOTE:** REPLACE ALL DOORS  
**NOTE:** REPLACE ALL HOSE BIBS  
**NOTE:** REPLACE ALL REGISTERS WITH NEW FLUSH WOOD

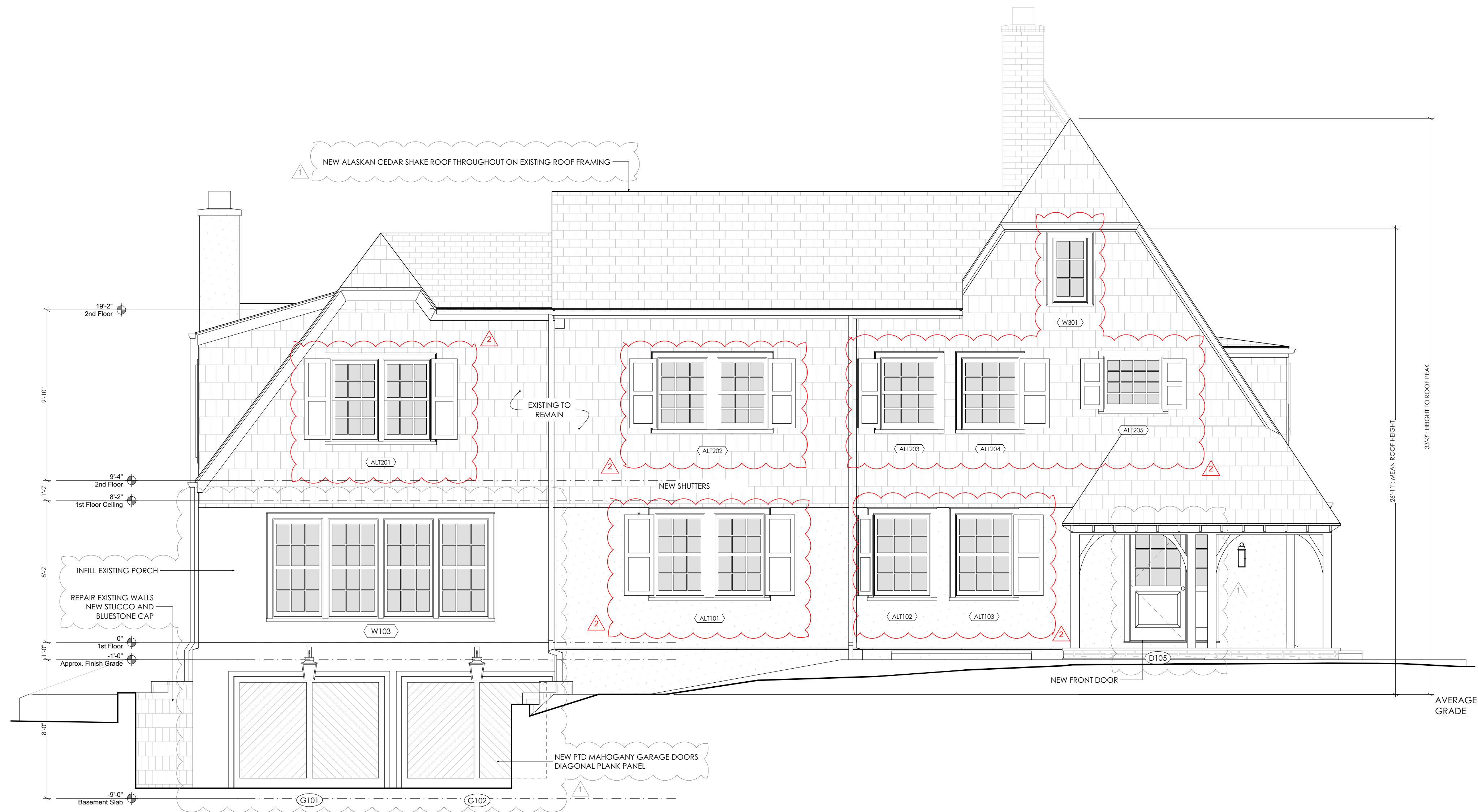


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 30 Hesketh Street Chevy Chase MD 20815

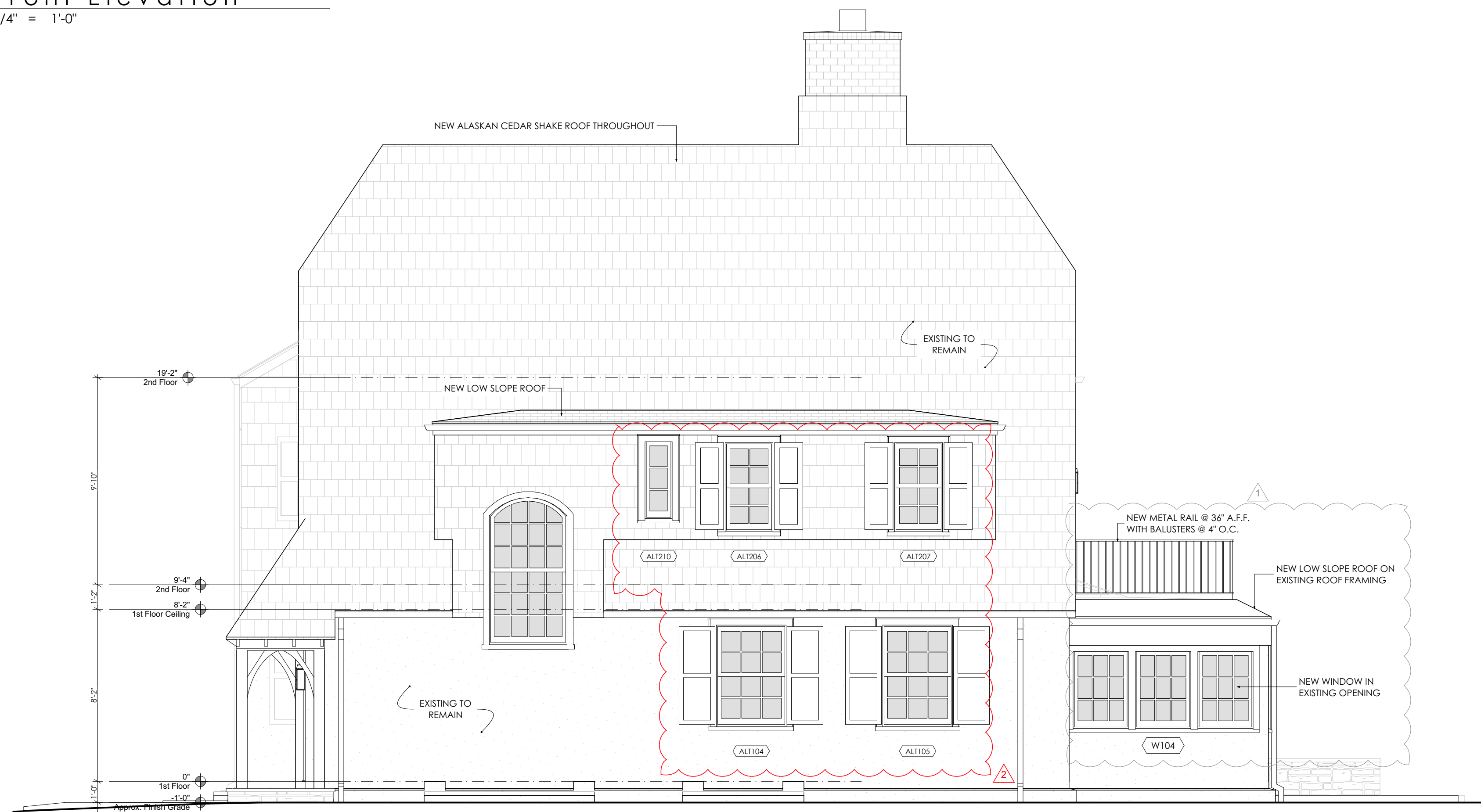
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Proposed Second Floor Plan/New Work

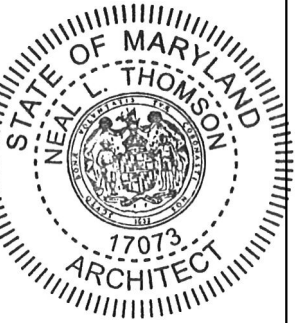
12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
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05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision
08-04-2022	Pricing Set
01-31-2023	90% CD Set
03-10-2023	Permit Revision 2



**1** Front Elevation  
1/4" = 1'-0"



**2** Right Elevation  
1/4" = 1'-0"



**Donoghue Hacker Residence**  
30 Hesketh Street Chevy Chase MD 20815

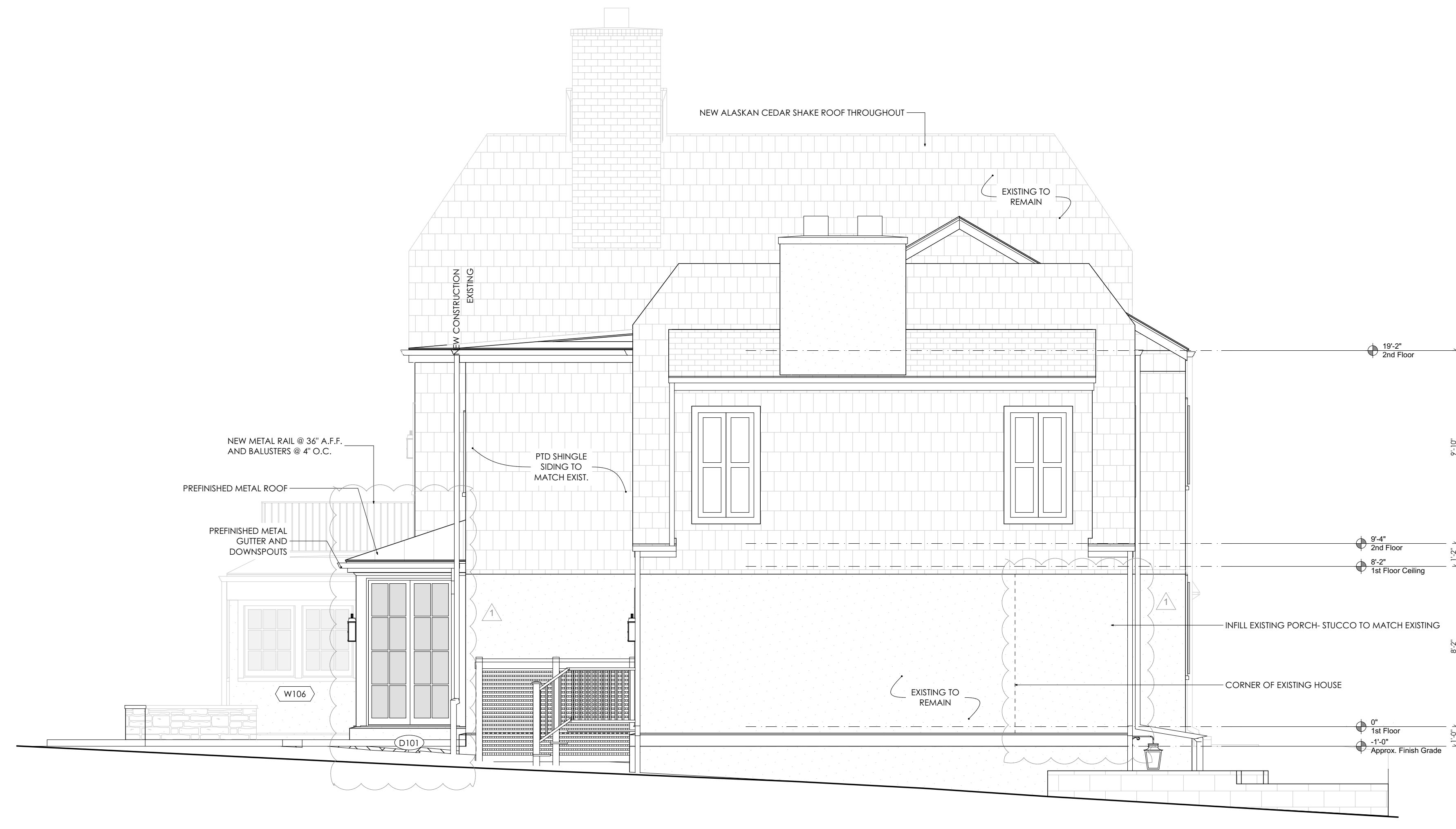
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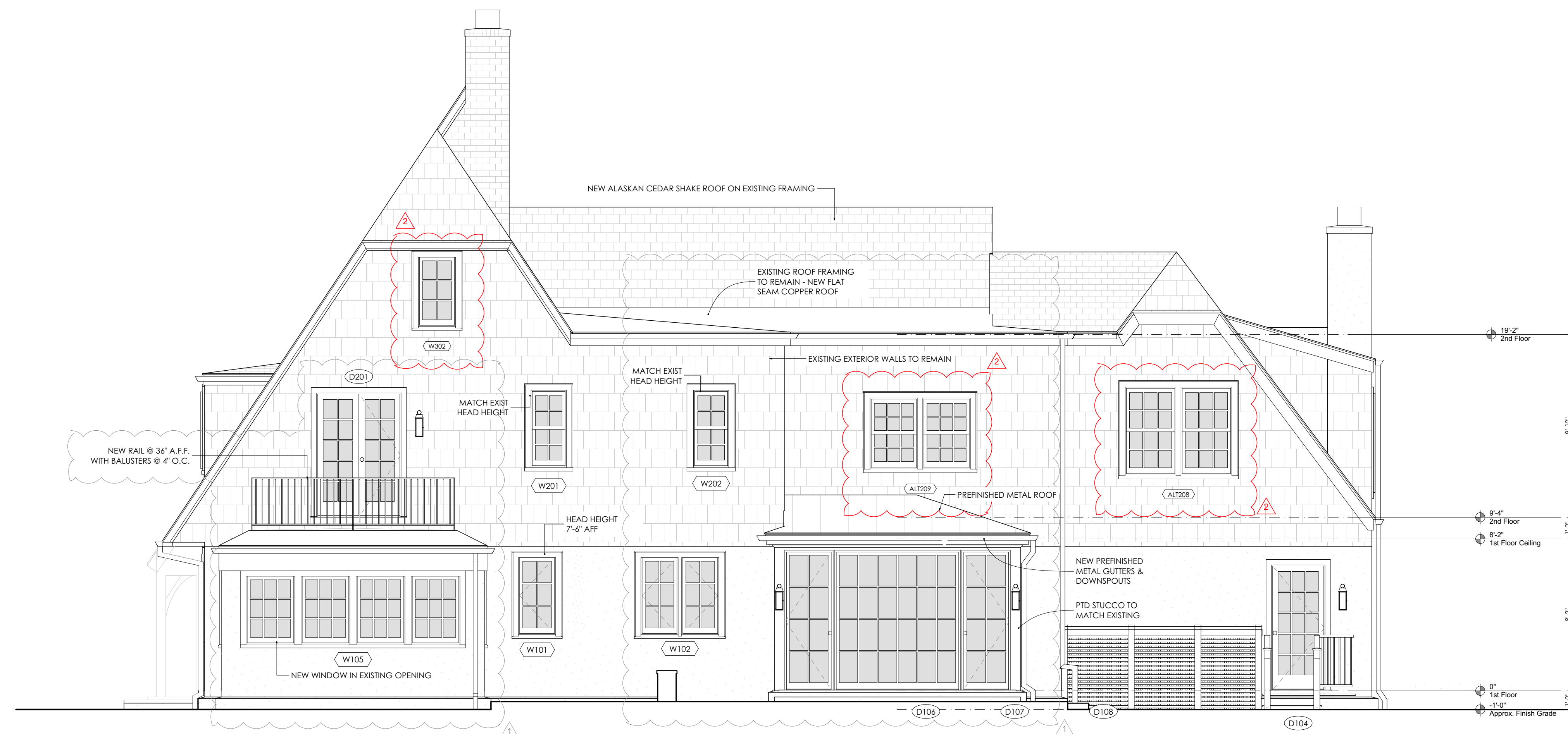
Proposed Northwest & Northeast Elevation

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
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08-04-2022	Pricing Set
01-31-2023	90% CD Set
03-10-2023	Permit Revision 2

**A200**



**1** Left Elevation  
1/4" = 1'-0"



**2** Rear Elevation  
1/4" = 1'-0"



**Donoghue Hacker Residence**  
30 Hesketh Street Chevy Chase MD 20815

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Proposed Southwest & Southeast Elevation

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**A201**



NOTE: NO WINDOWS  
THIS ELEVATION



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Existing Elevations

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