

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6 Primrose Street, Chevy Chase	Meeting Date:	4/12/2023
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	4/5/2023
Applicant:	Caitlin Steed (Marci Bonner, Agent)	Public Notice:	3/29/2023
Review:	HAWP	Tax Credit:	N/A
Permit Number:	1023924	Staff:	Dan Bruechert
PROPOSAL:	Tree Removal, Hardscape Alteration, and Fence Installation		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application with **three (3) conditions**:

1. The proposed driveway apron material shall match the approved driveway. Final plans showing this condition has been satisfied shall be submitted to Staff for review and approval before releasing the final approval documents.
2. This HAWP approval does not include the installation of a generator on the property.
3. The replacement fence along the east property boundary may not extend forward of the front wall plane. A revised site plan showing this condition has been satisfied shall be submitted to Staff for review and approval before releasing the approval documents. Any new fencing forward of the front wall plane will require either a revised HAWP or a new HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1906

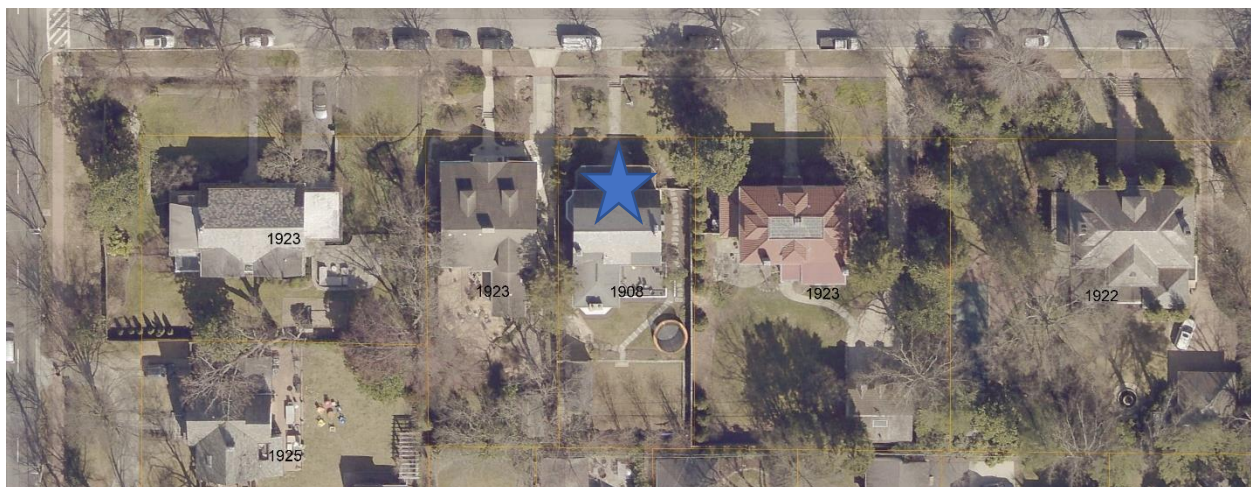


Figure 1: 6 Primrose Street.

BACKGROUND

At the December 15, 2021 HPC meeting, the HPC approved a HAWP (#951380), to demolish a non-historic addition, construct a new addition, and alter the fenestration.¹ The applicant returns seeking approval for additional site work.

PROPOSAL

The applicant proposes to remove a tree, alter the existing hardscape, and install sections of fencing.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District, several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Sec. 24A-8. Same-Criteria for issuance.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

¹ The Staff Report for the 2021 HAWP approval is available here: <https://montgomeryplanning.org/wp-content/uploads/2021/12/I.E-6-Primrose-Street-Chevy-Chase-975518.pdf>.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Driveways should be subject to strict scrutiny only with regard to their impact on landscaping, particularly mature trees. In all other respects, driveways should be subject to lenient scrutiny. Parking pads and other paving in front yards should be discouraged.
- Fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Tree removal should be subject to strict scrutiny and consistent with the Chevy Chase Village Urban Forest Ordinance.

Secretary of the Interior’s Standards for Rehabilitation

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a large two-story Colonial Revival house with a gambrel roof and shed dormer in the attic. The applicant proposes to remove a single tree in the front yard, alter the existing hardscape, and install sections of fencing. Staff finds the proposed changes are in keeping with the character of the house and surrounding district and recommends the HPC approve the HAWP.

Tree Removal

In the front yard of the subject property, there is a 10" (ten-inch) d.b.h. cherry tree (the site plan mislabeled the tree as a Wisteria). The applicant proposes to remove this tree.

Staff finds the proposed tree is not a historically significant landscape feature. Under a strict scrutiny review Staff recommends the HPC approve its removal. Staff notes that while this tree removal may be approved by the HPC, a Chevy Chase Village Permit is required under the Village Urban Forest Ordinance.



Figure 2: The proposed tree is located to the right of the existing stone walk.

Hardscape Alterations

Several changes to the property's hardscape are proposed including removing and replacing the existing driveway, removing the existing retaining wall at the sidewalk edge, removing and replacing the front steps and walk from the sidewalk to the house, constructing a gravel walkway on the right side of the

house, constructing a stone walkway on the right side of the house, removing a retaining wall in the backyard, installing a stone landing adjacent to the existing garage, and fencing an area behind the existing garage. Staff finds the overall impact on the historic character will be minimal and recommends the HPC approve the hardscape changes.

In 2004, the driveway and curb cut on the right side of the property were removed.² To provide off-street parking, the applicant proposes to install a curb cut, ribbon driveway, with a 'parking court' to the left of the house. Details for the driveway apron were not included in the application, however, both the driveway ribbons and parking court will be constructed using an exposed aggregate concrete with a cobblestone border. Staff finds the proposed materials provide the desired texture to blend into the surrounding streetscape and recommends the HPC approve the new driveway. Staff recommends the HPC add a condition to this approval that the apron material matches the exposed aggregate driveway.

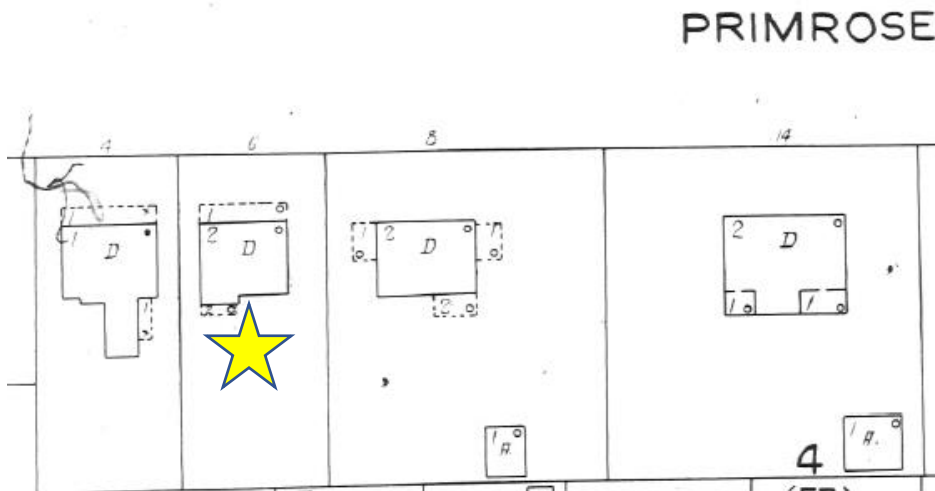


Figure 3: 1927 Sanborn Map showing the subject property without an accessory structure in the rear.

Next, the applicant proposes to remove the front retaining wall along the sidewalk. This retaining wall was installed in 2004 as part of the approved HAWP identified above. The front of the property will be re-graded with new plantings. Staff finds this will return the property to its pre-2004 appearance and finds the change is consistent with the historic character of the site and surrounding district and recommends the HPC approve this change.

Additionally, the applicant proposes to remove the existing front steps and front walk and re-construct them, using the existing material if possible and with matching stone if reusing the material is not feasible. Staff finds this work is in-kind and does not require the HPC's approval.

On the right side of the house, the applicant proposes to remove the non-historic, stepping stone walk and install a gravel walkway in its place. The walk will extend from the existing fence and gate to the existing garage. Staff finds the proposed gravel walk will have little visible impact on the character of the site and surrounding district, as it is at grade toward the rear of the property. Staff additionally finds the porous gravel surface will not add to the impervious paving on the site. Because this feature is not readily visible from the public right-of-way, Staff finds the change should be approved under the very lenient review prescribed by the *Design Guidelines*.

² The HAWP application and Staff Report for the 2004 hardscaping and fencing work is available here: https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640007/Box058/35-13-04P_Chevy%20Chase%20Historic%20District_6%20Primrose%20Street_05-27-2004.pdf.

Behind the proposed parking court, the applicant proposes to construct a stone walkway connecting the parking court to the rear of the covered porch. The stone walk will match the appearance of the front walkway and stairs discussed above. Staff finds the proposed stone is compatible with the character of the site and surrounding district. This new feature will not be readily visible from the right-of-way and should be given a very lenient review, per the *Design Guidelines*. Staff recommends the HPC approve the new stone walkway.

In the rear of the property, there is a retaining wall that was installed in 2004, associated with a since-removed swimming pool. The applicant proposes to remove this retaining wall and re-grade the backyard. Staff finds the retaining wall is not a historic feature and its removal will return the property to its pre-2004 appearance and recommends the HPC approve its removal.

Next, the applicant proposes to construct a stone landing, measuring 11' × 10' 6" (eleven feet by ten feet, six inches), in front of the existing garage. The proposed stone surface matches the walkways and stairs discussed above. Staff finds this is a compatible material and recommends the HPC approve the garage landing.

Behind the garage, the applicant proposes to install a "utility/storage area" measuring 12' 10" × 15' 4" (twelve feet, ten inches by fifteen feet, four inches). The proposed area will be covered in gravel with a 4' (four-foot tall) wood solid board fence. The drawings note a location for a possible generator in the enclosure. The proposed area is located behind both the house and garage and will not be visible from the right of way. Staff finds the proposed fence material and design are compatible with the character of the site and surrounding district. Staff recommends the HPC approve the proposed enclosure, but that the approval does not extend to include installing a generator in this location. If the applicant wishes to install a generator, this work requires a separate HAWP at a future date.

Fencing Installation

In addition to the fencing around the storage/utility area, discussed above, the applicant proposes additional fencing to the left of the house. Immediately to the left of the house, the applicant proposes to construct a 4' (four foot) tall solid board enclosure around the existing HVAC units and a basement window well with a gate. Adjacent to this enclosure, the applicant proposes to construct an enclosure for trash and recycling. The fence surrounding this enclosure matches the design, materials, and height of the other enclosures proposed. Finally, the applicant proposes to remove a section of existing 6' (six foot) tall solid board fencing and install 48' 3" (forty-eight feet, three inches) of 6' (six foot) tall solid board fencing. This fence comes 25' 2" (twenty-five feet, two inches) forward of the house front wall plane.

Staff finds the proposed screening fences and gates are appropriate heights and materials for the house and recommends the HPC approve them. However, Staff does not find the full length of the proposed 6' (six-foot) tall fence to be appropriate. The general requirement for fences in the Chevy Chase Village Historic District in front of the rear wall plane is that they need to be no taller than 48" (forty-eight inches), constructed out of traditional materials, and have an open (i.e. picket) design. This requirement helps to preserve the Village's open, park-like setting, and objective identified in the 'Lot Coverage' guideline. The existing 6' (six foot) tall fence was approved by the HPC, in part, to enclose the rear yard and comply with the code requirements for the since-removed swimming pool. Replacing the fencing in its current location is an in-kind replacement that does not require a HAWP. Staff finds removing and replacing the existing fence appropriate. Staff also finds that the fencing proposed in front of the house front wall plane (see below) would be detrimental to the district's open park-like setting and recommends the HPC include a condition to the HAWP approval that this section of the fence not be approved.

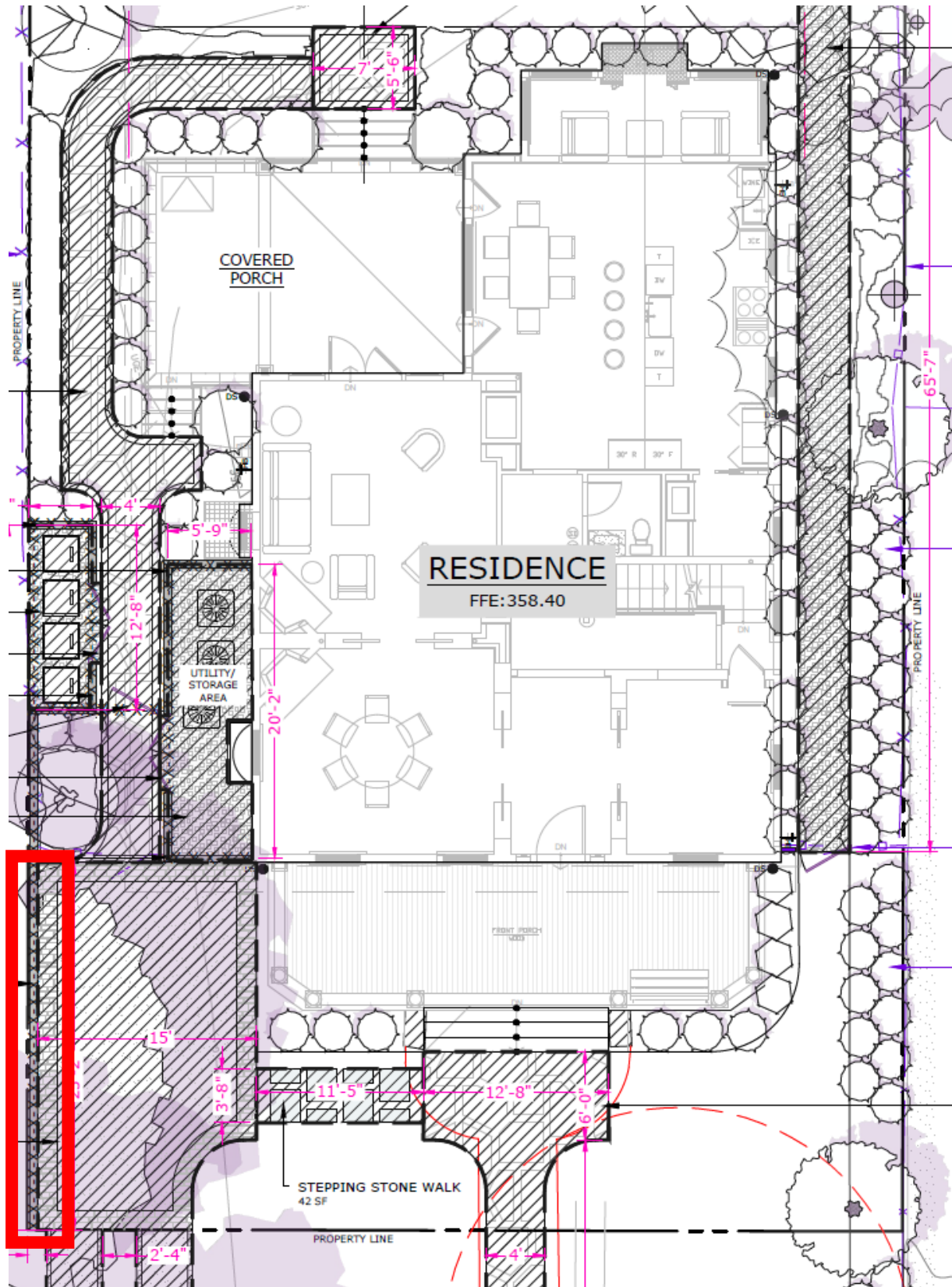


Figure 4: Staff recommends the HAWP approval not include the section of fence outlined in red.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application with **three (3) conditions**:

1. The proposed driveway apron material shall match the approved driveway. Final plans showing this condition has been satisfied shall be submitted to Staff for review and approval before releasing the final approval documents.
2. This HAWP approval does not include the installation of a generator on the property.
3. The replacement fence along the east property boundary may not extend forward of the front wall plane. A revised site plan showing this condition has been satisfied shall be submitted to Staff for review and approval before releasing the approval documents. Any new fencing forward of the front wall plane will require either a revised HAWP or a new HAWP application;

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

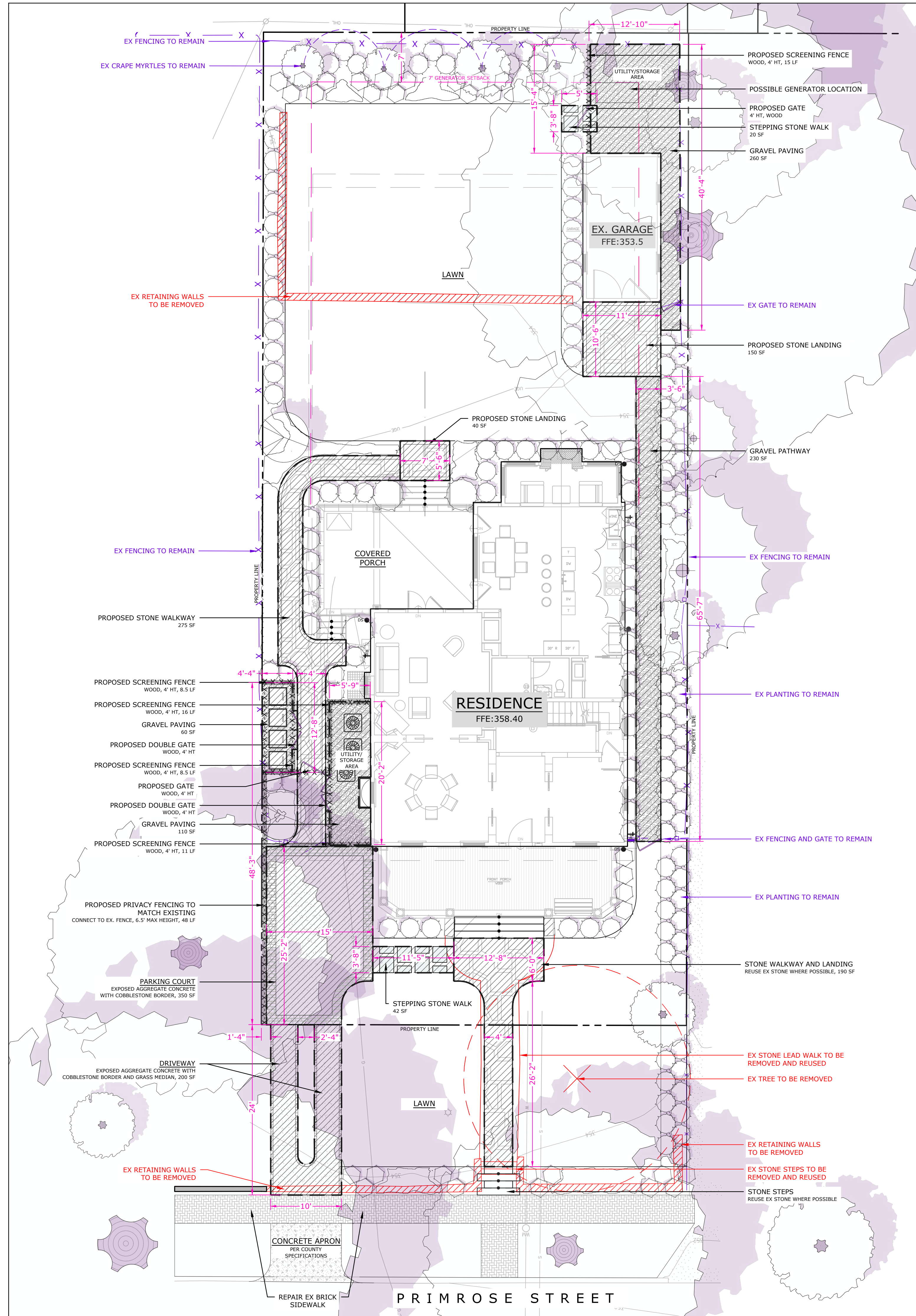
Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



PROJECT NARRATIVE

- THE PROPOSED DEMOLITION OF EXISTING FEATURES AT 6 PRIMROSE STREET INCLUDES:
- REMOVAL OF EXISTING DETERIORATING STONE RETAINING WALLS ALONG FRONT SIDEWALK AND IN MIDDLE OF REAR YARD
 - REMOVAL OF EXISTING STONE WALKWAYS (REUSE EX. STONE MATERIAL IF POSSIBLE)
 - REMOVAL OF EXISTING STONE STEPS (REUSE EX. STONE MATERIAL IF POSSIBLE)
 - REMOVAL OF EXISTING CHERRY TREE IN FRONT YARD
- THE PROPOSED DESIGN SCOPE INCLUDES THE FOLLOWING:
- ADDITION OF A DECORATIVE DRIVEWAY (EXPOSED AGGREGATE FIELD WITH COBBLESTONE BORDER AND GRASS MEDIAN)
 - ADDITION OF STONE WALKWAYS AND LANDINGS
 - ADDITION OF GRAVEL PATHS AND GRAVEL PAVING AT UTILITY/STORAGE AREAS
 - ADDITION OF 4' HT WOOD UTILITY SCREEN FENCING WITH ACCESS GATES
 - ADDITION OF 6.5' HT MAX. WOOD PRIVACY FENCING TO MATCH AND TIE INTO EXISTING FENCING



VIEW FROM FRONT LEFT CORNER OF HOUSE TOWARDS BACKYARD | VIEW FROM BACK OF HOUSE TOWARD EXISTING GARAGE



VIEW FROM BACK RIGHT CORNER OF HOUSE ALONG RIGHT PROPERTY LINE | VIEW OF FRONT OF FRONT YARD FROM PRIMROSE STREET



EXPOSED AGGREGATE CONCRETE DRIVEWAY AND PARKING COURT WITH COBBLESTONE BORDER | EXISTING GATES (TO REMAIN) | WOOD PRIVACY FENCE (TO MATCH EXISTING)



GRAVEL PAVING AND PATHWAYS | STEPPING STONE WALK | SCREENING FENCE AND GATES



IRREGULAR STONE WALKWAY AND LANDINGS | STONE STEPS

EXISTING CONDITIONS

PROPOSED DESIGN FEATURES

NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION

STEED RESIDENCE

6 PRIMROSE STREET, CHEVY CHASE, MD 20815

HAWP SITE PLAN

DATE: MARCH 2023
 SCALE: 1/8" = 1'-0"
 SHEET NUMBER: L.101A

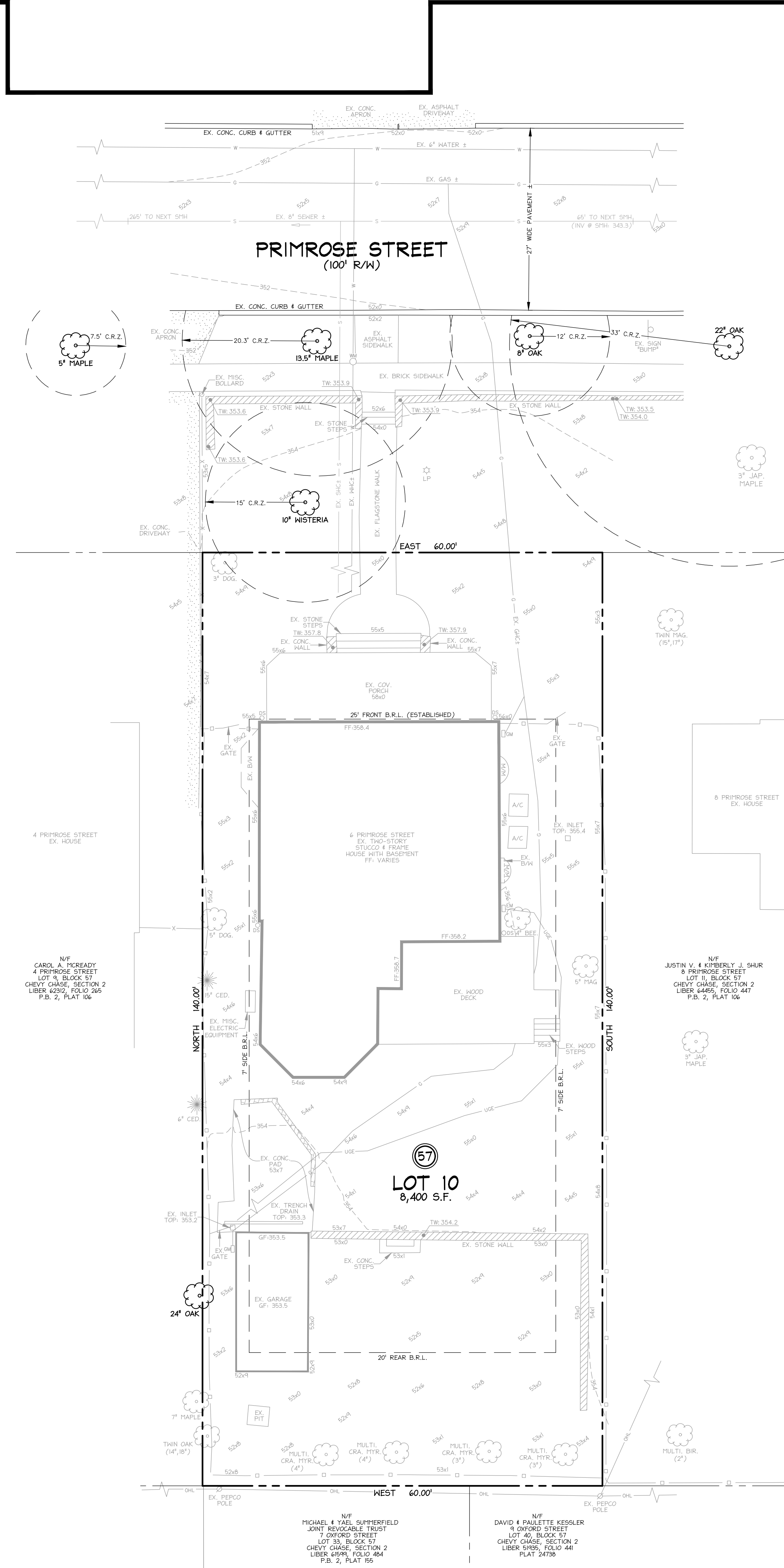
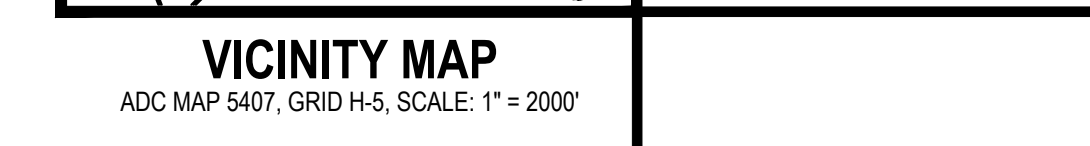
- GENERAL NOTES**
- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated January, 2022.
 - Total lot area: Lot 10 = 8,400 sq. ft. (0.193 acres)
 - Property is located on Tax Map HN341 and WSSC 2007 Sheet 208NW04.
 - Property is located on Soils Survey Map Number 27. Soil type(s): ZUB, Gleney Urban land complex, HSG "B".
 - Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0455D.
 - Property is located in the Lower Potomac Direct Watershed.
 - Water Category - 1, Sewer Category - 1
 - Local utilities include:
Water / Sewer - Washington Suburban Sanitary Commission
Electric - PERCO
Telephone - Verizon
Gas - Washington Gas
 - Property is located in the incorporated municipality of Chevy Chase Village.
 - Property is not located in a Special Protection Area.
 - Property is located in the Chevy Chase Village Historic District.
 - This plan was created without the benefit of a title report.
 - Slope of existing 8" sewer line to be confirmed by plumber.

- ZONING DATA**
- Zoning: R-40
Minimum Lot Area = 6,000 sq ft
Minimum Lot Width at RW = 25 ft
Minimum Lot Width at B.R.L. = 60 ft
Front B.R.L. = 25 ft (Established) (1)
Rear B.R.L. = 20 ft min. (Per CCV & McCo) (2)
Side B.R.L. = 7 ft min. (Per CCV)
- (1) Per Montgomery County Code Section 4-4.1.A.1, the Established Building Line does not apply to an alteration or addition to an existing house.
(2) The Chevy Chase Village building regulations should be consulted for additional building restrictions, rules, and prohibitions.

CAS JOB NO.: 21-1025
DATE: 02/2022

DATE REVISION

02/04/22	NO. Building Permit Site Plan Base Sheet to Client and Architect.
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RELATED REQUIRED PERMITS

TO BE COMPLETED BY THE CONSULTANT AND PLACED ON THE FIRST SHEET OF THE SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN SET FOR ALL PROJECTS.

IT IS THE RESPONSIBILITY OF PERMITEE/OWNER OF THIS SITE TO OBTAIN ALL REQUIRED PERMITS PRIOR TO ISSUANCE OF THE APPROVED SEDIMENT CONTROL PERMIT.

TYPE OF PERMIT	REQ'D	NOT RECD	PERMIT NUMBER	EXPIRATION DATE	WORK RESTRICTION DATES
MCDPS Floodplain District		X			
WATERWAYS/WETLANDS:		X			
a. Corps of Engineers		X			
b. MDE		X			
c. MDE Water Quality Certification		X			
MDE Dam Safety		X			
DPS Roadside Trees Protection Plan *	X			Approval Date	
N.P.D.E.S. - Notice of Intent		X			Date Filed
FEMA LOMR - (Letter of Map Revision) Required Post Construction		X			
OTHERS (Please List):					

CONSTRUCTION INSPECTION CHECK-OFF LIST FOR DRY WELL/RECHARGE CHAMBER

STAGE	MCDPS INSPECTOR INITIALS/DATE	OWNER/DEVELOPER INITIALS/DATE
MANDATORY NOTIFICATION: Inspection and approval of each practice is required at these points prior to proceeding with construction. The permittee is required to give the MCDPS inspector twenty-four (24) hours notice (DPS telephone 240-777-0311). The DPS inspector may waive an inspection, and allow the permittee to proceed with construction. The permittee must provide a written report to the MCDPS inspector confirming the inspection was completed without MCDPS approval may result in the permittee being required to reconstruct the unapproved work. Upon completion of the project, a formal Stormwater Management As-Built must be submitted to MCDPS unless a Record Drawing Certification has been obtained. Each of the steps listed below must be verified by either the MCDPS inspector OR the Owner/Developer.		
1. Excavation for Dry Well conforms to approved plans		
2. Placement of backfill, perforated inlet pipe and observation well conforms to approved plans		
3. Placement of geotextiles and filter media conforms to approved plans		
4. Connecting pipes, including connection to downspout, constructed per the approved plans		
5. Final grading and permanent stabilization conforms to approved plans		
TOTAL NUMBER OF DRY WELLS INSTALLED PER THIS PERMIT:	APPROVED	CONSTRUCTED

NON-ROOFTOP DISCONNECTION

The constructed Non-Rooftop Disconnections meet the conditions specified on the approved plans.

Owner/Developer Signature: _____ Date: _____

ROOFTOP DISCONNECTION

The constructed Rooftop Disconnections meet the conditions specified on the approved plans.

Owner/Developer Signature: _____ Date: _____

RECORD DRAWING CERTIFICATION

A record set of approved Sediment Control/Stormwater Management plans must be maintained onsite at all times. In addition to stormwater management items, these plans must include the number and location of all trees proposed to be planted to comply with the Tree Canopy Law. Any approved modifications or deletions of stormwater practices or tree canopy plantings or information must be shown on this record set of plans and on the Tree Canopy Requirements table. Upon completion of the project, the record set of plans, including thereon this signed Record Drawing Certification, must be submitted to the MCDPS inspector. In addition to this Record Drawing Certification, a formal Stormwater Management As-Built submission is required. It is not required for this project.

If this project is subject to a Stormwater Management Right of Entry and Maintenance Agreement, that document is recorded at Book XXXXX, Page XXXX. This Record Drawing will serve as referenced in the recorded document.

This record drawing accurately and completely represents the stormwater management practices and tree canopy plantings as they were constructed or planned. All stormwater management practices were constructed per the approved Sediment Control / Stormwater Management plans or subsequent approved revisions.

Owner/Developer Signature: _____ Date: _____

FIELD CHECK OF RECORD DRAWING BY MCDPS INSPECTOR: INITIALS _____ DATE _____

LEGEND

EXISTING FEATURES

- Ex. Sewer Manhole and Invert
- Ex. Gas Line with Valve
- Ex. Overhead Utility with Pole
- Ex. Downspout
- Ex. Underground Utility Line
- Ex. Two-And-Ten-Foot Contours
- Ex. Spot Elevation
- Ex. Light Pole
- Ex. Metal or Iron Fence
- Ex. Wood or Stockade Fence
- Ex. Retaining Wall
- Ex. Tree (< 24" DBH)
- Ex. Roadside Tree or Ex. Tree (24" DBH < 30" DBH)

PROPOSED FEATURES

- Limit Of Disturbance (L.O.D.)
- Prop. Water-House Connection
- Prop. Sewer-House Connection
- Prop. Gas-House Connection
- Prop. Electric-House Connection
- Prop. Contour with Elevation
- Prop. Spot Elevation
- Prop. Retaining Wall
- Prop. 4" PVC Drain Pipe
- Prop. Downspout Disconnect with Flow Path and Flow Direction
- Prop. Drainage Divide
- Prop. Roadside Tree
- Prop. Surface Flow Direction
- Prop. Pipe Flow Direction
- Prop. Silt Fence
- Prop. Super Silt Fence
- Prop. Orange Construction Fence
- Prop. Root Pruning Trench
- Prop. Tree Protection Fence
- Prop. Combined Tree Protection Fence and Super Silt Fence
- Prop. Combined Tree Protection Fence and Root Pruning Trench
- Prop. Stabilized Construction Entrance
- Gravel Dry Well with the Perforated Pipe Layout, Downspout Leader, Pipe Flow Direction, and Pipe Invert Elevation
- Prop. Micro Infiltration Trench

TREE CANOPY REQUIREMENTS

TO BE COMPLETED BY THE CONSULTANT AND PLACED ON THE FIRST SHEET OF THE SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN SET FOR ALL PROJECTS.

EXEMPT: YES NO
If exempt under Section 55-5 of the code, please check the applicable exemption category below.

Total Property Area	Total Disturbed Area	Shade Trees Required	Shade Trees Proposed
8,400 S.F.	8,000 S.F.	0	0

Fee in Lieu: (Trees Required - Trees Proposed) x \$250 = \$ 0.00/0.00

Required Number of Shade Trees: AREA OF THE LIMITS OF DISTURBANCE (SQUARE FEET) / NUMBER OF SHADE TREES REQUIRED

AREA OF THE LIMITS OF DISTURBANCE (SQUARE FEET)	NUMBER OF SHADE TREES REQUIRED
1-50 SQ. FT.	0
50-100 SQ. FT.	1
100-200 SQ. FT.	2
200-500 SQ. FT.	3
500-1,000 SQ. FT.	4
1,000-2,000 SQ. FT.	5
2,000-5,000 SQ. FT.	6
5,000-10,000 SQ. FT.	7
10,000-20,000 SQ. FT.	8
20,000-50,000 SQ. FT.	9
50,000-100,000 SQ. FT.	10
100,000-200,000 SQ. FT.	11
200,000-500,000 SQ. FT.	12
500,000-1,000,000 SQ. FT.	13
1,000,000-2,000,000 SQ. FT.	14
2,000,000-5,000,000 SQ. FT.	15

If the square footage of the limits of disturbance is more than 40,000 SF, then the number of shade trees required must be calculated using the following formula: (Number of Square Feet in L.O.D. / 40,000) x 15

Exemption Categories:

- 15-50 any activity that is subject to Article 14 of Chapter 22A
- 50-100 any commercial logging or timber harvesting operation with an approved permit
- 100-500 routine or emergency maintenance of an existing stormwater management facility, including an existing access point, of that project, including the maintenance fee outlined in the permit.
- 50-500 any stream restoration project if the person performing the work has obtained an approved permit.
- 50-500 any activity that is in compliance with applicable laws, regulations, and local law governing safety of dams.
- Other: Specify per Section 55-5 of the Code. This project is in compliance with the Montgomery County incorporated municipality of Chevy Chase Village, therefore it is not subject to the Tree Canopy Law.

FRONT YARD PARKING AREA COVERAGE

R-60: 35% MAXIMUM

FRONT YARD PARKING AREA: XXXXX SF
FRONT YARD AREA: XXXX SF
COVERAGE: XX.X% (< 35%)

TOPSOIL NOTE

TOPSOIL MUST BE APPLIED TO ALL PAVED AREAS WITHIN THE LIMITS OF DISTURBANCE PRIOR TO PERMANENT STABILIZATION IN ACCORDANCE WITH MDE "STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS".

UTILITY INFORMATION

EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE FIELD VERIFIED. UTILITY LOCATIONS ARE BASED UPON AVAILABLE RECORDS AND ARE SHOWN TO THE BEST OF OUR ABILITY.

UTILITY	REQUEST DATE	BY	INFO. RECEIVED	PLAN REVISED	BY
WATER	02/17/2022	DMJ	-	-	-
SEWER	02/17/2022	DMJ	-	-	-
VERIZON	02/17/2022	DMJ	-	-	-
WATER CONTRACT DRAWINGS	02/17/2022	DMJ	-	-	-
SEWER CONTRACT DRAWINGS	02/17/2022	DMJ	-	-	-
HOUSE CONNECTION PLUMBING CARDS	02/17/2022	N/A	-	-	-

MISS UTILITY

FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NC/TX/DC 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITIES COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 38A OF THE MONTGOMERY COUNTY CODE.

ROADSIDE TREE REQUIREMENTS

TO BE COMPLETED BY THE CONSULTANT AND PLACED ON THE FIRST SHEET OF THE SEDIMENT CONTROL/STORMWATER MANAGEMENT PLAN SET FOR ALL PROJECTS.

Street Tree Removed Fee \$100.00	# of Street Trees Removed	Additional Required Fee (\$500/tree)
\$0.00	0	\$0.00/0.00

Total Fees Required \$0.00

Major (Shade) Trees, Spacing: 50' (45' O.C. min.)
Height: 8' min. Caliper size 2" or 4" above the ground.
Medium (Shade) Trees, Spacing: 30' (45' O.C. min.)
Height: 8' min. Caliper size 2" or 4" above the ground.
Street tree species to be approved by Montgomery County Department of Transportation (MCDOT-753.07, 022)
Minimum Tree Clearance: 10'-0" (10'-0")

- 2' from water main
- 2' from gas line
- 2' from fire hydrant
- 2' from streetlight

For additional planting requirements, please see:
MCDOT-753.07 Tree Locations, Street Signs, Street Signs
MCDOT-753.07 Tree Locations, Street Signs, Street Signs
MCDOT-753.07 Tree Locations, Street Signs, Street Signs

TECHNICAL REVIEW OF SEDIMENT CONTROL	ADMINISTRATIVE REVIEW	TECHNICAL REVIEW OF STORMWATER MANAGEMENT	SMALL LOT DRAINAGE APPROVAL	000000 SEDIMENT CONTROL PERMIT NO.
REVIEWED: _____ DATE: _____	REVIEWED: _____ DATE: _____	REVIEWED: _____ DATE: _____	REVIEWED: _____ DATE: _____	REVIEWED: _____ DATE: _____
MCDPS APPROVAL OF THIS PLAN WILL EXPIRE TWO YEARS FROM THE DATE OF APPROVAL IF THE PROJECT HAS NOT STARTED.		MCDPS APPROVAL DOES NOT NEGATE THE NEED FOR A MOISTURE-ADDED ZEMBLE.		STORMWATER MANAGEMENT FILE NO. N/A

SHEET TITLE: Building Permit Site Plan, SWM Plan, and Sediment Control Plan

1 of 1

PRELIMINARY BUILDING PERMIT SITE PLAN NOT FOR PERMIT SUBMITTAL

THIS PLAN IS FOR ZONING, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT APPROVAL ONLY. SEE THE RIGHT-OF-WAY IMPROVEMENTS AND ROADSIDE TREE PLAN FOR TREE PLANTING, TREE REMOVAL, AND/OR ANY NECESSARY TREE PROTECTION MEASURES AND DETAILS.

OWNER/APPLICANT
Jeremy Steed
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Chevy Chase, MD 20815
(301) 651-4282 Phone
jsteed075@gmail.com

ARCHITECT
Thomson & Cooke Architects PLLC
5155 MacArthur Blvd, NW
Washington, DC 20016
Attn: Neal Thomson
(202) 696-6583 Direct
(202) 747-4923 Cell
neal@thomsoncooke.com

BUILDER
JEFFCO Development
11110 Arroyo Drive
Rockville, MD 20852
Attn: Jeff Robins
(301) 964-5129 Direct
(204) 832-5000 Cell
jeff@jeffcodev.com

6 Primrose Street Lot 10, Block 57, Chevy Chase, Section 2 Building Permit Site Plan, Stormwater Management Plan, and Sediment Control Plan Sediment Control Permit #: 000000

Lot 10, Block 57, Chevy Chase, Section 2
Plat Book A, Plat No. 26, Recorded 9/8/1909
Beltsides (7th) Election District, Montgomery County, MD
6 Primrose Street
Chevy Chase, Maryland 20815

CAS ENGINEERING-MD
10 South Bond Street
Frederick, Maryland 21701
301-607-8031 Phone
info@casengr.com
www.casengr.com

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CAS ENGINEERING

0 5 10 15 20
SCALE: 1 INCH = 10 FEET



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Rabbiah Sabbakhan
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 3/8/2023

Application No: 1023924
AP Type: HISTORIC
Customer No: 1459421

Comments

Property currently has HAWP 975518 - Building addition and other alterations.

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 6 PRIMROSE ST
CHEVY CHASE, MD 20815

Othercontact Bonner (Primary)

Historic Area Work Permit Details

Work Type CONST

Scope of Work Addition of driveway and stone hardscapes. Addition of fencing. Removal of tree.