

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	200 Manor Circle., Takoma Park	Meeting Date:	4/12/2023
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	4/5/2023
Applicant:	Dan Treado	Public Notice:	3/29/2023
Review:	HAWP	Tax Credit:	n/a
Case No.:	1023367	Staff:	Dan Bruechert
Proposal:	Fence Installation		

STAFF RECOMMENDATION

Staff recommends the HPC approve the HAWP with **one (1) condition:**

1. The proposed 6' (six foot) fence may not be installed forward of the front wall plane of the historic house as shown in *Figure 4* of the staff report. Revised plans showing this condition has been met shall be submitted to Staff before final approval documents can be released.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: 1922



Figure 1: 200 Manor Cir. is located near the Takoma Junction intersection.

PROPOSAL

The applicant proposes to install a fence along the north property boundary.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a one-story Craftsman bungalow at the northeast corner of the intersection of Carroll Ave. and Manor Circle. The property is surrounded by an approximately 4' (four foot) tall painted wood picket fence, except in the northeast corner, where the fence is approximately 6' (six feet). The applicant proposes to construct 48' (forty-eight linear feet) of 6' (six foot) tall solid board fence along the north property boundary. The site plan (see below) shows the new fence aligning with the front of the house's front porch. No other work is proposed as part of this HAWP and no trees will be impacted by the new fencing.

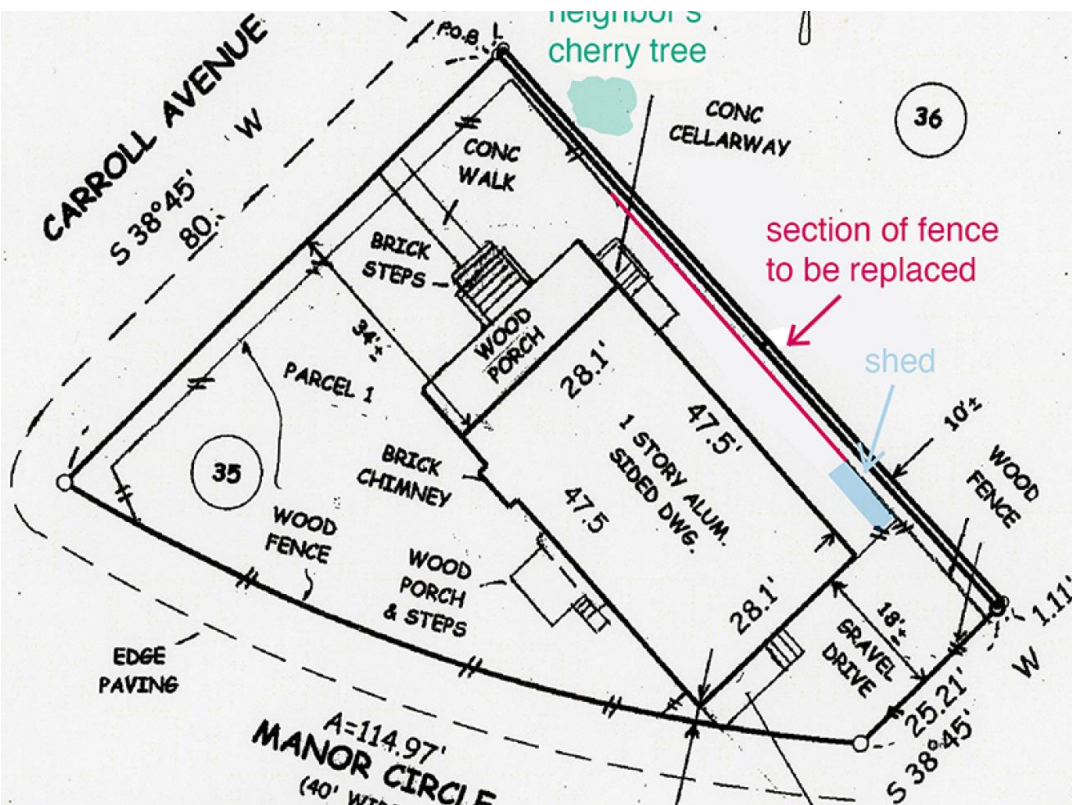


Figure 2: Site plan showing the location of the proposed fence.

The HPC's general requirement for fences forward of the rear wall plan in historic districts is that they are no taller than 48" (forty-eight inches), constructed using traditional materials (i.e. wood, stone, iron), and have an open design. The reason for this requirement is to maintain the general open character and setting of the district; or as stated in the Takoma Park Design Guidelines to assure "that... changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district."

In this instance, Staff finds that the subject property's narrow side setback and the proximity of the two-story house to the north do not create the same sense of openness found elsewhere in the Takoma Park Historic District. Staff finds that a taller, solid wood fence along the side of the house will not detract from the character of the site or the surrounding district. However, Staff finds that allowing the fence to extend to the front edge of the porch will negatively impact the character of the district. This configuration creates what is, in effect, a solid wall that extends into the front yard. Staff recommends the HPC approve the HAWP with an added condition that the proposed 6' (six foot) fence cannot project forward of the house's front wall plane (see Fig. 4, below). Any replacement fencing needed in front of the front wall plan needs to match the existing fence's design, materials, and dimensions.

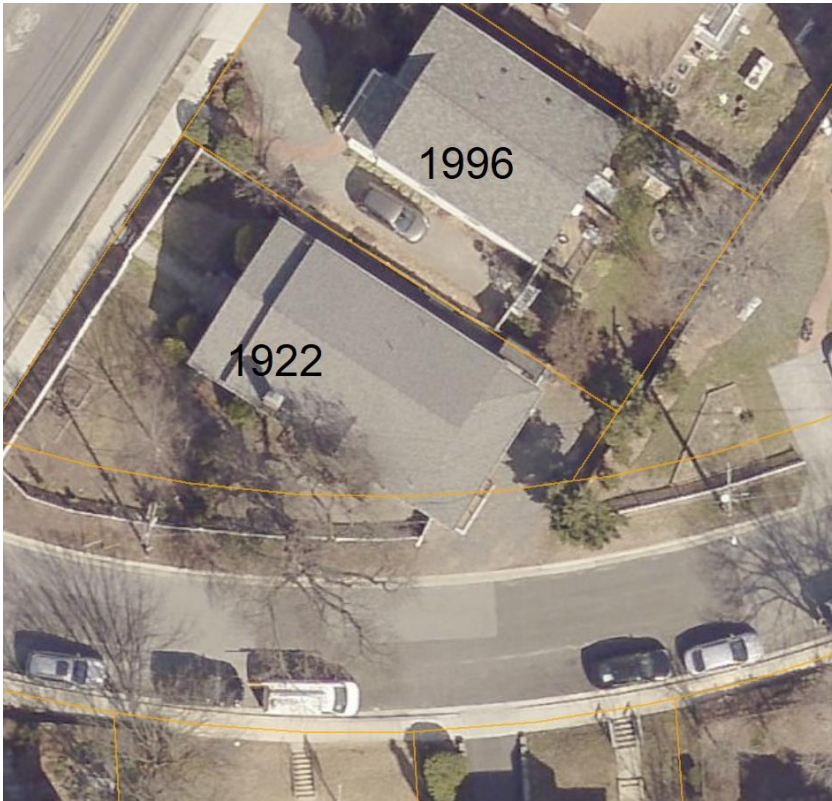


Figure 3: 2020 Aerial photograph showing the subject property and the 1996 infill construction to the north.

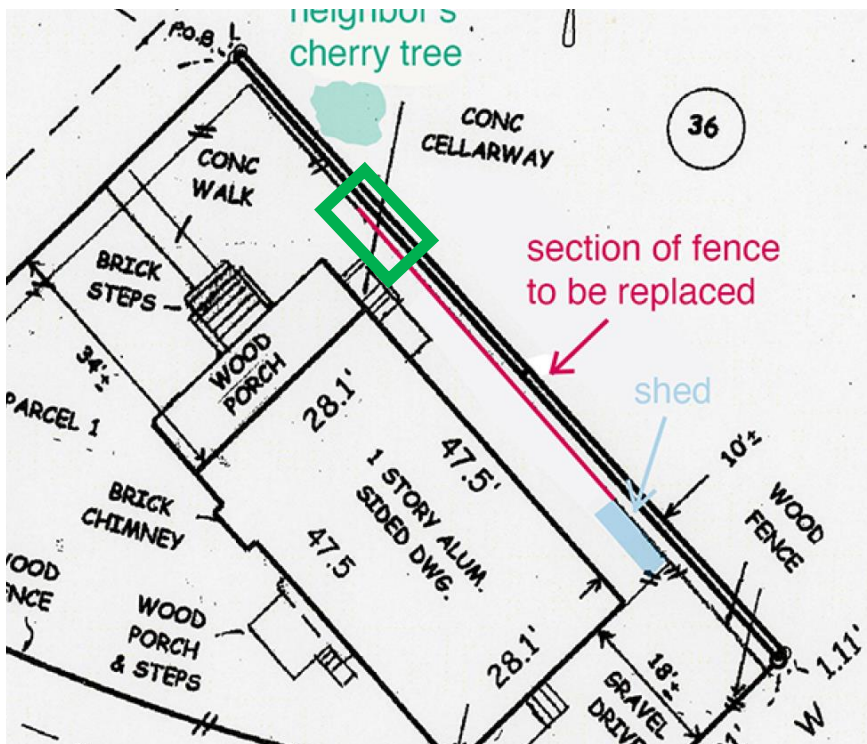


Figure 4: Staff's recommended condition eliminates the section of 6' fencing in the green rectangle. A 4' wood picket fence in the green rectangle would be acceptable.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application with **one (1) condition**:

1. The proposed 6' (six foot) fence may not be installed forward of the front wall plane of the historic house as shown in *Figure 4* of the staff report. Revised plans showing this condition has been met shall be submitted to Staff before final approval documents can be released; under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d) of the *Takoma Park Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1023367
DATE ASSIGNED

APPLICANT:

Name: Dan Treado

E-mail: dtreado@gmail.com

Address: 200 Manor Circle

City: Takoma Park Zip: 20912

Daytime Phone: 202.365.8428

Tax Account No.:

AGENT/CONTACT (if applicable):

Name:

E-mail:

Address:

City: Zip:

Daytime Phone:

Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? X Yes/District Name Takoma Park
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- New Construction
Addition
Demolition
Grading/Excavation
Deck/Porch
Fence
Hardscape/Landscape
Roof
Shed/Garage/Accessory Structure
Solar
Tree removal/planting
Window/Door
Other:

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Dan Treado Dan Treado

12/21/23

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>200 Manor Circle Takoma Park, MD 20912</p>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>205 Manor Circle Takoma Park MD 20912</p>	<p>207 Manor Circle Takoma Park, MD 20912</p>
<p>208 Manor Circle Takoma Park MD 20912</p>	<p>203 Manor Circle Takoma Park, MD 20912</p>
<p>7323 Carroll Avenue Takoma Park MD 20912</p> <p>7328 Carroll Avenue Takoma Park, MD 20912</p>	<p>7334 Carroll Avenue Takoma Park MD 20912</p> <p>7330 Carroll avenue Takoma Park, MD 20912</p>

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Our house is a corner house located at the intersection of south Manor Circle and Carroll Avenue. It is a typical Takoma Park bungalow, built in 1922. It has two bedrooms and two and a half bathrooms.

Description of Work Proposed: Please give an overview of the work to be undertaken:

On one side of the house we have a partial picket fence that is in need of replacement. It runs about 48 feet and separates my neighbor's property (7323 Carroll Avenue) from my property. We are working with Phoenix fencing to install a treated wooden privacy fence in that same location.

Work Item 1: De-installing a section of wooden picket fence

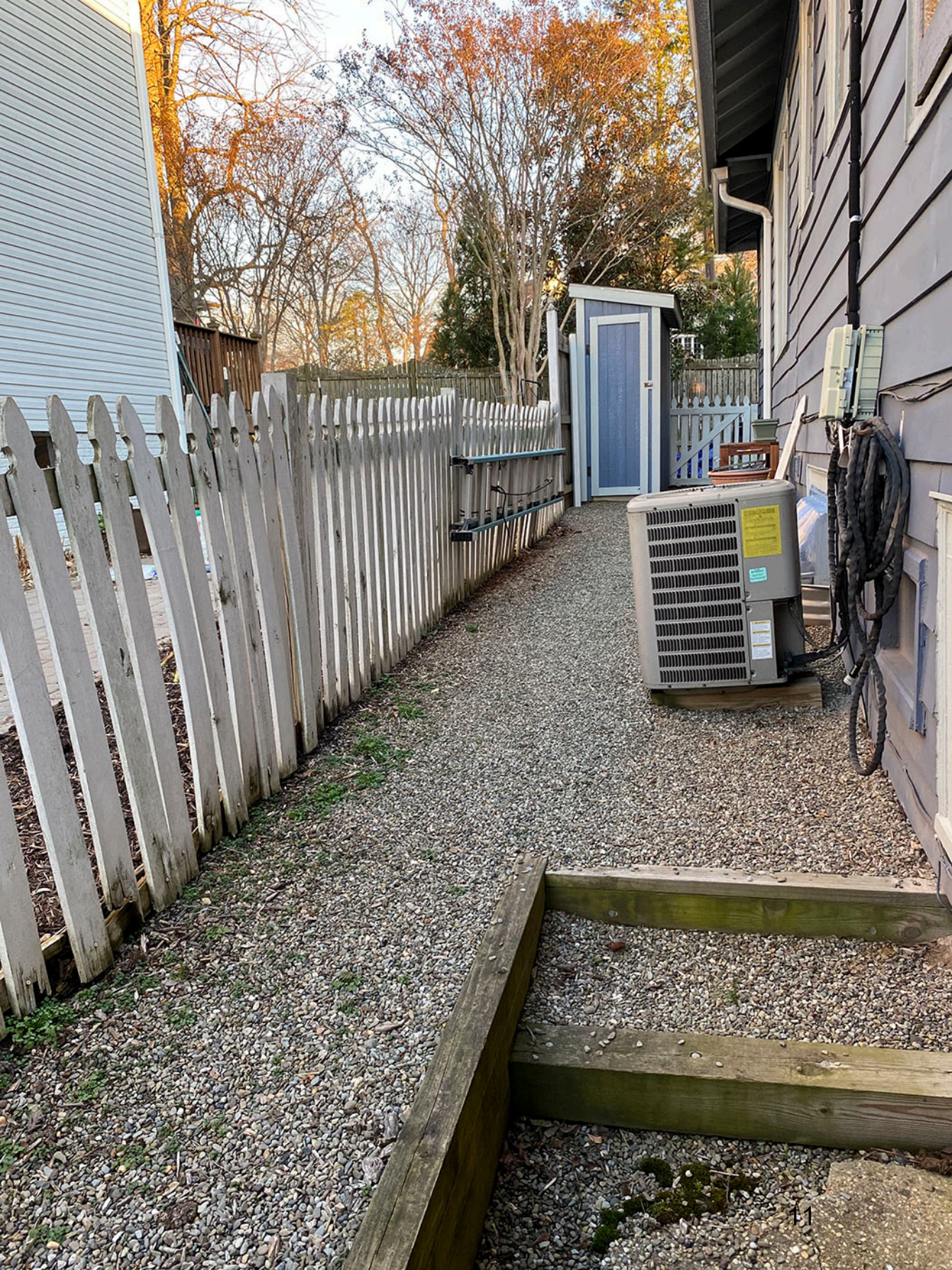
Description of Current Condition: Fence is rotting at the base	Proposed Work: Replace with a new section of fence
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Work Item 2: _____

Description of Current Condition:	Proposed Work:
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Work Item 3: _____

Description of Current Condition:	Proposed Work:
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We Have The Quality, Selection & Price You Want

We propose, subject to acceptance, to sell and to install on your property the fencing materials enumerated below:
We herewith submit contract for materials and labor at the request and order of:

OWNER NAME DAN Treado JOB ADDRESS SAME
ADDRESS 200 MANOR CIRCLE EMAIL _____
CITY, STATE, ZIP T. PARK 20912 PHONE 202-365-8428

Seasonal - Fill in When Contract Accepted by Manager **CALL UTILITIES** YES NO
*APPROX. START DATE **POST IN GROUND 30 INCHES WITH CEMENT** YES NO (Regular Size Yards 1-4 Days)

48' 1x4x6 Flat Board
w/ cap BOARD ON 3" Rail
2x4 Teco Nail ON
4x4 Post inground
30' w/ cement \$2,036
48' clear haul old fence \$150
Blug permit \$100
TOTAL \$2,286

WOOD IS A NATURAL PRODUCT THAT MAY CRACK,
SPLIT, WARP, TWIST, STAIN, MILDEW, ETC.

48

REAR
SHOW METERS
FRONT

Ex change for WYNGATE \$100.
P.R. Pine fence

Rail 2x4 2x6 Teco Nail Face Nail
Post Tops: Black Vinyl Colonial Gothic ATZ EACH
 Pyramid Caps Other _____

We'll match any competitor's price within reason!
Prices valid 30 days - Call for update after 30 days.

TOTAL SALE \$ 2,286
DEPOSIT \$ 786
BALANCE COD \$ 1,500
(FOREMAN TO COLLECT BALANCE)

TO MAIL IN
CONTRACT, SIGN 2
COPIES, KEEP 1
COPY, MAIL 1 COPY
WITH DEPOSIT IF SO
INDICATED. OR FAX TO
240-722-6155

FILL IN CREDIT CARD INFORMATION IF YOU WISH TO CHARGE
YOUR PURCHASE.

NAME ON CARD _____
EXP. DATE _____ 3 DIGIT SECURITY CODE _____
 VISA M/C USE CARD FOR:
 DEPOSIT ONLY, DEPOSIT NOW, CHARGE
BALANCE BY CHECK BALANCE UPON COMPLETION

Acceptance of Contract

The priced, specifications and conditions are satisfactory and are hereby accepted.
You are authorized to do the work as specified. Payment will be made as outlined above.

BY: ESTIMATOR Jeff Rogers OWNER OR PURCHASER _____
DATE 10-14-22 DATE _____

This proposal is subject to terms, covenant, and conditions on the reverse side hereof,
and is not binding upon PHOENIX FENCE & DECK until accepted by the Home Office.

Dan Treado
200 Manor Circle
Takoma Park, MD 20912

Written Description

On one side of the house we have a partial picket fence that is in need of replacement -- the material is rotting at the base. It runs about 48' and separates my neighbor's property (7323 Carroll Avenue) from my property. We are working with Phoenix Fencing to install a pressure treated flatboard privacy fence in that same location.

Site Plan

attached

Plans/Elevations

attached

Material Specifications

48' of pressure treated pine fencing
1" x 4" x 6' flat board with cap board on three rails
2" x 4" Teco nail on
4" x 4" post in ground
30" with cement

Photographs

attached

Tree Survey

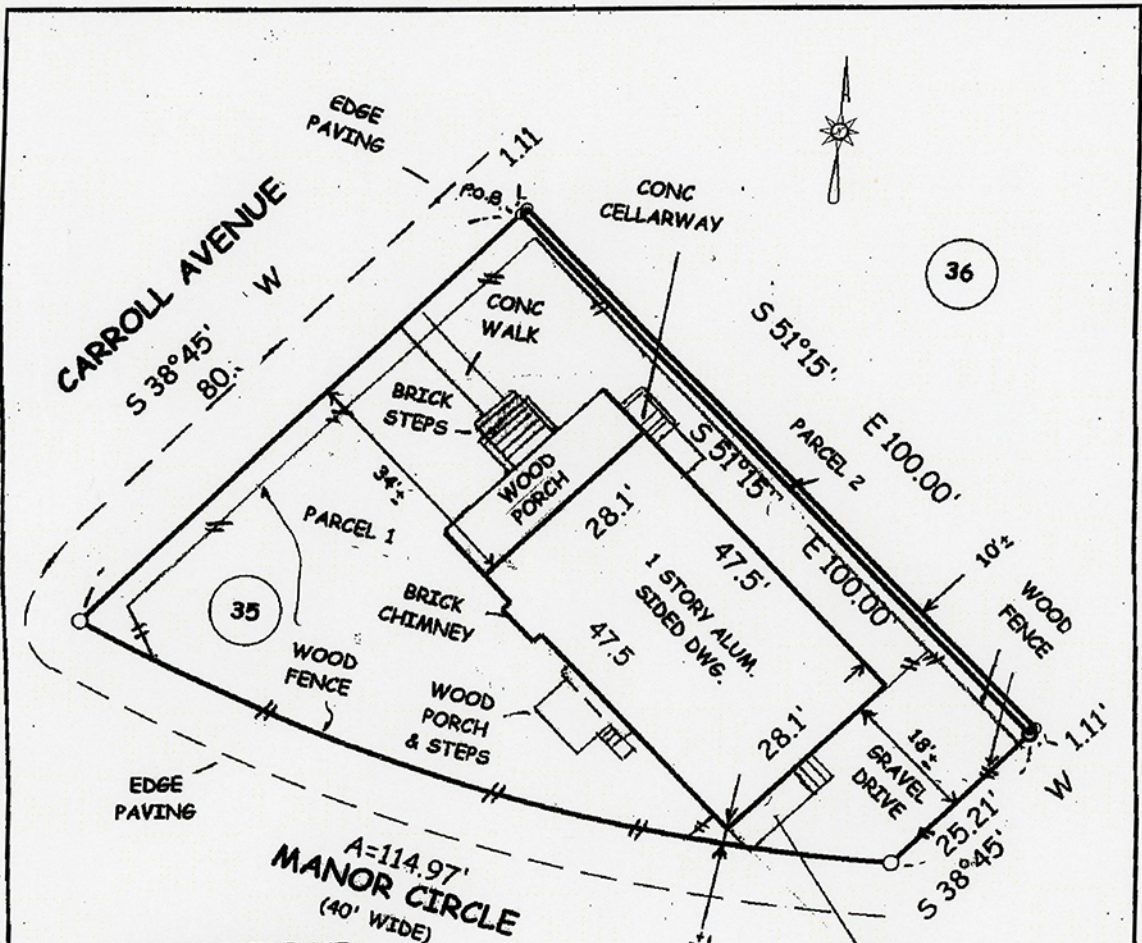
My neighbor's cherry tree is 10' from the end of the proposed run of fence.

Property owner addresses

Included





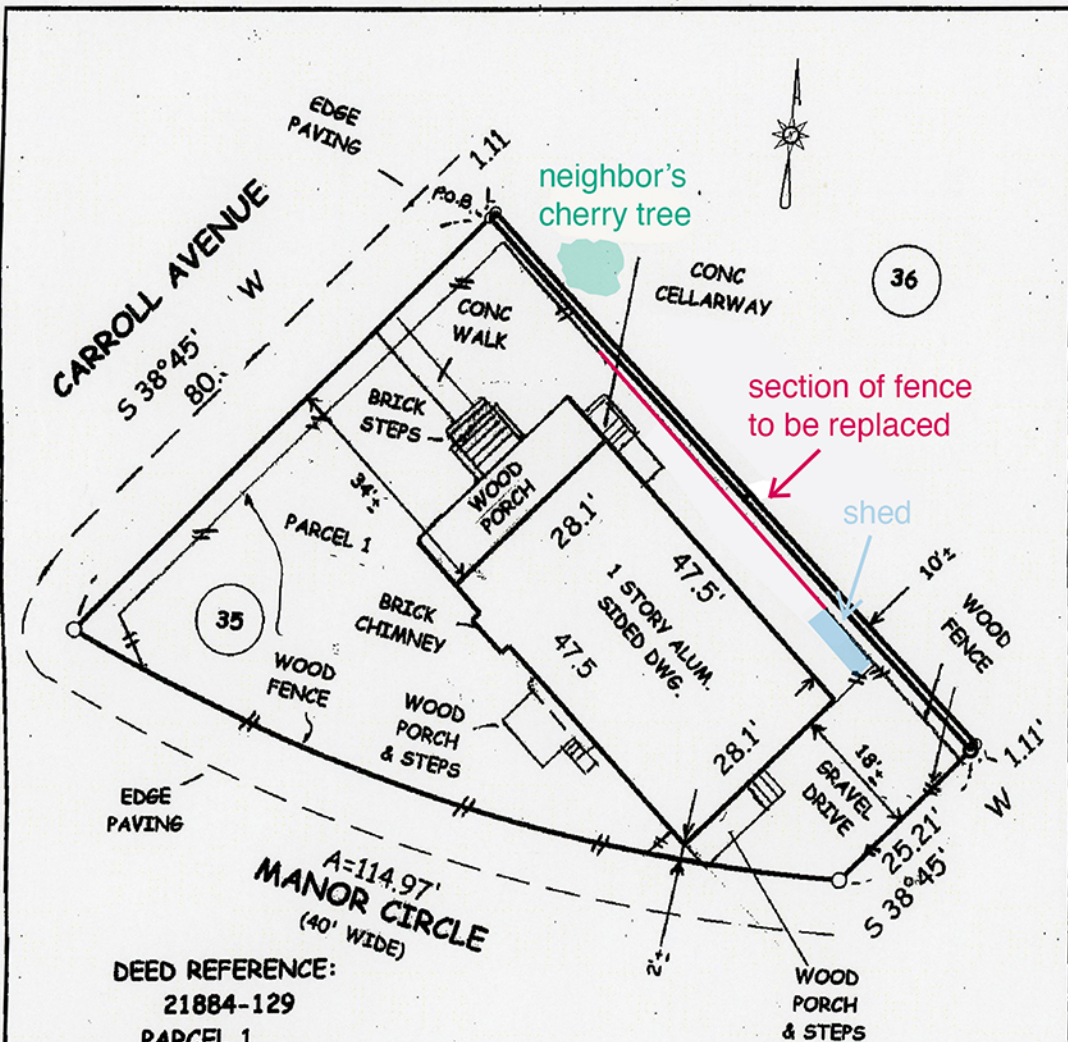


DEED REFERENCE:
 21884-129
 PARCEL 1
 LOT 35 & PART OF LOT 36
 BLOCK 45
 PLAT OF
CARROLL MANOR ADDITION
TO TAKOMA PARK (3-219)
 13TH ELECTION DISTRICT
 MONTGOMERY COUNTY, MD.

1. THE PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE COMPANY OR IT'S AGENT IN CONNECTION WITH CONVENTIONAL TRANSFER FINANCING OR RE-FINANCING.
2. THE PLAT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDING, OR OTHER EXISTING OR FUTURE IMPROVEMENTS.
3. THE PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR RE-FINANCING.
4. I HAVE EXAMINED FLOOD INSURANCE RATE MAP PANEL NUMBER 24031C0460D FOR THE SUBJECT PROPERTY AND IT APPEARS TO LIE WITHIN ZONE X PER SAID MAP.
5. DIMENSIONS SHOWN TO APPARENT LOT LINE ARE ± 2'
6. DATE OF FIELD WORK: 12-27-2010

LOCATION DRAWING

	<p>#200 MANOR CIRCLE</p> <p>J.S. DALLAS, INC. SURVEYING & ENGINEERING P.O. BOX 26 BALDWIN, MD. 21013 (410) 817-4600</p>	<p>DATE: <u>12-28-2010</u></p> <p>SCALE: <u>1"=20'</u></p> <p>JOB NUMBER: <u>MISC 2016</u></p> <p>DRAWN BY: <u>RNG</u></p> <p>CHECKED BY: <u>JSD</u></p> <p style="text-align: right;">19</p>
	<p>FOR THE SUBJECT PROPERTY AND IT APPEARS TO LIE WITHIN ZONE <u>X</u> PER SAID MAP.</p>	



DEED REFERENCE:
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 PARCEL 1
 LOT 35 & PART OF LOT 36
 BLOCK 45
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TO TAKOMA PARK (B-219)
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