

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6100 Connecticut Avenue, Chevy Chase	Meeting Date:	3/22/2023
Resource:	Outstanding Resource Chevy Chase Village Historic District	Report Date:	3/15/2023
Applicant:	Chevy Chase Country Club (DLR Group & EHT Traceries)	Public Notice:	3/8/2023
Review:	Preliminary Consultation	Tax Credit:	N/A
		Staff:	John Liebertz

PROPOSAL: Chevy Chase Club fenestration alterations, construction of new terrace, hardscape and pathway alterations, terrace alterations, installation of cable railings, new rooftop mechanical equipment, tree removal, and lighting alterations.

STAFF RECOMMENDATION

Staff recommends that the applicant make any changes recommended by the Historic Preservation Commission (HPC) and return for a Historic Area Worker Permit (HAWP).

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District
STYLE: Georgian Revival with prominent Neoclassical elements
DATE: 1911/1926

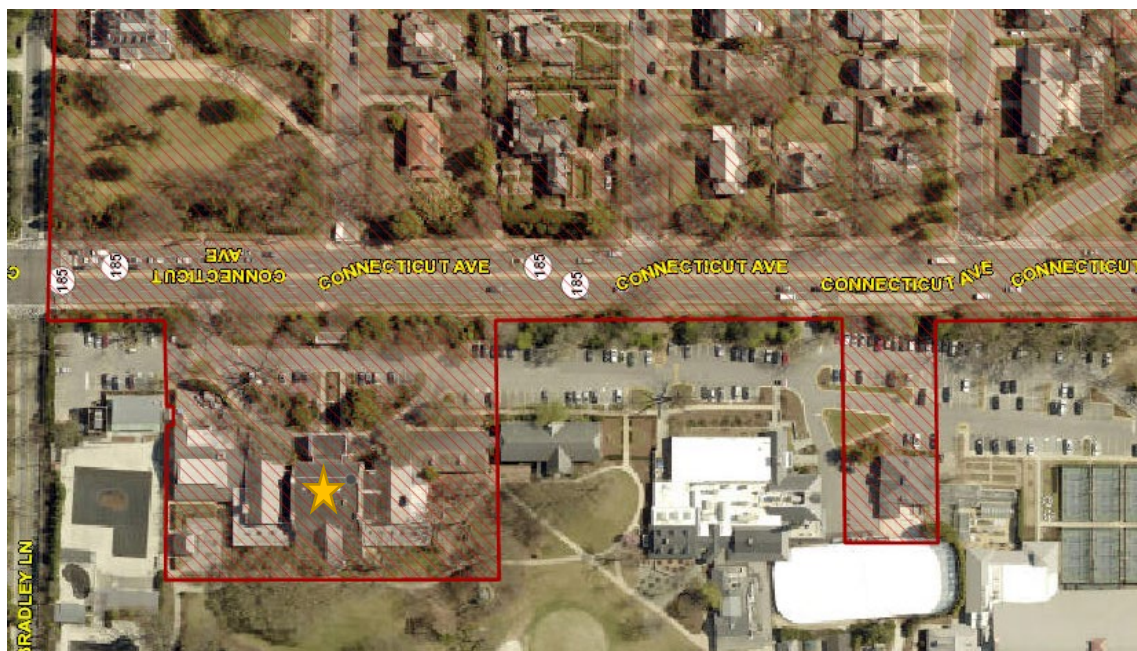


Figure 1: The subject property at 6100 Connecticut Avenue is located on the west side of the street. The red hatched area is the boundary of the Chevy Chase Village Historic District and the yellow star is the location of the clubhouse.

Source: Montgomery Planning.

PROPOSAL

The applicant proposes the following alterations to the clubhouse all of which are on the rear elevations of the building or not visible from the public rights-of-way: 1) replace several non-historic windows and doors; 2) install new doors or windows; 3) demolish select landscape and hardscape elements; 4) construct a new wood terrace adjoining the existing brick terrace; 4) construction of brick and concrete pathways and stone retaining walls with wood railings; 5) reroof second-story terrace and install Ipe deck; 6) replace existing second floor railing in-kind and install cable rails; 7) replace and relocated new rooftop mechanical units; 8) remove of a 10"-gum tree and a 12"-blackgum tree to the west of the clubhouse.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Chevy Chase Village Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state five basic policies that should be adhered to, including:

- Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
- Preserving the integrity of contributing structures. Alterations should be designed in such a way that the altered structure still contributes to the district.
- Maintaining the variety of architectural styles and the tradition of architectural excellence.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

- Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

The *Guidelines* provide specific guidance regarding the Chevy Chase Country Club.

The outstanding historic buildings and structures within the Club complex that are included in the designation of the expanded Chevy Chase Village Historic District are: the original portion of the main clubhouse building, the stable, and the streetcar shelter and stone wall along Connecticut Avenue. Not included in the designation are the south wing of the clubhouse (known as the Bradley House), the south appendages and greenhouses connected to the 1909 stable, the golf course, tennis courts, swimming pool complex, winter center and ice rink, a recently approved tennis building, nor the grounds around these other structures and facilities. This Master Plan recognizes that the institutional use such as Chevy Chase Club has evolved over time and must continue to do so to serve the changing needs on the Club property outside the designated area are not restricted. Future changes may be anticipated to the main clubhouse building.

A Historic Area Work Permit would be required for exterior changes to or demolition of the designated structures: the main clubhouse (excluding the south Bradley House wing), the stable (excluding the south greenhouse wing), the streetcar shelter, or the stone wall, or for the construction of new buildings or structures within the designated area. While changes to these designated structures will require Historic Area Work Permit approval, the intent of designation is to give the highest level of protection and review to the portions of the site visible from the public right-of-way. Alterations to the main clubhouse building that are not visible from public right-of-way should be subject to very lenient scrutiny. Most changes to the rear of this building should be approved as a matter of course. (Emphasis added by staff.)

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is an Outstanding Resource to the Chevy Chase Village Historic District. In the early twentieth century, the Chevy Chase Country Club served as a private amenity and elevated the community’s prestige and social standing among elites. Architect Jules Henri de Sibour designed the clubhouse in 1911 in the Georgian Revival style. The two-and-a-half story building consisted of stone exterior walls that supported a side-gable roof flanked by two-story, front-gable wings. In 1914, the club added a Neoclassical porte-cochere to the façade. The following year, they expanded the west porch (on the rear of the building facing the golf course) with a distinctive semi-circular bay. In 1926, Architect Waddy Wood designed the demolished stone addition to the north and the Bradley House to the south.¹ These changes are evident in the Sanborn Maps and historic photographs of the clubhouse (*Figure 2*).

¹ For more information, see the Chevy Chase Survey District National Register Review Form (2002),

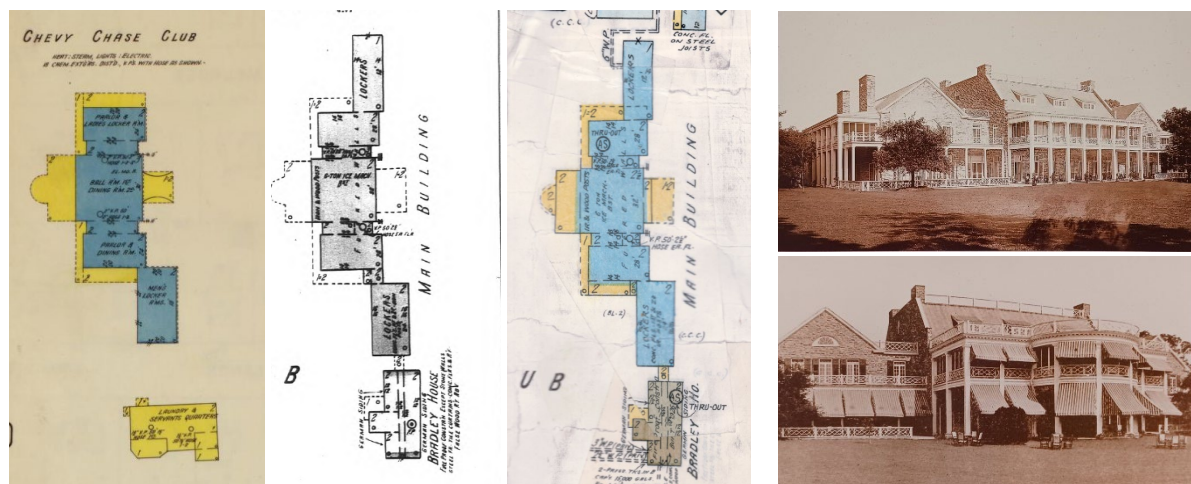


Figure 2: Sanborn Fire Insurance Maps showing 1903-1916 (left), 1927 (center), and 1927-1963 (right). Historic photographs show the rear elevation prior to and after the construction of the larger rear porch with a semi-circular bay in 1915.

Source: Montgomery Planning and Robert H. Thompson, *The Chevy Chase Club* (Chevy Chase, MD: Chevy Chase Club, 1992).

Alterations to the clubhouse (in particular to the rear elevation) continued throughout the twentieth century. The applicant created the below graphic (*Figure 3*) that illustrates the relevant changes to the building. This included the: 1) enlargement and enclosure of the west (rear) porch (1933-1940); 2) construction of a one-story frame addition in 1958; 3) major alteration/addition to the northern wing in 1969; 4) construction of an exterior stair and vestibule on the south elevation of the southern front-gable wing in 1969; 5) renovation and window replacement on the enclosed west (rear) porch; 6) renovation and window replacement of the second floor of the west (rear) porch in 2002; and 7) installation of a bluestone paver dance terrace in 2004.²

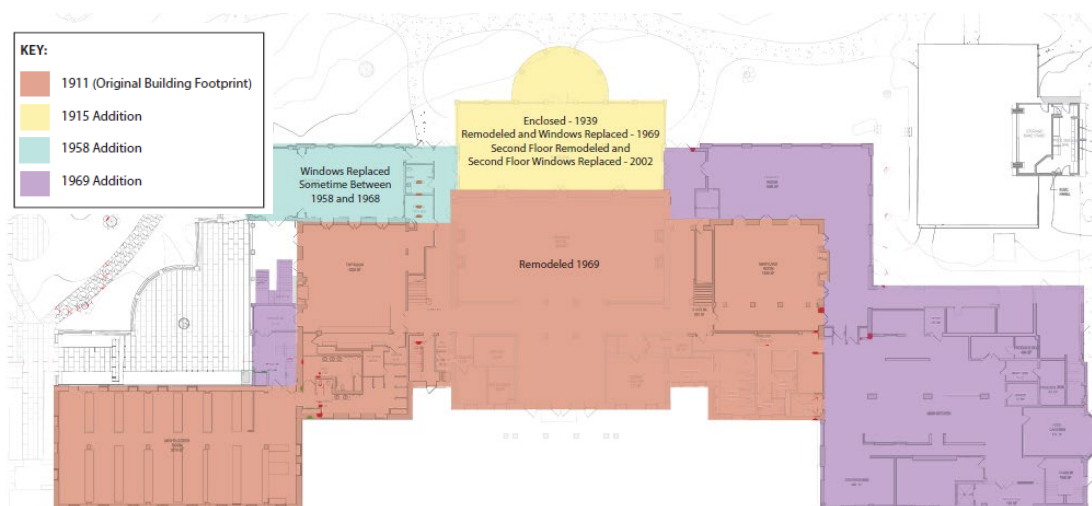


Figure 3: Chevy Chase Building Chronology.

Source: DLR Group & EHT Tracerics.

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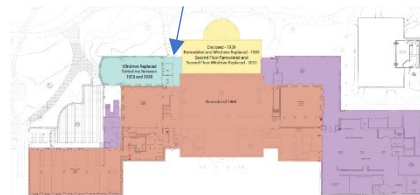
² For more information about the HPC approved projects, see

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640009/Box074/35-13-02A_Chevy%20Chase%20Historic%20District_6100%20Connecticut%20Avenue_11-13-2002.pdf and https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640003/Box013/35-13-00B_Chevy%20Chase%20Village%20HD_6100%20Connecticut%20Avenue_06-14-2000.pdf.

The subsequent sections of the staff report consist of an analysis of each proposed alteration in the preliminary submission and a key map noting its location.

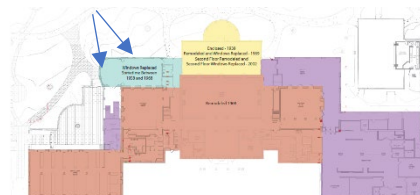
Fenestration Alterations – West Elevation of the 1958 Addition at the Tap Room and Card Room

The applicant proposes a nearly in-kind replacement of non-historic, paired, double-leaf doors with two-light transoms. The northern door would remain operable while the matching false southern door would be permanently fixed. The proposed doors are compatible with the design and fenestration patterns of the clubhouse and should be approved as a matter of course as they are located on the rear elevation of the building. Future HAWP applications should include all specification sheets and affirm that the doors and transoms are constructed of wood.



Fenestration Alterations – West and South Elevations of the 1958 Addition at the Tap Room and Card Room

The applicant proposes the in-kind replacement of the existing fixed wood windows on the 1958 addition. In addition, the applicant proposes to replace six single-light, triple-hung, wood windows on the west and south elevations with two-light fixed windows. The proposed window muntin would align with and continue the horizontal line created by the muntins of the existing fixed windows. The windows are compatible with the design and fenestration patterns of the clubhouse and should be approved as a matter of course as they are located on the rear elevation of the building. Future HAWP applications should include all specification sheets and affirm that the windows are constructed of wood.



Fenestration Alterations – South Elevation of the Original South Gable Wing at the Tap Room and Card Room

The applicant proposes to remove two double-leaf, 10-light, wood doors with four-light wood transoms located under the non-historic exterior stair. New single-leaf, 15-light doors with a three-light transom would be installed in the existing openings. The proposed doors are compatible with the design and fenestration patterns of the clubhouse and should be approved as a matter of course as they are located on the rear elevation of the building. Future HAWP applications should include all specification sheets and affirm that the doors and transoms are constructed of wood.



Fenestration Alterations – South Elevation of the 1969 Vestibule

The applicant proposes to replace two 12-light, fixed wood windows separated by a heavier wood mullion with a double-leaf, ten-light door with a paired six-light transom. The existing window is a non-historic element of the building. The proposed door is compatible with the design of the clubhouse, better recalls the design of the no longer extant windows on the rear elevation, and should be approved as a matter of course as it is located on the rear elevation of the building. Future HAWP applications should include all specification sheets and affirm that the door and transom are constructed of wood.



Fenestration Alterations – South Elevation of the 1911 Men’s Locker Room

The applicant proposes to remove a six-over-six, double-hung, wood-sash window with a stone sill located in a partially enclosed hyphen connecting the Men’s Locker Room and Bradley House. The size of the opening in the stone wall would be expanded to the ground to install a six-panel door with a nine-light transom required by code for egress. The proposed door matches the design of an existing door on the opposite end of the hyphen (outside of the historic district boundary). The proposal is compatible with the design of the clubhouse and should be approved as a matter of course as it is located on an elevation of the building that is not visible from the public rights-of-way. Future HAWP applications should include all specification sheets and affirm that the door and transom are constructed of wood.



Fenestration Alterations – North Elevation of the 1969 Terrace Room

The applicant proposes to remove a multi-leaf, automatic, sliding glass door and restore the opening to its original condition. The proposed window would match the two existing windows to the north, is compatible with the design and fenestration patterns of the clubhouse, and should be approved as a matter of course as it is on the rear elevation. Future HAWP applications should include all specification sheets and affirm that the window is constructed of wood.



Fenestration Alterations – West Elevation of the 1969 Pool and Canteen Wing

The applicant proposes the in-kind replacement of an automatic door on the southern end of the west elevation. The preliminary submission does not include additional sheets outlining this aspect of the proposal (similar to other fenestration changes). While the in-kind replacement of the non-historic door should be approved, staff recommends that the HAWP application include all details and specification sheets for this element.



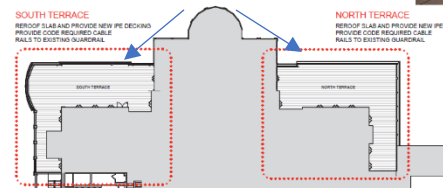
Fenestration Alterations – North Elevation of the 1969 Pool and Canteen Wing

The applicant proposes the in-kind replacement of the fixed light windows and double-leaf door in the canted bay on the north elevation. These existing doors and windows are part of a non-historic addition constructed in 1969. While the in-kind replacement of the non-historic windows and door should be approved as a matter of course, staff recommends that the HAWP application include all details and specification sheets for this element including whether the existing screen door would be replaced or omitted.



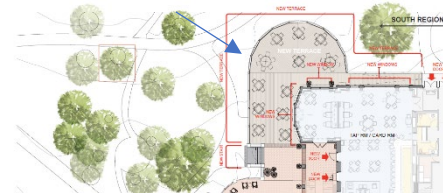
Roof Alteration – 2nd Story North and South Roof Terraces

The applicant proposes to: 1) reroof the existing north and south roof terraces and install wood decking; and 2) install a cable rail behind the character defining Chippendale wood railing as required by code. The wood decking would not be visible from any point of view other than standing on the roof terrace. The installation of the cable railing has less adverse effect than other potential treatments to the historic railing (such as increasing its height) and would be rather transparent as shown in examples provided by the applicant. Staff recommends that the HAWP application provide details and specifications for all elements and that the proposed changes are approved as a matter of course as it is on the rear elevation.



New Construction – South Terrace and Deck

The applicant proposes: 1) the partial demolition of the western section of the existing brick patio and stair; 2) a new brick patio that adjoins the existing brick patio with the proposed deck; 3) new stone stair with stone walls, piers, and railings that access the new brick patio; and 4) construction of a new wood deck that wraps the west and south elevations of the 1958 addition.



The proposed design, scale, and materials of the proposed terrace and deck is compatible with the historic resource. The submission continues the design and feel of the original clubhouse with its matching ornate Chippendale railing that has been retained or included in various iterations of the rear elevation over the last 100 years. The inclusion of cable rails (behind the wood railing and required per code) will not adversely affect the overall design of the clubhouse. While the terrace necessitates the removal of a 10” sweetgum tree, there are no noted impacts to the nearby 59-inch Oak tree. All these alterations should be approved as a matter of course as they are on the rear elevation and do not affect the overall scale and massing of the building. The tree removal should be included in the final HAWP application.

Staff recommends that the HAWP application provide details and specifications for all elements. Information absent from the preliminary application includes: 1) details regarding proposed footers or structural supports for the proposed deck, how these supports will impact the surrounding trees (of particular interest the 59-inch oak tree), and any tree protection plans that will be implemented; and 2) specifications and detailed drawings for the stone stair accessing the brick patio.

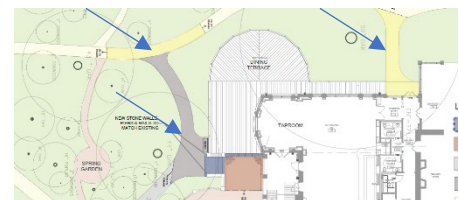
New Construction – Walkway to the Existing South Brick Patio

The applicant proposes to demolish the existing brick walkway with two risers (to the north of the Men’s Locker Room and Bradley House). The new accessible brick walkway (less than a 5 percent slope) would be flanked with low fieldstone retaining walls as it approaches the patio. Staff recommends that the HAWP application provide details and specifications for all elements and that its approved as a matter of course as it is on the rear elevation.



New Construction – Walkways/Pathways

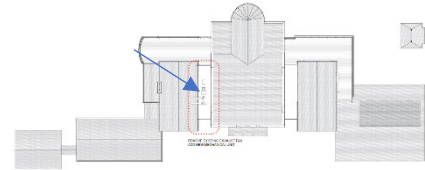
The applicant proposes the in-kind replacement of two existing concrete paths and covering of an existing gravel path with new landscaping and gravel. The HAWP application should provide additional specifications and justification for the removal of the nearby 12-inch blackgum tree. This tree, however, does not significantly add to the naturalistic landscape



of this particular site or district. Staff recommends that the proposed changes to the pathways be approved as a matter of course due to their location to the rear of the building.

New Construction – Mechanical Equipment

The applicant proposes to remove an existing exhaust fan from the roof and install new mechanical equipment. As shown in the preliminary submission, the mechanical equipment will not be visible when looking east from Connecticut Avenue or west from the club’s property. Staff recommends that the HAWP includes details and specifications for all equipment and that it be approved as a matter of course due to its lack of visibility.



Lighting Package

The applicant proposes to replace numerous existing light fixtures on the rear elevation. The new hanging lanterns and wall sconces would be copper and recall the existing fixtures. The proposed fixtures are compatible with the design of the clubhouse and should be approved as a matter of course due to their locations on the rear of the building.

STAFF RECOMMENDATION

Staff recommends that the applicant make any changes suggested by the HPC and return for a HAWP with any requested information.



CHEVY CHASE CLUB HOUSE

DATE: 03.01.23

HISTORIC PRESERVATION COMMISSION - PRESENTATION

 **DLR GROUP** | *bowie gridley*

PROJECT PURPOSE AND PROJECT SCOPE

Project purpose – provide updates to the exterior of the Chevy Chase Clubhouse to:

- Better serve member needs
- Replace damaged/deteriorated building materials (including windows and gutters)
- Meet current building codes and life safety requirements

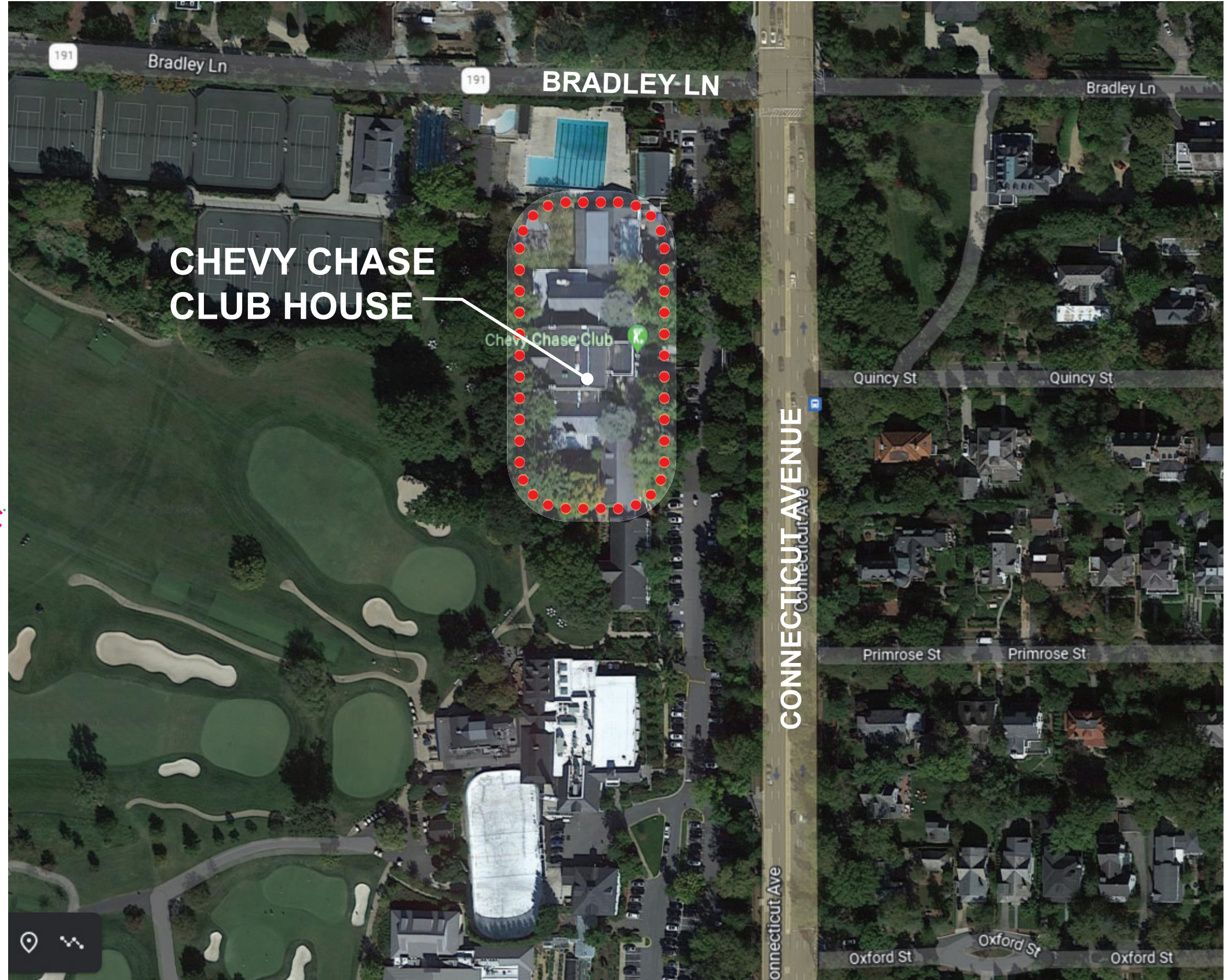
Project scope (exterior):

- Replace window in Men's Locker Room with new egress door
- Build new wood terrace adjoining existing brick terrace
- Replace pathways leading to existing terrace with sloped sidewalks for ADA access
- Update landscaping, pathways, and lighting around new terrace
- Replace doors and windows along exterior of Card/Tap Room and adjacent hallways
- Replace two pairs of sliding doors at north elevation; one pair in kind, the other with new window to match adjacent
- Replace windows and doors in kind at Pool Canteen
- Replace damaged second floor terraces with new lpe deck
- Provide cable rails at 4" on center behind existing second floor terrace railings
- Provide new rooftop air handling unit and exhaust fan

- Provide new wall sconces at areas being modified



SITE MAP



SITE LOCATION



HISTORIC PHOTO 1913 - WEST ELEVATION

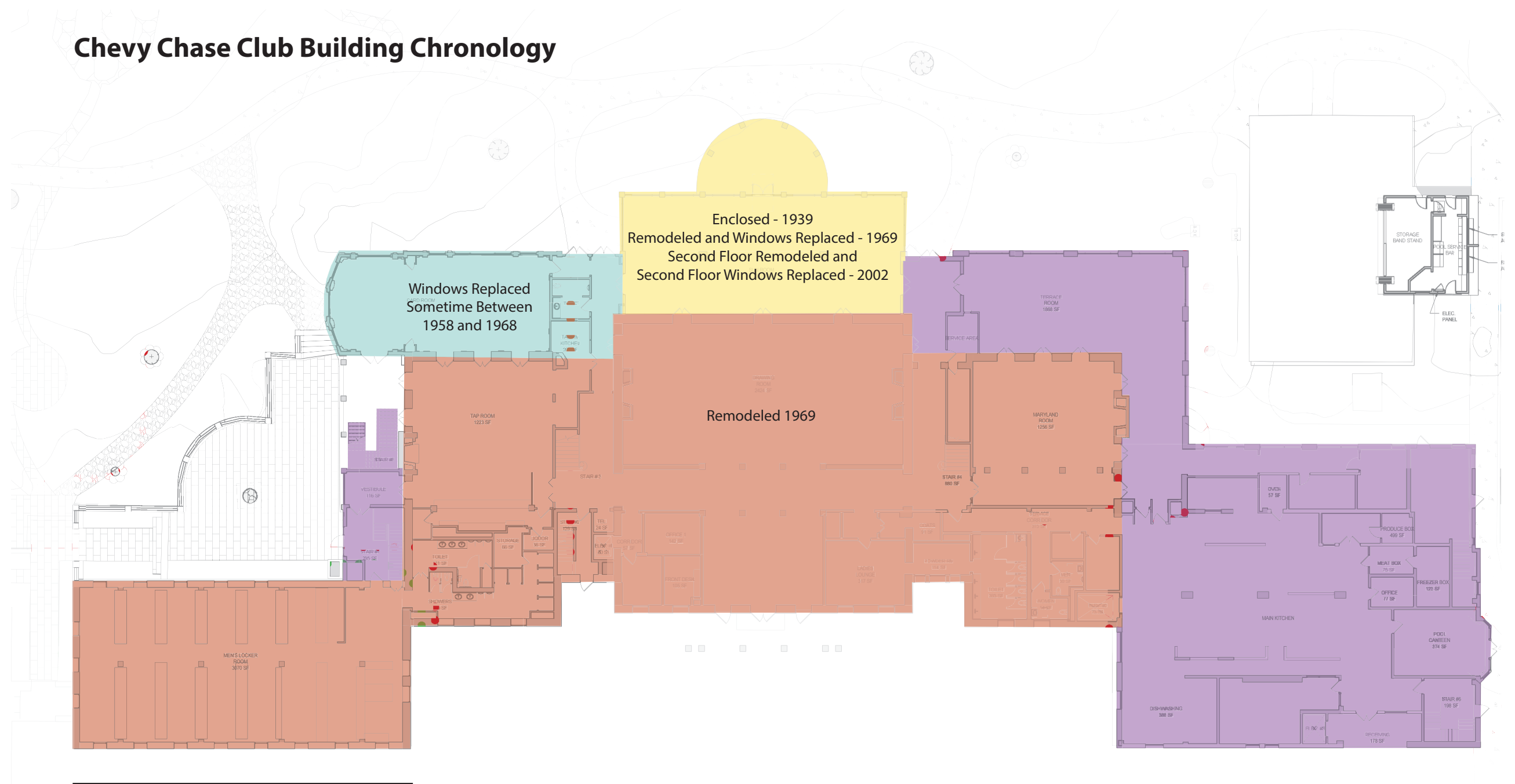


WEST VIEW PRESENT PHOTO



PRESENT PHOTOS

Chevy Chase Club Building Chronology



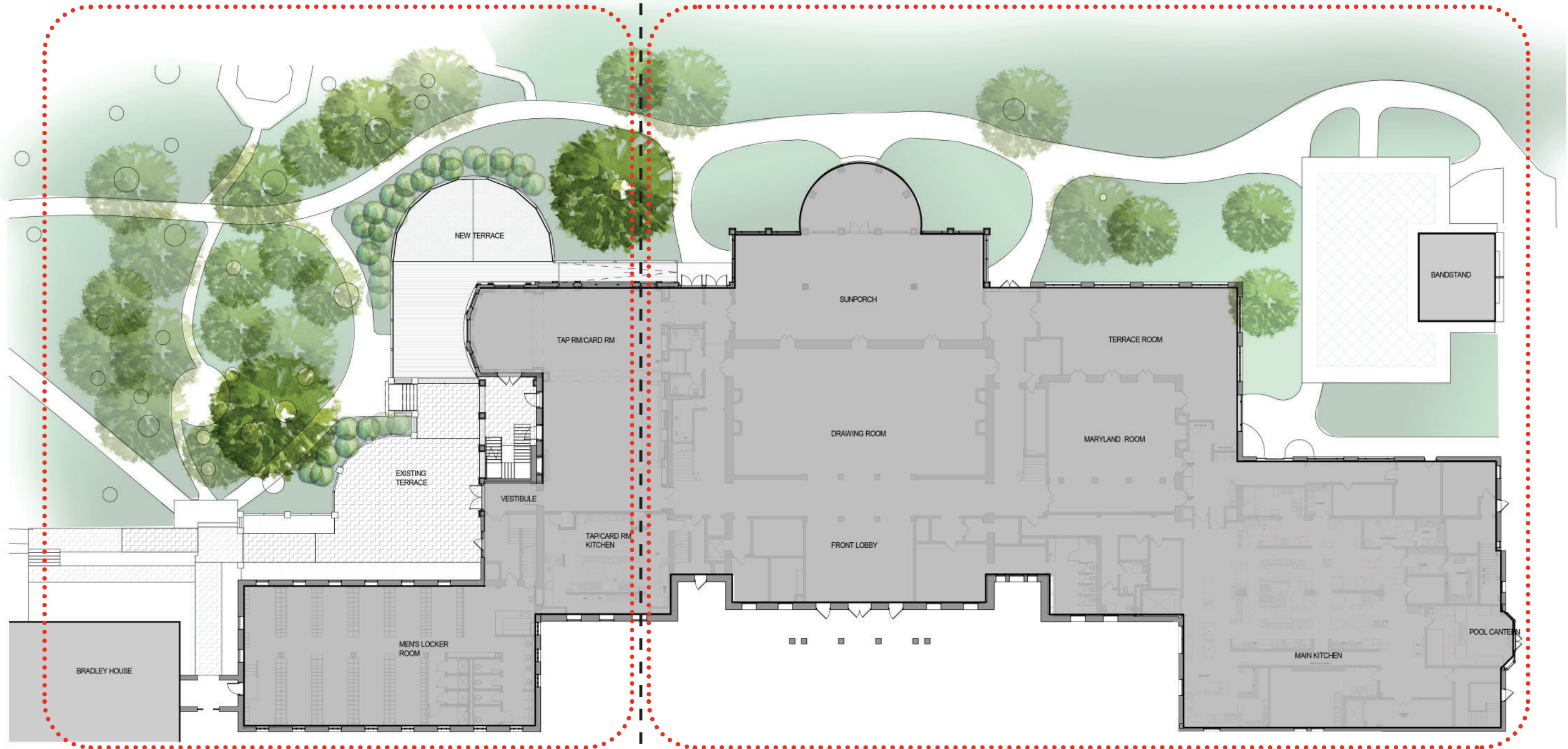
KEY:

- 1911 (Original Building Footprint)
- 1915 Addition
- 1958 Addition
- 1969 Addition

SOUTH REGION | NORTH REGION

TAP RM/CARD RM, NEW TERRACE, MEN'S LOCKER ROOM
 INTERIOR ALTERATIONS, DOOR AND WINDOW REPLACEMENTS TO MATCH EXISTING,
 REWORK EXISTING TERRACE AND ADD NEW TERRACE

SUNPORCH, TERRACE RM, MARYLAND RM, POOL CANTEEN
 INTERIOR ALTERATIONS, DOOR AND WINDOW REPLACEMENTS TO MATCH EXISTING



PROPOSED OVERALL PLAN 1ST FLOOR PLAN

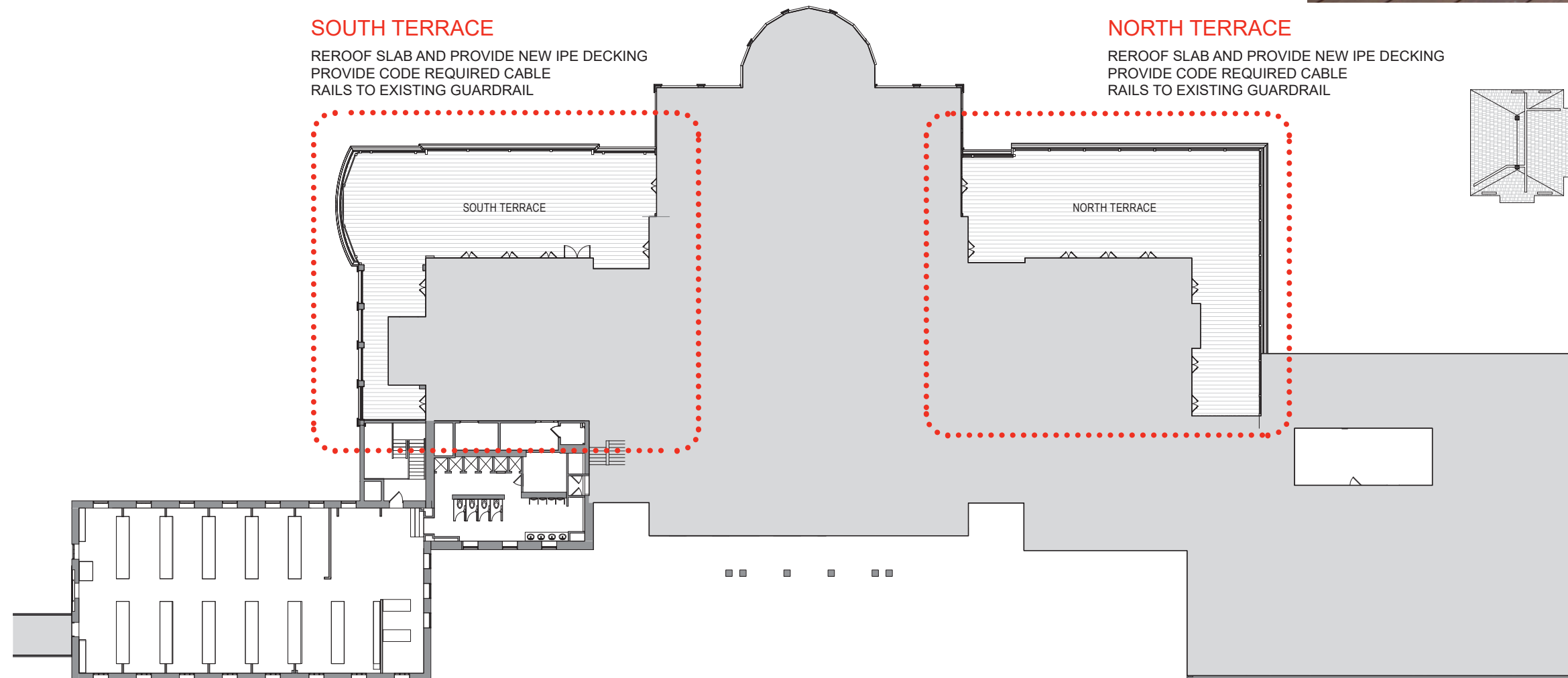


SOUTH TERRACE

REROOF SLAB AND PROVIDE NEW IPE DECKING
 PROVIDE CODE REQUIRED CABLE
 RAILS TO EXISTING GUARDRAIL

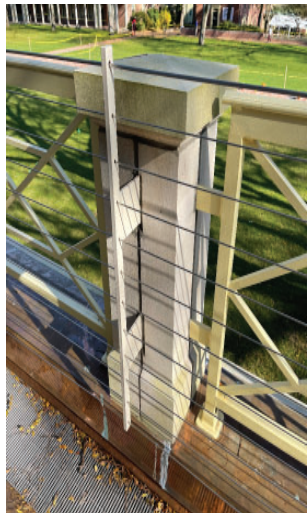
NORTH TERRACE

REROOF SLAB AND PROVIDE NEW IPE DECKING
 PROVIDE CODE REQUIRED CABLE
 RAILS TO EXISTING GUARDRAIL



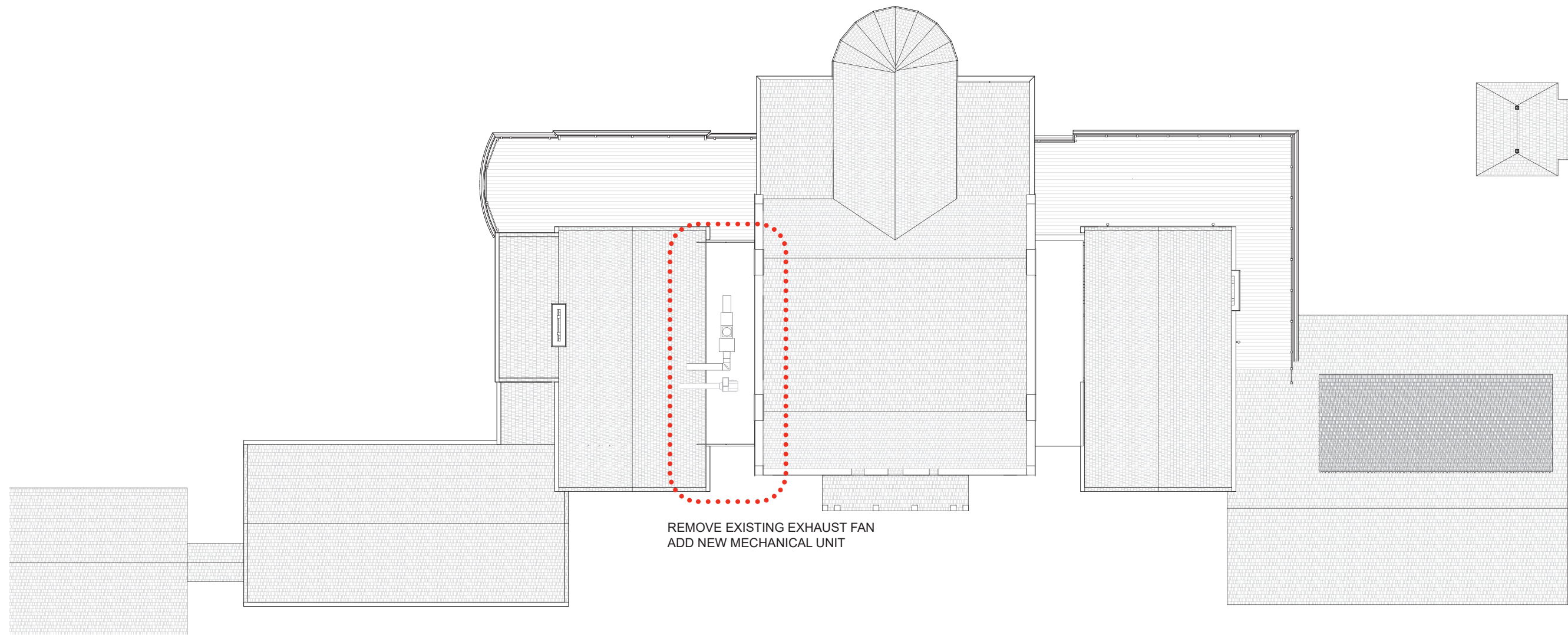
PROPOSED OVERALL PLAN 2ND FLOOR PLAN





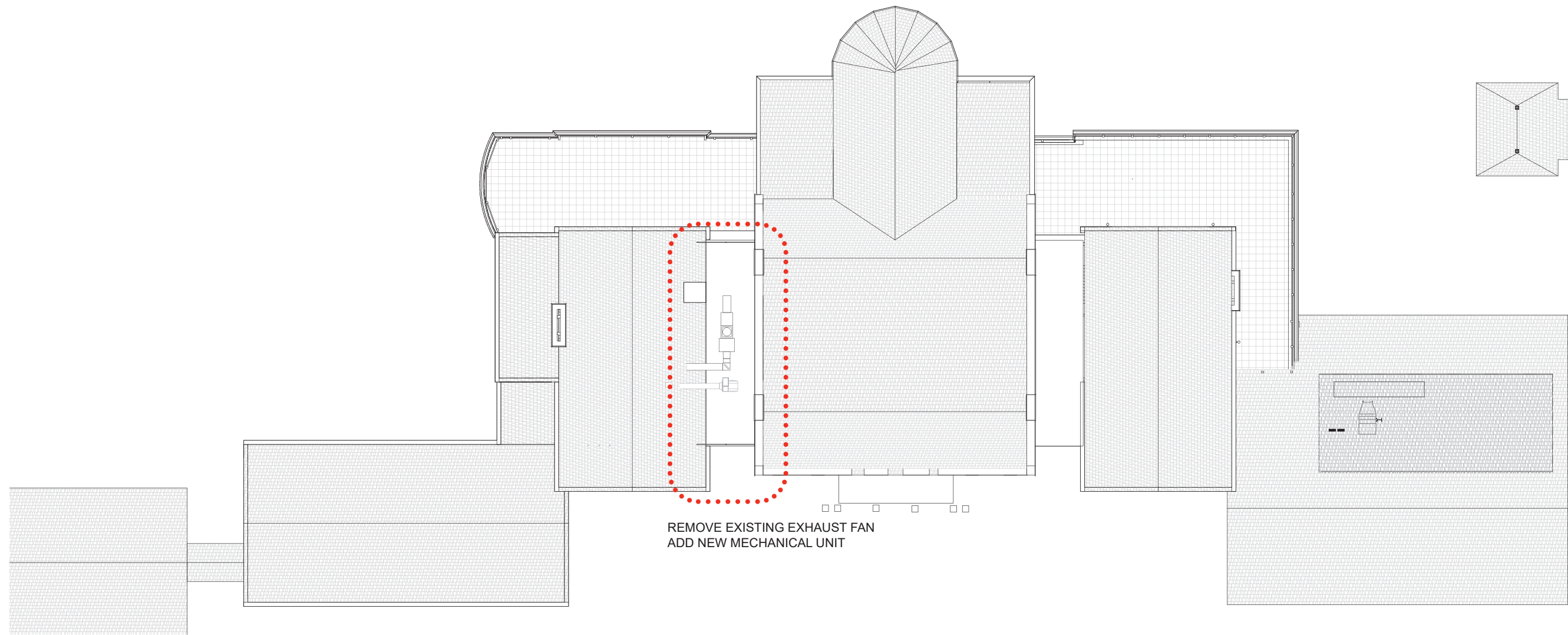
EXAMPLE PROJECT OF CABLE RAILING USED

DLRGROUP | bowie gridley



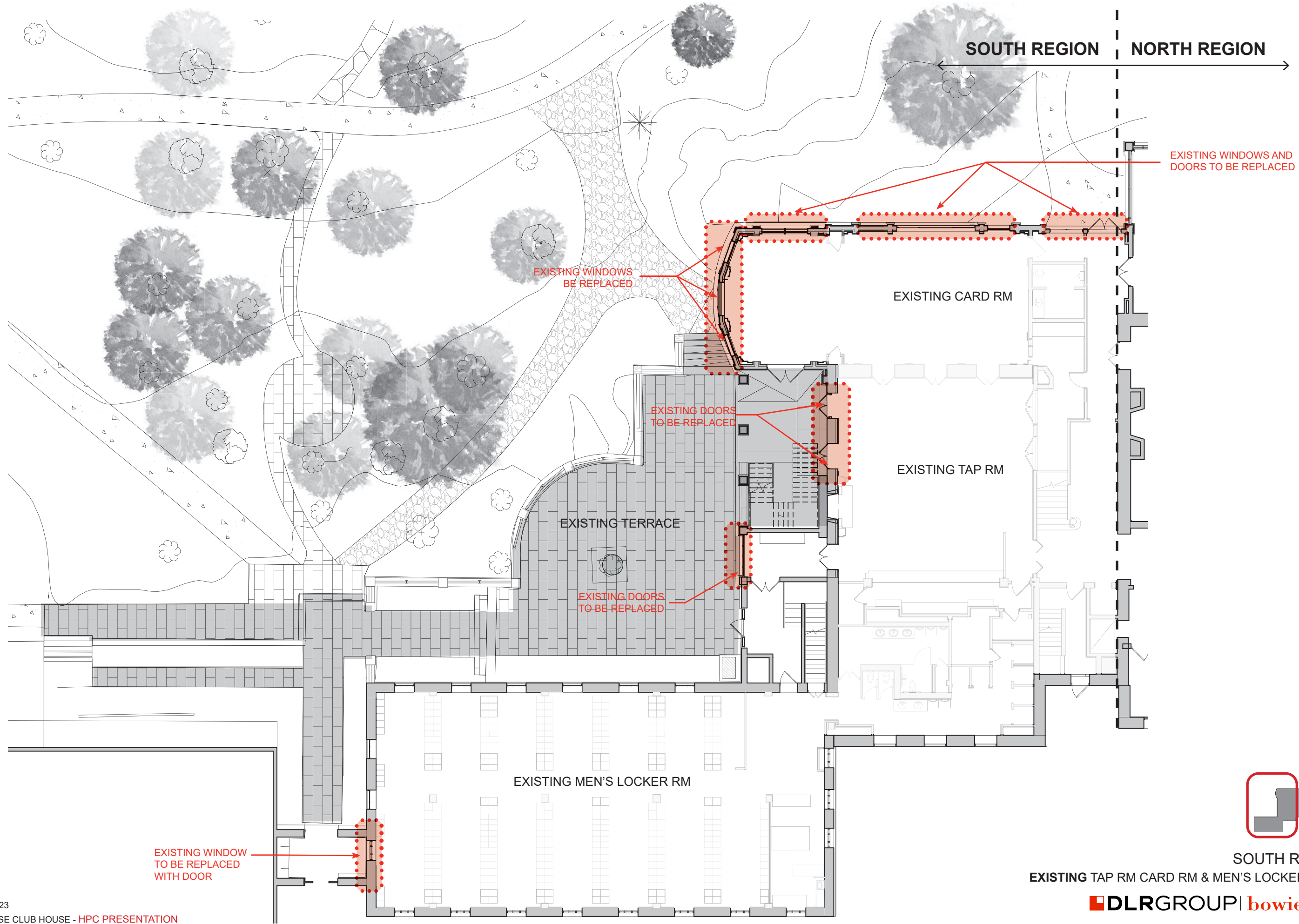
REMOVE EXISTING EXHAUST FAN
ADD NEW MECHANICAL UNIT

PROPOSED OVERALL PLAN ROOF - FLOOR PLAN



PROPOSED OVERALL PLAN ROOF - FLOOR PLAN

SOUTH REGION | NORTH REGION



EXISTING WINDOWS AND DOORS TO BE REPLACED

EXISTING WINDOWS TO BE REPLACED

EXISTING CARD RM

EXISTING DOORS TO BE REPLACED

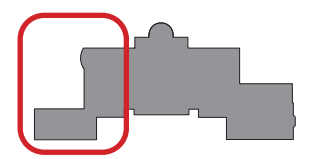
EXISTING TAP RM

EXISTING TERRACE

EXISTING DOORS TO BE REPLACED

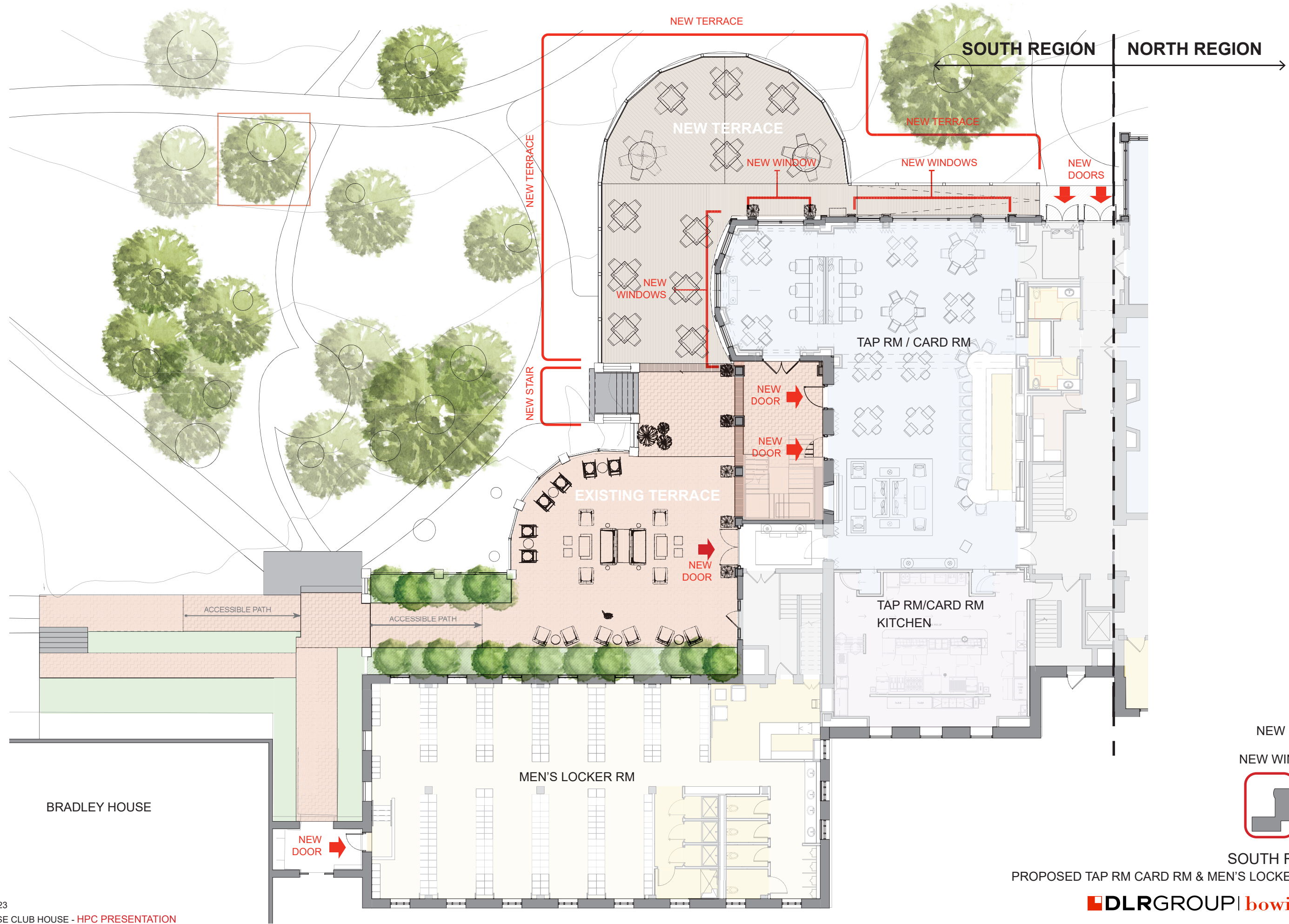
EXISTING MEN'S LOCKER RM

EXISTING WINDOW TO BE REPLACED WITH DOOR



SOUTH REGION
EXISTING TAP RM CARD RM & MEN'S LOCKER ROOM

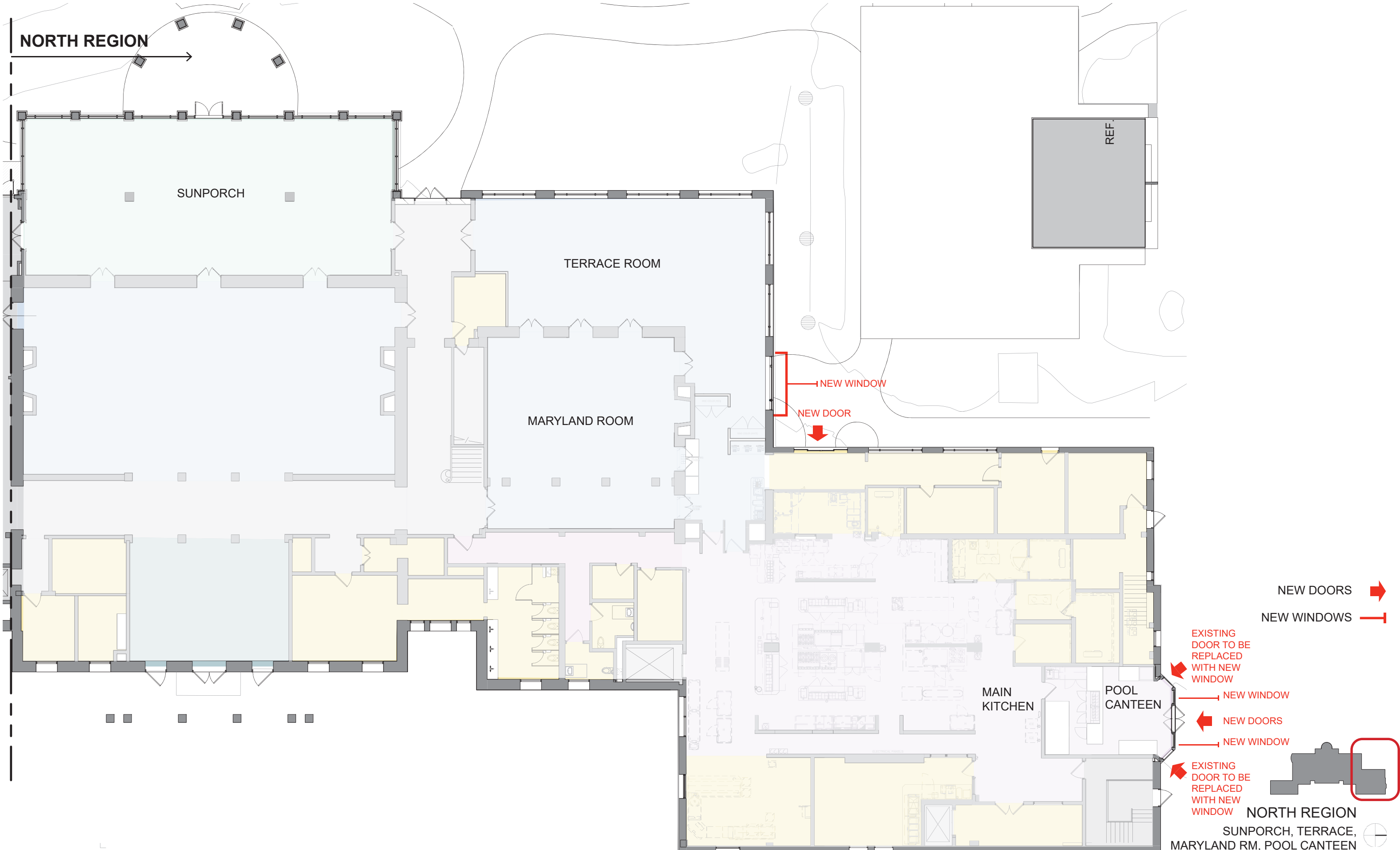
DLRGROUP | bowie gridley



NEW DOORS →
 NEW WINDOWS —

SOUTH REGION
 PROPOSED TAP RM CARD RM & MEN'S LOCKER ROOM

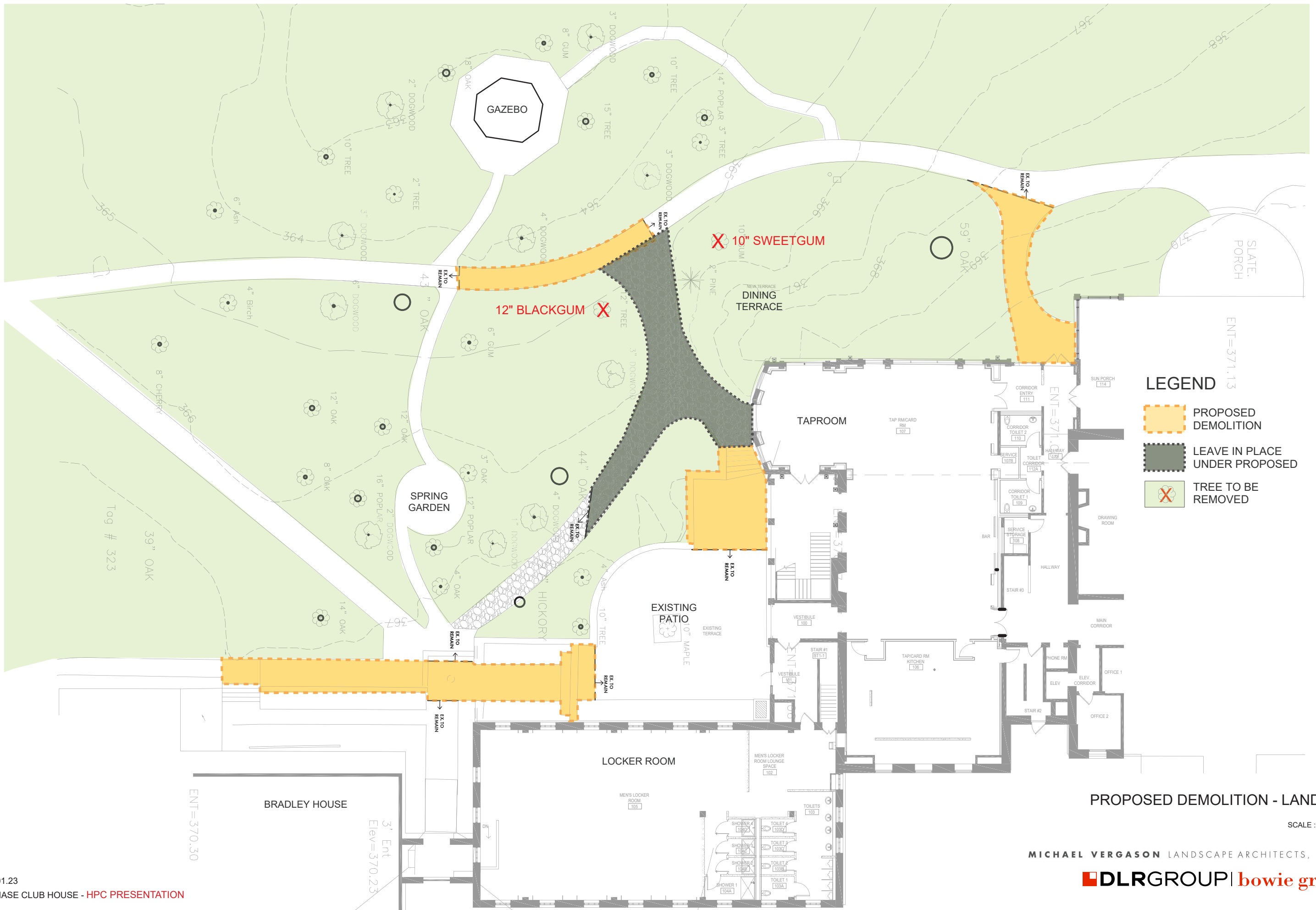
NORTH REGION



NEW DOORS →
NEW WINDOWS ⊥

EXISTING DOOR TO BE REPLACED WITH NEW WINDOW
NEW WINDOW
NEW DOORS
NEW WINDOW
EXISTING DOOR TO BE REPLACED WITH NEW WINDOW

NORTH REGION
SUNPORCH, TERRACE,
MARYLAND RM, POOL CANTEEN



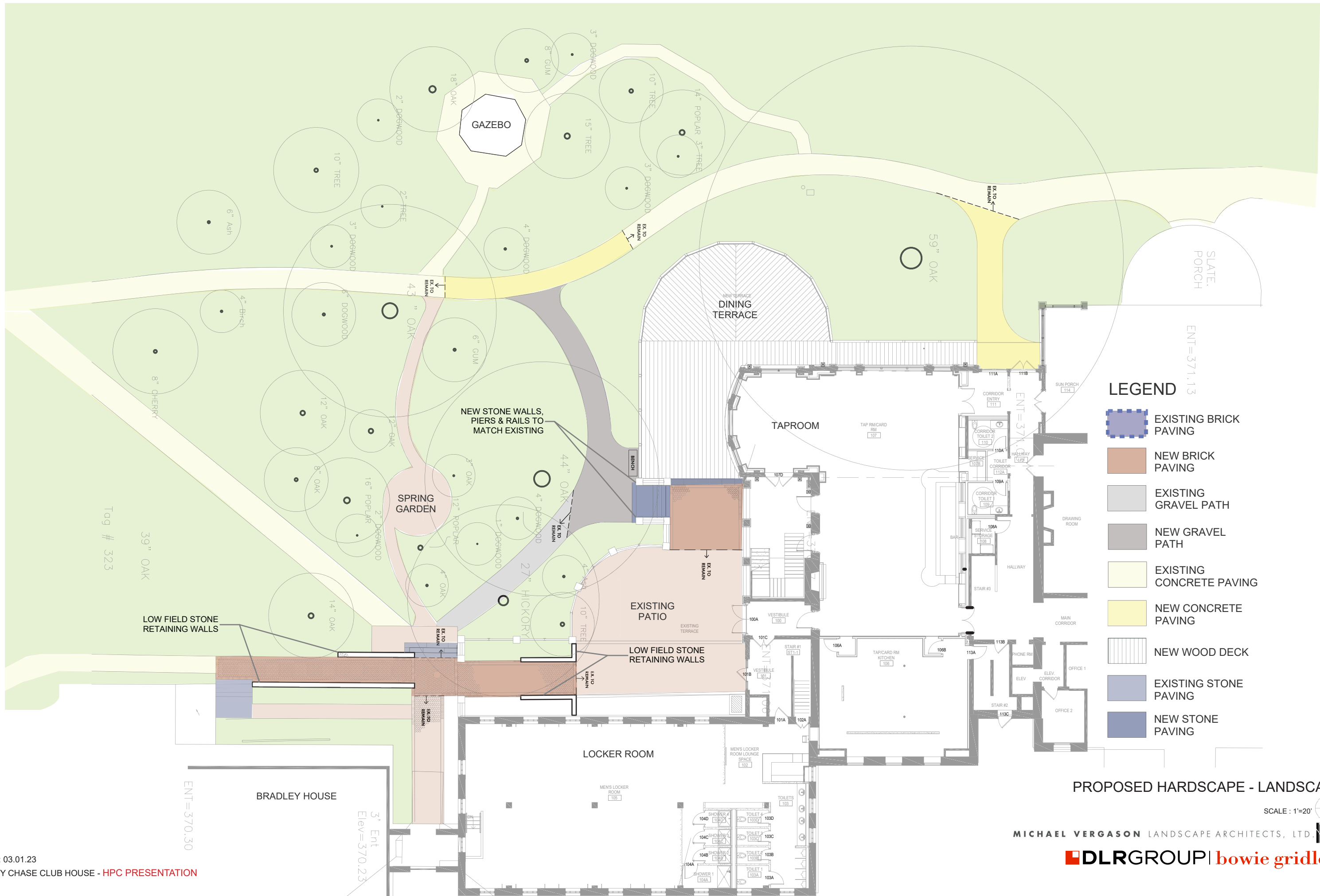
- LEGEND**
- PROPOSED DEMOLITION
 - LEAVE IN PLACE UNDER PROPOSED
 - X TREE TO BE REMOVED

PROPOSED DEMOLITION - LANDSCAPE

SCALE : 1"=20'

MICHAEL VERGASON LANDSCAPE ARCHITECTS, LTD.

DLRGROUP | bowie gridley



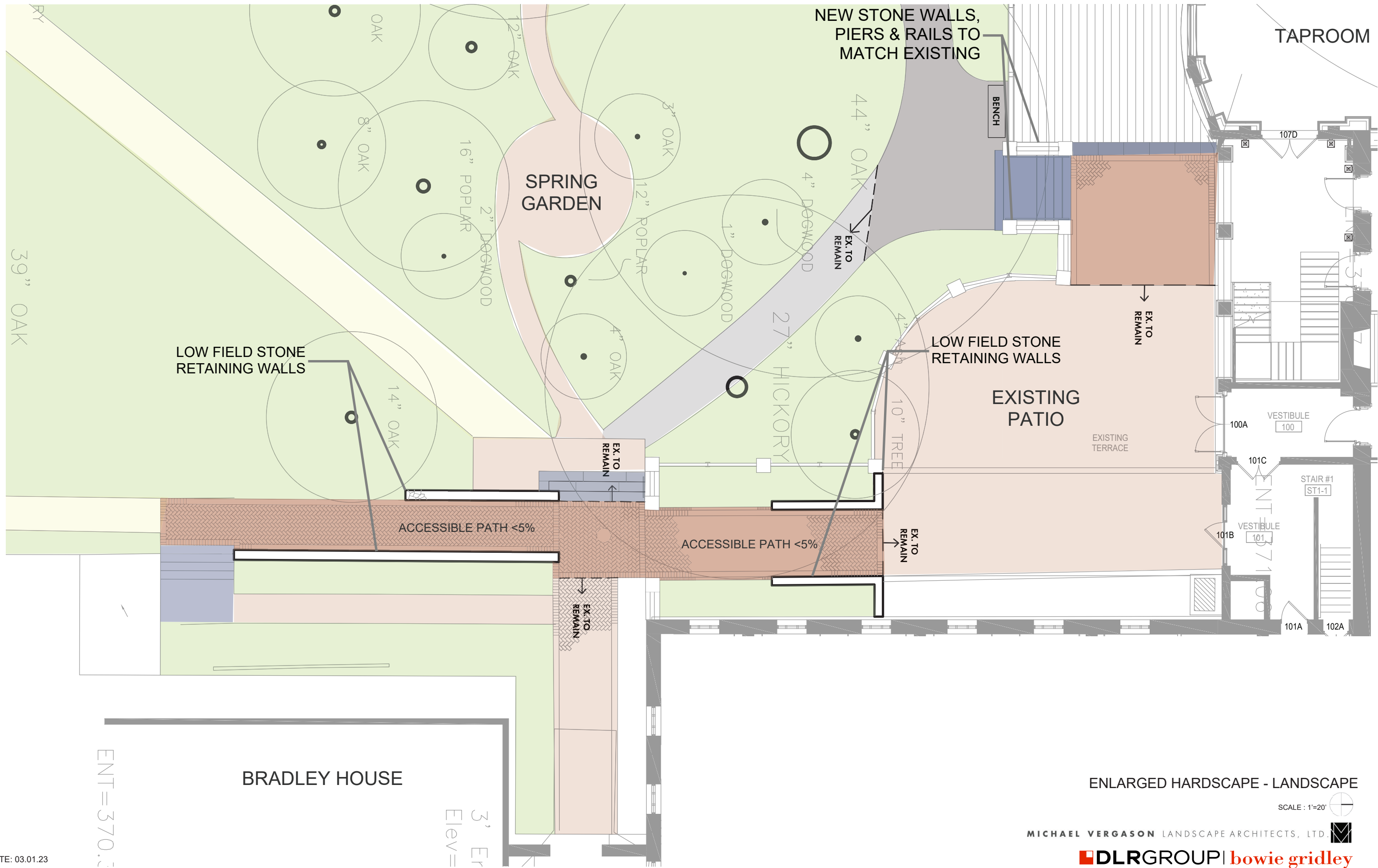
- LEGEND**
- EXISTING BRICK PAVING
 - NEW BRICK PAVING
 - EXISTING GRAVEL PATH
 - NEW GRAVEL PATH
 - EXISTING CONCRETE PAVING
 - NEW CONCRETE PAVING
 - NEW WOOD DECK
 - EXISTING STONE PAVING
 - NEW STONE PAVING

PROPOSED HARDSCAPE - LANDSCAPE

SCALE : 1"=20'

MICHAEL VERGASON LANDSCAPE ARCHITECTS, LTD.

DLRGROUP | bowie gridley



EXISTING PLANTS

SHRUBS

- BUXUS VARIETIES
- CAMELLIA VARIETIES
- EDGEWORTHIA
- HYDRANGEA VARIETIES
- RHODENDRON VARIETIES
- TAXUS REPANDENS
- VACCINIUM

GROUNDCOVER MIX

- ANEMONE
- AQUILEGIA
- ASTER DIVARICATUS
- ASARUM SPLENDENS
- BRUNNERA MACROPHYLLA
- CYCLAMEN
- DRYOPTERIS ERYTHROSORA
- HELLEBORUS ORIENTALIS VARIETIES
- HEPATIC
- HEUCHERA VARIETIES
- MAIANthemum RACEMOSUM
- PACHYSANDRA TERMINALIS
- PULMONARIA
- PRIMULA
- POLEMONIUM REPTANS
- SPRING EPHEMERALS

PROPOSED PLANTS

SHRUBS

- FOTHERGILLA
- RHODENDRON X SNOWBIRD
- RHODENDRON X YAKU PRINCESS
- VACCINIUM ANGUSTIFOLIUM

GROUNDCOVER MIX

- AQUILEGIA
- ASARUM SPLENDENS
- BRUNNERA MACROPHYLLA
- CHELONE GLABRA
- FERN VARIETIES
- HELLEBORUS ORIENTALIS VARIETIES
- HEUCHERA VARIETIES
- POLYGONATUM
- BULBS



LEGEND

- EXISTING TREE
- PROPOSED DECIDUOUS SHRUB
- PROPOSED EVERGREEN SHRUB
- PROPOSED GROUNDCOVER MIX

PROPOSED PLANTING - LANDSCAPE

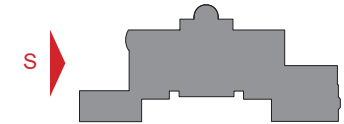
SCALE: 1"=20'
MICHAEL VERGASON LANDSCAPE ARCHITECTS, LTD.

DLRGROUP | bowie gridley



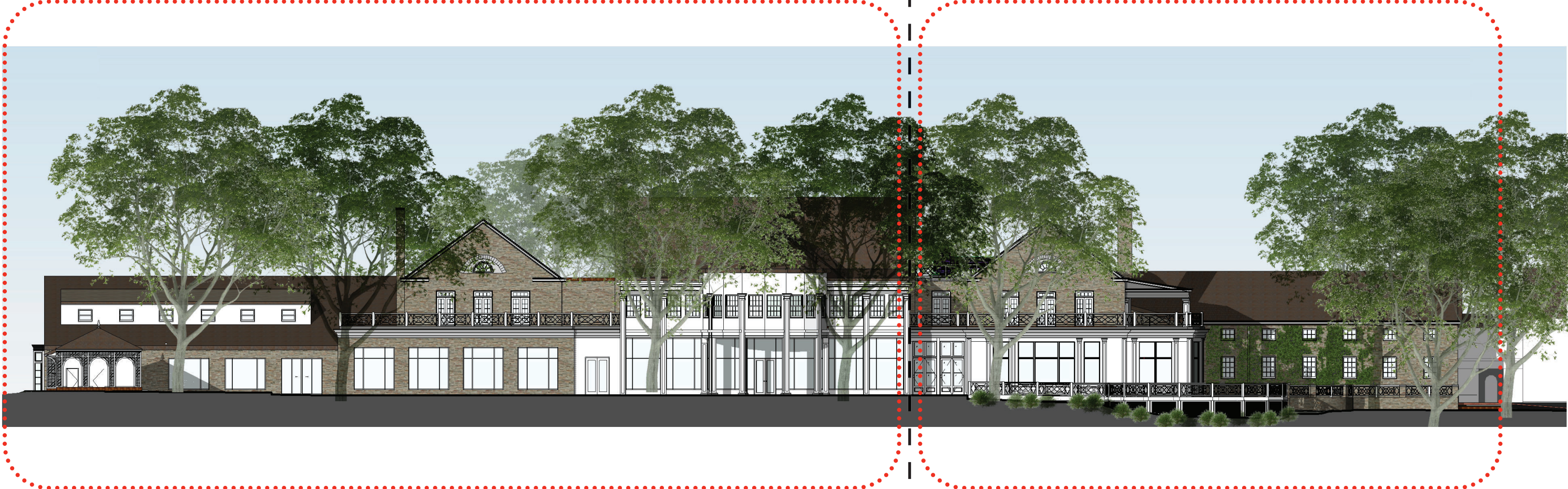
TAP RM/CARD RM, NEW TERRACE, MEN'S LOCKER ROOM
 DOOR AND WINDOW REPLACEMENTS, REWORK EXISTING TERRACE AND ADD NEW TERRACE

PROPOSED AREA OF NEW WORK



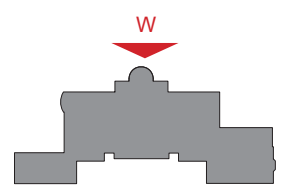
SOUTH ELEVATION

NORTH REGION | SOUTH REGION



SUNPORCH, TERRACE RM, MARYLAND RM, POOL CANTEEN
 INTERIOR ALTERATIONS, DOOR AND WINDOW REPLACEMENTS TO MATCH EXISTING

TAP RM/CARD RM, NEW TERRACE, MEN'S LOCKER ROOM
 INTERIOR ALTERATIONS, DOOR AND WINDOW REPLACEMENTS TO MATCH EXISTING,
 REWORK EXISTING TERRACE AND ADD NEW TERRACE



OVERALL WEST ELEVATION

← NORTH REGION



TERRACE RM AND POOL CANTEEN

DOOR AND WINDOW REPLACEMENTS TO MATCH EXISTING

PROPOSED AREA OF NEW WORK



WEST ELEVATION - NORTH REGION

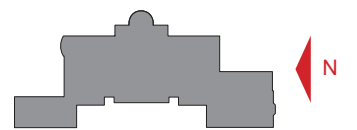
DLRGROUP | bowie gridley



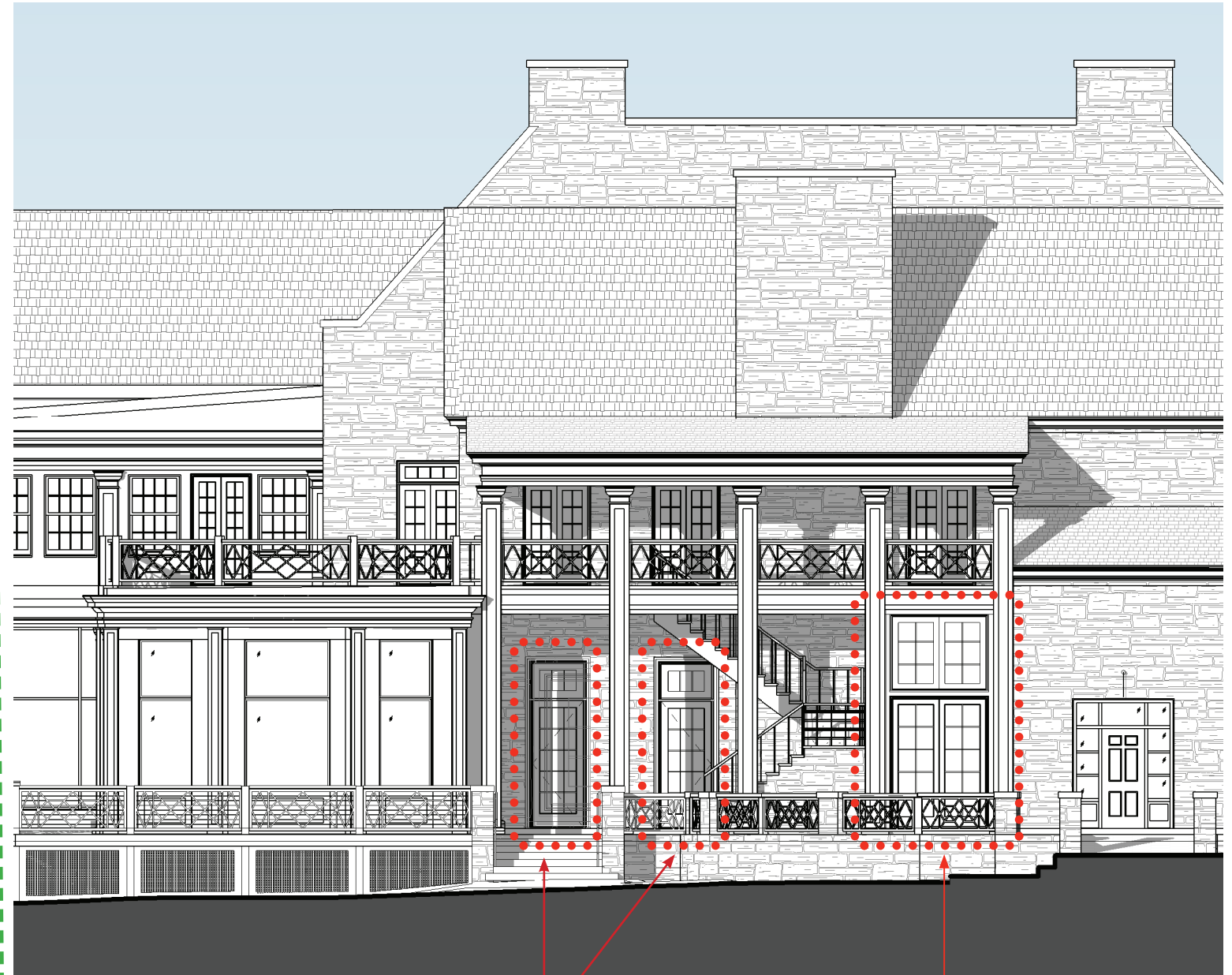
TERRACE RM AND POOL CANTEEN

DOOR AND WINDOW REPLACEMENTS TO MATCH EXISTING

PROPOSED AREA OF
NEW WORK

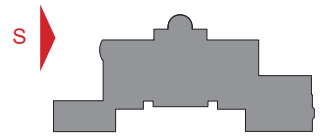


NORTH ELEVATION



← EXISTING PROPOSED →

PROPOSED NEW DOORS



SOUTH ELEVATION DOOR REPLACEMENT

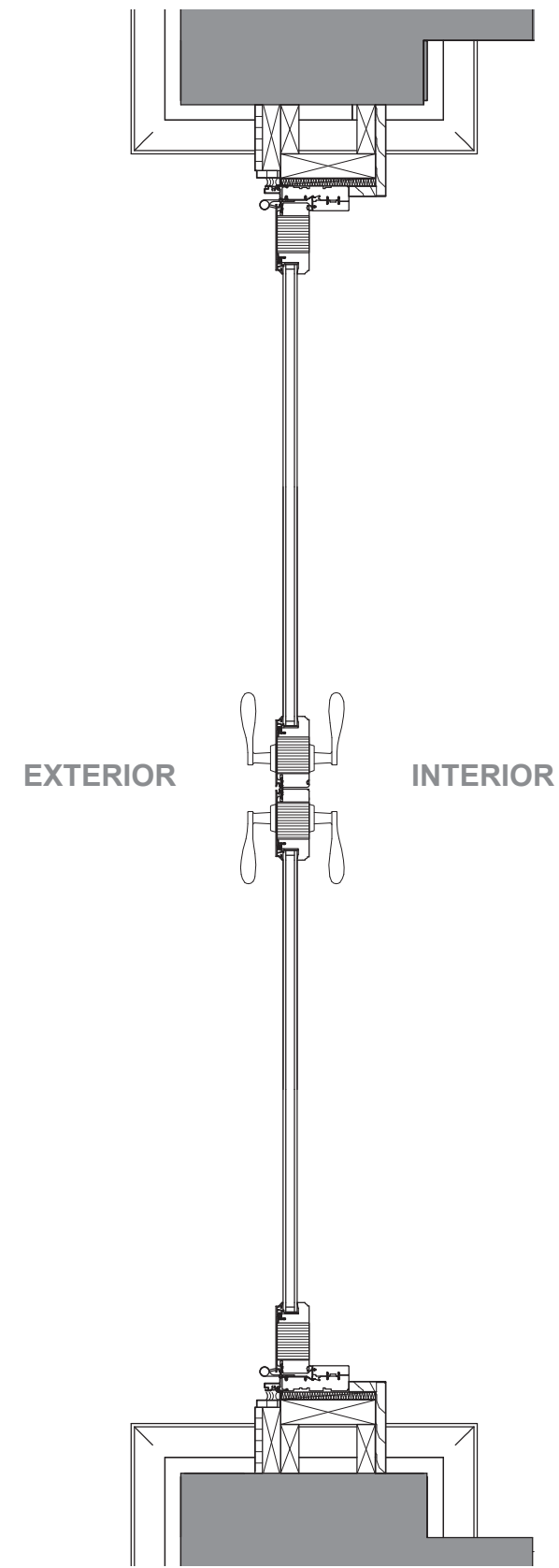
DLRGROUP | bowie gridley



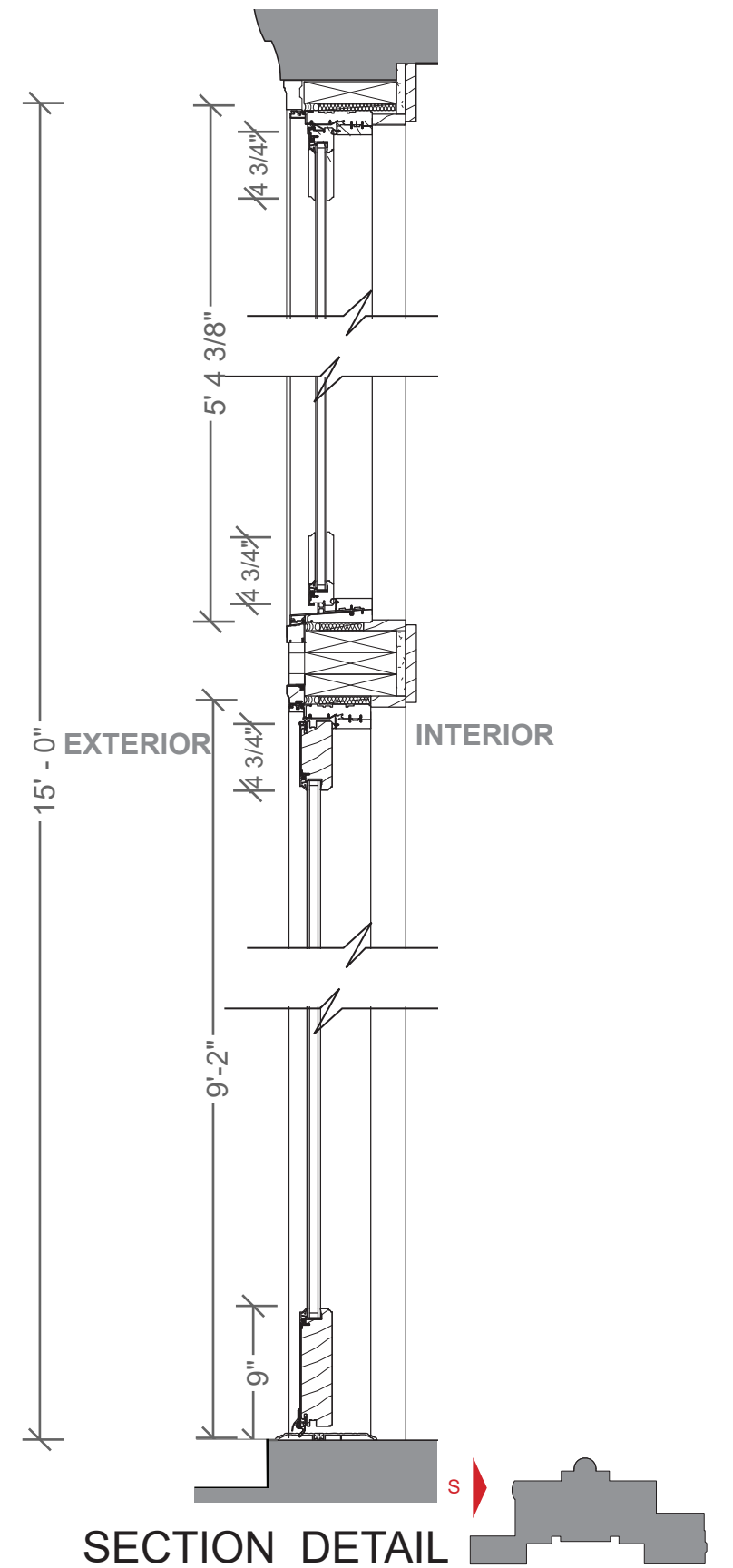
EXISTING



PROPOSED ELEVATION



PLAN DETAIL

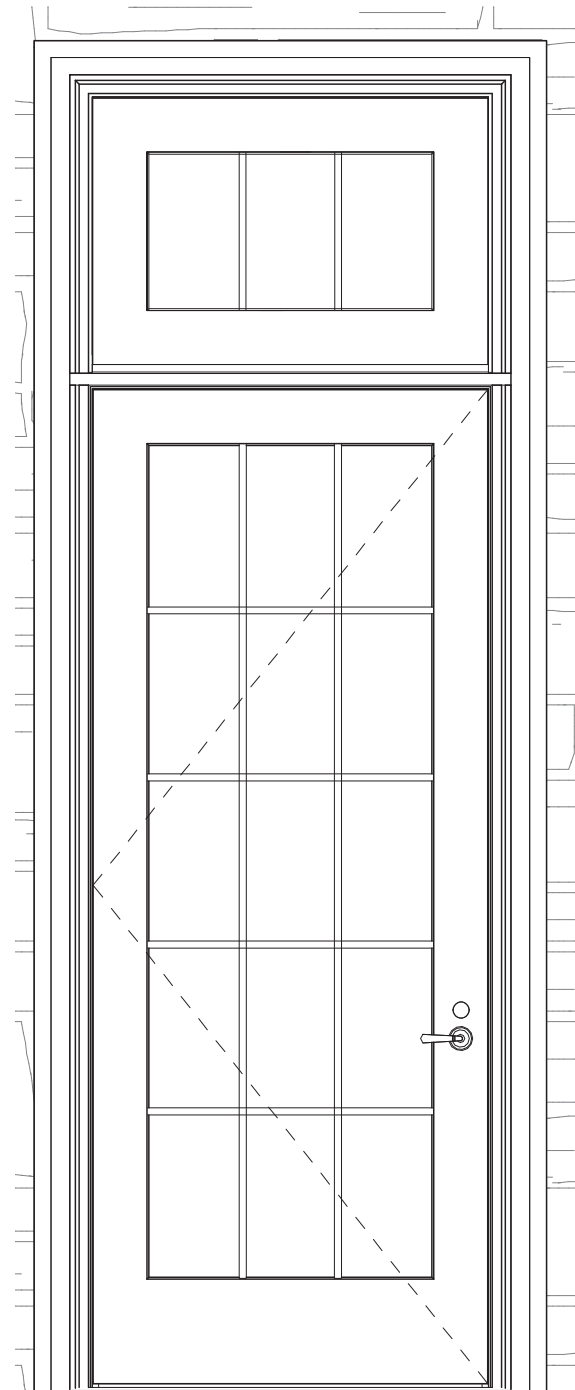


SECTION DETAIL

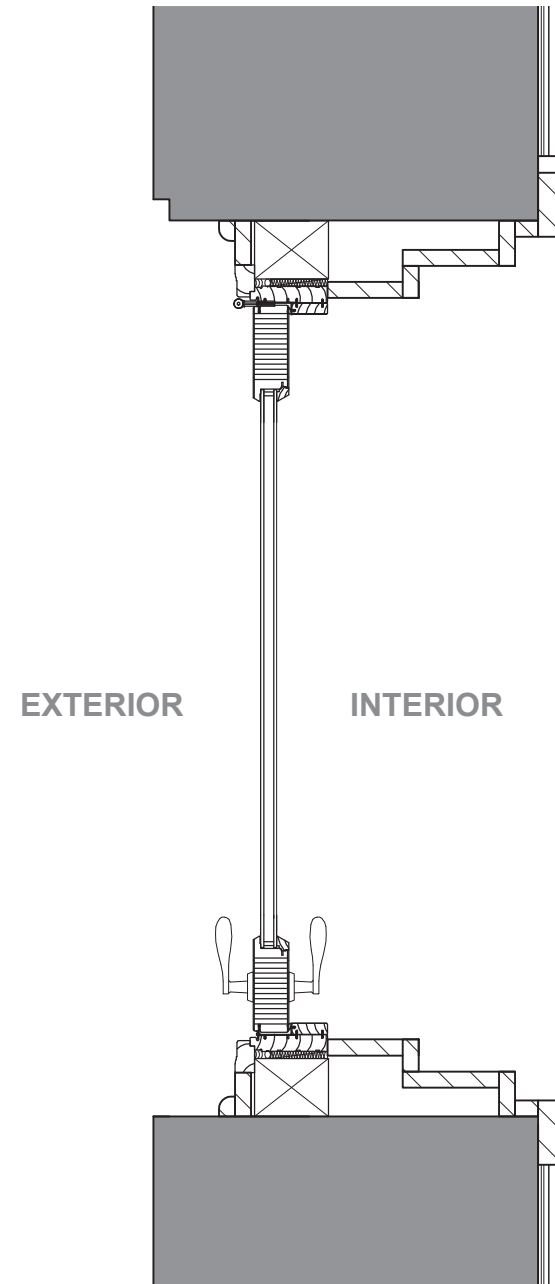
SOUTH ELEVATIONS PROPOSED DOOR



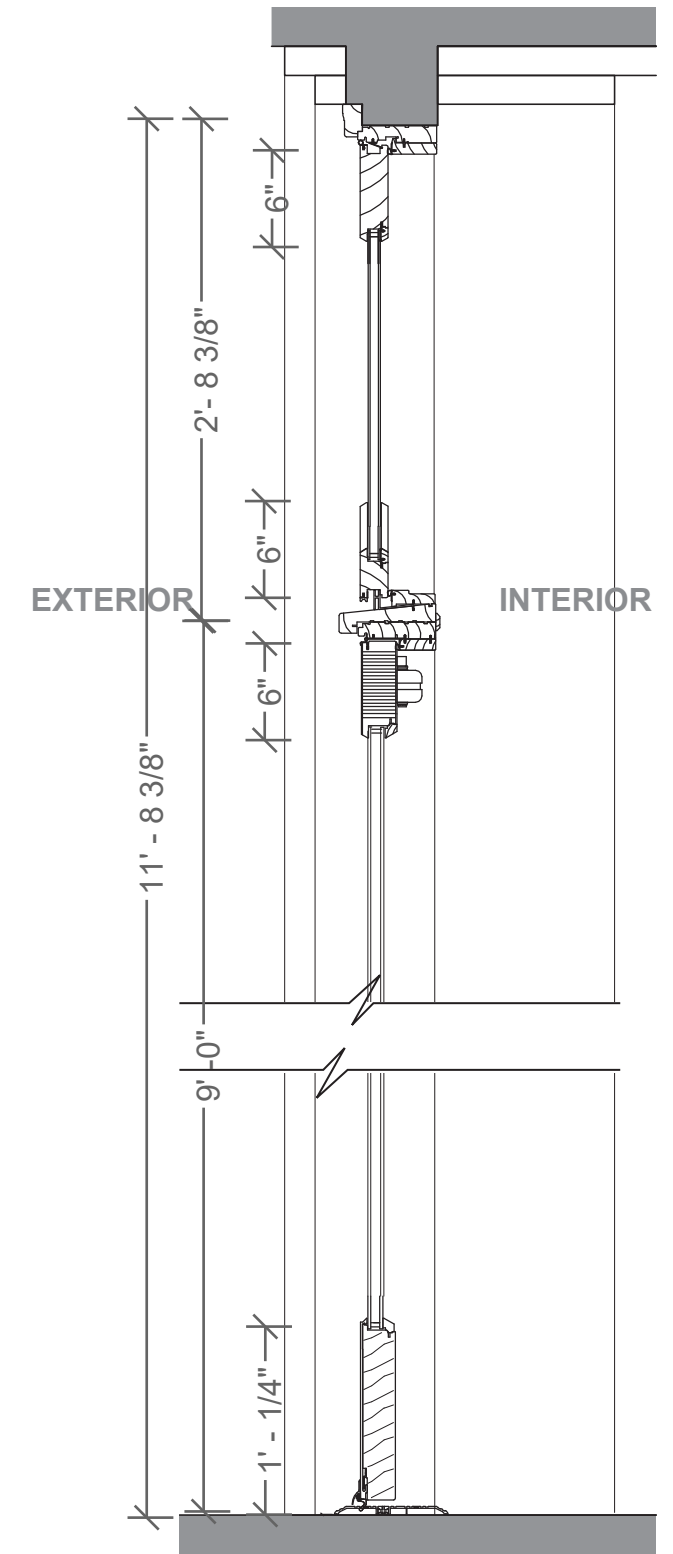
EXISTING



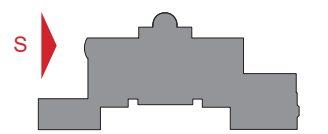
PROPOSED ELEVATION



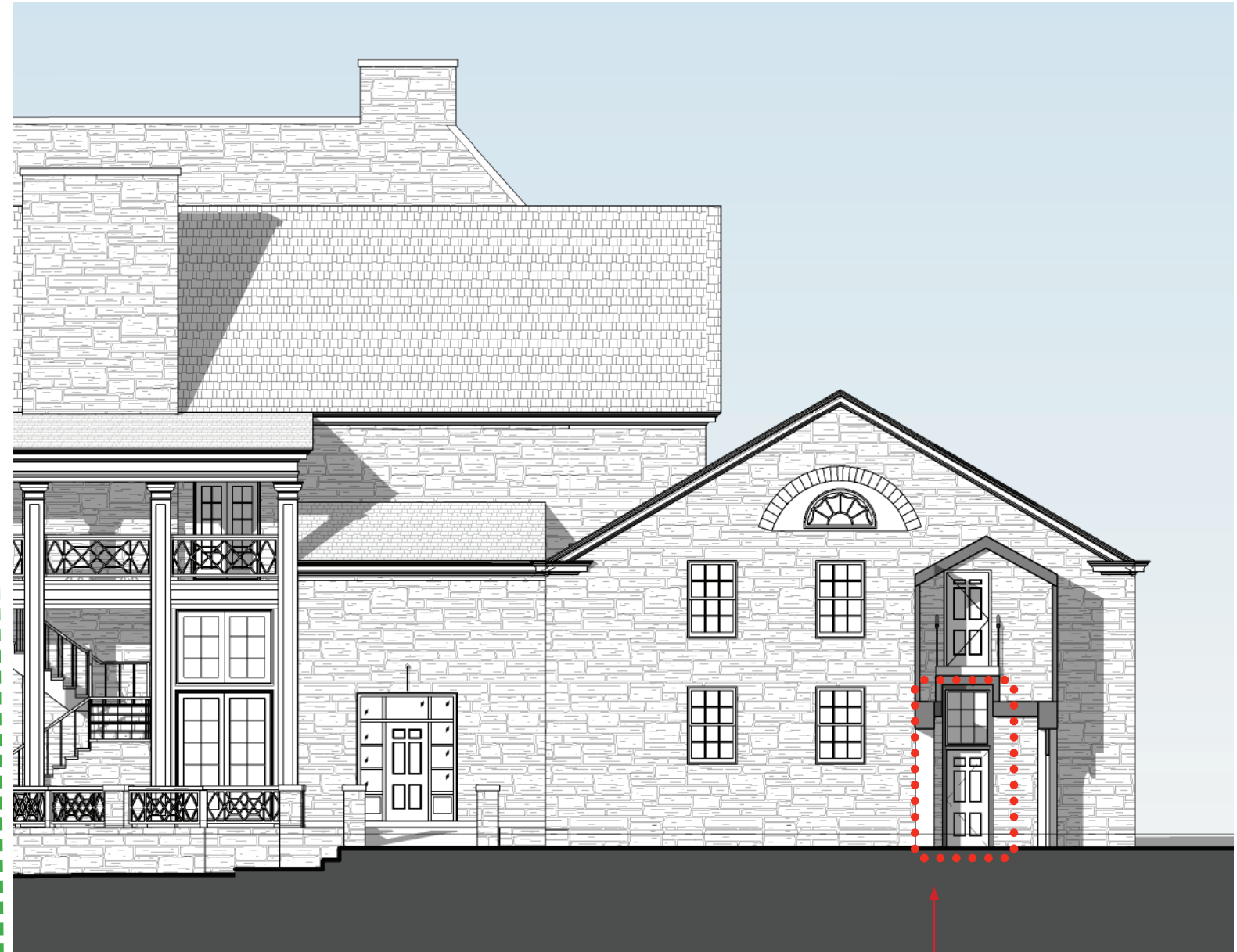
PLAN DETAIL



SECTION DETAIL



SOUTH ELEVATIONS PROPOSED DOOR



PROPOSED DOOR

EXISTING PROPOSED



SOUTH ELEVATIONS PROPOSED DOOR

DLRGROUP | bowie gridley



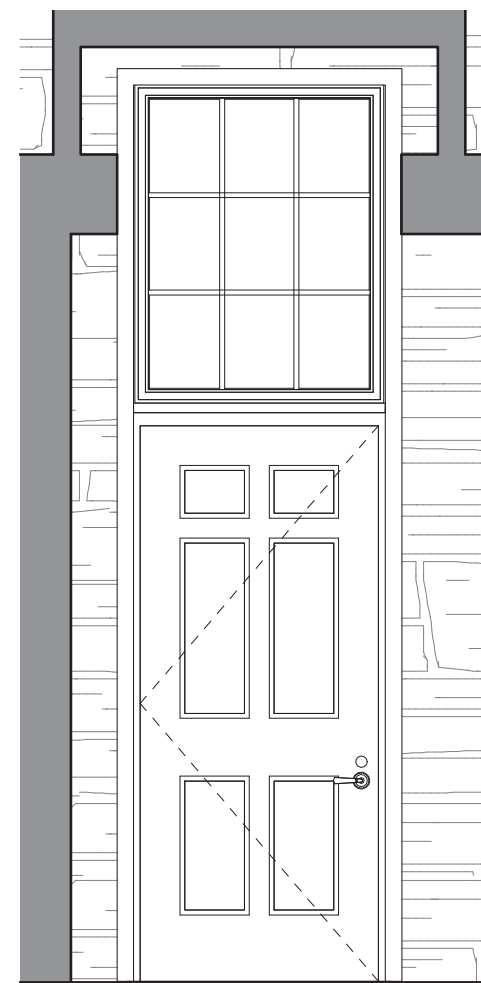
EXISTING



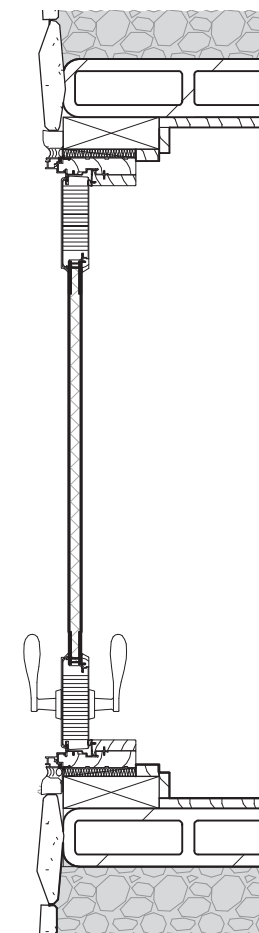
EXISTING



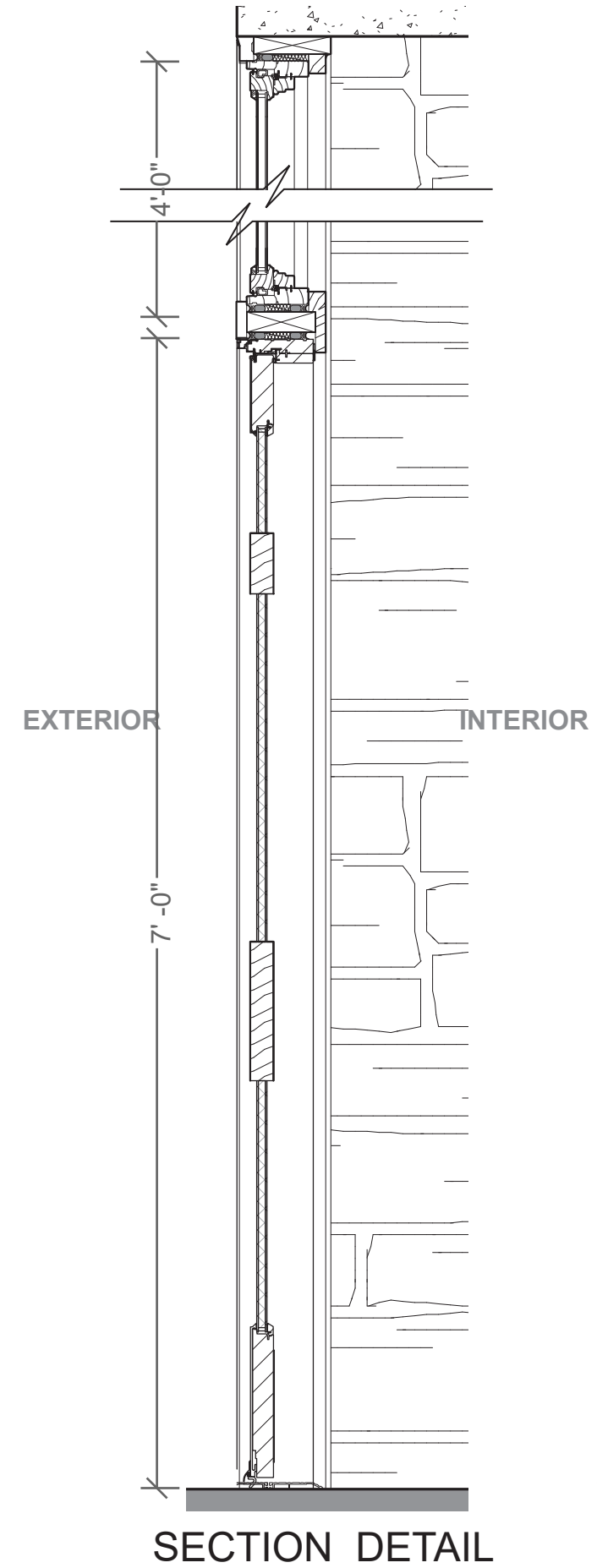
EXISTING



PROPOSED ELEVATION



PLAN DETAIL



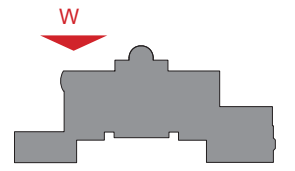
SECTION DETAIL

SOUTH ELEVATIONS PROPOSED DOOR



← EXISTING PROPOSED →

PROPOSED NEW DOOR



WEST ELEVATION PROPOSED NEW DOOR

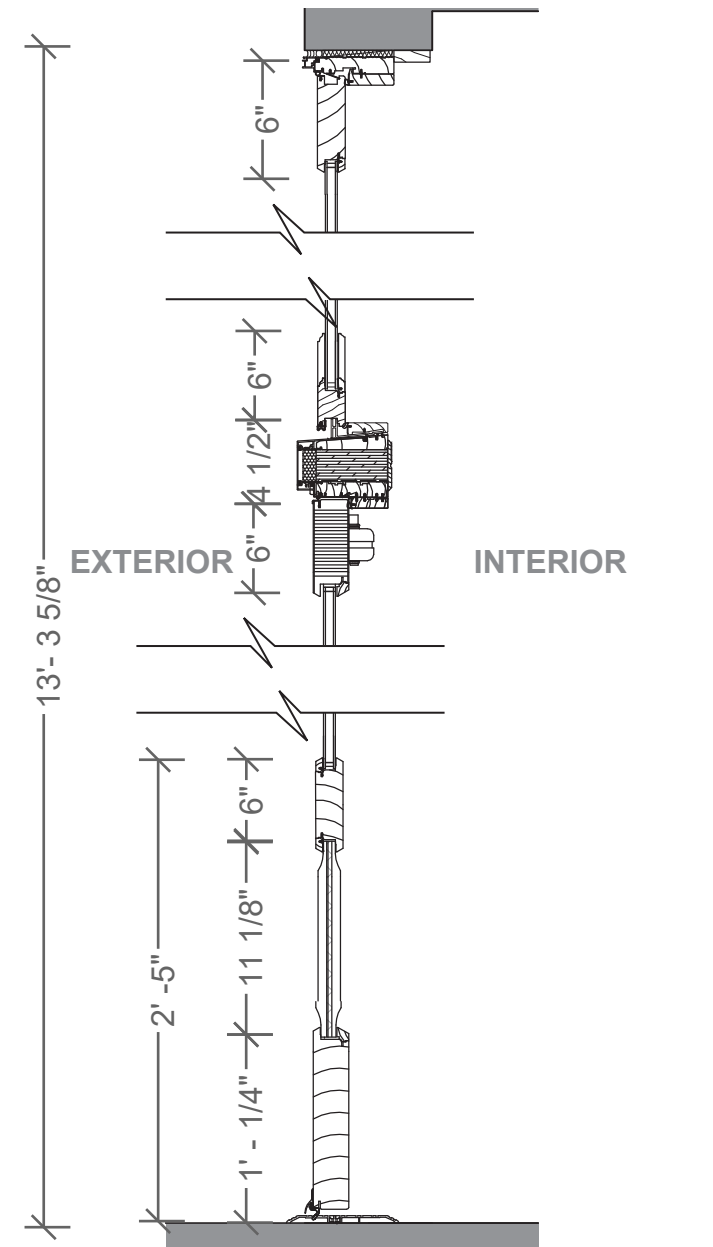
DLRGROUP | bowie gridley



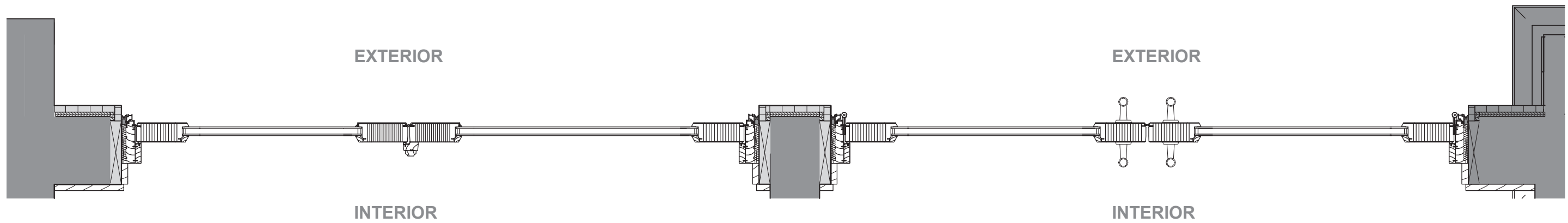
EXISTING



PROPOSED ELEVATION



SECTION DETAIL

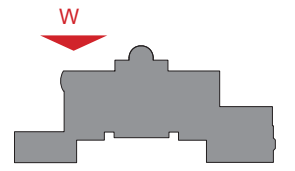


PLAN DETAIL



REPLACE FIXED WINDOWS IN KIND
REPLACE TRIPLE HUNG WITH FIXED
WINDOWS

EXISTING PROPOSED

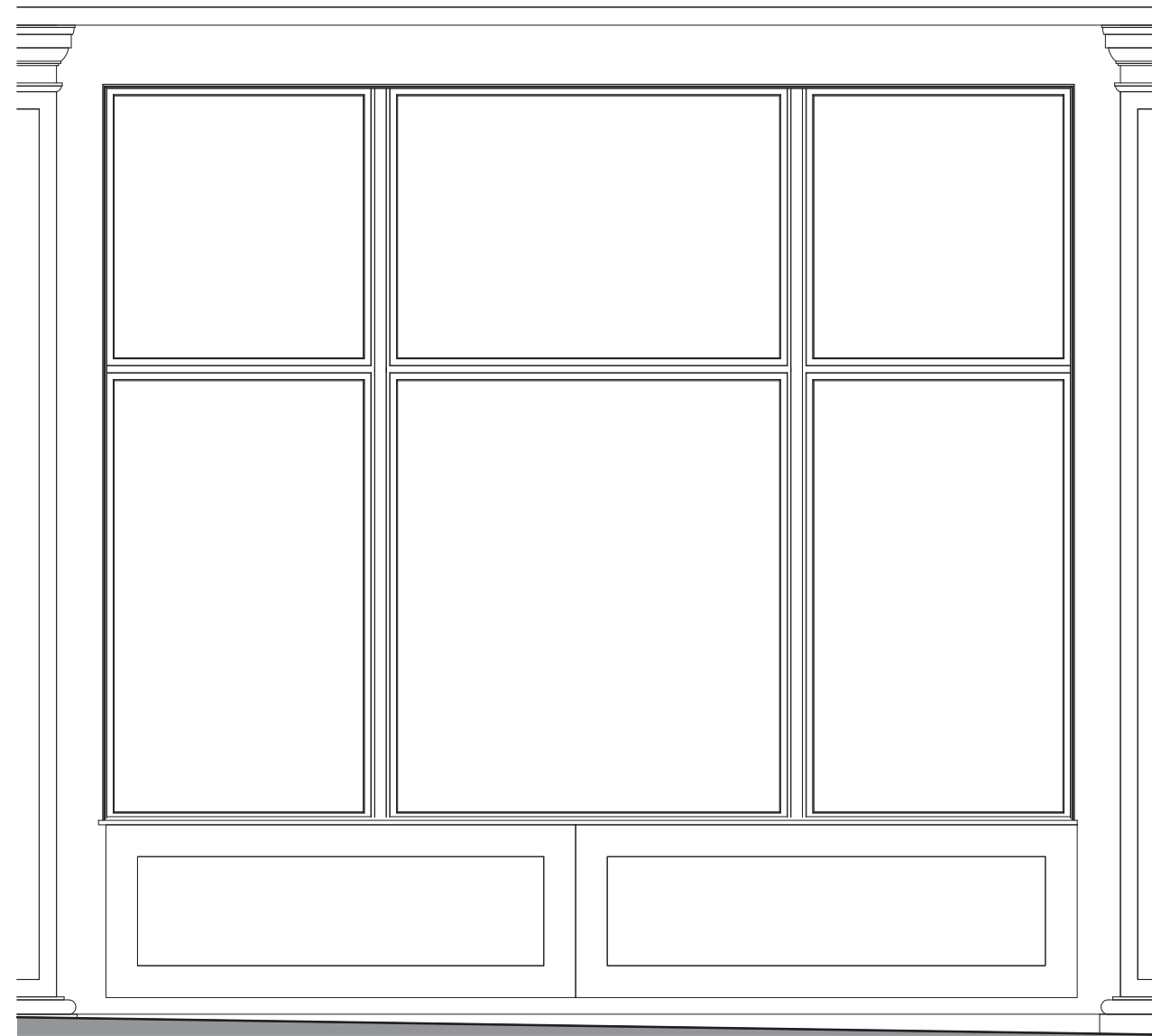


WEST ELEVATION WINDOW REPLACEMENT

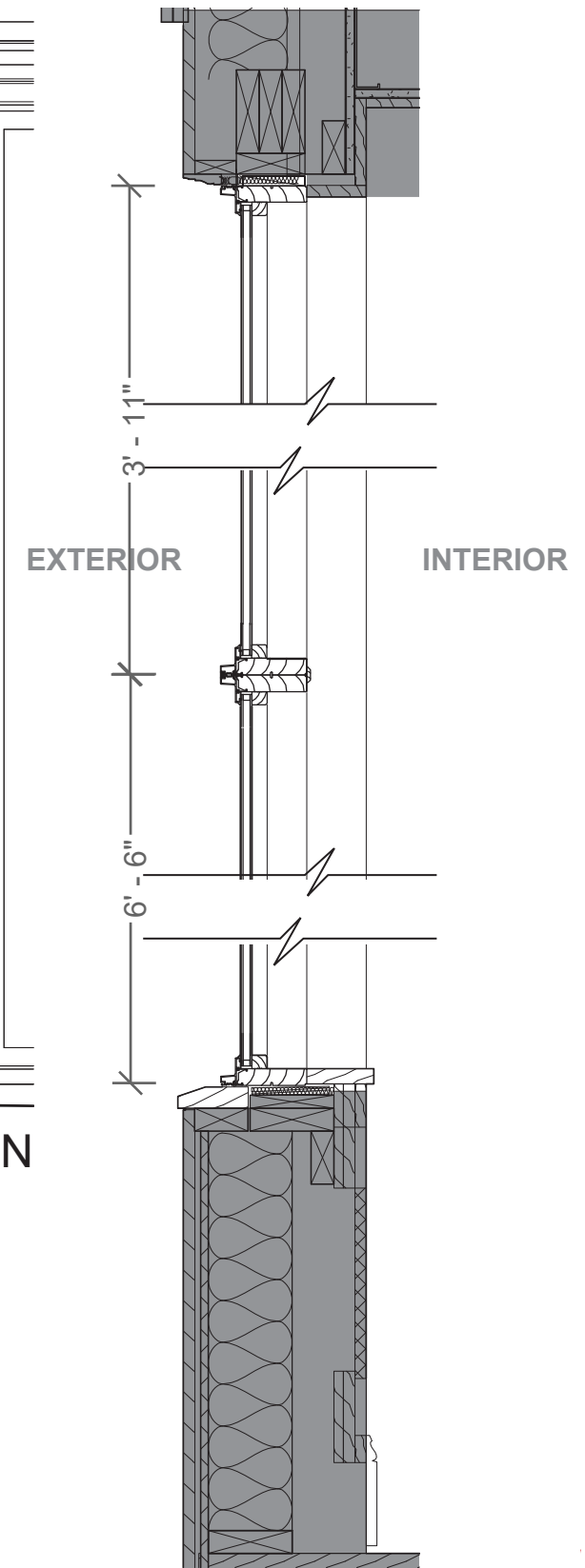
DLRGROUP | bowie gridley



EXISTING

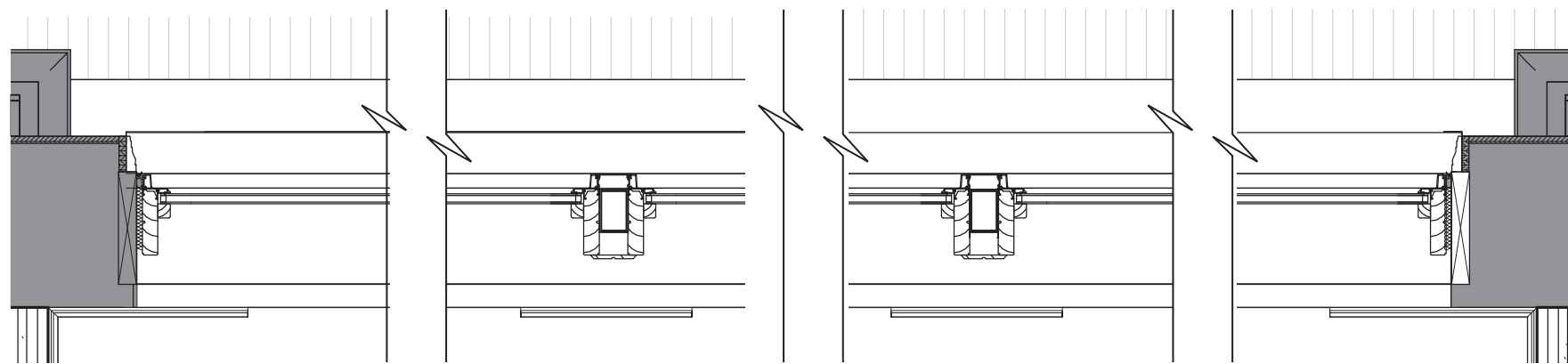


PROPOSED ELEVATION



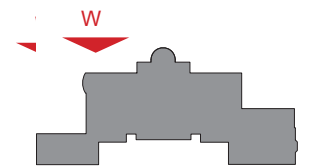
SECTION DETAIL

EXTERIOR



INTERIOR

PLAN DETAIL



WEST ELEVATION WINDOWS - TYPICAL PROPOSED WINDOW



EXISTING

PROPOSED



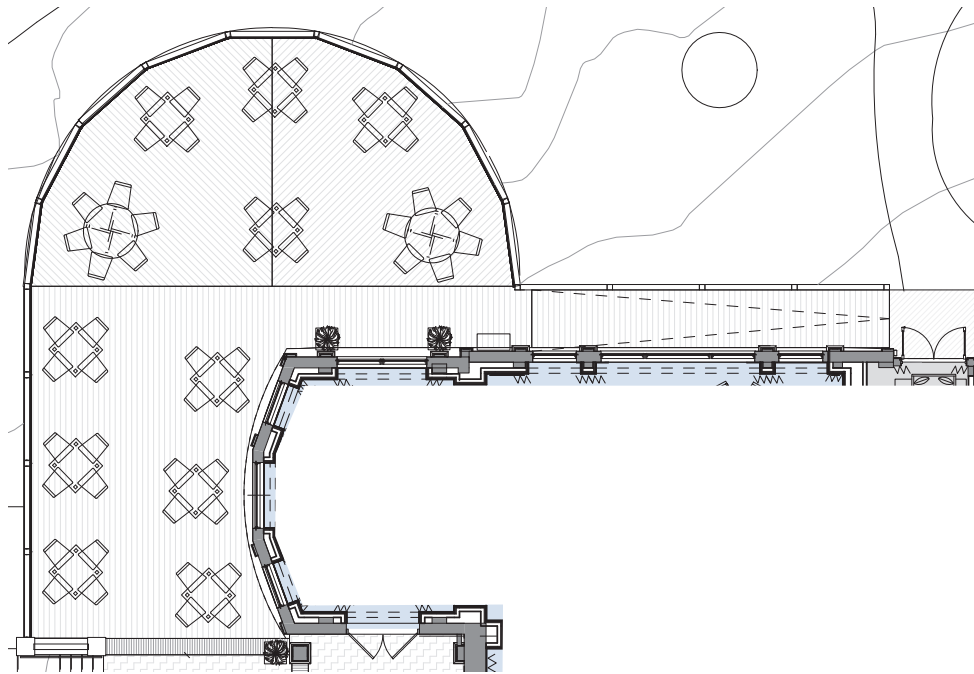
PROPOSED NEW
TERRACE

WEST ELEVATION PROPOSED NEW TERRACE

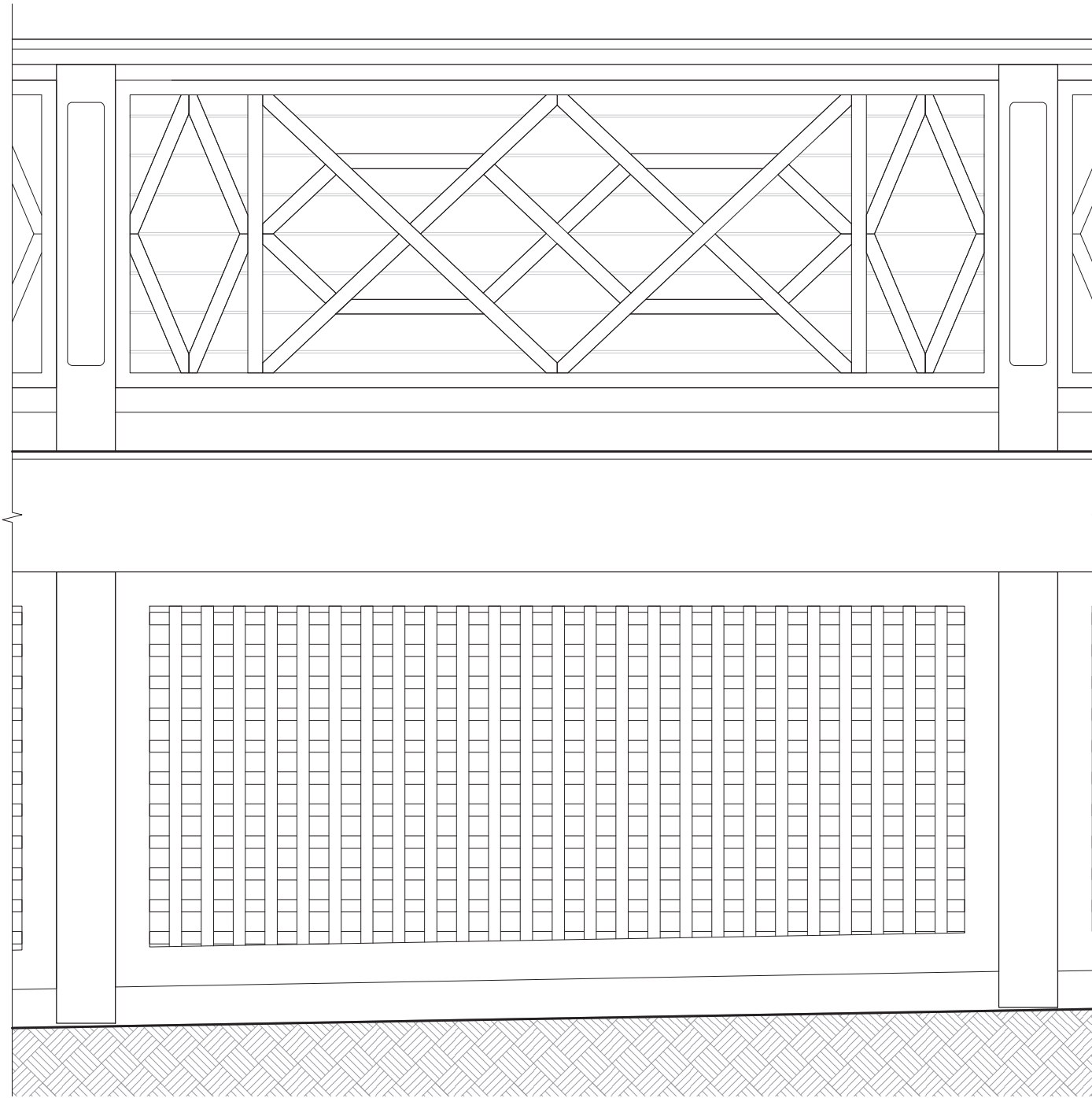
DLRGROUP | bowie gridley



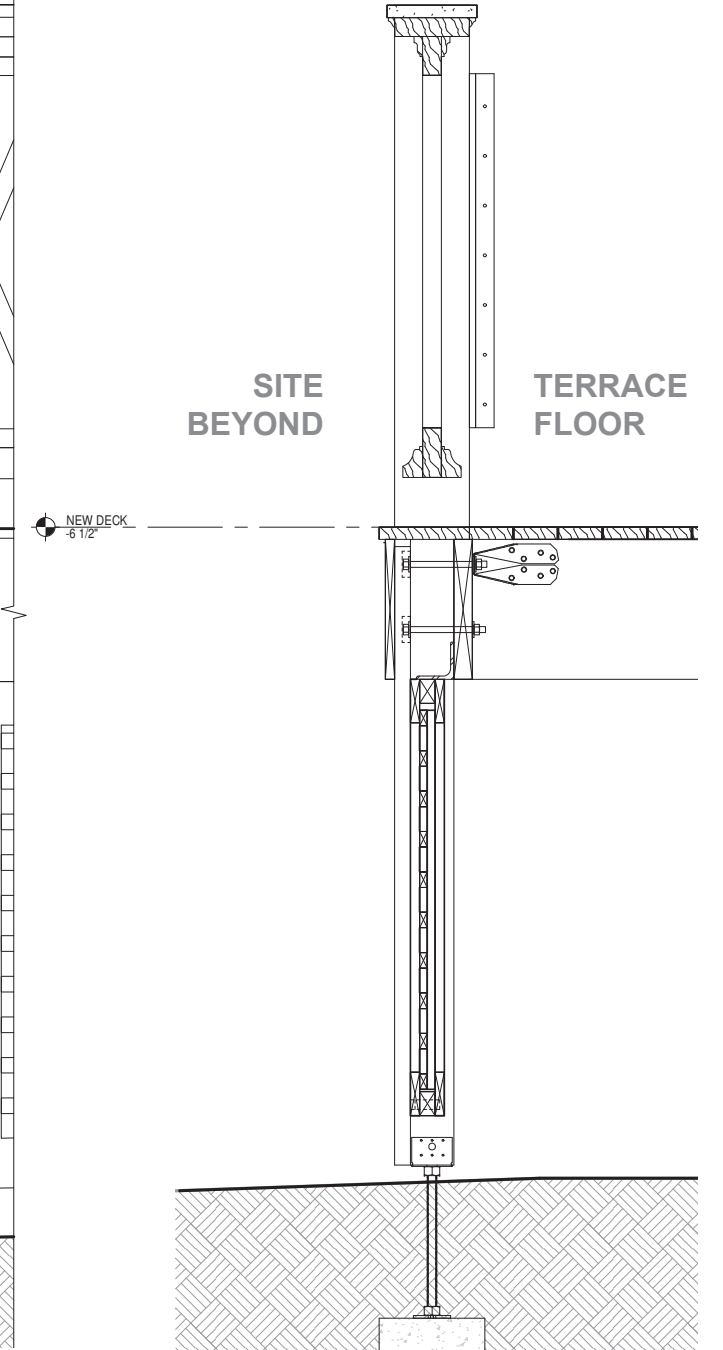
EXISTING



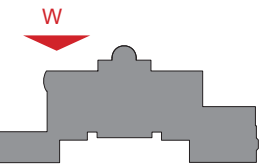
PROPOSED PLAN



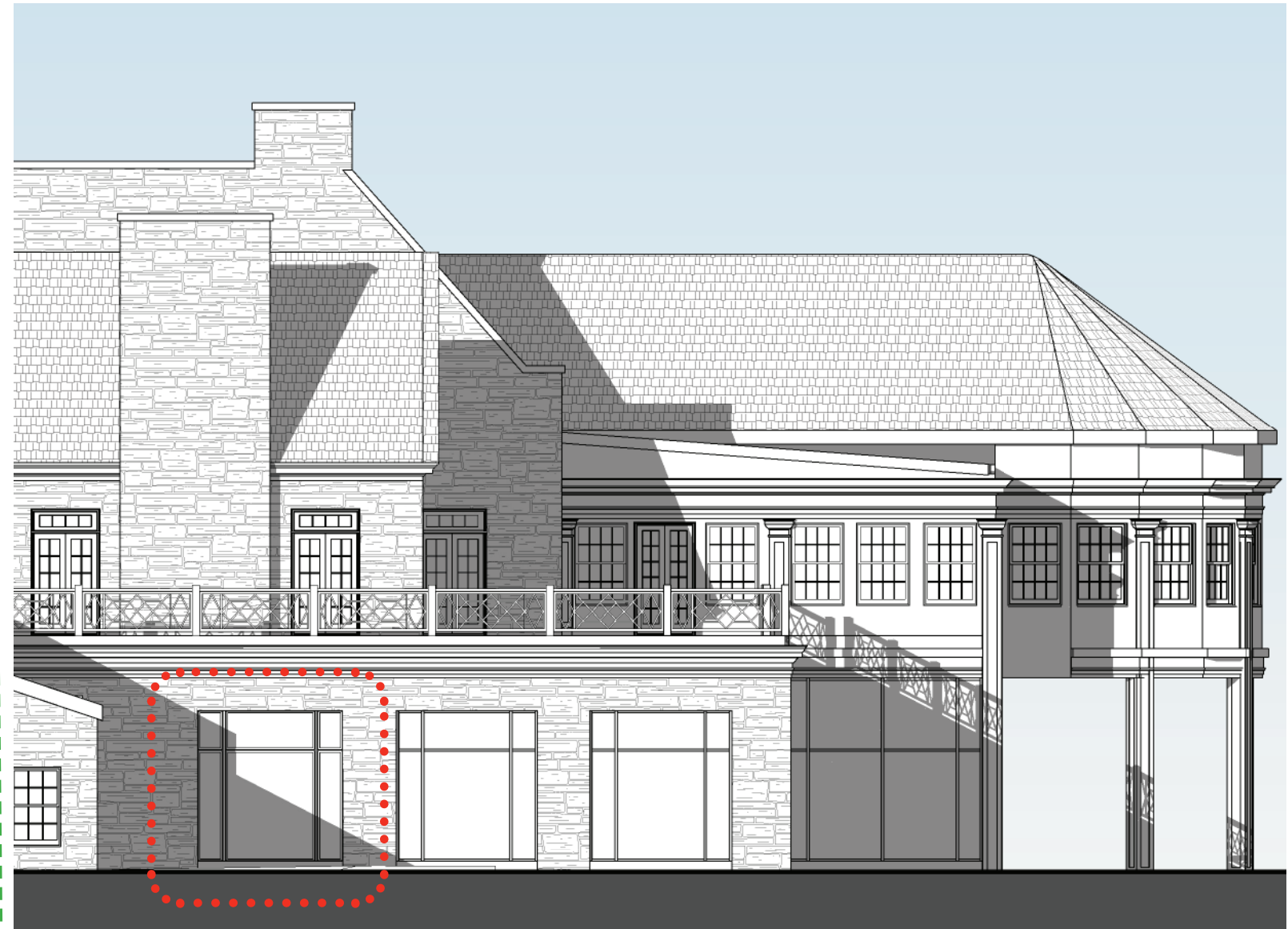
PROPOSED ELEVATION



SECTION DETAIL

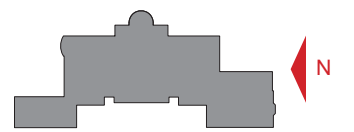


WEST ELEVATION PROPOSED NEW RAILING



PROPOSED WINDOW

EXISTING PROPOSED

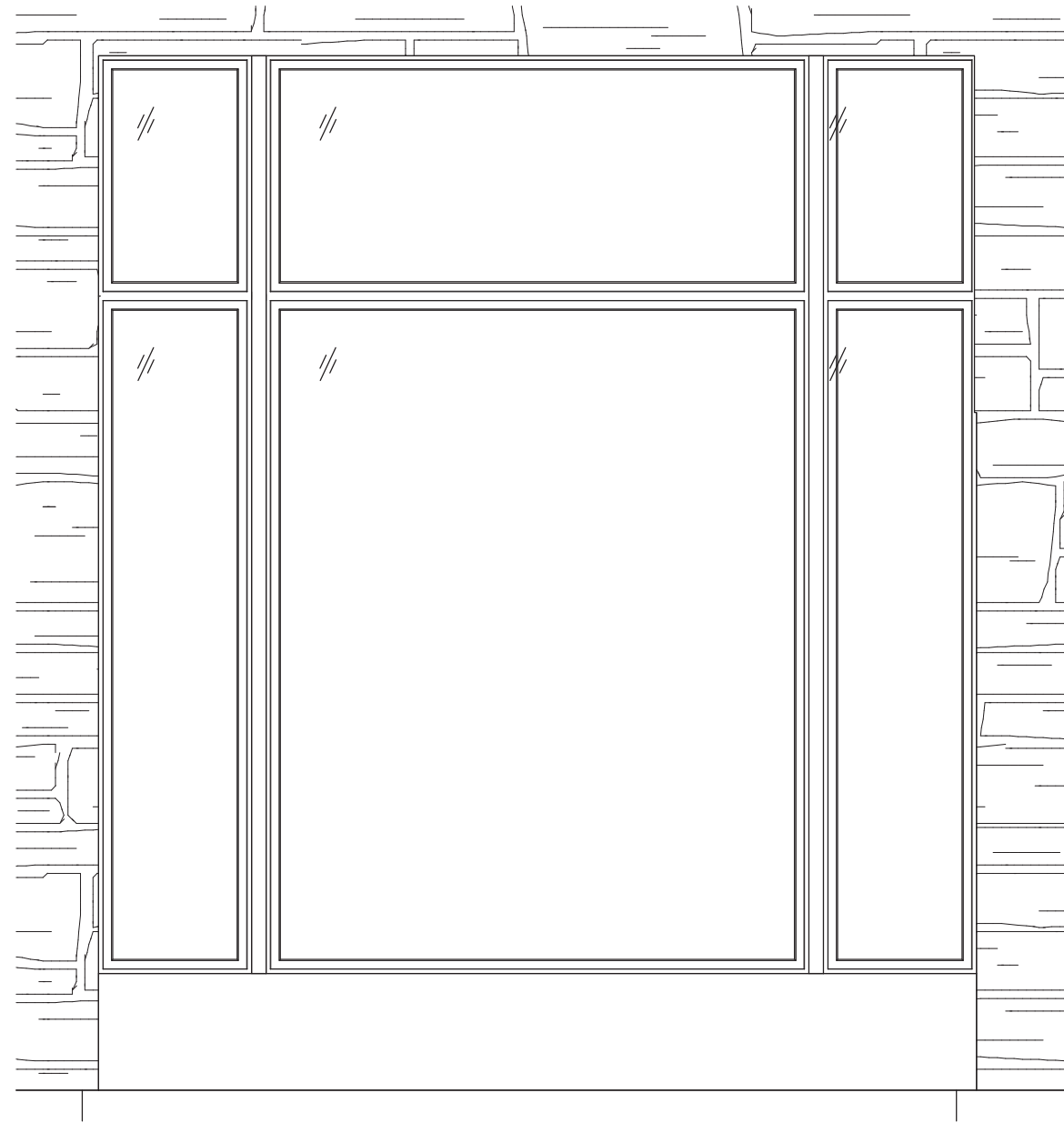


NORTH ELEVATION PROPOSED NEW WINDOW

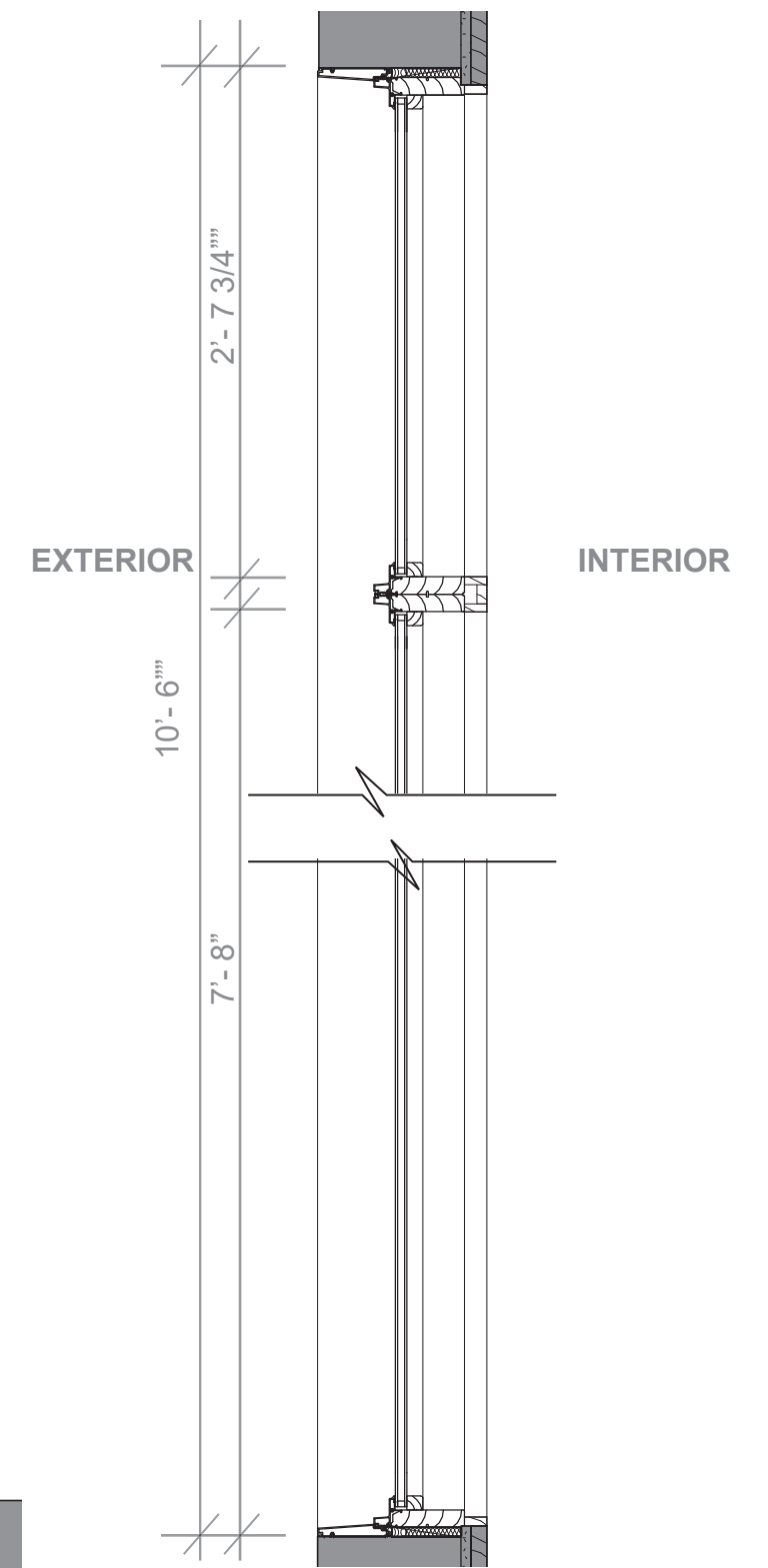
DLRGROUP | bowie gridley



EXISTING



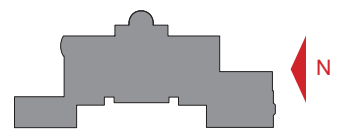
PROPOSED ELEVATION



SECTION DETAIL



PLAN DETAIL

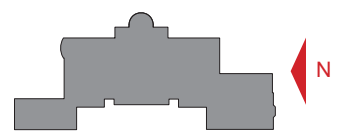


NORTH ELEVATION PROPOSED NEW WINDOW



PROPOSED WORK

← EXISTING PROPOSED →



NORTH ELEVATION - POOL CANTEEN PROPOSED NEW DOORS AND WINDOWS



EXISTING



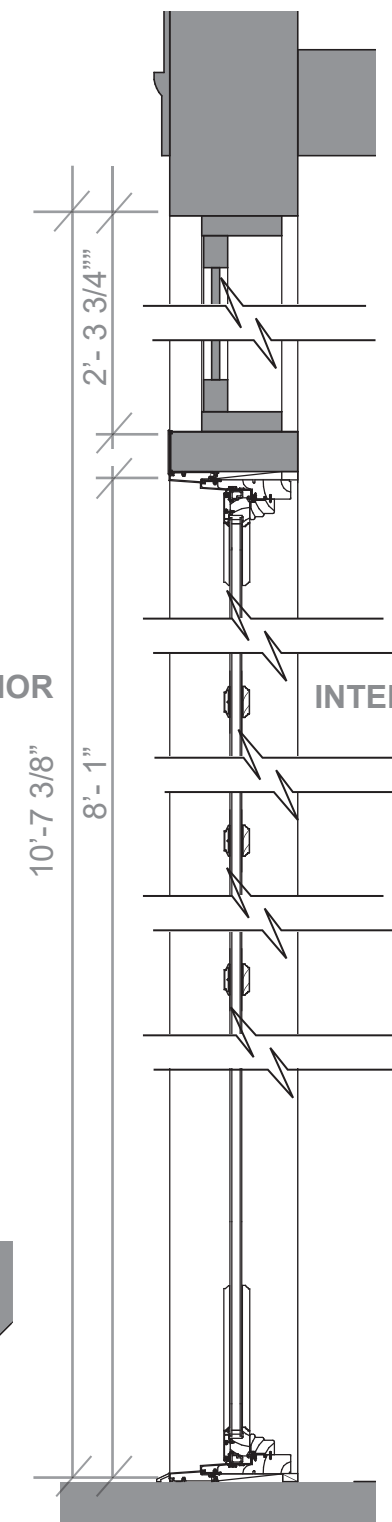
PROPOSED ELEVATION

EXTERIOR

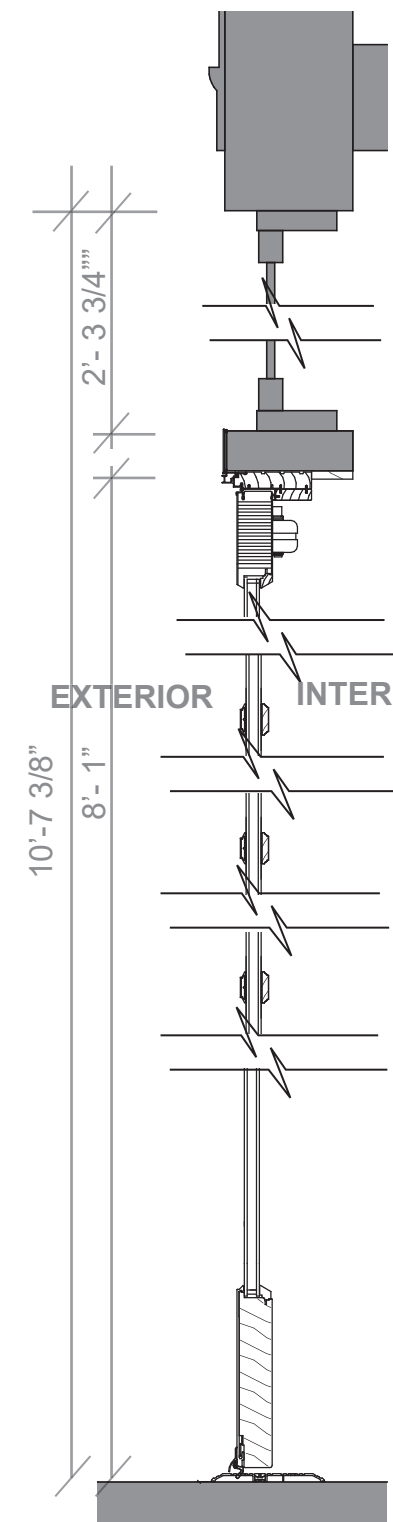
INTERIOR

EXTERIOR

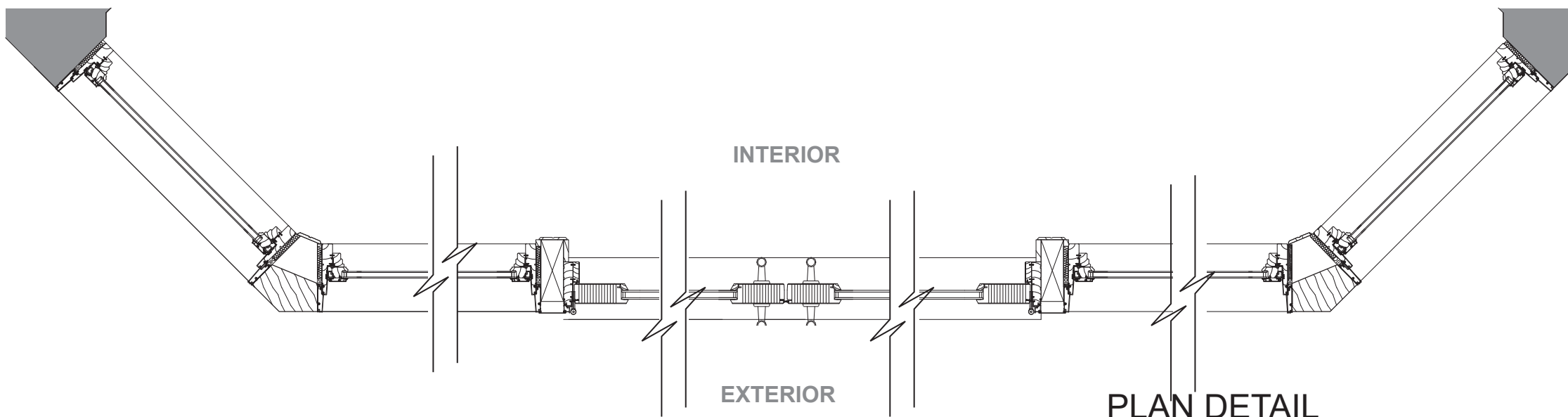
INTERIOR



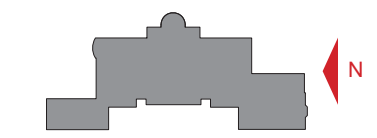
DOOR SECTION
DETAIL



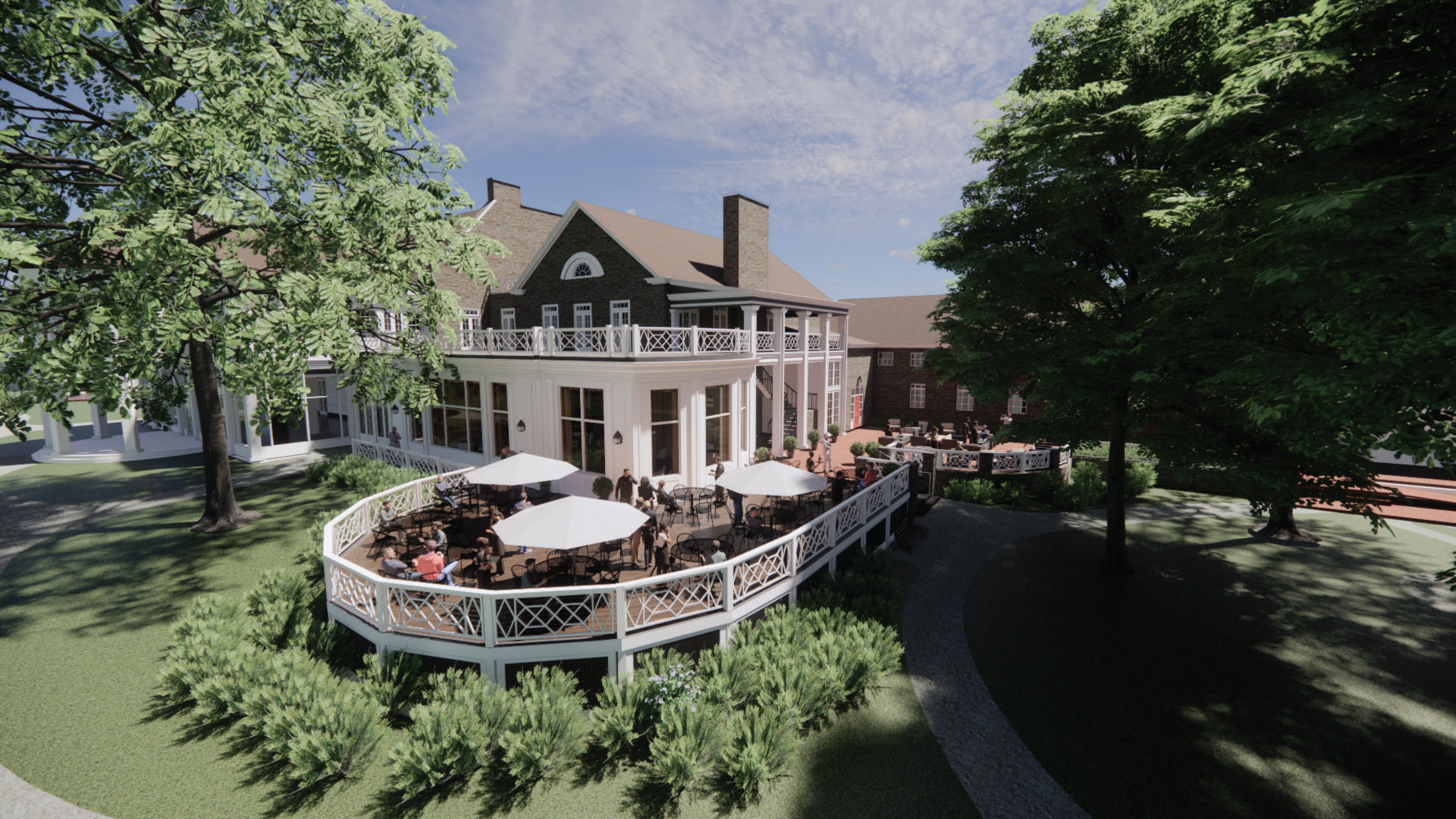
WINDOW SECTION
DETAIL



PLAN DETAIL



NORTH ELEVATION PROPOSED POOL CANTEEN DOORS AND WINDOWS



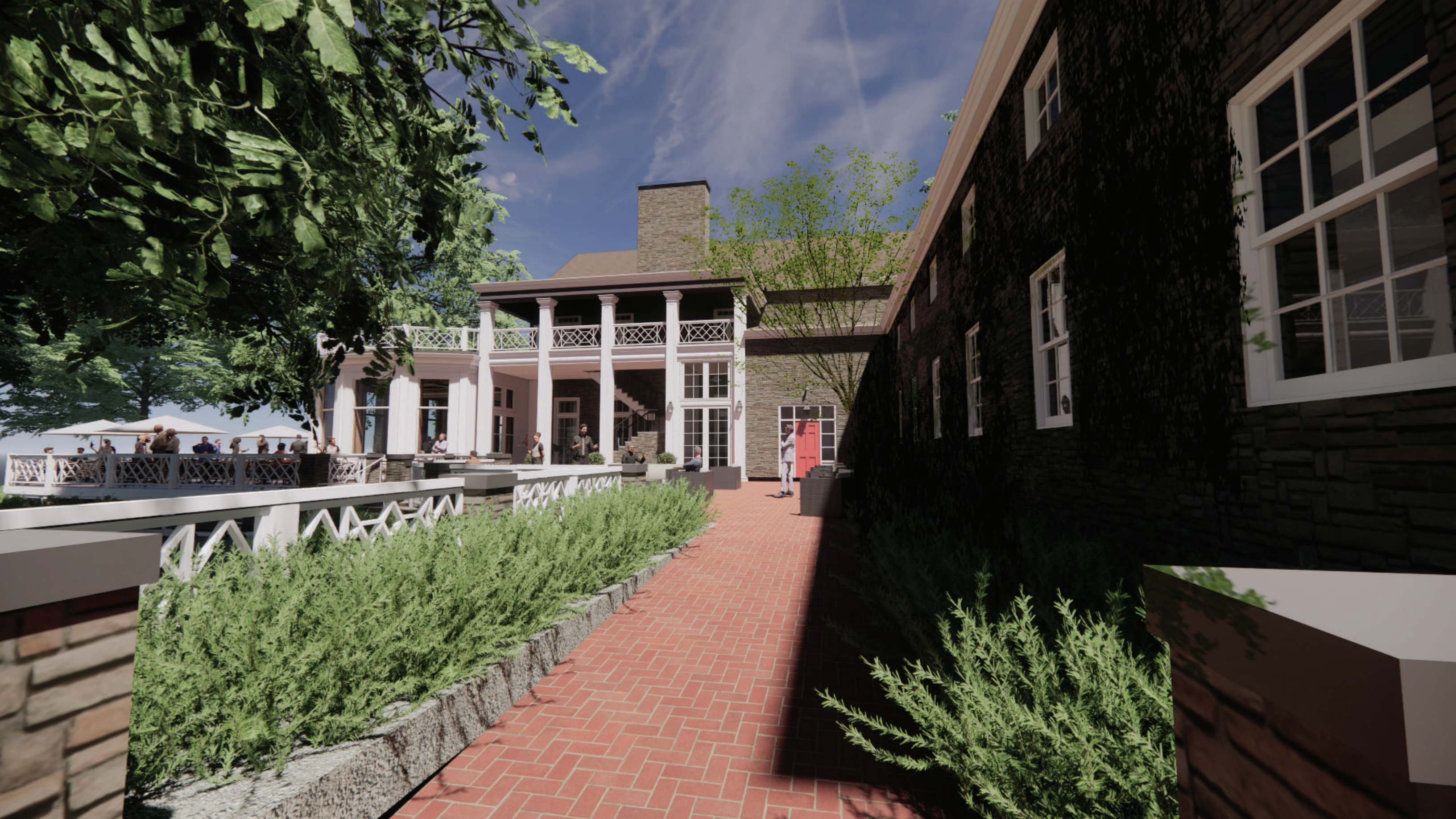
VIEW - NEW TERRACE AT TAP RM/CARD RM



VIEW - PATH TO TAP RM /CARD RM



VIEW - NEW ENTRY TO TAP RM/CARD RM



VIEW - NEW RAMP TO EXISTING TERRACE



VIEW - EXISTING TERRACE 1



VIEW - EXISTING TERRACE 2



VIEW -EXISTING /NEW TERRACE



VIEW - NEW TERRACE



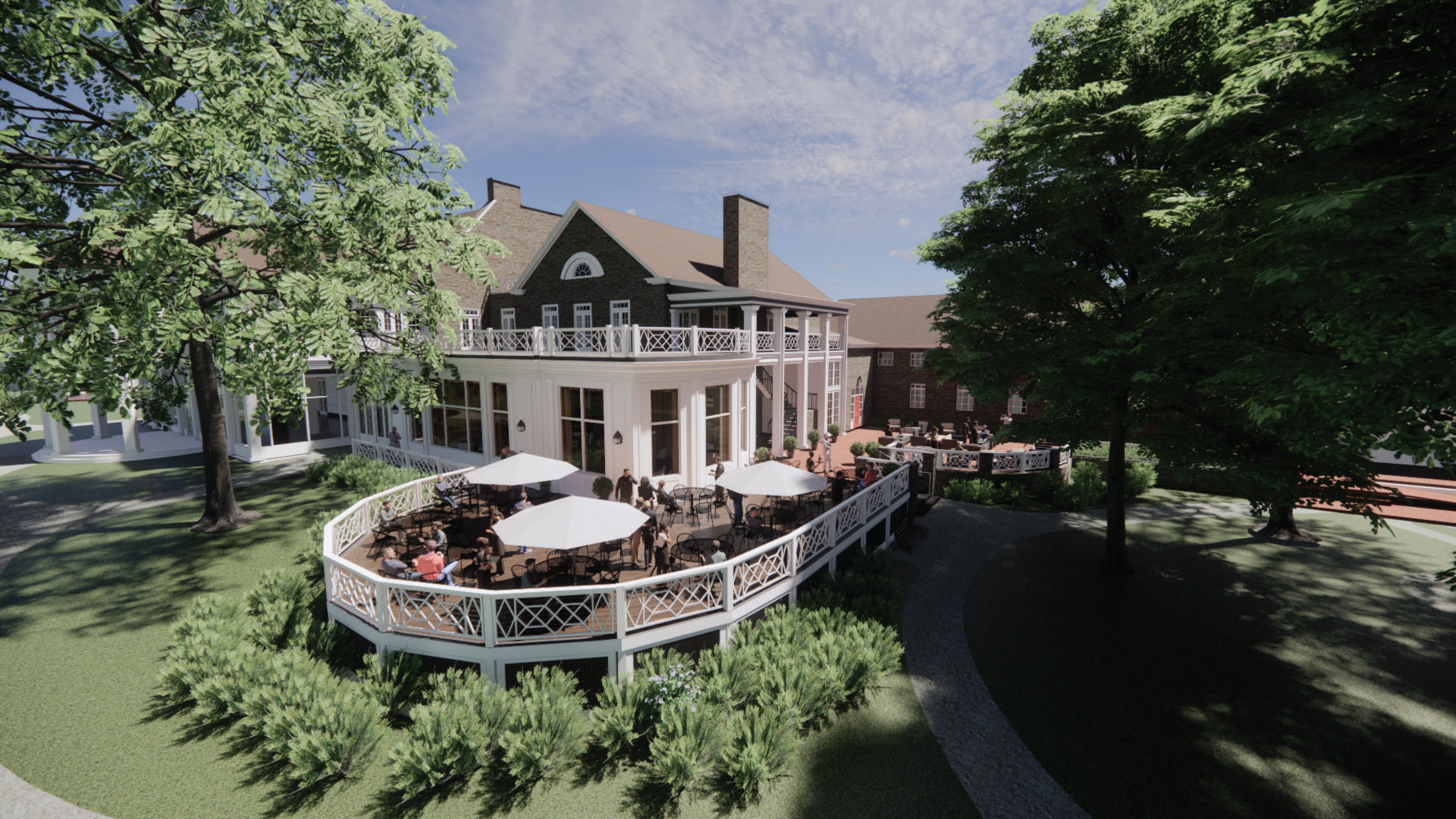
VIEW - NEW TERRACE PATH

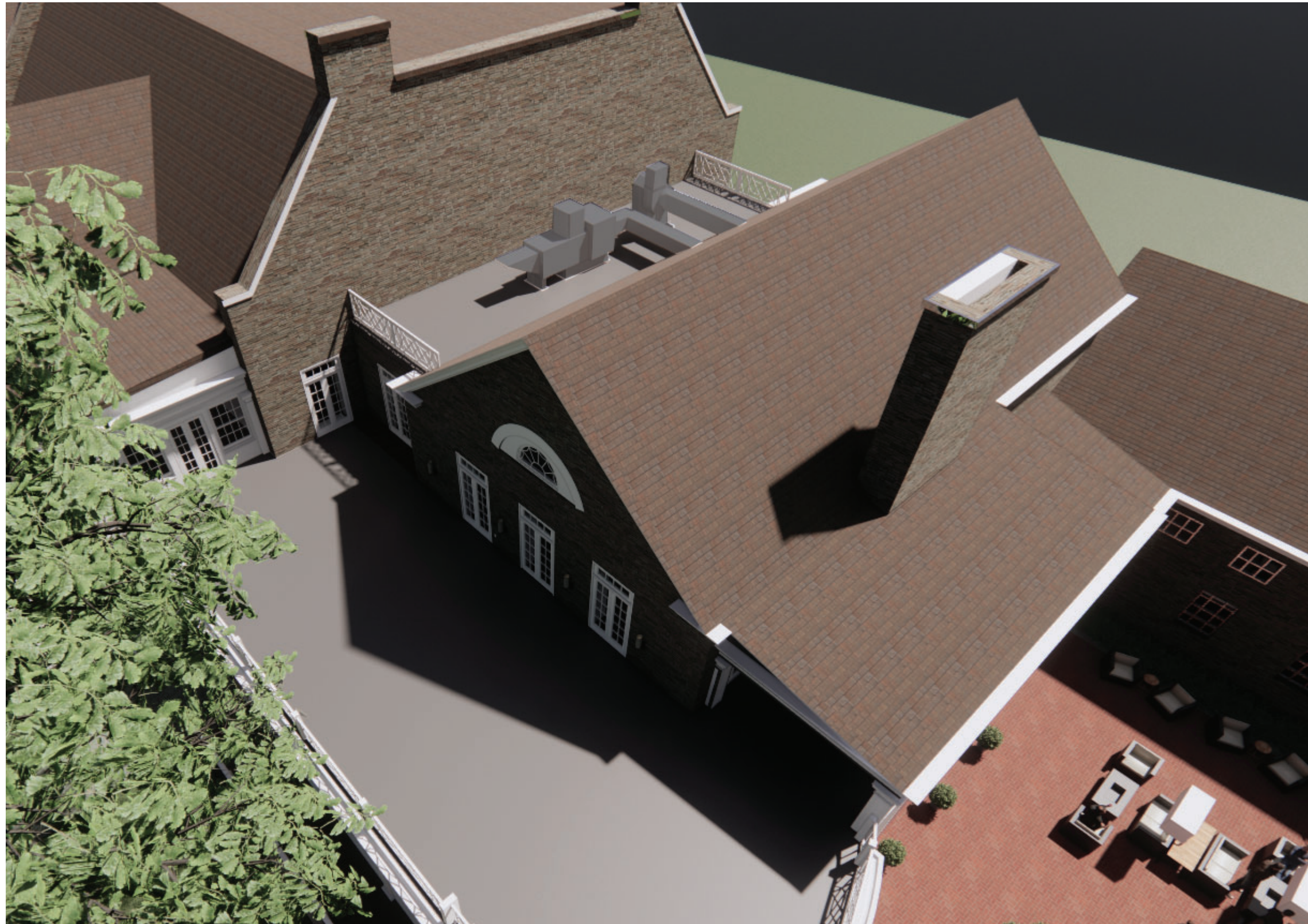


VIEW - WEST



VIEW - TERRACE WEST





VIEW - MECHANICAL UNIT

 **DLR**GROUP | bowie gridley





VIEW FROM WEST - MECHANICAL UNIT





VIEW EAST - MECHANICAL UNIT

 **DLR GROUP** | bowie gridley



*Chevy Chase Club
February 14, 2023
Exterior Lighting*

TAMMY CONNOR

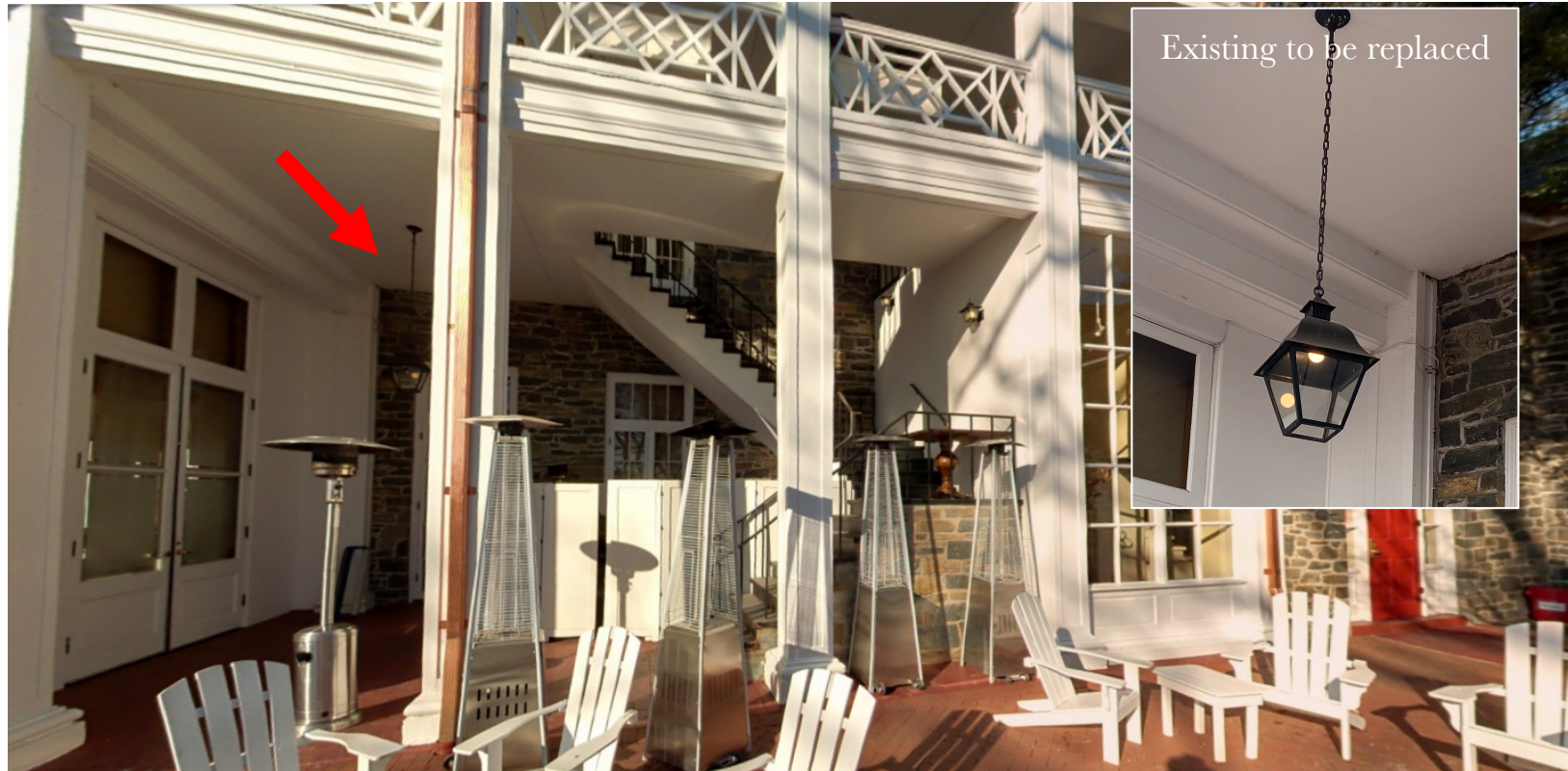
— EXQUISITE INTERIORS —

All fixtures to be replaced in Natural Copper
which will weather



Exterior Lighting | LEVEL 1 SOUTH ELEVATION TERRACE (TAP/CARD ROOM TERRACE)

Existing fixture to be replaced



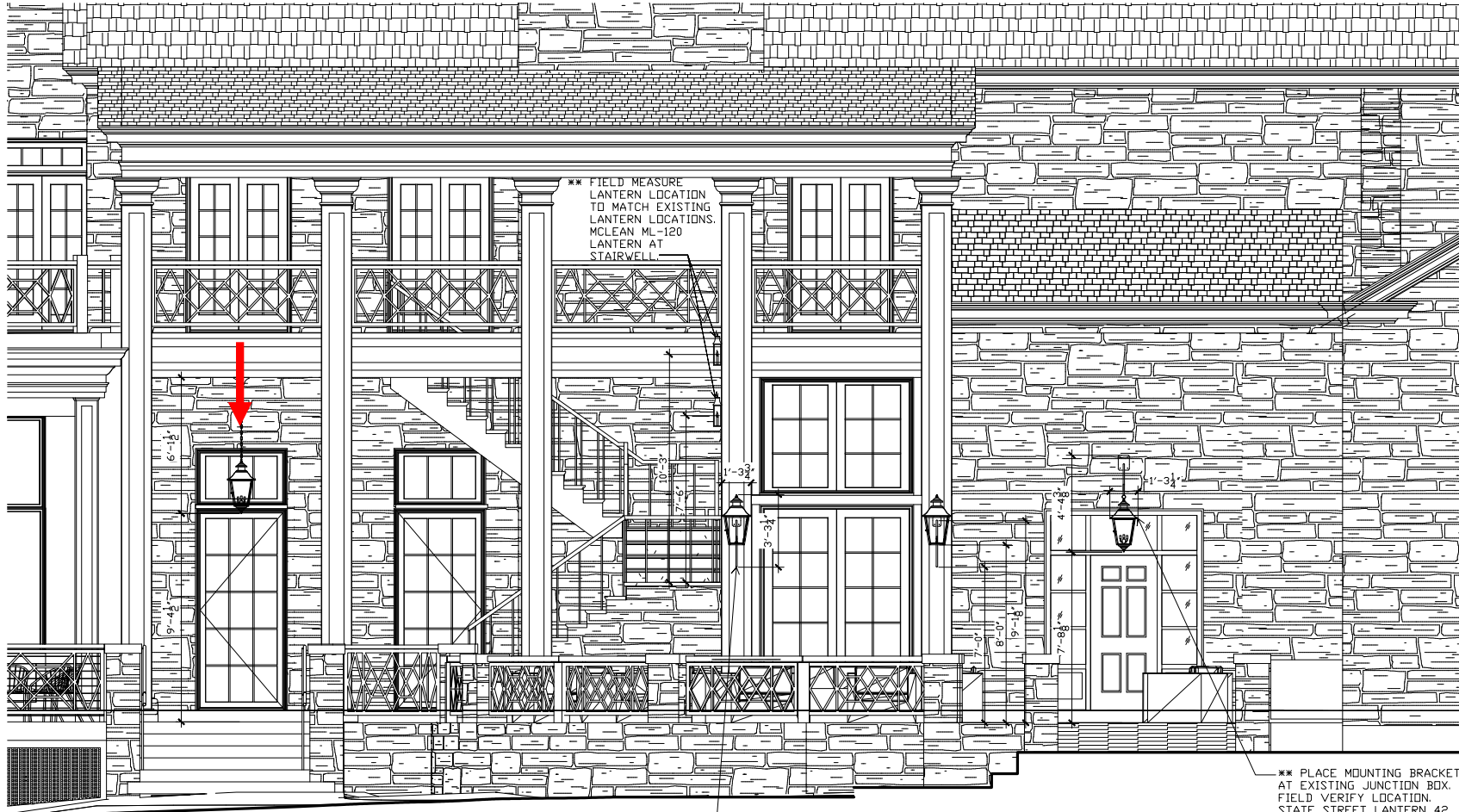
Item A: 1 Hanging Lantern
To replace existing



TAMMY CONNOR

— EXQUISITE INTERIORS —

Exterior Lighting | LEVEL 1 SOUTH ELEVATION TERRACE (TAP/CARD ROOM TERRACE)



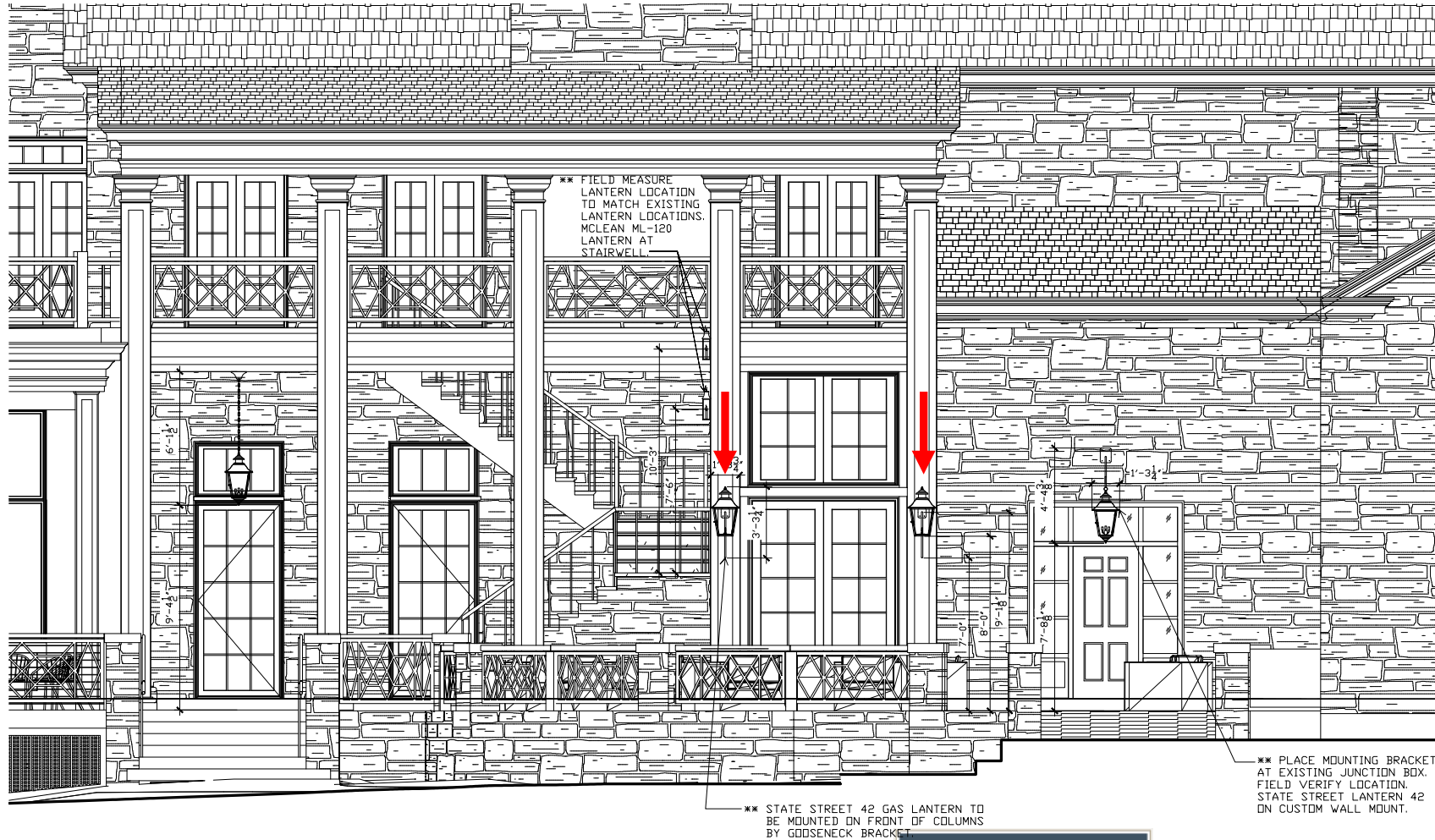
Item A: 1 Hanging Lantern
To replace existing



TAMMY CONNOR

— EXQUISITE INTERIORS —

Exterior Lighting | LEVEL 1 SOUTH ELEVATION TERRACE (TAP/CARD ROOM TERRACE)



Item B: 2 Gas Lanterns to be added



TAMMY CONNOR

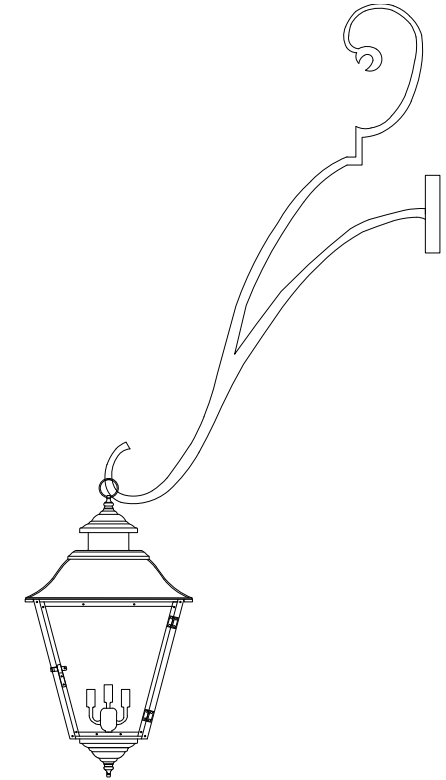
— EXQUISITE INTERIORS —

Exterior Lighting | LEVEL 1 SOUTH ELEVATION TERRACE (TAP/CARD ROOM TERRACE)

Existing fixture and bracket to be replaced. Box to remain, lower lantern by means of custom bracket



Item C: 1 Hanging Lantern with Custom Bracket to replace existing
Bracket Design TBD, drawing representative only



TAMMY CONNOR

— EXQUISITE INTERIORS —

Exterior Lighting | LEVEL 1 SOUTH ELEVATION TERRACE (TAP/CARD ROOM TERRACE)



** STATE STREET 42 GAS LANTERN TO BE MOUNTED ON BRACKET IN FRONT OF COLUMNS BY GOUSENECK BRACKET

** PLACE MOUNTING BRACKET AT EXISTING JUNCTION BOX. FIELD VERIFY LOCATION STATE STREET LANTERN 42 ON CUSTOM WALL MOUNT.

TAMMY CONNOR

— EXQUISITE INTERIORS —

Item C: 1 Hanging Lantern with Custom Bracket
Bracket Design TBD,
To replace existing



Existing Sconces in stairway to be replaced



Item D: 2 Sconces
To replace existing sconces in stairway

Exterior Wall Sconces,
Option 1



Exterior Wall Sconces,
Option 2



Exterior Lighting | LEVEL 2 SOUTH ELEVATION TERRACE (CLUB ROOM TERRACE)



TAMMY CONNOR

— EXQUISITE INTERIORS —

Item D: 2 Sconces
To replace existing sconces in stairway

Exterior Wall Sconces,
Option 1



Exterior Wall Sconces,
Option 2



Item F. 4 Sconces
To replace existing

Existing fixtures to be replaced



Exterior Wall Sconces,
Option 1

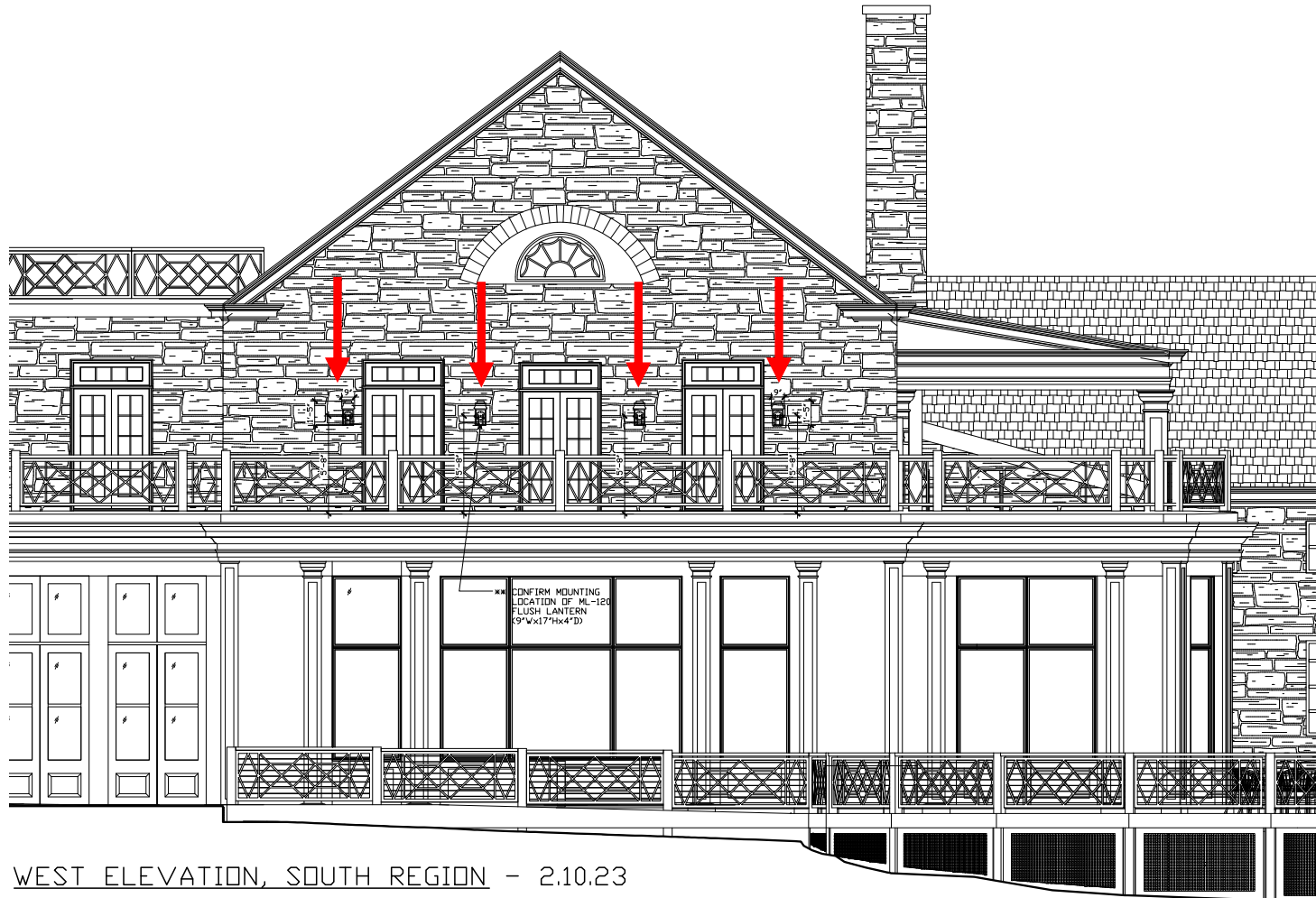


Exterior Wall Sconces,
Option 2



Exterior Lighting | LEVEL 2 WEST ELEVATION SOUTH REGION TERRACE (CLUB ROOM TERRACE)

Item F. 4 Sconces
To replace existing



WEST ELEVATION, SOUTH REGION - 2.10.23

SCALE: 1/8"=1'-0"

Exterior Wall Sconces,
Option 1



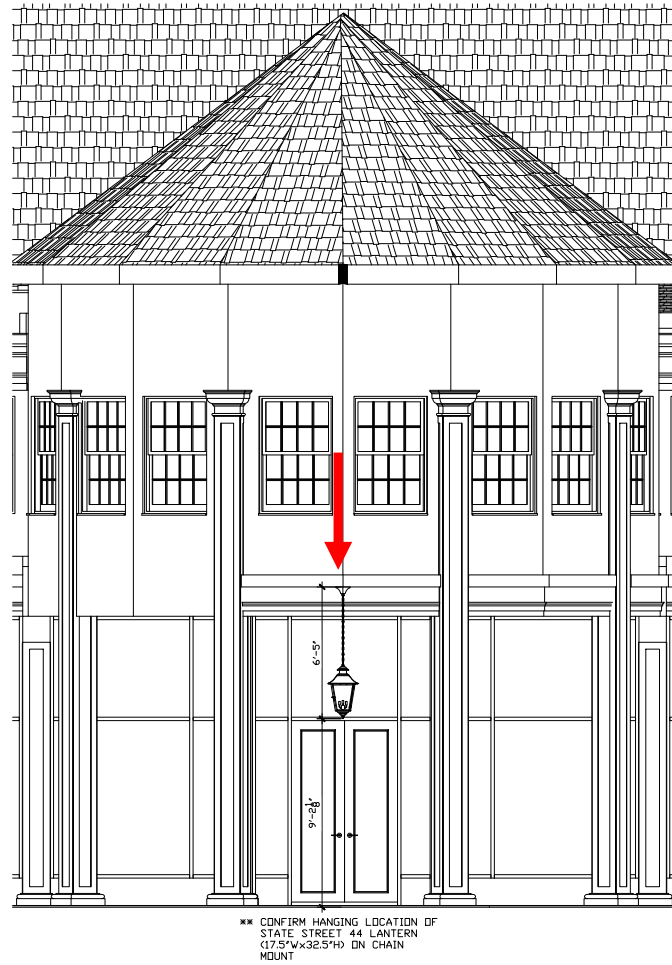
Exterior Wall Sconces,
Option 2



TAMMY CONNOR

- EXQUISITE INTERIORS -

Existing fixture to be replaced



Item G. 1 Hanging Lantern
To replace existing fixture



Exterior Lighting | LEVEL 2 WEST ELEVATION NORTH REGION TERRACE (HUNT ROOM TERRACE)

Existing fixtures to be replaced



Item H. 4 Sconces
To replace existing

Exterior Wall Sconces,
Option 1



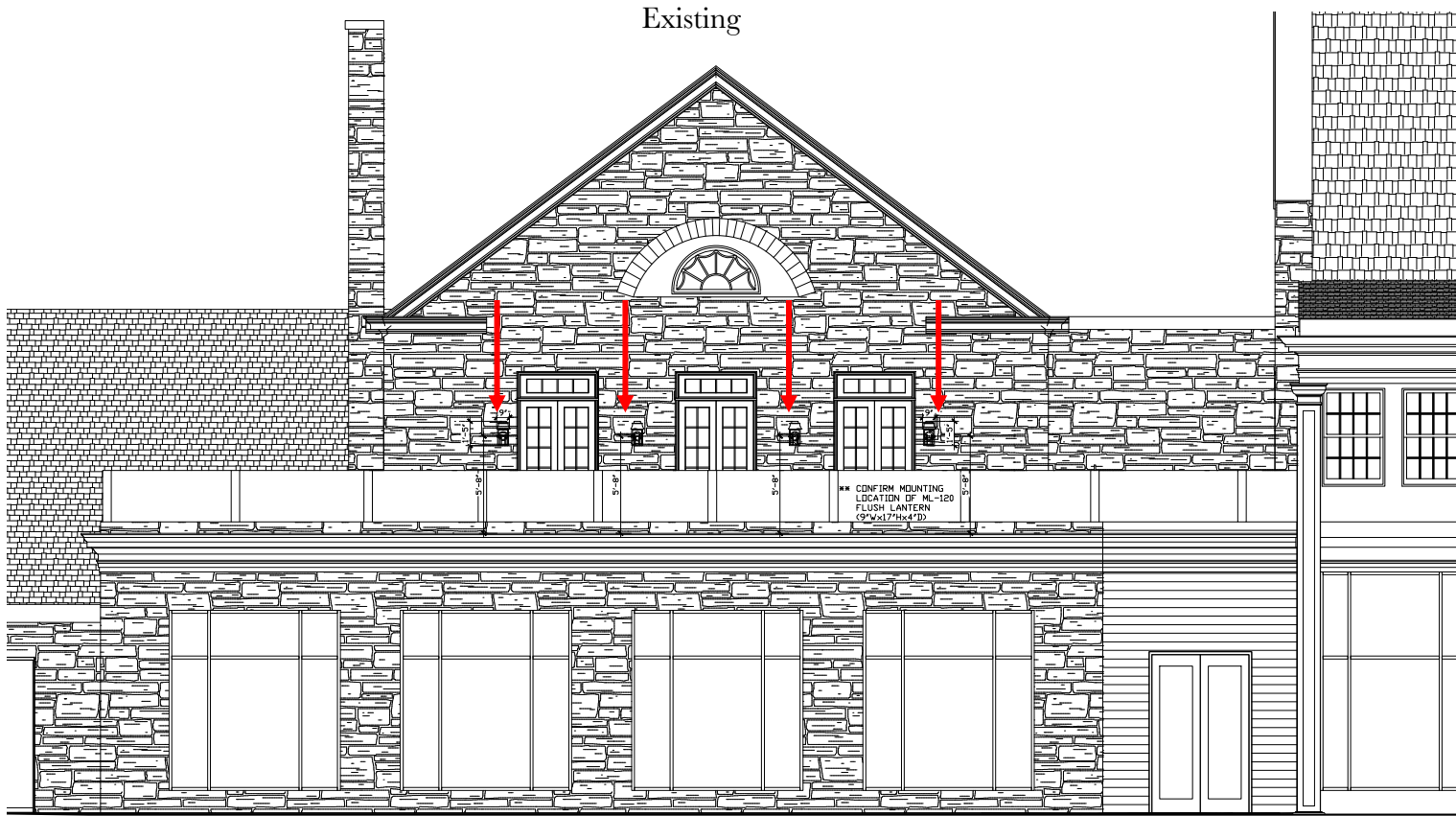
Exterior Wall Sconces,
Option 2



TAMMY CONNOR

— EXQUISITE INTERIORS —

Exterior Lighting | LEVEL 2 WEST ELEVATION NORTH REGION TERRACE (HUNT ROOM TERRACE)



Item H. 4 Sconces
To replace existing

Exterior Wall Sconces,
Option 1



Exterior Wall Sconces,
Option 2



TAMMY CONNOR

— EXQUISITE INTERIORS —

Existing fixtures to be replaced



Item I. 2 Sconces
To replace existing

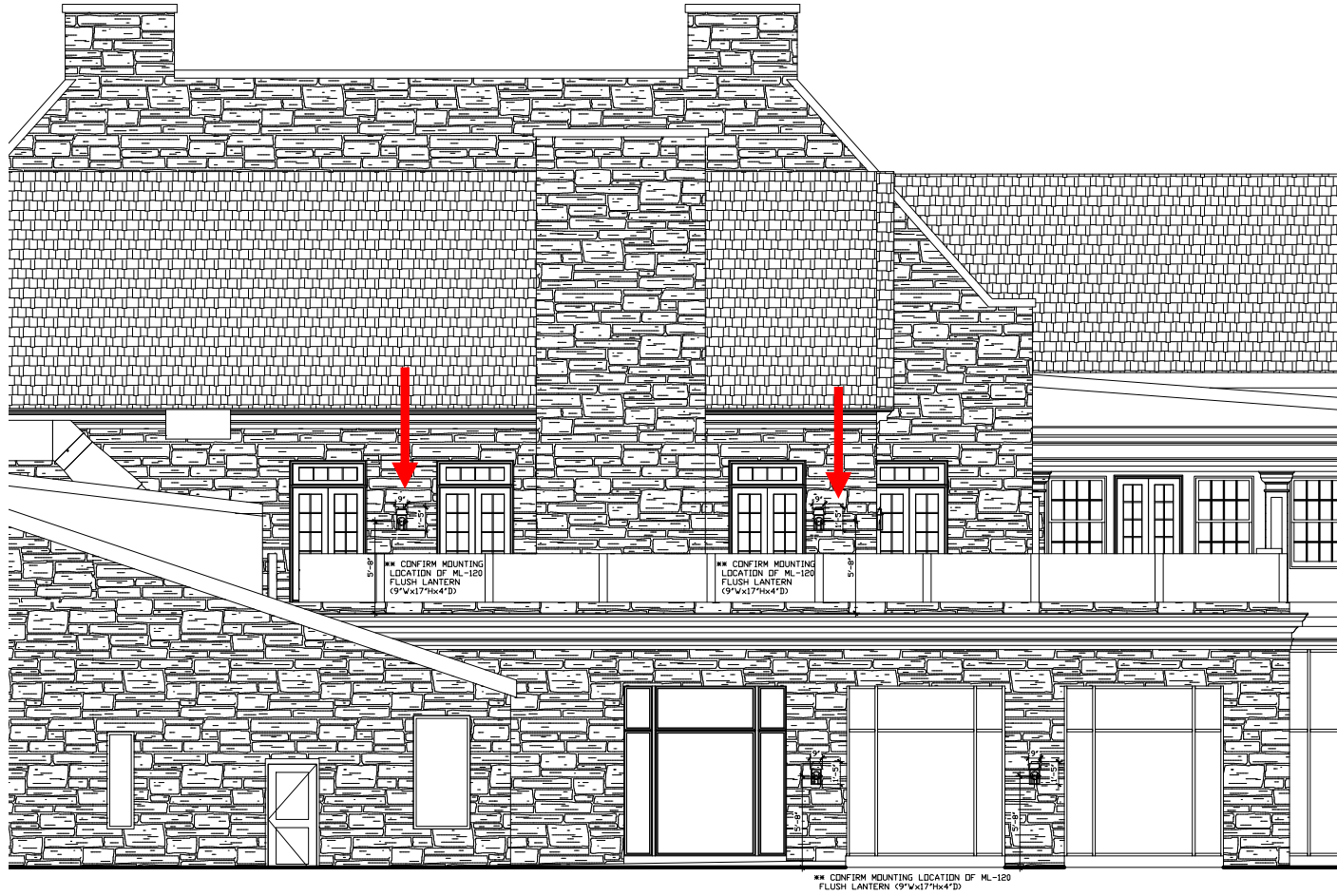
Exterior Wall Sconces,
Option 1



Exterior Wall Sconces,
Option 2



Existing fixtures to be replaced



Item I. 2 Sconces
To replace existing

Exterior Wall Sconces,
Option 1



Exterior Wall Sconces,
Option 2



Existing fixtures to be replaced



Item J. 2 Sconces
To replace existing

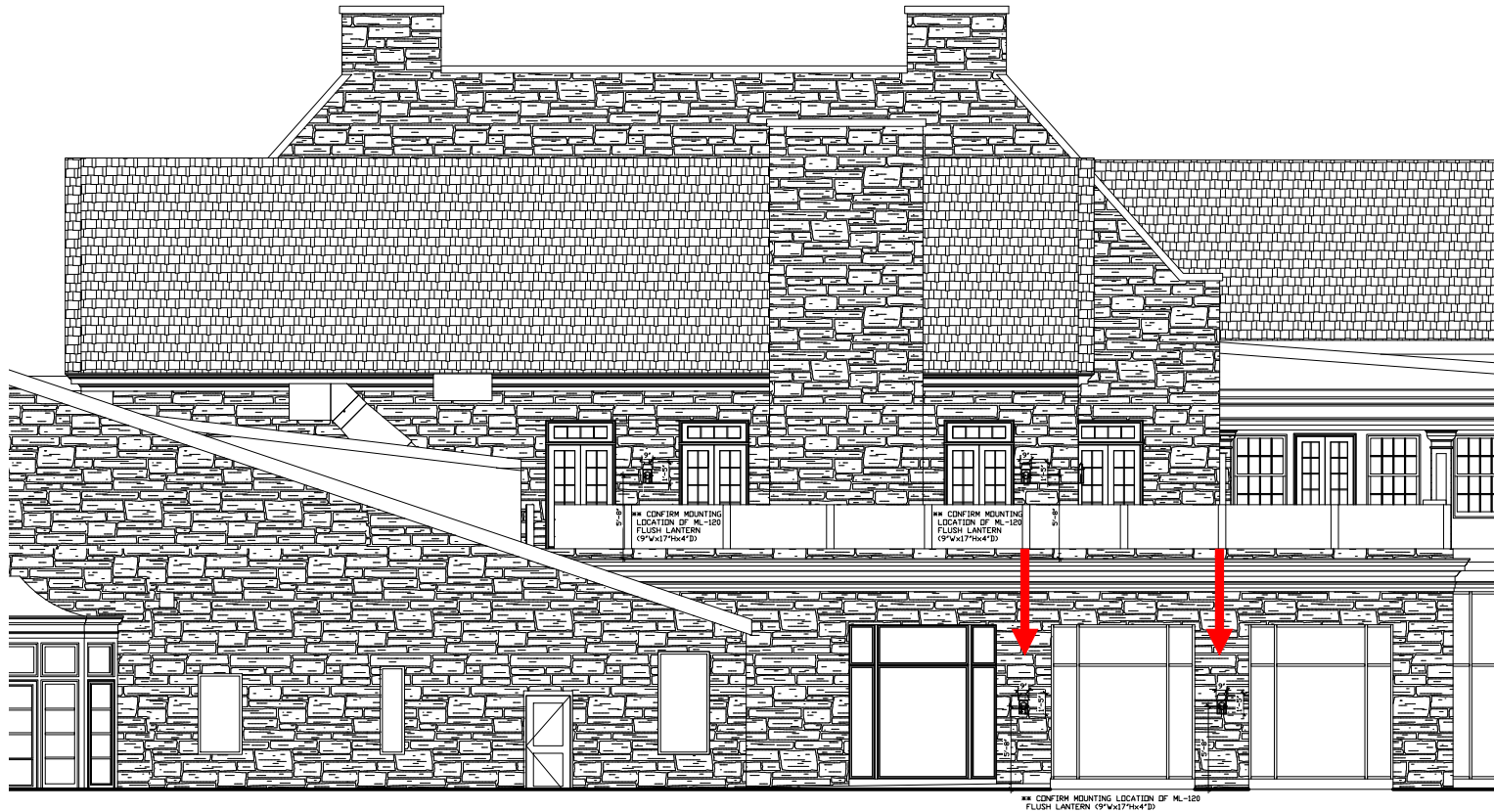
Exterior Wall Sconces,
Option 1



Exterior Wall Sconces,
Option 2



Existing fixtures to be replaced



Item J. 2 Sconces
To replace existing

Exterior Wall Sconces,
Option 1



Exterior Wall Sconces,
Option 2



Existing fixtures to be replaced



Item K. 2 Sconces
To replace existing

Exterior Wall Sconces,
Option 1



Exterior Wall Sconces,
Option 2

