



## **PROPOSAL**

The applicant proposes to:

- Replace the existing siding and trim,
- Demolish a rear wall and construct a rear addition, and
- Alter the fenestration on several elevations.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Takoma Park Historic District Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing

Original size and shape of window and door openings should be maintained, where feasible

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code; Chapter 24A-8***

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject property is a two-and-a-half-story Queen Anne house with a cross-gable roof and a wrap-around porch. The house form has been modified by an addition on the first floor on the left side (in the location of the porch, see below) and expanding the house in the rear. The applicant proposes work in several areas including a rear addition, roof dormers, installing a bay on the first floor, and removing an existing window opening.

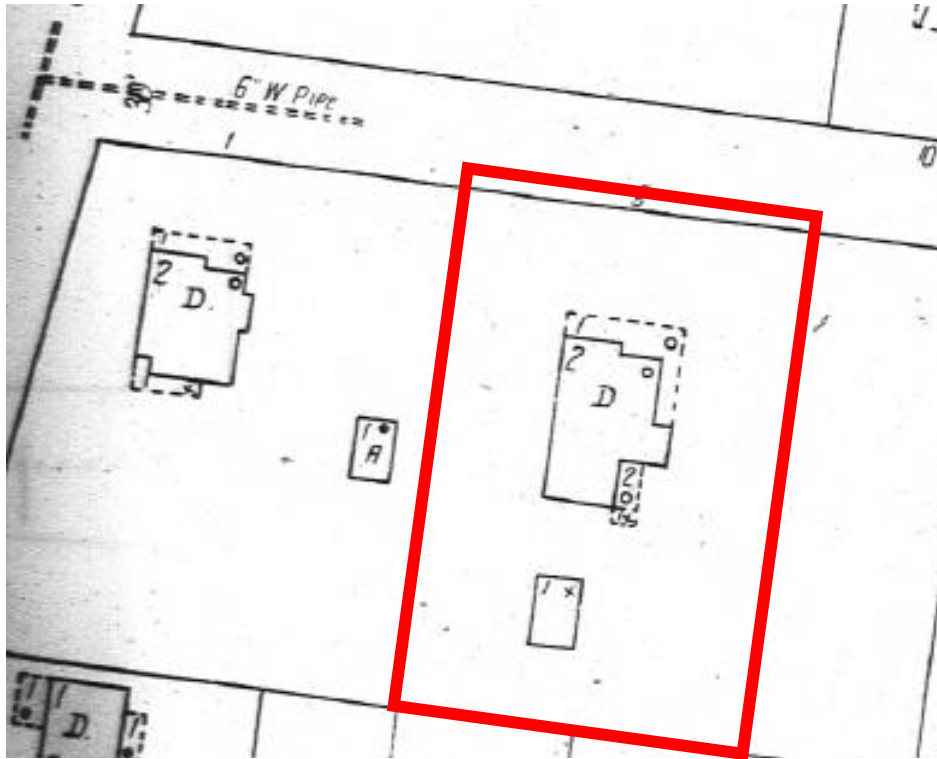


Figure 2: 1927 Sanborn Fire Insurance Map.



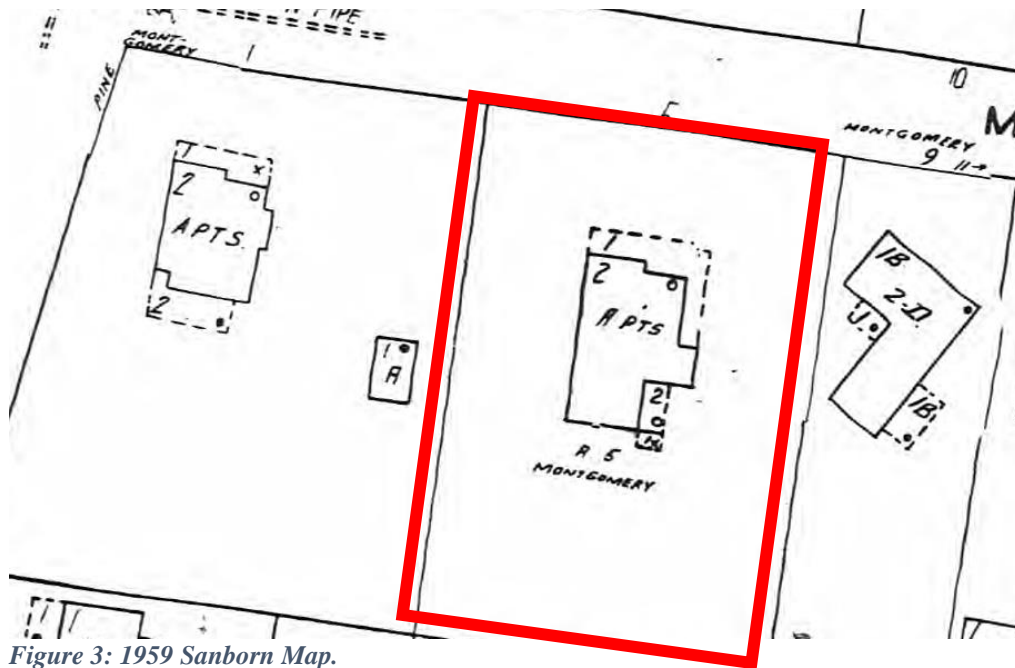


Figure 3: 1959 Sanborn Map.

### Rear Addition

At the rear of the house, the applicant proposes to construct an addition that extends 8' (eight feet) to the rear and is the full width (25' 1 7/8" – twenty-five feet and one and seven-eighths inch) of the existing house. The applicant additionally proposes a wrap-around porch around the sides and rear of the addition. Exterior materials for the addition will match the house exterior (discussed below), however, no roof or windows details were presented with this Preliminary Consultation.

Staff finds the size of the addition will not overwhelm the character of the house or surrounding district. Staff finds the form of the house, particularly at the rear, has been altered from the historic configuration (see Sanborn maps, above). Staff additionally finds that while the HPC generally requires additions to be inset from the historic wall plane by 1' (one foot), this is an instance where a co-planer addition may be acceptable because the rear is already inset by several feet from the historic wall planes. Staff finds these two factors are sufficient to justify an extension of the rear.

Surrounding the rear addition, the applicant proposes to construct a one-story wrap-around porch. The porch will be built on brick piers that will match the decorative details of the front porch. Because of the lot's slope, the porch will be nearly a full story above grade in certain locations. Staff finds the proposed porch's placement, materials, and design will not negatively impact the architectural character of the house or the surrounding district. The applicants also propose to construct a small balcony in the attic level. Staff finds this element will not be at all visible from the right of way and should be approved as a matter of course.

Material specifications for the proposed addition were not included in the submission. As a building addition to a 'Contributing' resource in the Takoma Park Historic District, Staff recommends wood or aluminum-clad wood windows and doors as generally acceptable materials. Additionally, the siding proposed for the addition will match the house, however, details for that siding (discussed below) were not included in the submitted materials. Staff finds the materials for the addition do not need to match the historic, but proposed materials would need to be evaluated for their compatibility.

### Siding, Trim, and Roof Replacement

The applicant proposes removing the existing non-historic siding and trim and replacing it with new siding in a 4" reveal. The application states the owner would like to replace the siding with wood or fiber cement. The notes in the plan state the new siding will be, "in harmony with the home's historic designation." Additional alterations will need to be made to the existing trim.

Staff finds the existing siding is not historic. Frequently, replacement siding was installed directly over historic wood siding. Before Staff can recommend a specific course of action, the condition and configuration of any historic siding need to be evaluated. This is done by removing a selection of existing siding and documenting the condition of any existing siding (Staff is available for a site visit while this work is being completed). The findings of that examination should inform the applicant and HPC of the appropriate course of action when proposed as part of the HAWP application.

Staff notes that on the historic portions of the house, fiber cement siding is inappropriate and any new siding approved by the HPC should be wood. Both restoring the existing wood siding or replacing deteriorated wood siding with new wood siding would be eligible for the County Historic Preservation Tax Credit.

### **Dormers**

Towards the rear of the rear-facing gable roof, the applicant proposes to construct side gable dormers on the right and left roof slopes. The dormer ridge matches the rear gable ridgeline, which is a few inches taller than either the principal front or side gable ridgeline. Each dormer includes a pair of sash windows and appears to match the siding and trim details proposed for the remainder of the house.

Staff finds the proposed dormers will not have a significant impact on the character of the house or surrounding district because their visibility from the public right-of-way will be minimal. While the dormers are slightly visible in the elevation drawings, the dormers will be completely obscured by the existing roofs.

As with the rear addition, Staff makes no finding on the appropriateness of the proposed materials. Staff requests feedback from the HPC on the proposed gable dormers.

### **New Window**

The applicant proposes to construct a bay window on the first floor of the right elevation. There is a paired casement window in this location (omitted from the existing elevation drawings). The hexagonal bay matches the siding and roofing found throughout the house. Staff finds the proposed bay window is generally consistent with the house design, per the *Design Guidelines*, and Staff would recommend the HPC approve its construction as a HAWP application. However, material specifications for the proposed bay were not included with the submitted materials, so Staff cannot provide additional guidance until those materials have been submitted.

The applicant also proposes to change the fenestration on the right elevation toward the rear. There is currently one sash window on this elevation. The applicant proposes installing two sets of paired sash windows along this elevation. Staff finds these windows will not be highly visible from the public right-of-way because of their distance to the rear and because the wall plane is inset by 4' (four feet) from the wall plane at the front of the house. Staff finds that either an appropriately detailed wood or aluminum clad wood window would be appropriate in the proposed location.

### **Skylights**

The applicant proposes installing two pairs of skylights. One pair is on the right slope of the front gable. The other is on the rear slope of the right-facing gable. Specifications for the skylights were not included in the submitted materials.

Staff has no concerns about the windows proposed for the right-facing gable, as these features will not be visible from the public right-of-way and the *Design Guidelines* state these should be approved as a matter of course. Staff has reservations about the two skylights on the front-facing gable. These skylights are on the most prominent roof form of the house and Staff finds installing skylights would detract from the architectural character of the house, contravening the *Design Guidelines* and Standard 2. Staff recommends a revision to these skylights or removing them from the scope of work.

**Removing an Existing Window Opening**

Above the proposed bay window, there are two sash windows. The applicant proposes to remove the left of these two windows and block the opening in with replacement siding to accommodate a new interior configuration. The window condition has not been documented.

Staff does not support removing this window. This window is on the side elevation and highly visible from the right-of-way. Additionally, the two windows are grouped under the prominent side gable creating a sense of balance and proportion to the elevation. Staff recommends this window be retained as part of the rehabilitation and notes the window could be blocked from the inside to allow for the proposed interior floorplan.

Additional information may change Staff's recommendation including removing the non-historic siding and determining whether the window openings are not historic; or findings regarding the window condition that would demonstrate it is not historic. Documentation demonstrating the window/siding condition should be submitted with the HAWP application.

Questions for HPC:

- Does the HPC concur with Staff's recommendation that a co-planer addition is appropriate in this instance?
- Does the HPC find the proposed dormers will negatively impact the historic character of the house and/or surrounding district?
- Does the HPC concur with Staff's support of the bay window and if so, what materials does the HPC recommend?
- What additional guidance does the HPC have regarding the existing and proposed siding?
- Does the HPC concur with Staff's recommendation regarding the skylights?
- Does the HPC concur with Staff's recommendation that the existing side window is retained?

**STAFF RECOMMENDATION**

Staff recommends the applicant make any changes recommended by the HPC and return for a HAWP with any requested information.



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# 1021774  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Leah Curry-Rood  
Address: 5 Montgomery Avenue  
Daytime Phone: 202-281-4055

E-mail: justinrood@gmail.com  
City: Takoma Park Zip: 20912-4614  
Tax Account No.: 01074528

**AGENT/CONTACT (if applicable):**

Name: William Jelen  
Address: 11401 Nairn Road  
Daytime Phone: 202-344-5513

E-mail: bill@williamjelenarchitect.com  
City: Silver Spring Zip: 20902  
Contractor Registration No.: 16893

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? X Yes/District Name Takoma Park  
\_\_\_\_\_ No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 5 Street: Montgomery Avenue  
Town/City: Takoma Park Nearest Cross Street: Pine Ave  
Lot: 3 Block: 17 Subdivision: 0025 Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review.** Check all that apply:

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> New Construction    | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence                 | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition          | <input type="checkbox"/> Hardscape/Landscape   | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation  | <input checked="" type="checkbox"/> Roof       | <input checked="" type="checkbox"/> Window/Door          |
|  |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] \_\_\_\_\_ Date 2/15/23 8

Signature of owner or authorized agent

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>          Leah Curry-Rood et al          5 Montgomery Ave          Takoma Park, MD 20912</p>	<p><b>Owner's Agent's mailing address</b>          William Jelen RA          William Jelen Architect Inc.          11401 Nairn Road          Silver Spring, MD 20902</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>Jen Sermoneta &amp; Scott Wallenstein          1 Montgomery Ave.          Takoma Park, MD 20912</p>	<p>Susan and Dennis Huffman          9 Montgomery Ave.          Takoma Park, MD 20912</p>
<p>Eliot Andalman &amp; Martha Bergmark          6 Montgomery Ave.          Takoma Park, MD 20912</p>	<p>Polly Dunford          8 Montgomery Ave.          Takoma Park, MD</p>
<p>Paul Blain &amp; Michael Macko          104 Elm Ave.          Takoma Park, MD 20912</p>	<p>William &amp; Gloria Fischer          106 Elm Ave.          Takoma Park, MD 20912</p>



**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The property is a double lot on an established street in Takoma Park, there are several mature trees on the lot which will be maintained, the structure listed on tax records to be 100 years old has had several permutations over the decades. It is currently owned by the same family who bought the home in 1977. This renovation is to accommodate the family's three living generations under one roof, and restore as much historic charm as possible to its facade.

According to the Approved and Adopted Takoma Park Amendment to the Montgomery County Historic Master Plan 5 Montgomery Avenue is a contributing Historic Resource built in a vernacular style.

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

**PROJECT NARRATIVE:**

Addition and Alterations to existing single family residence including: New 2-1/2 story Rear Extension, Rear and Side Porches and two new attic dormers.

Updates to the exterior will include new siding and trim, new roof material, and detailing to be in harmony with the homes historic designation.

On the interior a new connecting stair to the basement will be incorporated along with layout changes on all 3 levels and associated mechanical electrical and plumbing systems updates.

Work Item 1: Exterior Trim and Siding

Description of Current Condition:

Currently the home is clad in thin 8" asbestos siding and is accented by historic trim details.

Proposed Work:

The owner would like to replace all siding with 4" wood or fiber cement lap siding more in line with what is believed to be its original appearance. This may be contrasted at the attic level (separated with existing band board) with a contrasting pattern of size or color. This will be augmented by new deeper sills and possibly wood shutters.

Work Item 2: Roofing

Description of Current Condition:

Existing roof is a reddish asphalt shingle

Proposed Work:

New roof to be complimentary architectural grade asphalt shingles or standing seam metal roof to compliment colors of siding.

Work Item 3: Rear Porch and Addition

Description of Current Condition:

Currently the home has limited direct access to the rear yard from the main living levels. Front porch is made of wood tongue and groove planking, wood rails and grille work.

Proposed Work:

One of the primary goals of the work is to create a rear porch in harmony with existing front porch with flooring, railing, grillework and trim to match the existing home. Railings will have to be higher (36") to meet current building codes.



# Rood Residence

## Alterations + Addition - Historic Work Area Submission

### 5 Montgomery Avenue Takoma Park, Maryland 20912

**BUILDING INFO:**

OWNERS: Curry Rood Leah Revocable Trust  
 ADDRESS: 5 Montgomery Avenue Takoma Park Maryland 20912-4614

BLOCK: 17 LOT: 3  
 LEGAL DESCRIPTION: LT 4 B F G  
 TOWN: Takoma Park  
 HISTORIC DESIGNATION: Contributing Resource  
 ZONE: R-60 CONSTRUCTION TYPE: 5B

PRESENT USE OF PROPERTY: Single Family Residential  
 PROPOSED USE OF PROPERTY: Single Family Residential  
 YEAR BUILT: 1923

LOT AREA: 15,000 SF  
 LOT WIDTH: 100'-0"

	EXISTING	ALLOWED	PROPOSED
LOT COVERAGE	12.6%	35%	16.6%
BUILDING AREA	1,896 SF	5,250 SF	2,496 SF
BASEMENT AREA			
FIRST FLOOR AREA			
SECOND FLOOR AREA			
ATTIC			
GROSS FLOOR AREA	2,776 SF <sup>B</sup>	NA	3,405 SF <sup>C</sup>
FRONT SETBACK	40'-0"	25'-0"	No Change
LEFT SIDE YARD	32'-6"	8'-0" <sup>A</sup>	No Change
RIGHT SIDE YARD	32'-9"	8'-0" <sup>A</sup>	No Change
REAR YARD	65'-0"	20'-0"	47'-6"
BUILDING HEIGHT	+/- 33'-0"	35'-0"	No Change
STORIES	2-Story	NA	3-Story

Footnotes:  
 A- Total Side Yard Required to be 18'-0" with Minimum 8'-0" on one side  
 B- According to Tax records, probably does not include Basement or Attic  
 C- Includes Porches and Attic

**PROJECT NARRATIVE:**

Addition and Alterations to existing single family residence including: New 2-1/2 story Rear Extension, Rear and Side Porches and two new attic dormers.

Updates to the exterior will include new siding and trim, new roof material, and detailing to be in harmony with the homes historic designation.

On the interior a new connecting stair to the basement will be incorporated along with layout changes on all 3 levels and associated mechanical electrical and plumbing systems updates.

**APPLICABLE CODES:**

ALL WORK SHALL CONFORM TO THOSE CODES AND STANDARDS LISTED IN THESE NOTES AND SPECIFICATIONS INCLUDING THE FOLLOWING:  
 2018 Edition of the International Residential Code as amended by Montgomery County, Maryland  
 2018 International Energy Conservation Code

Montgomery County, Maryland - Zoning Regulations

**ENERGY CODE REQUIREMENTS:**

2018 International Energy Conservation Code including Energy Efficiency Certificate of Compliance

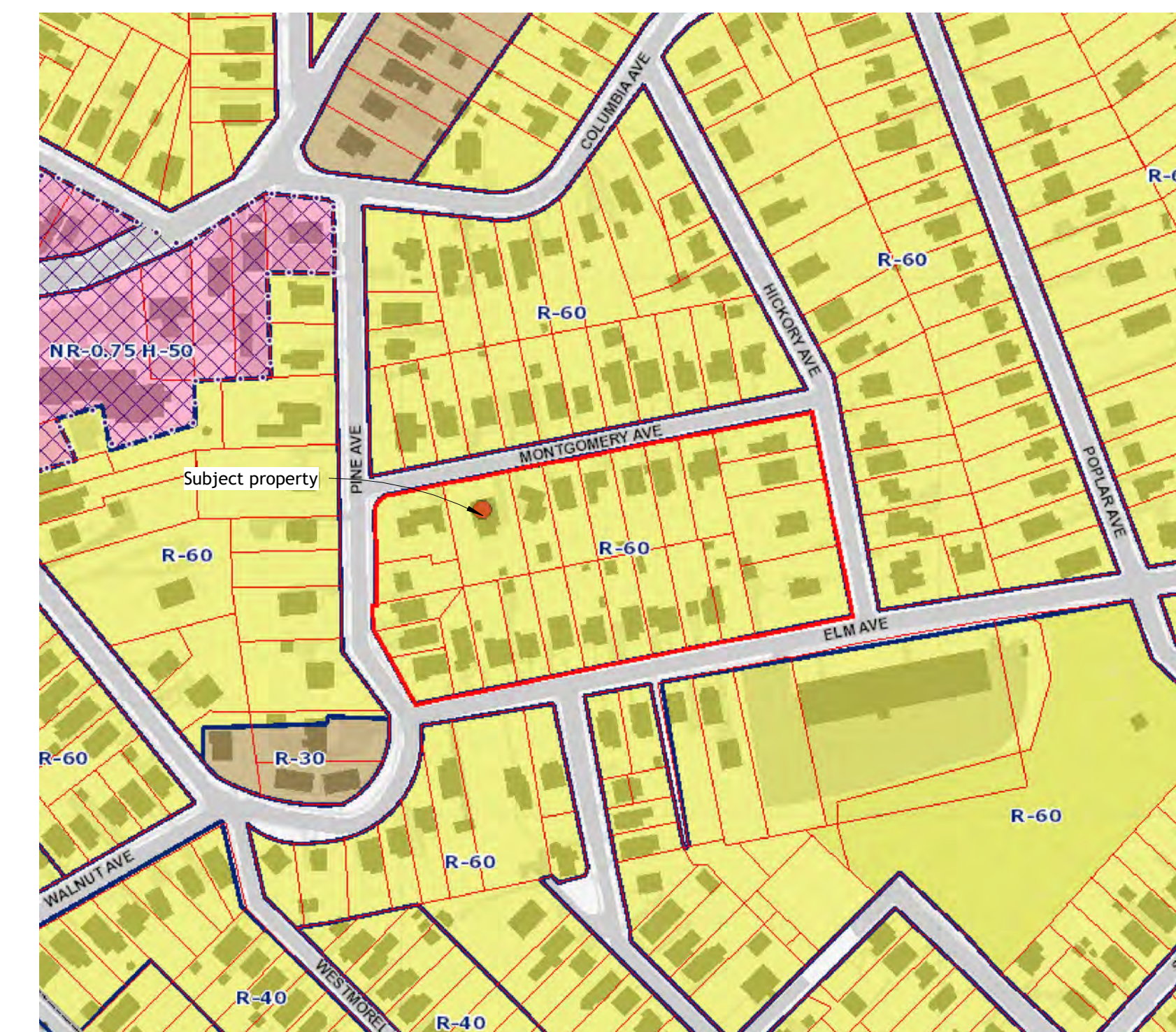
Sheet List	
Sheet Number	Sheet Name
A-00	Cover Sheet
A-0.1	Site Plans
A-0.2	Existing Photos
A-01.0	Existing and Demolition Plans
A-01.1	Existing Elevations
A-02	Proposed Plans
A-02.1	Proposed Elevations
A-02.2	Rear Yard SW View
A-02.3	Rear Yard SE View

**GENERAL NOTES AND CONDITIONS**

- THIS SET IS NOT FOR CONSTRUCTION THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. WILLIAM JELEN ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL DISCREPANCIES.
- DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON THE DRAWINGS. TYPICAL DETAILS AND GENERAL NOTES ARE MINIMUM REQUIREMENTS TO BE USED WHEN CONDITIONS ARE NOT SHOWN OTHERWISE.
- NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON PROJECT.
- ALL WORK SHALL CONFORM TO THOSE CODES AND STANDARDS LISTED IN THESE NOTES.
- APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO WILLIAM JELEN ARCHITECT OR THE ENGINEER FOR INTERPRETATION OR CLARIFICATIONS.
- THE DESIGN ADEQUACY AND SAFETY OF THE ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY WILLIAM JELEN ARCHITECT SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
- THE CONTRACTOR SHALL TAKE ALL MEANS NECESSARY TO PROTECT HIS PORTION OF THE WORK BEFORE, DURING, AND AFTER INSTALLATION, AND TO PROTECT THE INSTALLED WORK AND MATERIALS OF OTHER TRADES. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO THE APPROVAL OF WILLIAM JELEN ARCHITECT AND AT NO ADDITIONAL COST TO THE OWNER.
- WORKMANSHIP SHALL CONFORM TO THE BEST STANDARDS AND ACCEPTED PRACTICES OF THE TRADES INVOLVED, AND SHALL INCLUDE ALL ITEMS OF FABRICATION, CONSTRUCTION AND INSTALLATION REGULARLY FURNISHED OR REQUIRED FOR COMPLETION, INCLUDING ANY FINISH REQUIRED FOR SUCCESSFUL OPERATION AS INTENDED. WORK SHALL BE EXECUTED BY MECHANICS SKILLED IN THEIR RESPECTIVE LINES OF WORK.
- NOTWITHSTANDING ITEM 8, IN THE ABSENCE OF SPECIFICATIONS COVERING INSTALLATION OF A PRODUCT, THE LATEST EDITION OF THE MANUFACTURER'S SPECIFICATIONS SHALL BE CONFORMED TO.
- WILLIAM JELEN ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- WILLIAM JELEN ARCHITECT DOES NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE, AND NO PROVISIONS OF THE CONTRACT DOCUMENTS SHALL RELIEVE THE CONTRACTOR FROM ANY LIABILITY DUE TO NEGLIGENCE, INCOMPETENCE, OR ERRORS OF OMISSIONS OR COMMISSIONS OF THE CONTRACTOR.
- PARKING, STORAGE OF MATERIALS AND LOADING MAY BE COORDINATE WITH THE OWNER.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT THEY ARE SHOWN ON THE DRAWINGS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ANY AND ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY THEIR OPERATIONS IN PERFORMANCE OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY WATER, POWER, AND TOILET FACILITIES AS REQUIRED.
- GYPSUM WALLBOARD AND SUSPENDED CEILINGS SHALL COMPLY WITH REQUIREMENTS OF UBC CHAPTER 25. SUSPENDED CEILINGS SHALL BE INSTALLED IN COMPLIANCE WITH IRC CHAPTER 7.
- ALL GLASS AND GLAZING SHALL COMPLY WITH IRC CHAPTER 3, AND THE U.S. CONSUMER PRODUCTS SAFETY COMMISSION, SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS.
- ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS TO WHICH THEY ARE SUBJECTED TO, BUT NOT LESS THAN A FORCE OF FIVE (5) POUNDS PER SQUARE FOOT APPLIED PERPENDICULAR TO THE WALLS.
- EXTERIOR DOORS, WINDOWS AND OPENINGS SHALL COMPLY WITH THE CURRENT LOCAL SECURITY ORDINANCES.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACKUP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, STAIR RAILINGS, TOILET ROOM ACCESSORIES, PARTITIONS AND FOR ALL WALL-MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT.
- METAL FRAMING SHALL BE I.C.B.O. APPROVED AND INSTALLED PER I.C.B.O. REPORT RECOMMENDATIONS.
- ALL GYPSUM BOARD ON WALLS IN TOILET ROOMS SHALL BE MOISTURE AND WATER RESISTANT TYPE (VERTICAL SURFACES ONLY).
- THE OWNER WILL PAY FOR THE BUILDING PERMIT AND ANY SEWER, WATER, OR OTHER LOCAL JURISDICTIONAL FEES OR ASSESSMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH HIS SUB-CONTRACTORS WITH REGARD TO PERMITS, FEES AND TEMPORARY AS WELL AS PERMANENT UTILITIES. THE SUB-CONTRACTORS SHALL OBTAIN LICENSES AND SUBMIT SAME TO THE JOB SUPERINTENDENT BEFORE STARTING WORK. EACH SUB-CONTRACTOR SHALL PAY FOR ALL FEES AND PERMITS REQUIRED FOR THEIR PORTION OF THE WORK.
- ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT THE USE OF THE KEY.
- THE AIA DOCUMENT A101-1997, STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR WHERE THE BASIS OF PAYMENT IS A STIPULATED SUM IS TO BE UTILIZED BETWEEN THE OWNER AND THE CONTRACTOR.
- ALL ITEMS DRAWN, NOTED, SCHEDULED, OR SPECIFIED WILL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- SHOULD INCONSISTENCIES OR DISCREPANCIES OCCUR WITHIN THE CONTRACT DOCUMENTS, THE BETTER QUALITY, GREATER QUANTITY, AND MOST EXPENSIVE PRODUCT OR TASK SHALL BE FURNISHED OR PERFORMED, UNLESS INSTRUCTED OTHERWISE BY WILLIAM JELEN ARCHITECT. DISCREPANCIES BETWEEN SPECIFIED ITEMS OR INSTALLATION METHODS SHALL NOT BE CAUSE FOR MODIFICATION TO THE CONTRACT SUM.
- SUBSTITUTIONS WILL ONLY BE CONSIDERED WITHIN THE BID PERIOD. SUBSTITUTIONS WILL BE SUBMITTED WITHIN FINAL BIDS AND MUST INCLUDE SPEC SHEETS AND CLEARLY STATED DEDUCTS.
- UNDER NO CIRCUMSTANCES SHOULD THE DRAWINGS BE SCALED FOR DIMENSIONAL INFORMATION. WILLIAM JELEN ARCHITECT SHOULD BE CONTACTED TO DETERMINE, VERIFY, AND/OR CONFIRM ANY AND ALL MISSING OR CONFLICTING DIMENSIONS.

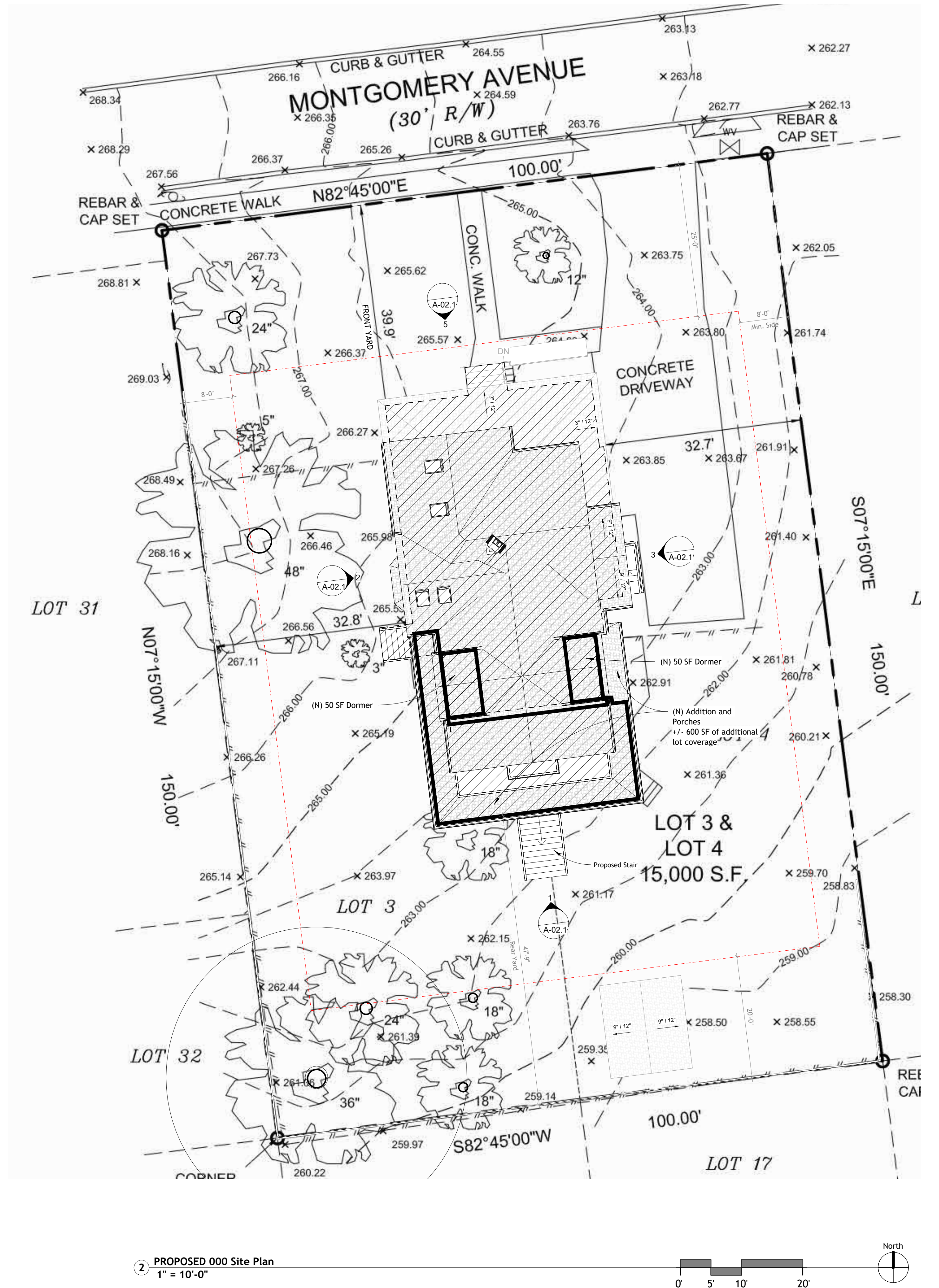
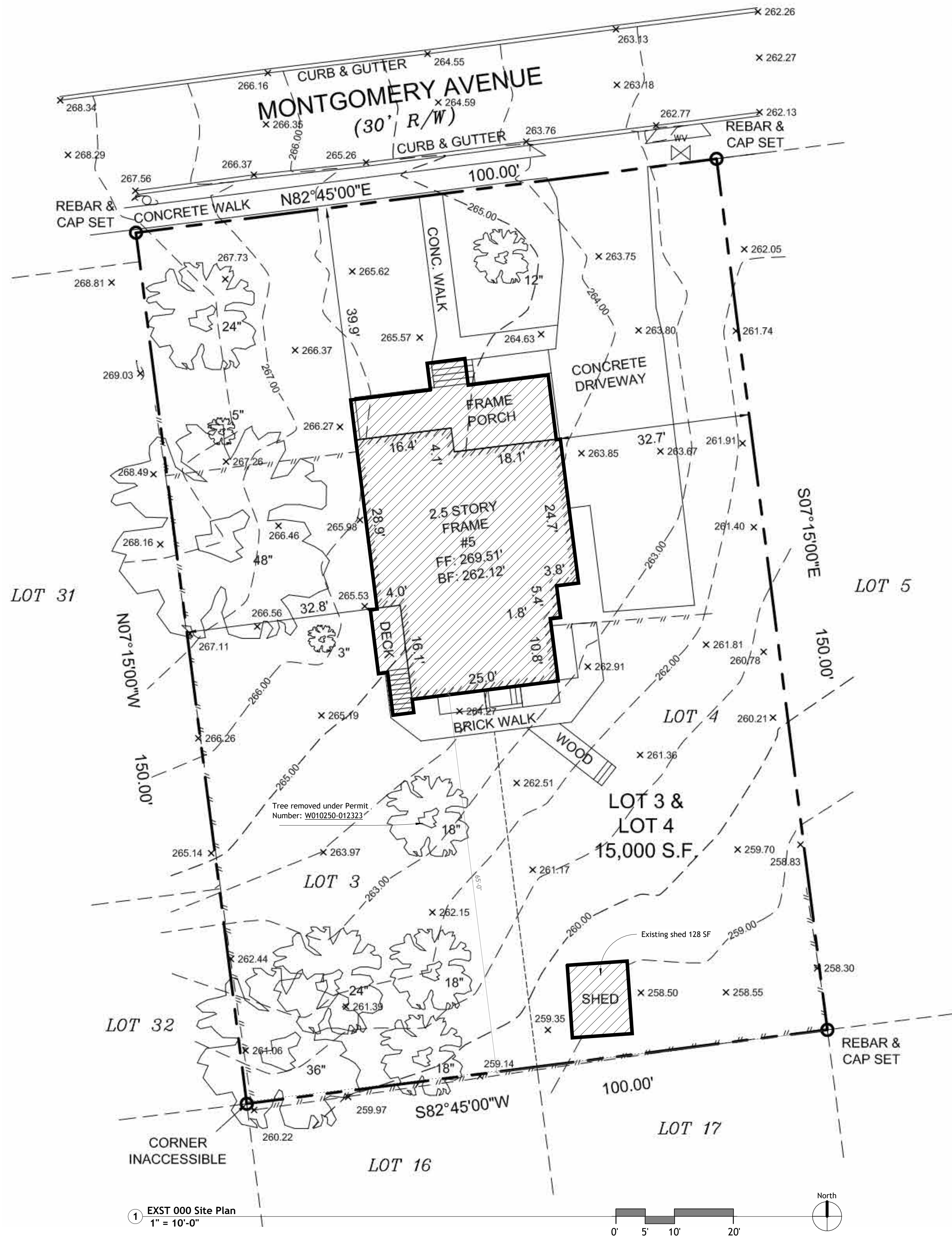


EXISTING FRONT (STREET) VIEW



VICINITY AND ZONING MAP









Existing conditions looking at North(Front) and West(Side) Facades



Existing conditions looking at North(Front) and East(Side) Facades

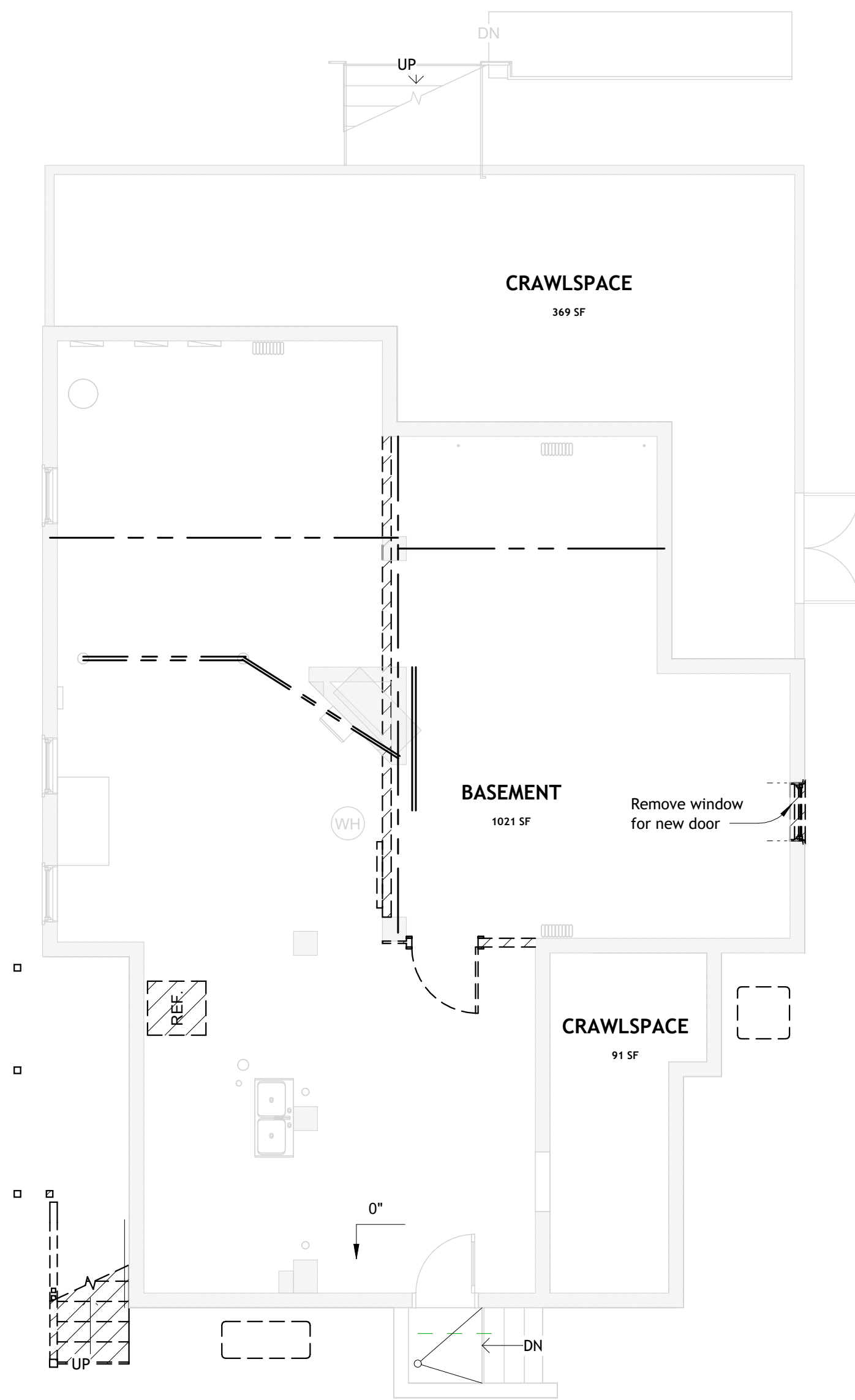


Existing conditions looking at South(Back) and West(Side) Facades

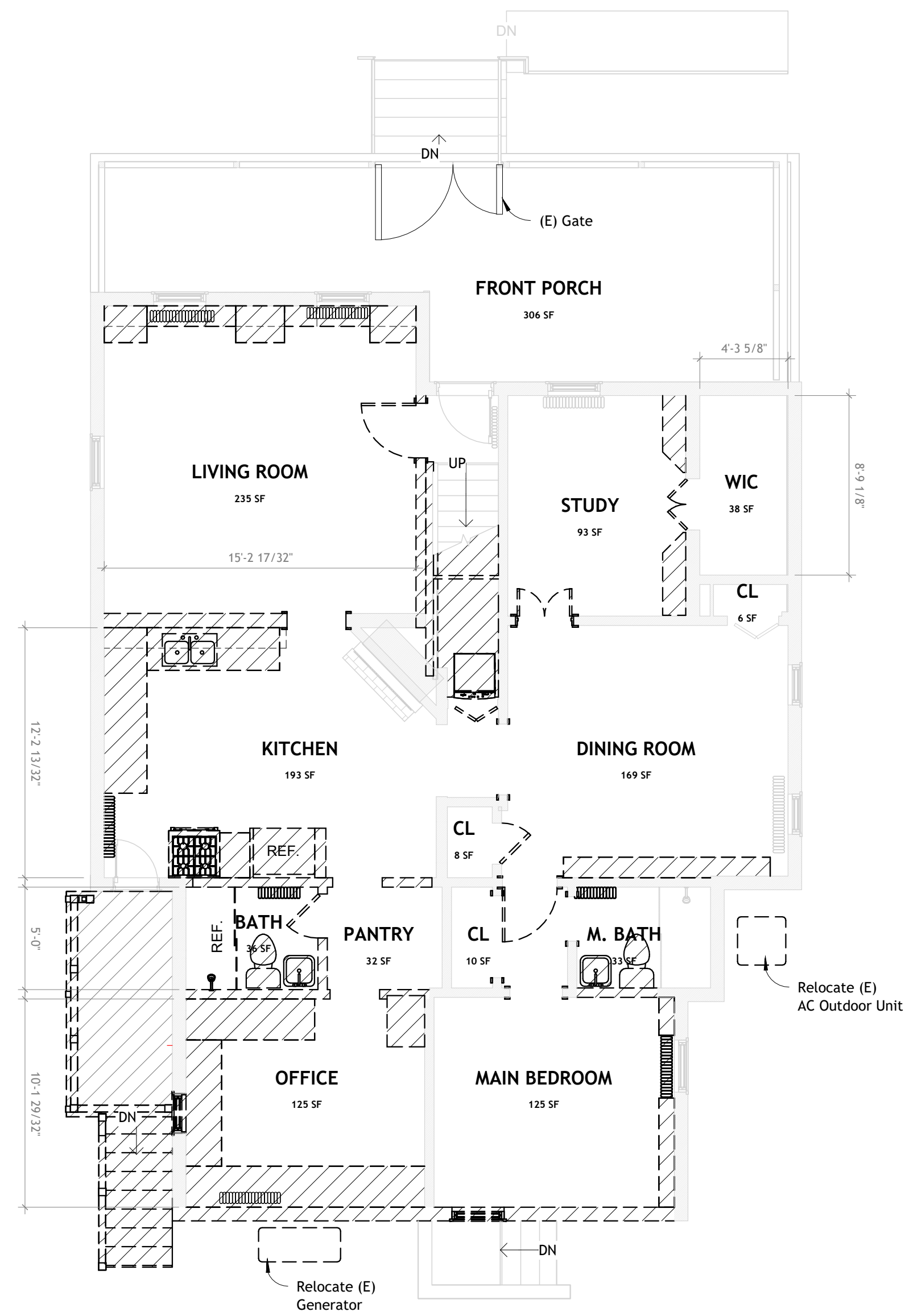


Existing conditions looking at South(Back) and East(Side) Facades

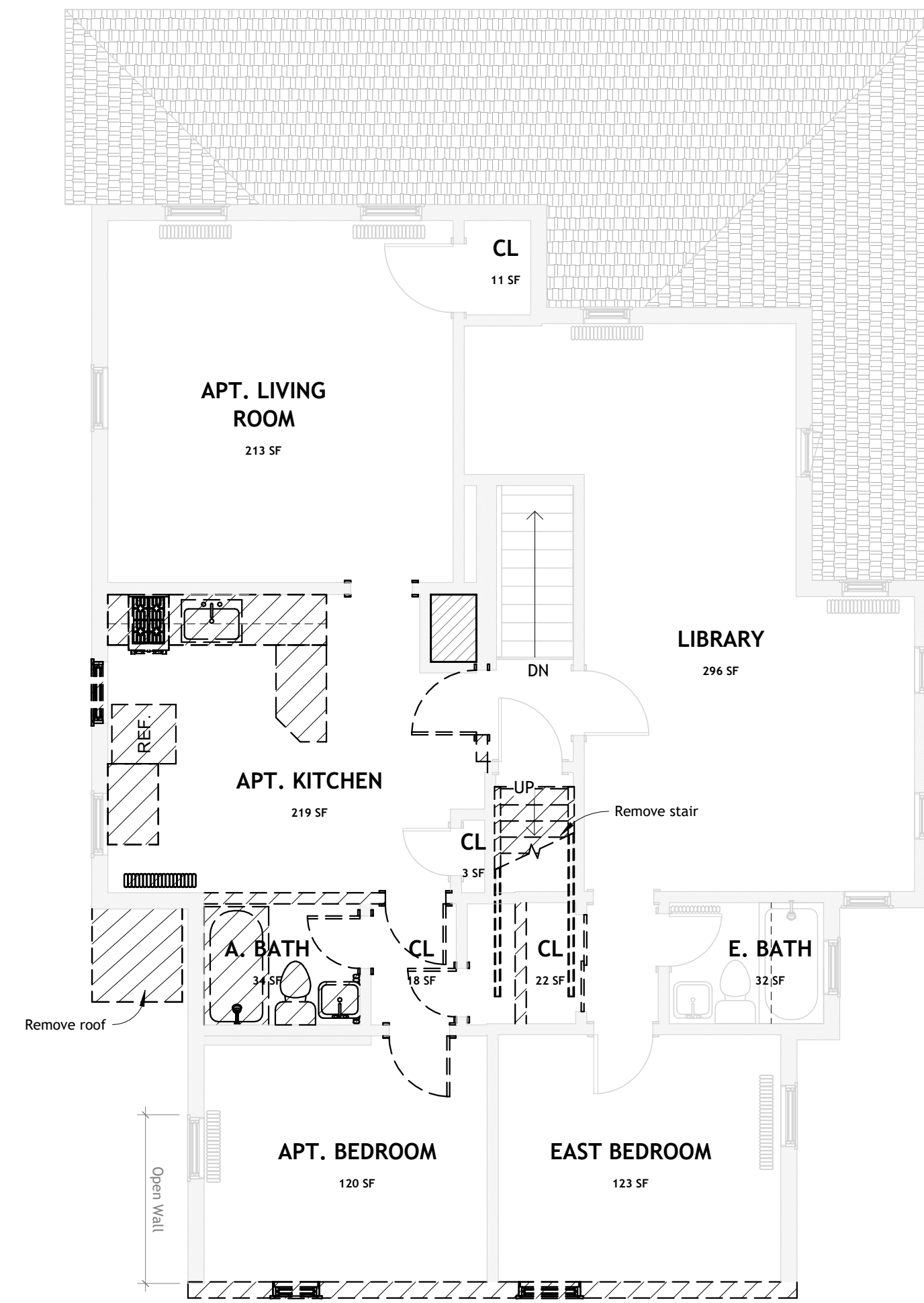




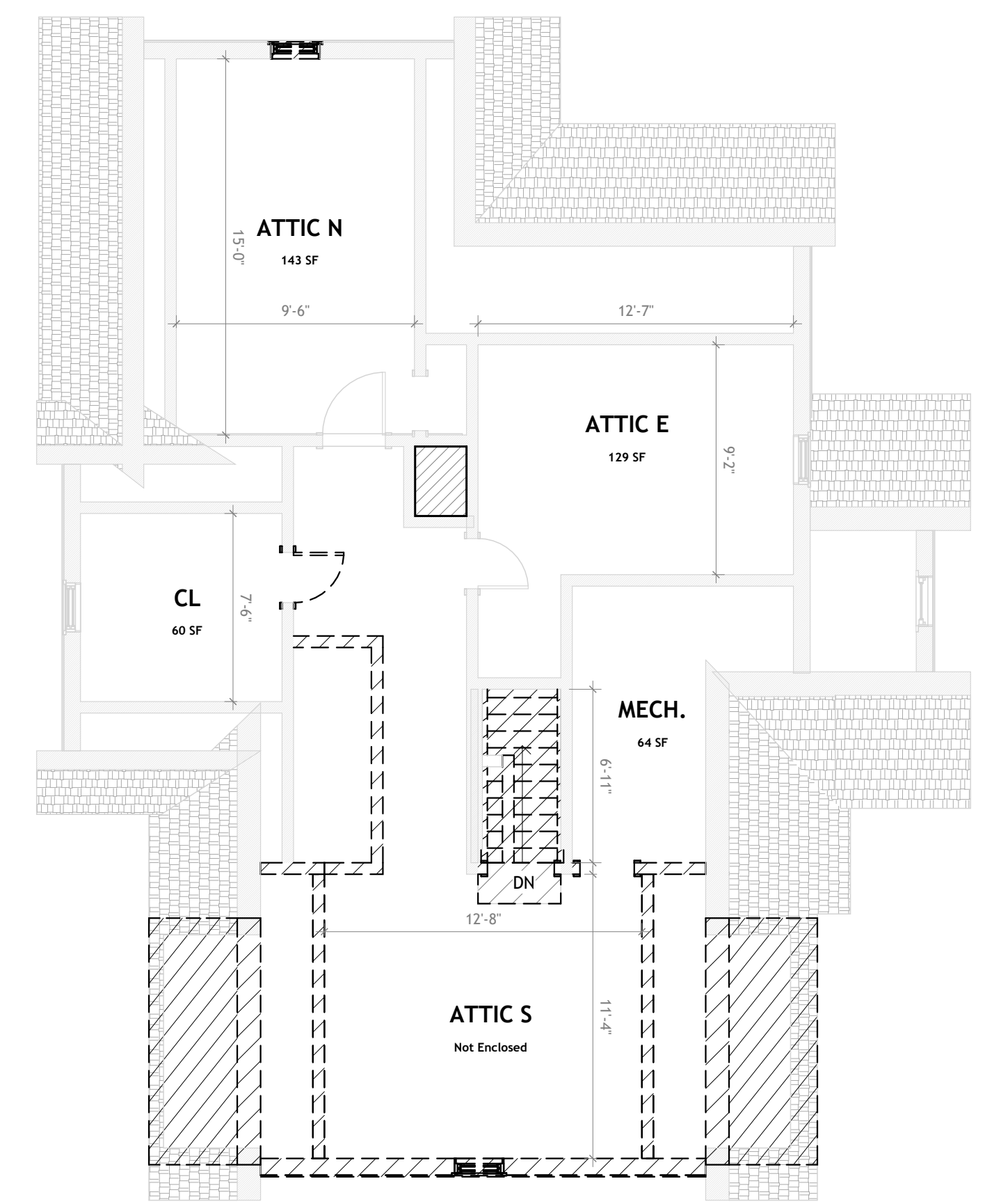
5 DEMO 0 Basement  
3/16" = 1'-0"



2 DEMO 1 First Floor  
3/16" = 1'-0"



3 DEMO 2 Second Floor  
3/16" = 1'-0"



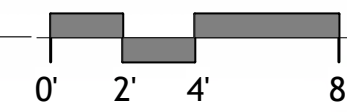
4 DEMO 3 Attic Floor  
3/16" = 1'-0"

Note:  
Dashed lines indicate building elements to be demolished

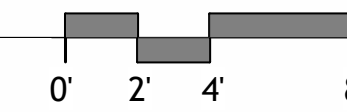




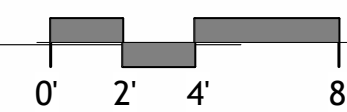
1 EXST North Elevation  
3/16" = 1'-0"



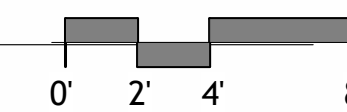
2 EXST East Elevation  
3/16" = 1'-0"



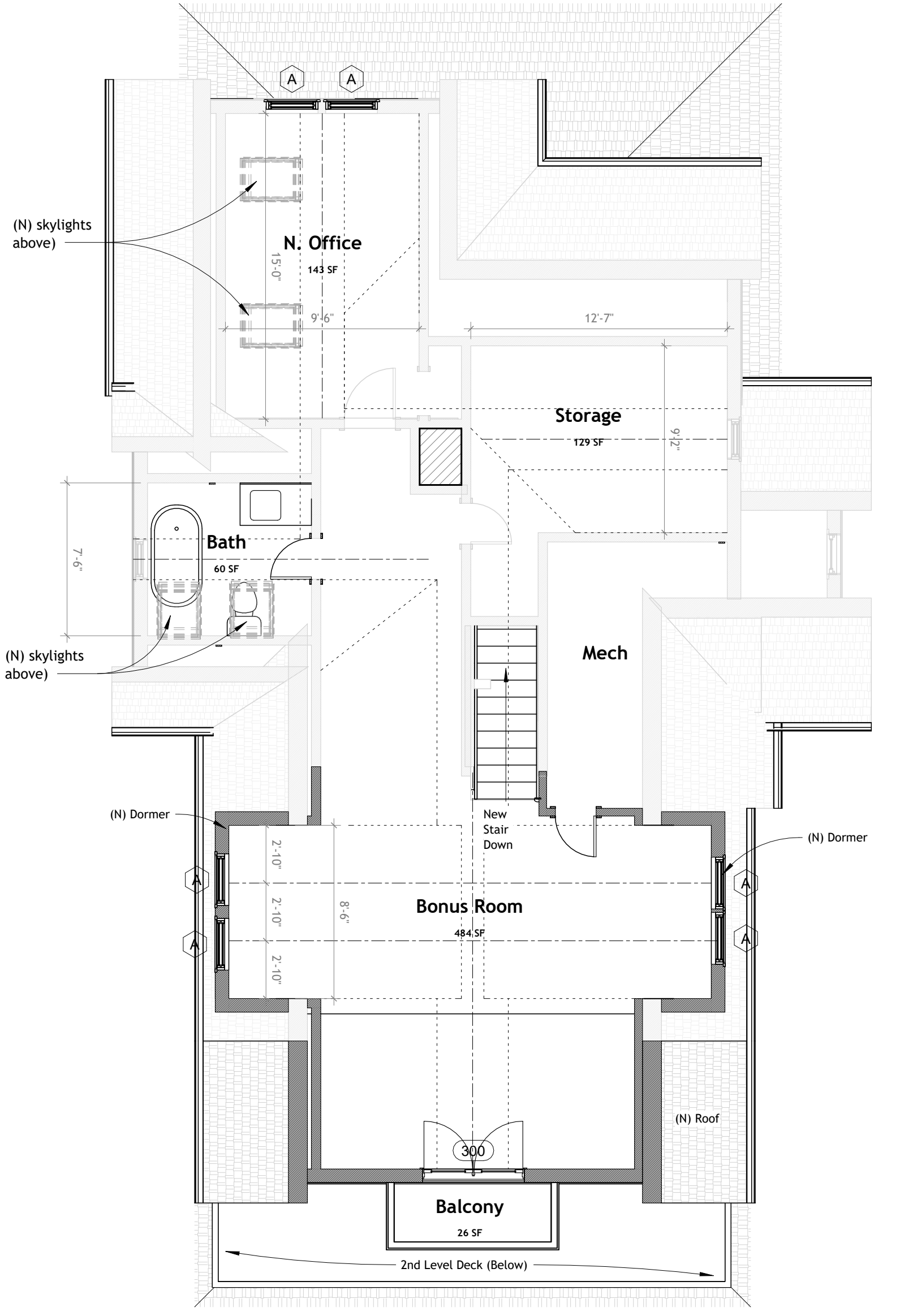
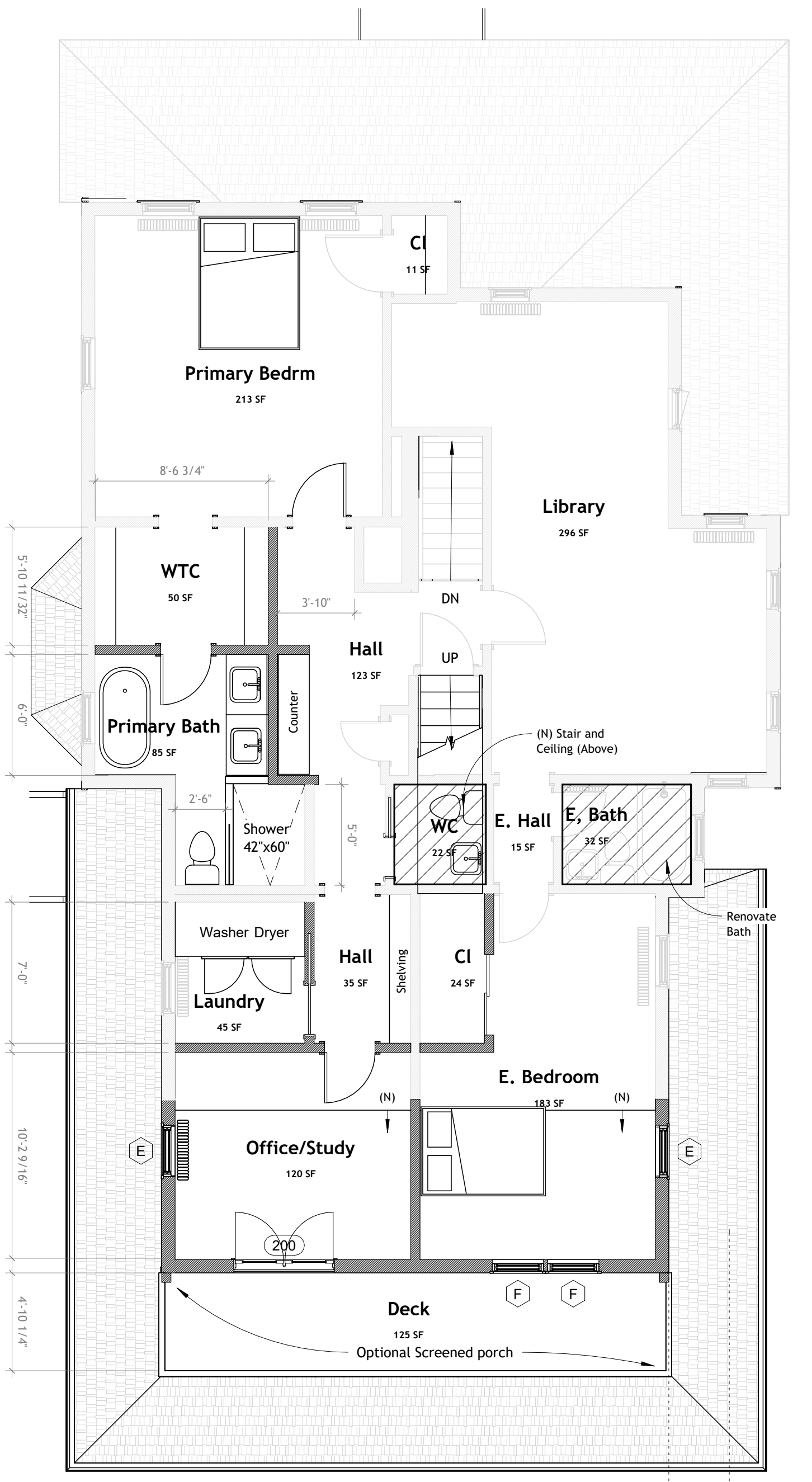
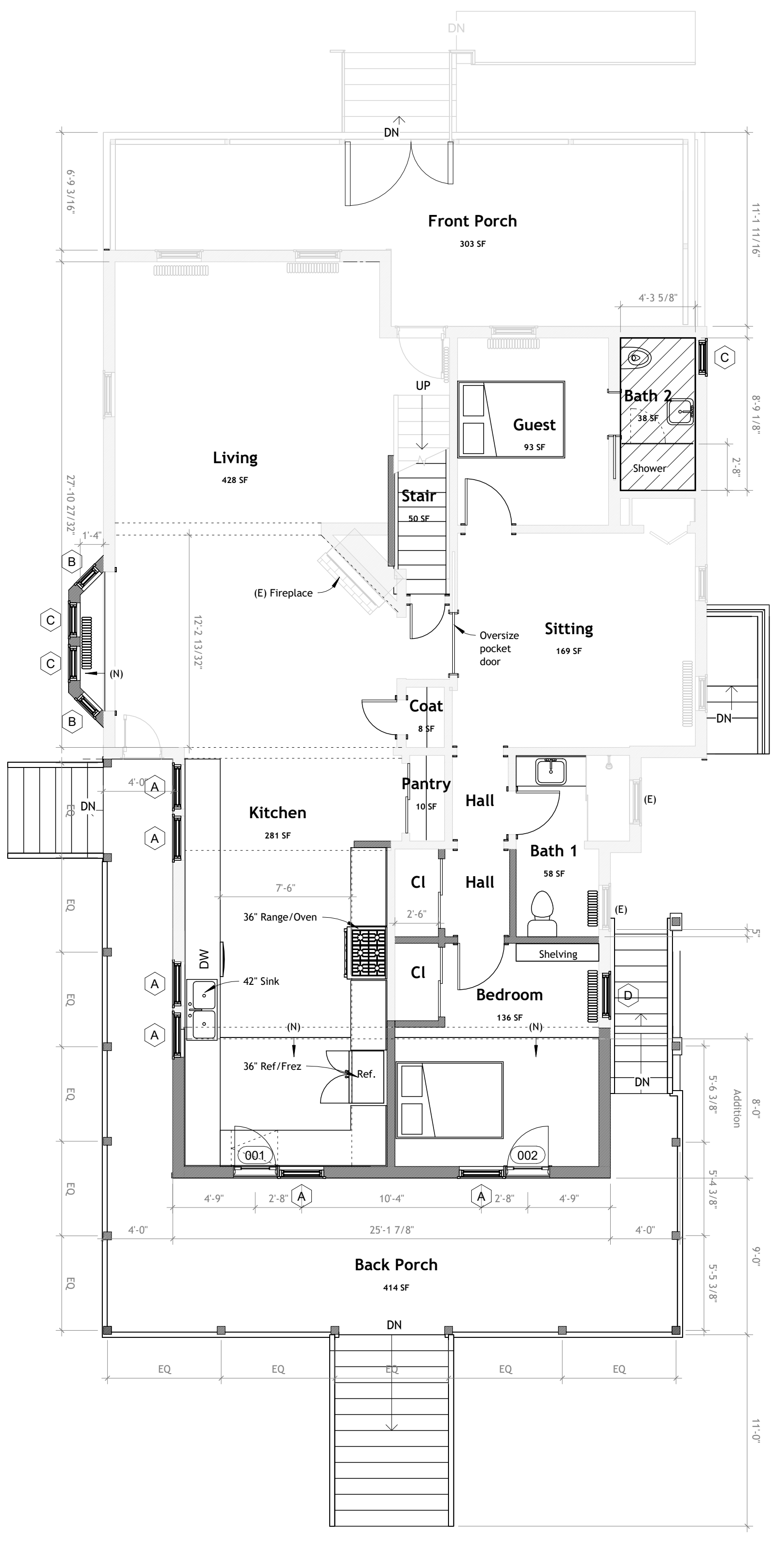
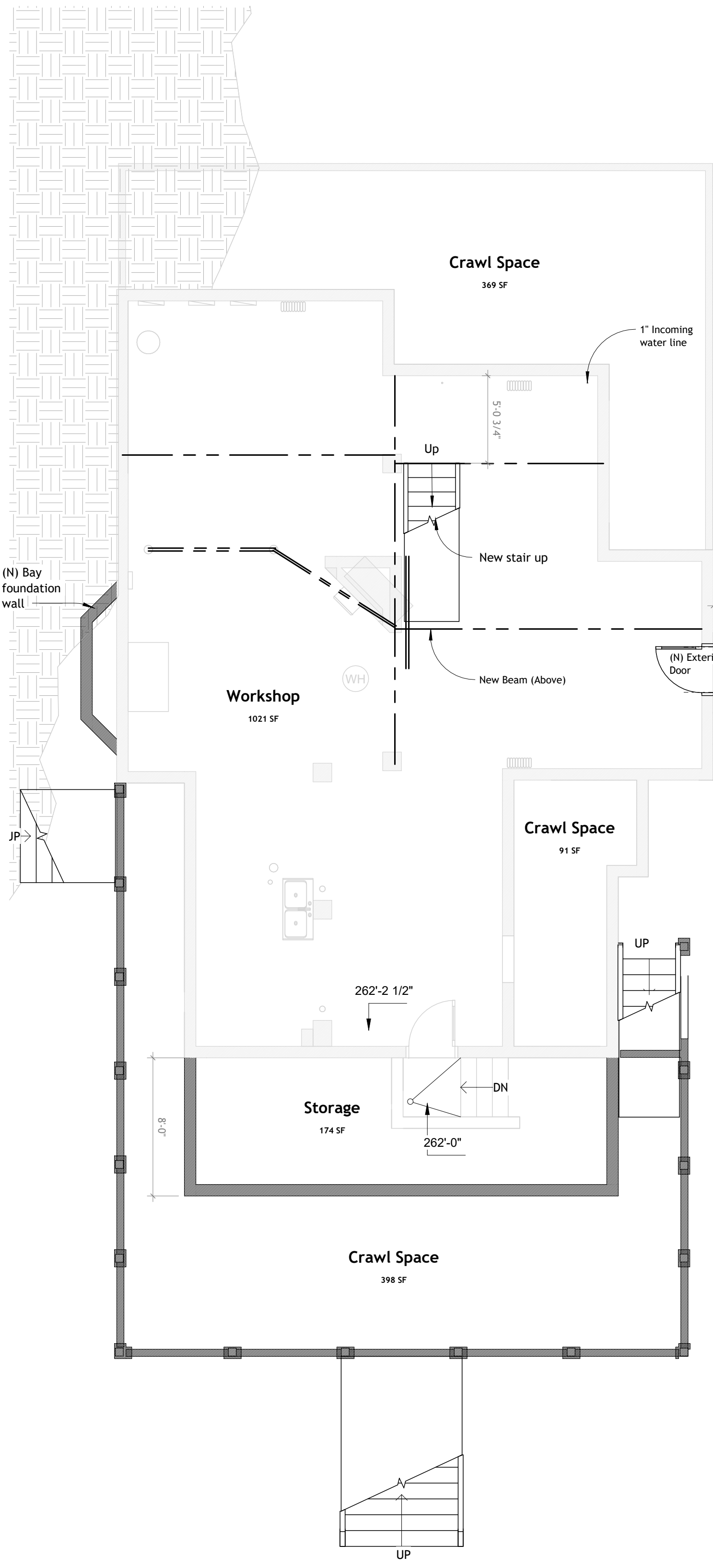
3 EXST South Elevation  
3/16" = 1'-0"



4 EXST West Elevation  
3/16" = 1'-0"







Note:  
 Hatching indicates new building elements  
 New windows and doors indicated with type mark

1 PROPOSED 0 Basement  
 3/16" = 1'-0"

2 PROPOSED 1 First Floor  
 3/16" = 1'-0"

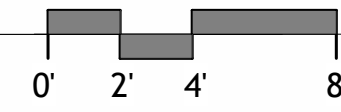
3 PROPOSED 2 Second Floor  
 3/16" = 1'-0"

4 PROPOSED 3 Attic Floor  
 3/16" = 1'-0"

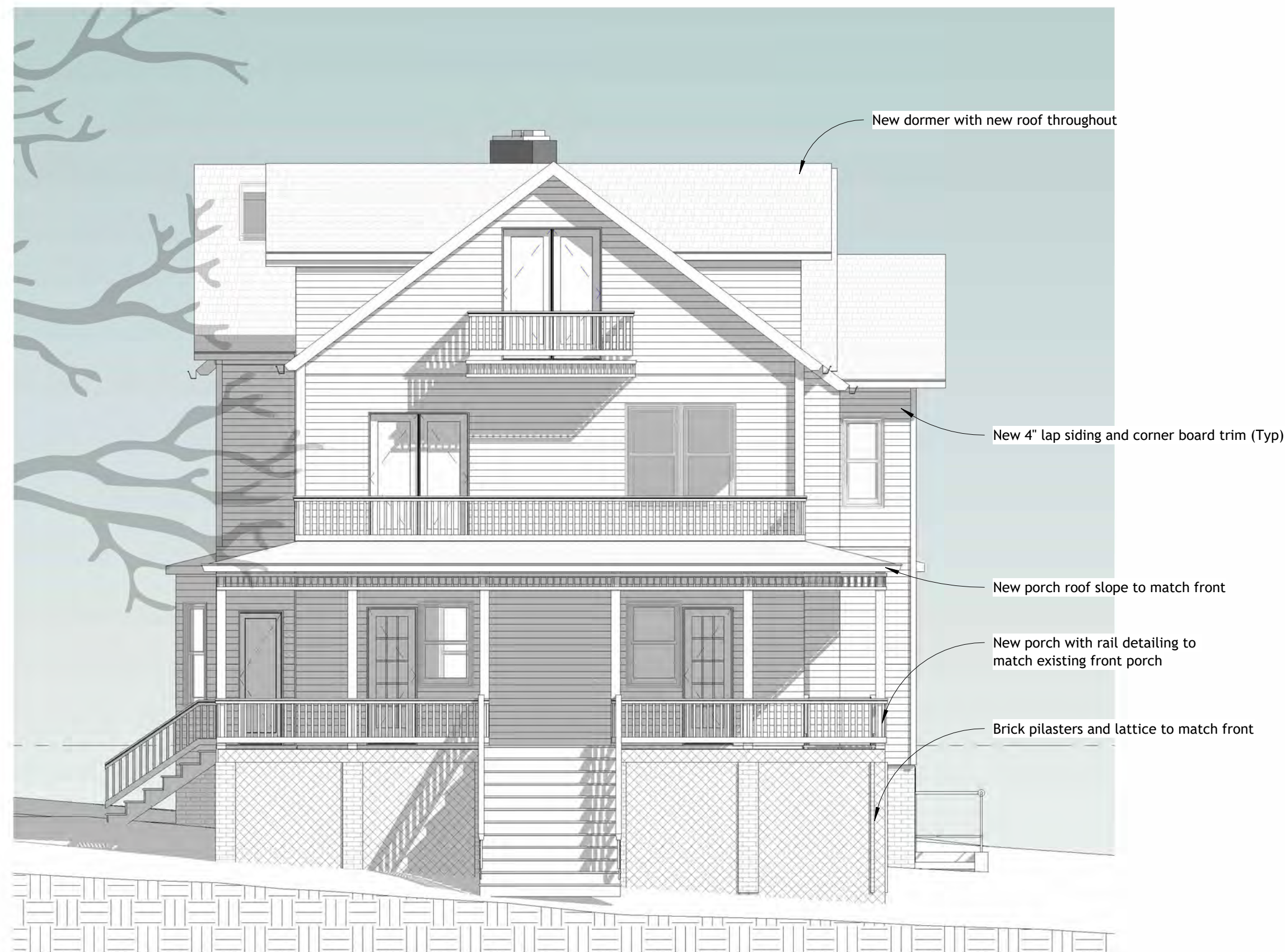
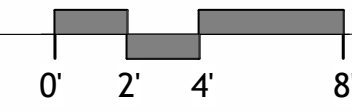




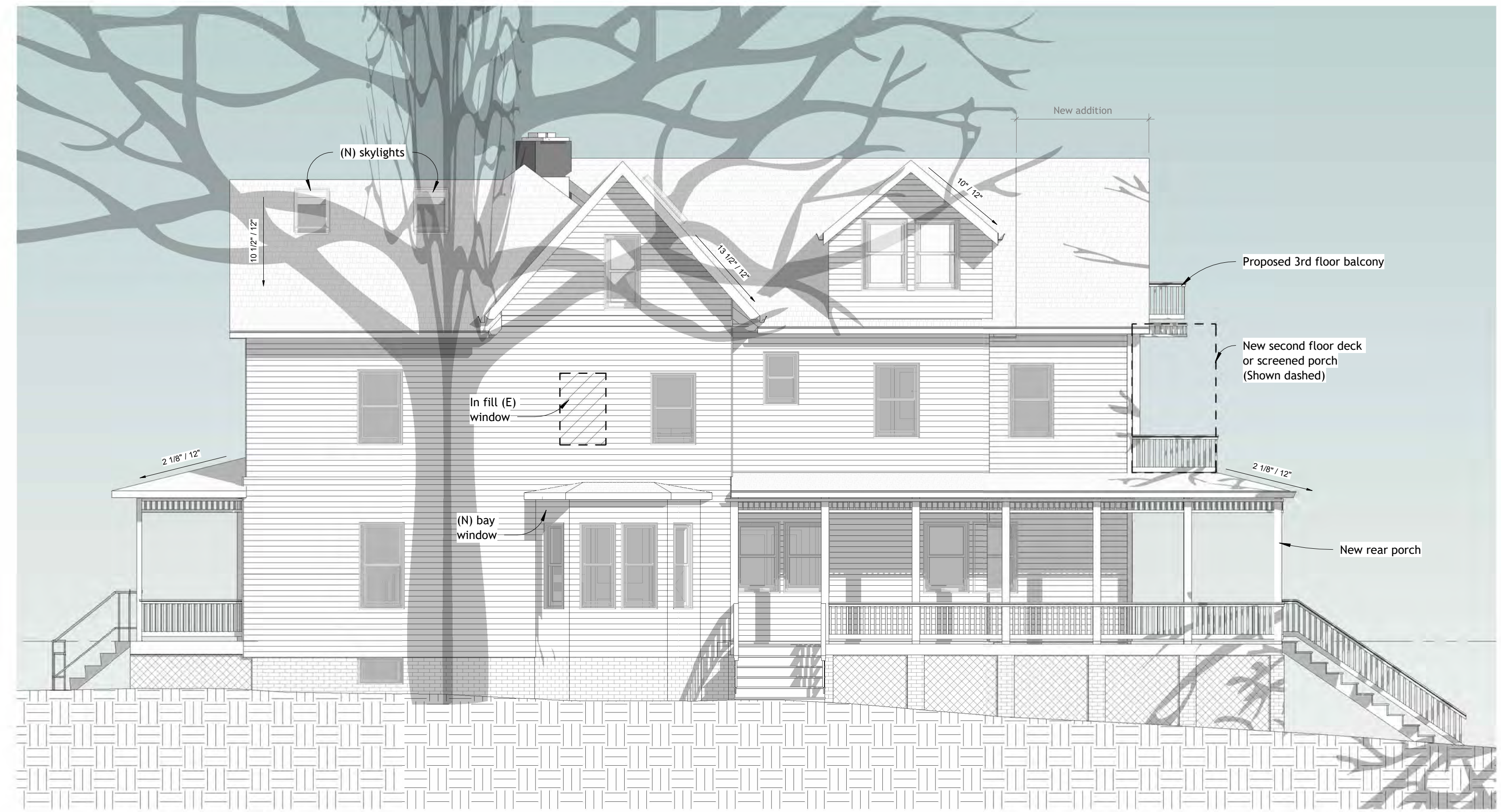
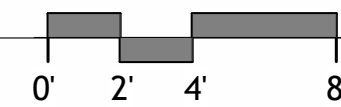
5 PROPOSED North Elevation  
3/16" = 1'-0"



3 PROPOSED East Elevation  
3/16" = 1'-0"



1 PROPOSED South Elevation  
3/16" = 1'-0"



2 PROPOSED West Elevation  
3/16" = 1'-0"

