

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7300 Holly Ave., Takoma Park	<b>Meeting Date:</b>	3/8/2023
<b>Resource:</b>	Outstanding Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	3/1/2023
<b>Applicant:</b>	Fernando Angulo	<b>Public Notice:</b>	2/22/2023
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Case Number:</b>	1016595	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Partial Demolition and Building Addition		

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**RECOMMENDATION**

Staff recommends the HPC **approve the HAWP with one (1) condition:**

1. The proposed asphalt shingles are inconsistent with the existing metal shingles. Metal shingles matching the appearance of the existing roof shall be installed on the addition. Final approval authority to verify this condition has been met is delegated to Staff.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Takoma Park Historic District  
**STYLE:** Dutch Colonial  
**DATE:** c.1906



*Figure 1: The subject property is located in a heavily wooded section of the Takoma Park Historic District.*

## **BACKGROUND**

On January 25, 2023 the HPC held a Preliminary Consultation for the current proposal.<sup>1</sup> The HPC was generally supportive of the proposal, finding both site constraints and the owners' unique needs making a side-projecting addition an appropriate alteration in this instance. The HPC provided additional design revision suggestions. The applicant has made revisions to the plan and returns for a HAWP.

## **PROPOSAL**

The applicant proposes partial demolition and construction of an addition to the house.

## **APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Outstanding Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*), and the Secretary of the Interior's Standards for Rehabilitation (*Standards*).

### ***Takoma Park Historic District Design Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Outstanding Resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes, and additions. The guiding principles to be utilized by the Historic Preservation Commission are the *Secretary of the Interior's Standards for Rehabilitation*

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources:

Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setback, and materials

Emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way

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<sup>1</sup> The Staff Report for the January 25, 2023 Preliminary Consultation is available here: <https://www.cpirestoration.net/restoration/exterior-building-cleaning.php>. The hearing for the prelim is available here: [https://mncppc.granicus.com/MediaPlayer.php?publish\\_id=3a489d5e-9d95-11ed-96ab-0050569183fa](https://mncppc.granicus.com/MediaPlayer.php?publish_id=3a489d5e-9d95-11ed-96ab-0050569183fa) the hearing begins at approximately 1:41:00.

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Preservation of original and distinctive architectural features, such as porches, dormers, decorative details, shutters, etc. is encouraged

Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged

Preservation of original building materials and use of appropriate, compatible new materials is encouraged

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Secretary of the Interior's Standards for Rehabilitation**

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject property is a relatively narrow two-story house with shake and stucco siding, a metal shingle roof, with Dutch Colonial and Craftsman influence, designated as an Outstanding Resource within the

Takoma Park Historic District. The lot rises gently towards the rear. Sometime prior to the District's establishment, a one-story stucco-sided hipped-roof addition was constructed to the rear. The applicant proposes to construct an addition off of the left side of this non-historic addition. Behind the addition, there is a slate patio and a 38" (thirty-eight inch) d.b.h. oak tree. Several HAWPs have been reviewed and approved by the HPC at the subject property since 2004 including tree removal, landscaping, the construction of the rear patio and retaining wall, and a metal shingle roof replacement.<sup>2</sup>

The proposed addition measures 12' × 17' 4" (twelve feet wide by seventeen feet four inches deep), with a side projecting asphalt-shingled hipped roof, one-over-one sash windows, and stucco siding to match the house. The proposed addition will enlarge an existing office to create a first-floor bedroom with access to a full bath. The design of the addition has not changed significantly from the Prelim, with the notable exception of the addition of a front bay window. This recommendation was made by a Commissioner with the goal of "softening" the addition's front wall.

Staff finds the proposed addition's size, design, and materials are all compatible with the historic character of the house and surrounding district. The HPC was unanimous in finding that the placement of the addition was appropriate due to the specific lot configuration and the needs of the family, justifying approval under 24A-8(b)(5) and finding the addition was set far enough to the rear that it would preserve the respect the environmental setting under the *Design Guidelines*.

Staff finds the proposed materials are all appropriate, with one notable exception, the roof material. The elevation drawings incorrectly label the existing roof as asphalt shingle, when it is a mix of metal shingles and flat metal. Staff finds because of the visibility of the proposed addition's roof, shingles matching the historic house should be used. The *Design Guidelines* state, "Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setback, and materials." The existing roof was installed in 2008 as an in-kind replacement and Staff's files identify the installed metal shingles as Berridge Victorian shingles: <https://www.berridge.com/products/shingle-systems/victorian-shingles/>. HP Staff photos show the condition of the roof prior to the installation of this roof:

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<sup>2</sup> These staff reports are available at this link:

[https://mcatlas.org/tiles/06\\_HistoricPreservation\\_PhotoArchives/Padlock/HAR60640008/Box066/37-03-04R\\_Takoma%20Park%20Historic%20District\\_7300%20Holly%20Avenue\\_04-29-2004.pdf](https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640008/Box066/37-03-04R_Takoma%20Park%20Historic%20District_7300%20Holly%20Avenue_04-29-2004.pdf)



*Figure 2: Undated photo of the subject property before the 2008 roof replacement.*

Staff finds while the new shingles would initially have a shinier appearance than the existing shingles, they will patinate over time and blend in with the house architecture. While a red asphalt shingle could match the color of the existing roof and provide a dull appearance out of the box, they lack the other visual and physical qualities of the shingles and are inconsistent with the house's architecture. Staff recommends the HPC approve the HAWP under 24A-8(b)(5) and the *Design Guidelines* with the added condition that the new roofing is metal shingle to match the house. Final approval authority to verify this condition has been satisfied can be delegated to Staff.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application **with one (1) condition:**

1. The proposed asphalt shingles are inconsistent with the existing metal shingles. Metal shingles matching the appearance of the existing roof shall be installed on the addition. Final approval authority to verify this condition has been met is delegated to Staff; under the Criteria for Issuance in Chapter 24A-8(b)(2) and (5), and the *Takoma Park Historic District Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 5, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_ E-mail: \_\_\_\_\_  
Address: \_\_\_\_\_ City: \_\_\_\_\_ Zip: \_\_\_\_\_  
Daytime Phone: \_\_\_\_\_ Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes/District Name \_\_\_\_\_  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                     |
|   |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

*Fernando Angulo*

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b>	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	
	7303, Holly Avenue, Takoma Park 20912
7218 Holly Avenue, Takoma Park	7219 Holly venue, Takoma Park 20912
7331 Piney Branch Road, Takoma Park	7329 Piney Branch Road, Takoma Park



**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

# 7300 HOLLY AVENUE

## SPECIFICATION

- DESIGN LOADS:
  - ROOF:
    - 30PSF LIVE LOAD AND 17 PSF DEAD LOAD = 47PSF
  - FIRST FLOOR,
    - 40PSF LIVE LOAD AND 10 PSF DEAD LOAD = 50PSF
  - SECOND FLOOR:
    - 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD= 50 PSF
    - EXCEPT SLEEPING AREAS 30 PSF LIVE LOAD AND 10 PSF DEAD LOAD =40 PSF.
- LATERAL LOADS
  - WINDS 20PSF
- SOIL VALUE
  - ASSUMED TO BE 1500 PSF BEARING CAPACITY
  - WATER TABLE, min 2"-0" BELOW BOTTOM FO ALL CONCRETE SLABS AND FOOTINGS.
  - SOIL TYPES, FOOTINGS, FOUNDATION WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.
- FOOTINGS
  - BOOTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 2'-6" BELOW FINISH GRADE.
  - FOOTINGS FOR SOLID MASONRY PIERS SHALL PROJECT 9" EACH SIDE FO THE PIER ABOVE AND SHALL BE 1'-6" DEEP UNLESS OTHERWISE NOTED.
- CONCRETE
  - ALL CONCRETE SHALL BE 3000 PSI @28DAYS. ( EXCEPT STOO AND GARAGE WHICH SHALL BE 3500 PSI @28 DAYS) MAXIMUM SLUMP OF 5"
  - CONCRETE TEST CYLINDERS SHALL BE TAKEN IN ACCORDANCE WITH ACI CODE AND CONTRACT SPECIFICATIONS.
  - REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60.
  - WELDED WIRE MESH CONFORM TO ASTM 185.
  - ALL EXPOSED EXTERIOR CONCRETE SHALL BE 7+/-1% AIR EXTRAINED.
  - DETAILS OF REINFORCING SHALL CONFORM TO ACI 318-77 AND CRSI STANDARDS.
  - CONCRETE PROTECTION FOR REINFORCEMENT SHAHL BE AS FOLLOWS

	NOT EXPOSED	# 5 OR SMALLER
SLABS	3/4"	1-1/2"
BEAMS	1-1/2"	1-1/2"
COLUMNS	1-1/2"	1-1/2"D
WALLS	3/4"	3"
FOOTINGS	-	3

  - REINFORCE CONCRETE FOUNDATIONS WALLS WITH #4 REBARS @24"O.C. HORIZONTALLY +/- 16" VERTICALLY (DESIGNED POR 60# LATERAL PRESSURE) OR PER CODE REQUIREMENTS.
  - FOOTINGS FOR 8" MASONRY OR CONCRETE WALS SHALL BE 16"x8"
  - FOOTING FOR 10" MASONRY OR CONCRETE WALLS SHALL BE 20"x10"
  - FOTINGS FOR 12" MASONRY OR CONCRETE WALLS SHALL BE 20"x10"
  - STEPS FOOTINGS 2 HORIZONTAL UNITS TO 1 VERTICAL UNIT
  - FOOTINGS FOR MASONRY PIERS AND CHIMNEY SHALL HAVE PROJECTIONS x 12" DEPTH
  - ALL FOOTINGS TO BE SIZED AS ABOVE UNLESS OTHERWISE NOTED.
- CONCRETE SLABS ON GRADE
  - UNLESS OTHERWISE NOTED, SLABS ON GRADE SHALL BE 4" THICK POURED CONCRETE AND REINFORCED WITH 6x6 W1.4(#3/8)WELDED WIRE FABRIC IDN THE UPPER THIRD PORTION OF THE SLAB THICKNESS. CONCRETE TO BE POURED ON 6MIL POLYETHYLENE VAPOR BARRIER OVER 4" THICK GRAVEL.
  - PLACING LAP, ETC. SHALL CONFORM TO WRL STANDARDS.
  - FILLING UNDER SLABS ON GRADE SHALL BE MADE WITH MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER AND SHALL BE COMPACTED IN A MANNER THAT WILL NOT DAMAGE FOUNDATION WALLS.
- CONCRETE RETAINING WALLS
  - FOOTING DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS TO WALL
  - PROVIDE WEAKEND PLANE CONTRACTION VERTICAL JOINTS AT APPROXIMATELY 25' O.C. STOP ALL HORIZONTAL BARS IN INSIDE FACE AT JOINTS.
  - PROVIDE CONTINUOUS DRAINAGE SYSTEM BEHIND WALLS IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS.
- MASONRY
  - PIERS, PLASTERS, CHIMNEYS AND BEARING UNDER BEAMS SHALL BE SOLID MASONRY WITH TYPE S MORTAR ASTM C-270
  - BOND ALL MASONRYWITH METAL JOINT REINFORCEMENT EVERY 16 VERTICALLY.
  - WALLS LESS THAN 5'-0" BELOW FINISHED GRADE SHALL BE 8" THICK MASONRY.
  - 5'-0" TO 8'-0" SHALL BE 12" THICK MASONRY REINFORCED WITH #4'S@24"O.C. INTO THE FOOTINGS TO TOP OF THE WALL WITH CELLS OR VOIDS FILLED WITH PEA GRAVEL CONCRETE.
  - TIE ALL BRICK TO WOOD STUD BACK-UP WITH CORRUGATED MEATL TIES AT 24" O.C. (MAX).
  - ALL MORTAR BELOW GRADE TO BE TYPE h
  - PROVIDE 3 COURSES OF SOLID BRICK OR 1 COURSE OF 100% SOLID ( NOT FILLED) BLOCK CONTINUOUS BY 8" WIDTH UNDER ALL WOOD TRUSSES AND CONCRETE SLABS BEARING ON MASONRY WALLS.
  - UNLESS OTHERWISE NOTED, PROVIDE 6 COURSES FO SOLID BRICK OR 2 COURSES OF 100% SOLID BLOCK, 8" WIDTH BY 2"-8" MINIMUM LENGHT AT ALL STRUCTURAL STEEL BEARING.
  - PIERS INDICATED AS SOLID MASONRY SHALL BE 100% SOLID FROM TOP OF FOOTING TO BEAM BEARING.
  - PIERS SHALL BE BONDED WITH HEADER COURSES.
  - PROVIDE THROUGH MASONRY CONTINUITY ( CEMENT GROUP) WHERE PIERS EXTEND ABOVE STEELS BEAMS.
- MASONRY RETAINING WALLS
  - FOOTINGS DOWELS SHALL PROJECT A MINIMUM OF 30 BAR DIAMETERS INTO WALL
  - CONCRETE BLOCKS SHALL BE 2 CELL UNITS CONFORMING TO ASTM C-90.
  - KEEP CELLS TO RECEIVE BARS CLEAN OF MORTAR DROPINGS. THE VERTICAL BARS TO DOWELS AT BOTTOMS AND SECURE WITH TIES ANS SPACERS AT TOP TO ASSURE THAT BARS REMAIN IN POSITION DURING GROUTING.
  - FILL ALL CELLS CONTAINING DOWELS AND VERTICAL BARS WITH PEA GRAVEL CONCRETE, 2500 PSI @ 28 DAYS, OR MASONRY GROUT PER ASTM C-476- CLOSE CLEANOUT ONLY AFTER GROUT FLOWS FULLY TO BOTTOM OF WALL VIBRATE CONCRETE DURING PLACEMENT TO ELIMINATE ALL AIR POCKETS.
  - MORTAR SHALL CONFORM TO ASTM C-270 TYPE H.
  - PROVIDE DUROWAL ( OR EQUAL) 8"O.C. VERTICALLY.
- BACKFILL COMPACTION
  - PER GEOTECHNICAL REQUIREMENTS

- WOOD FRAMING
  - PROVIDE SIDE ANCHORAGE INTO MASONRY WALLS WITH METAL STRAP ANCHORS 6" ON CENTER MAXIMUM ATTACHED TO3 WOODS JOISTS. PROVIDE WOOD FLOOR JOIST END ANCHORAGE AT MASONRY BEARING WALLS WITH METAL TEE ANCHORS ON EVERY 3RD JOIST WITH ALT LEAST 4-8 PENNY NAILS AT 6"O.C.
  - PROVIDE TECO FRAMING ANCHORS, OR EQUIVALENT, AT EACH ROOF JOIST BEARING POINT STUDES SHALL BE BE MIN. S-P-F S-DRY, CONSTRUCTION GRADE
- WOOD TRUSSES (PREFABRICATED/PRE-ENGINEERED)
  - FLOOR TRUSSES SHALL BE DESIGNED AND SPECIFIED BY MANUFACTURER TO CARRY THE ABOVE LISTED DESIGN LOADS WITH A MAX. DEFLECTION OF L-360SPAN. REFER TO FLOOR TRUSS MANUFACTURER'S RECOMMENDATIONS FOR ERECTIONS BRACING, INSTALLATION METHODS, HANDLING OF TRUSSES, STORAGE, ALLOWABLE HOLE SIZES, STIFFENERS AND BEARING DETAILS.
  - TRUSSES ARE DESIGNED AND SHALL BE FABRICATED IN ACCORDANCE WITH NFPA STANDARDS
  - TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH TEH DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (TPI-78), PUBLISHED BY THE TRUSS PLATE INSTITUTE, AND FABRICATED IN ACCORDANCE WITH TPI QUALITY CONTROL MANUAL ( QCM-77).
  - ERECTION LAYOUT, CALCULATIONS, JOINT STRENGTH INFORMATION (ALLOWABLE LOAD) PER SQUARE INCH OR PER NAIL, ALLOWABLE EDGE DISTANCES AND END DISTANCES. LOAD TEST DATA, AND DETAILS FOR TRUSS-TO TRUSS CONNCTIONS AND ANY OTHER INFORMATION DEEMED NECESSARY BY THE ENGINEER SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
  - TRUSS DESIGNED SHALL BE CERTIFIED BY A REGISTERED ENGINEER AND SHALL BE SHOP INSPECTED BY AN APPROVED INDEPENDENT TESTING LABORATORY.
  - ROOF TRUSSES SHALL BE SECURED AT BEARING WITH ONE TECO OR EQUIVALENT FRAMING ANCHOR END.
  - ALL TRUSSES SHALL BE SECURELY BRACED BOTH DURING ERECTION AND AFTER PERMANENT INSTALLATION IN THE STRUCTURE IN ACCORDANCE WITH BRANCING WOOD TRUSSES .
- MICRO-LAM BEAMS
  - SHALL HVE AN EXTREME FIBER BEDING OF FB-2800PSI, E-2,000,000PSI, Fv-285 PSI AND SHALL BE INSTALLED AS RECOMMENDED BY MANUFACTURER.
- PLYWOOD WEB JOISTS
  - JOISTS SHALL MANUFACTURED AND ERECTED IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS, THEY SHALL BE CAPABLE OF SUPPORTING THE DESIGN LIVE LOADS SHOWN ON THE DRAWINGS IN ADDITION TO THE DEAD LOAD SHOW BUT NOT LESS THAN 10PSF.
- STRUCTURAL STEEL
  - STRUCTURAL STEEL BELOW GRADE SHALL HAVE A MINIMUM OF 3" CONCRETE OR 4" SOLID MASONRY COVER
  - ALL WELDING SHALL CONFORM TO AWS STRUCTURAL WELDING CODE WELDS SHALL BE INSTALLED BY WELDERS QUALIFIED IN ACCORDANCE WITH AWS PROCEDURES FOR WELDERS QUALIFICATION.
  - ONE SHOP COAT OF PAINT, SOUTHERN COATING, OR AN APPROVED EQUIVALENT TWO MILS DRY FILM THICKNESS SHLL BE APPLIED TO ALL STRUCTURAL MEMBERS.
  - STRUCTURAL STEEL SHALL CONFORM TO TEH AISC SPECIFICATIONS FOR BUILDINGS, AND UNLESS OTHERWISE NOTED, IT SHALL CONFORM TO ASTM A-36.

## GENERAL NOTES:

- SCOPE OF WORK TO INCLUDE CONSTRUCTION AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. EACH CONTRACTOR TO FURNISH ALL LABOR AND MATERIALS NECESSARY FOR COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT WORK OF OTHER CONTRACTORS AND BE RESPONSIBLE AND LIABLE TO REPLACE OR REPAIR ANY DAMAGE CAUSE BY THEIR WORK.
- CODES: ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL CODES AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND DESIGNER AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE REGULATION.
- THE CONTRACTOR SHALL OBTAIN REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
- QUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST TYPE AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATION AND APPLICATIONS SHALL CONFIRM TO MANUFACTURER'S SPECIFICATION.
- COORDINATION OF THE WORK: THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS AND MECHANICAL TRADES WHETHER THEY RECEIVE CONTRACT FROM THE CONTRACTOR
- EXAMINATION OF THE SITE AND DOCUMENTS: THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LAMINATIONS WHICH EFFECT THE CONTRACT. HE SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LEFT OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
- GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR LONGER PERIOD
- TRASH REMOVAL: EACH CONTRACTOR SHALL PROVIDE FOR TRASH REMOVAL. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR ITS REMOVAL AND BACK CHARGE THE CONTRACTOR UNLESS OWNER AGREE IN CONTRACT TO PAY FOR TRASH REMOVAL OF TIME OF CERTAIN ITEMS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER
- ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL SIMILAR

## SCOPE OF WORK:

DESCRIPTION: EXISTING OFFICE TO BE CONVERTED IN A NEW BEDROOM/SUITE AND IT WILL HAVE AN ADDITION TO THE LEFT TO CREATE THE AREA NEEDED EXISTING BATHROOM WILL BE PART OF THE BEDROOM/SUITE.

## DRAWING LIST

- 0001 COVER SHEET
- 0002 CODE ANALYSIS
- A001 EXISTING BASEMENT FLOOR PLAN
- EXISTING FIRST FLOOR PLAN
- EXISTING SECOND FLOOR PLAN.
- A002 DEMO FIRST FLOOR PLAN
- PROPOSED FIRST FLOOR PLAN.
- A003 BUILDING SECTION A-A'
- DETAILS
- A004 EXISTING FRONT ELEVATION
- PROPOSED FRONT ELEVATION
- A005 EXISTING LEFT SIDE ELEVATION
- PROPOSED LEFT SIDE ELEVATION
- A006 EXISTING REAR ELEVATION
- PROPOSED REAR ELEVATION
- S001 FOUNDATION PLAN
- FIRST FLOOR FRAMING PLAN
- ROOF FRAMING PLAN
- S002 WALL BRACING PLANS.
- S003 DETAILS

## NOTE:

- ALL WORK SHALL COMPLY WITH CURRENT MARYLAND WIDE UNIFORM BUILDING CODE, I.R.C. 2018 AS WELL AS WITH ANY LOCAL CODES, REGULATIONS OR ORDINANCES.

## HEATING:

- THERMOSTAT LOCATION TO BE COORDINATED A/C CONTRACTOR & OWNER.

## AIR CONDITIONING / VENTILATION:

- CONTRACTOR TO PROVIDE AND INSTALL AIR CONDITIONING
- CONTRACTOR TO FURNISH AND INSTALL EXHAUST FANS FOR EACH BATHROOM AND LAV, AS MANUFACTURED BY NUT ONE, BROAN OR APPROVED EQUAL.



TAKOMA PARK  
MD 20912

OWNER:  
**MR. & MRS. ROBERTS**

HOUSE LOCATION:  
**7300 HOLLY AVE.**

COVER SHEET

DRAWING BY:  
FERNANDO ANGULO

REVISION	
Δ	DATE

ISSUE DATE  
02/13/2023

PROJECT NUMBER

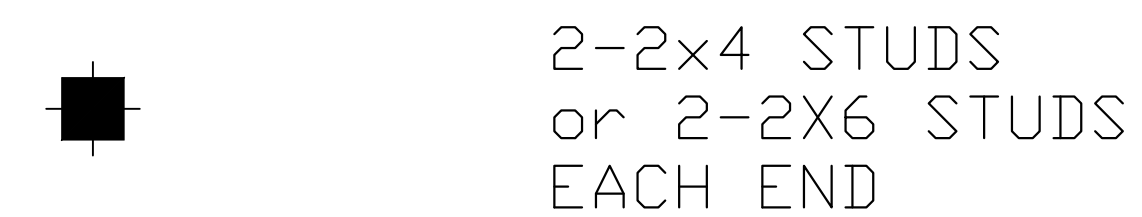
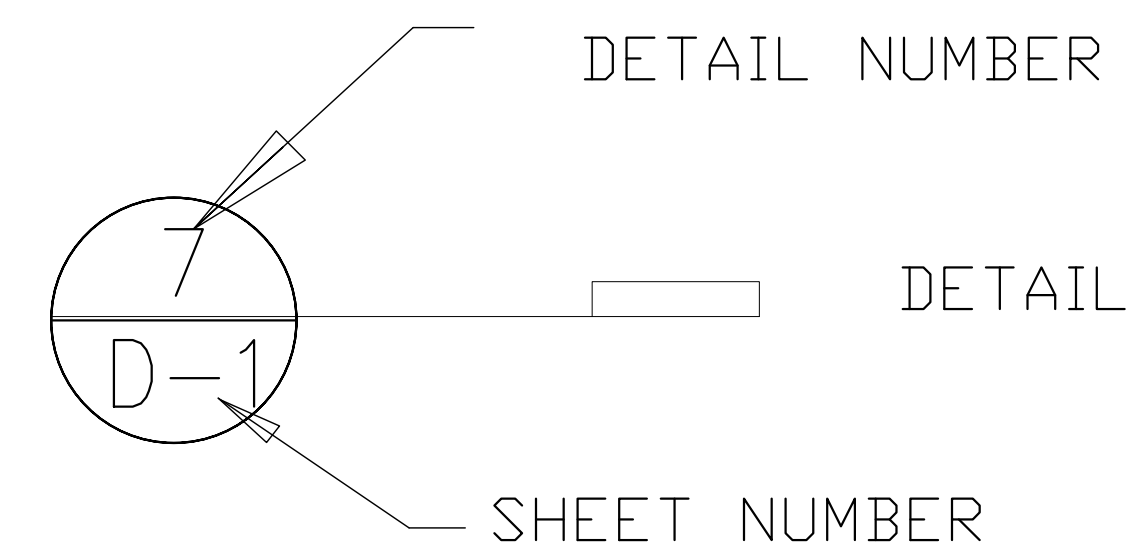
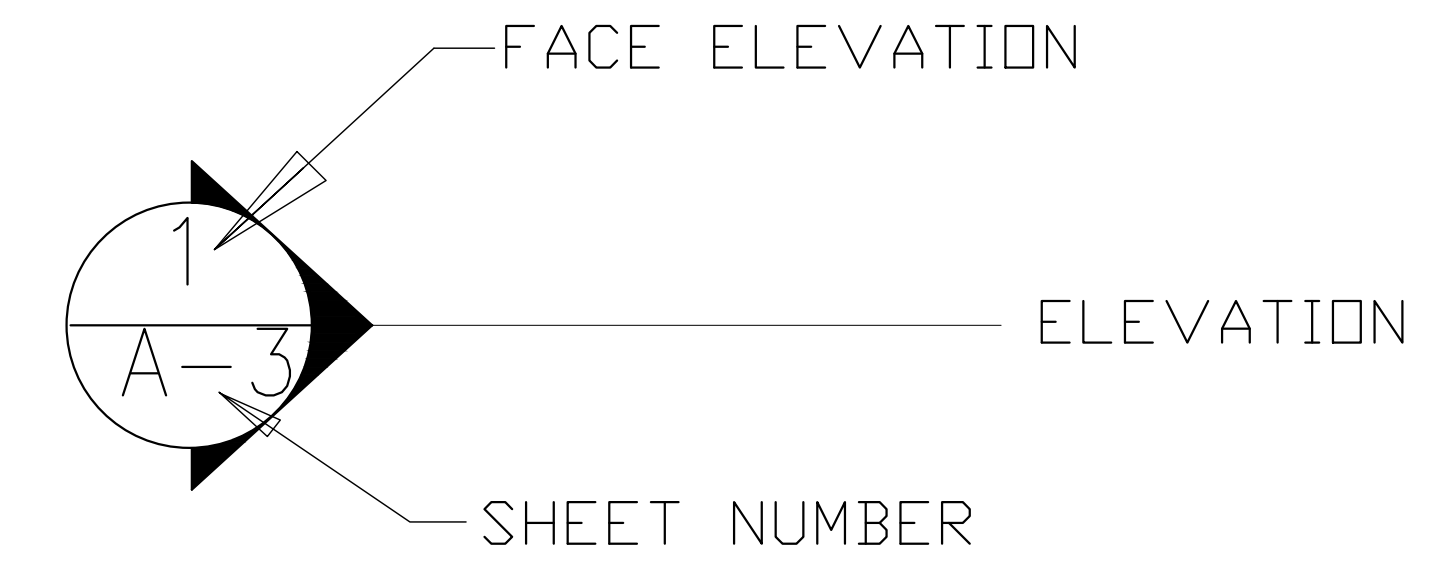
SHEET NUMBER  
**0001**

# BUILDING DATA

BUILDING DATA			
CODE STANDARD I.R.C. 2018 EDITION			
SQUARE FOOTAGE	EXISTING	PROPOSED	TOTAL
FIRST FLOOR	1,276 SQ.FT.	1,484 SQ.FT.	1,484 SQ.FT.
SECOND FLOOR	917 SQ.FT.	—	917 SQ.FT.
BASEMENT	858 SQ.FT.	—	858 SQ.FT.
TOTAL			3,259 SQ.FT.
DETACHED GARAGE	240 SQ.FT.	—	240 SQ.FT.
COVERED PORCH	189 SQ.FT.	—	189 SQ.FT.
BUILDING USE	RESIDENTIAL		

BUILDING INFORMATION	
USE GROUP	RS: I.R.C. 2018 FOR ONE AND TWO FAMILY DWELLING
CONSTRUCTION TYPE	VB
SQUARE FOOTAGE OF TOTAL CONDITIONED SPACE	3,259 SQ.FT.
BUILDING HEIGHT	24.0 FT.
NUMBER OF STORIES	2 STORY
DATE	11/30/2022

# SYMBOLS

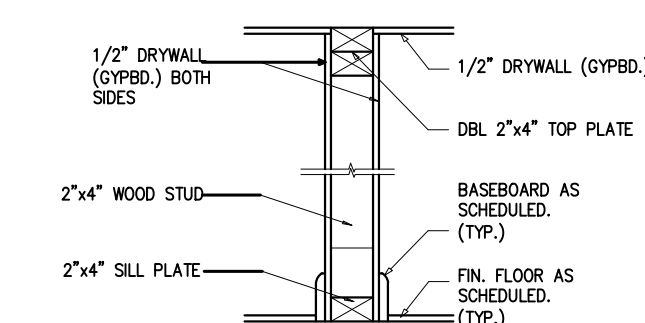


## DESIGN CRITERIA

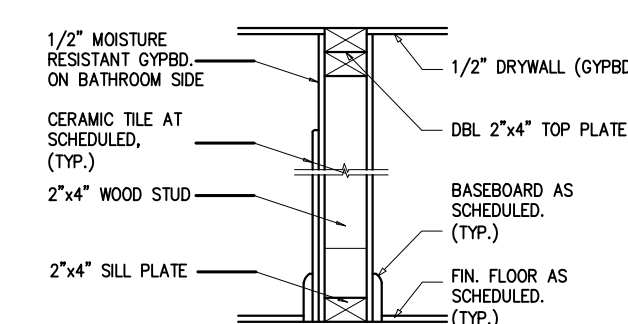
- DESIGN LOADS:
  - ROOF: 30PSF LIVE LOAD AND 17 PSF DEAD LOAD = 47PSF
  - FIRST FLOOR: 40PSF LIVE LOAD AND 10 PSF DEAD LOAD = 50PSF
  - SECOND FLOOR: 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD= 50 PSF EXCEPT SLEEPING AREAS 30 PSF LIVE LOAD AND 10 PSF DEAD LOAD =40 PSF.
- LATERAL LOADS
  - WINDS 20PSF
- SOIL VALUE
  - ASSUMED TO BE 1500 PSF BEARING CAPACITY
  - WATER TABLE, min 2'-0" BELOW BOTTOM FO ALL CONCRETE SLABS AND FOOTINGS.
  - SOIL TYPES, FOOTINGS, FOUNDATION WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.
- FOOTINGS
  - BOOTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 2'-6" BELOW FINISH GRADE.
  - FOOTINGS FOR SOLID MASONRY PIERS SHALL PROJECT 9" EACH SIDE FO THE PIER ABOVE AND SHALL BE 1'-6" DEEP UNLESS OTHERWISE NOTED.

## INSULATION & FENESTRATION NOTES:

- INSULATION AND FENESTRATION REQUIREMENTS
  - CLIMATE ZONE: 4
  - FENESTRATION U-FACTOR 0.35
  - GLAZED FENESTRATION SHGC 0.40
  - CEILING R-VALUE 49
  - WOOD FRAME WALL R-VALUE 20
  - MASS WALL R-VALUE 13
  - FLOOR VALUE R-19
  - BASEMENT WALL R-VALUE 10 / 13
  - SLAB R-VALUE & DEPTH 10, 2FT.

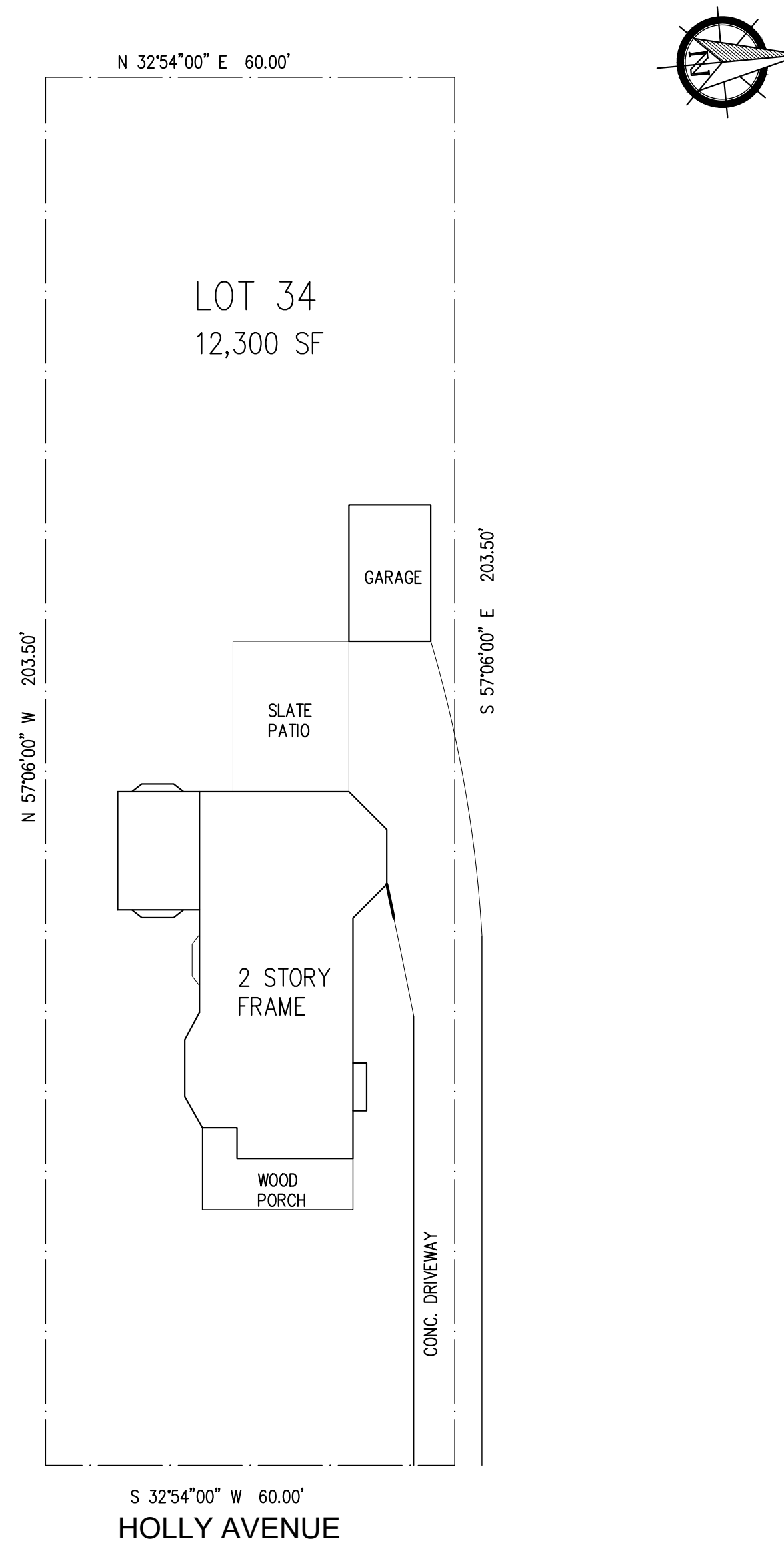


1 2"x4" INTERIOR WALL DETAIL



2 2"x4" INTERIOR WET WALL DETAIL

## a PARTITION TYPES



## HOUSE LOCATION

**LE DESIGN LLC**  
 IDEAS PROJECTS CONSTRUCTION  
 5310 DORIS DR.  
 WALDORF, MD 20601  
 PHONE: 703-725-2822  
 WWW.LEDESIGN.US  
 angulo@lellc.com

TAKOMA PARK  
 MD 20912

OWNER:  
**MR. & MRS. ROBERTS**  
 HOUSE LOCATION:  
**7300 HOLLY AVE.**

## CODE ANALYSIS

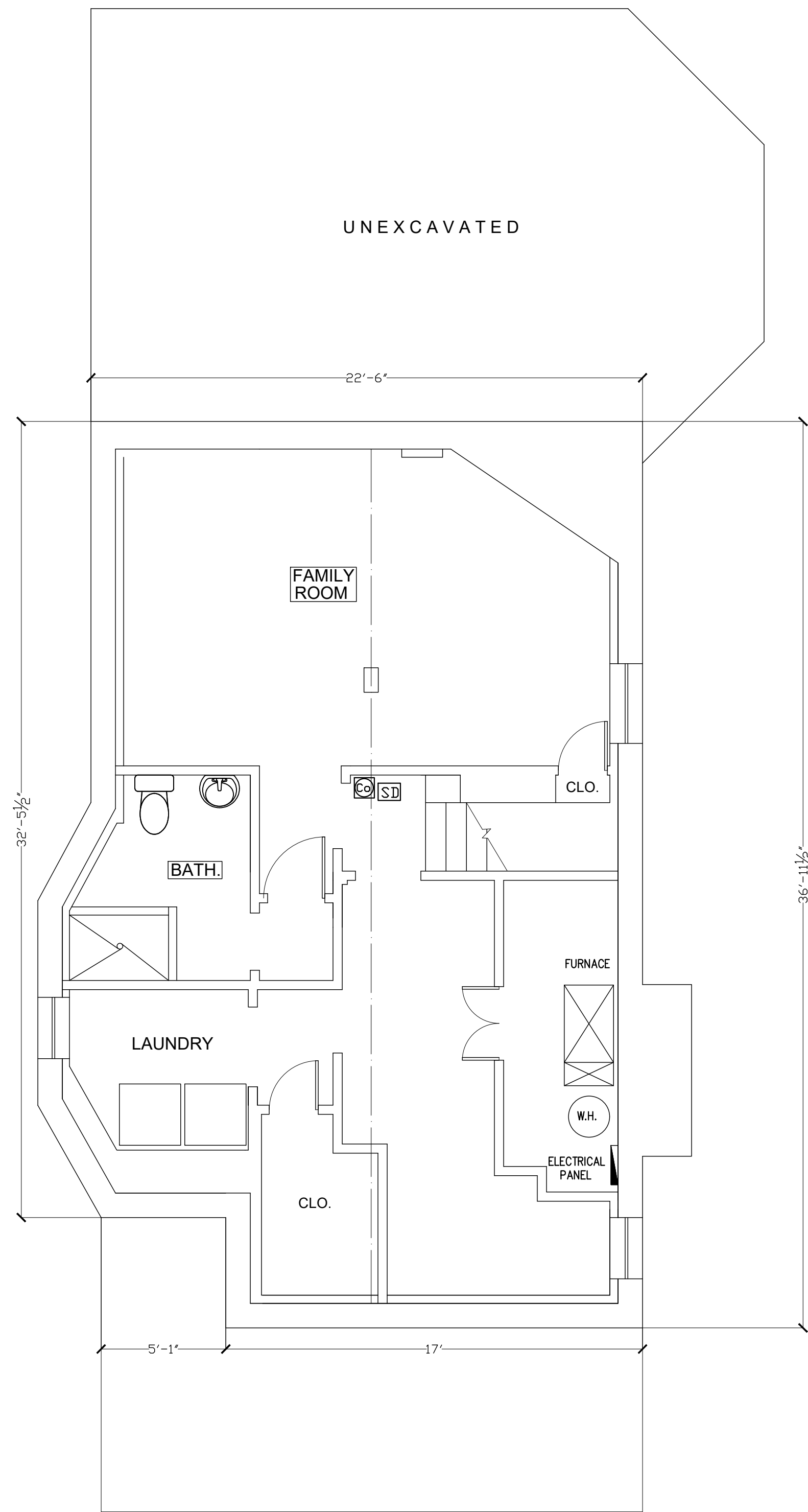
DRAWING BY:  
 FERNANDO ANGULO

### REVISION

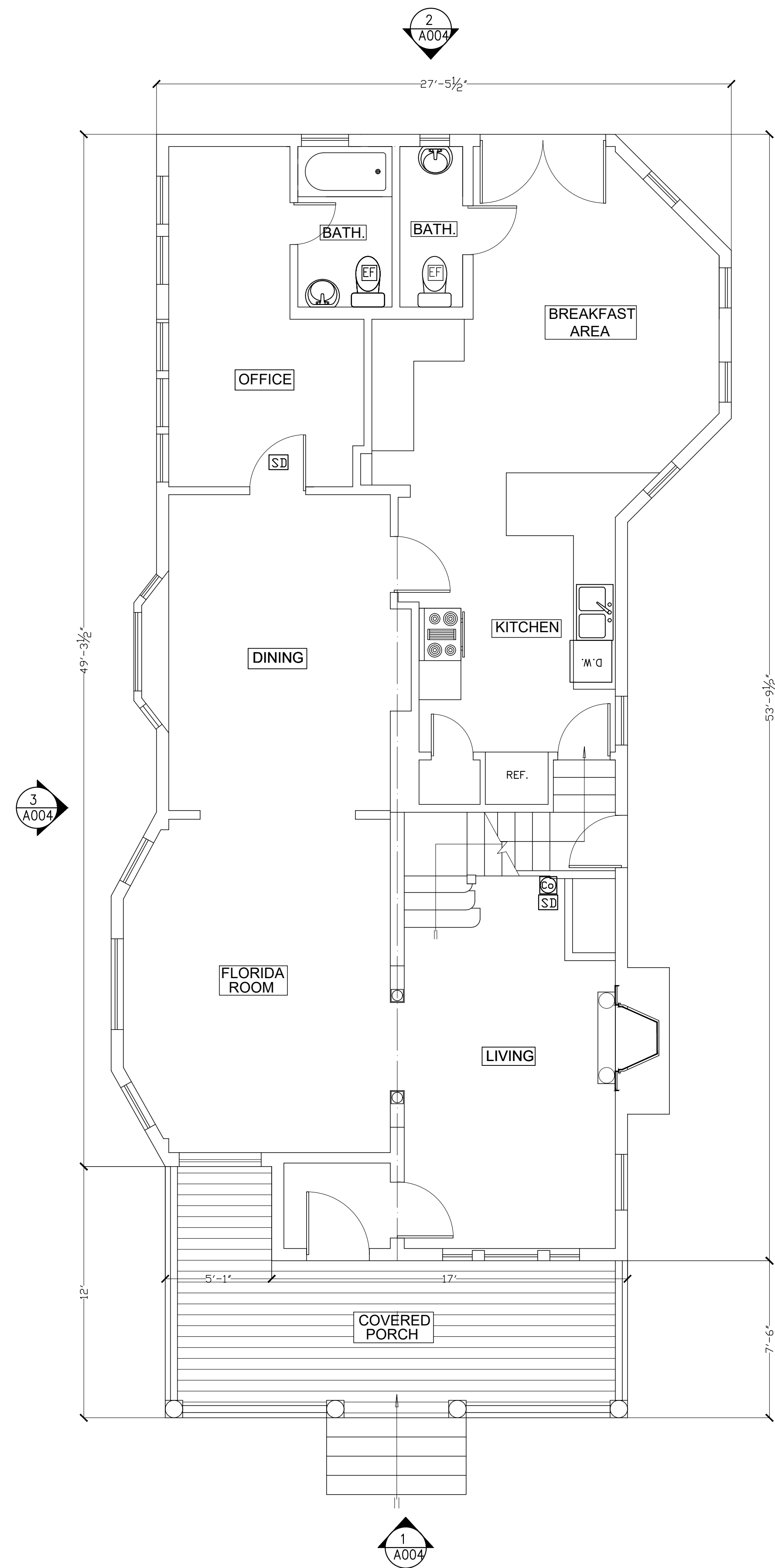
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ISSUE DATE  
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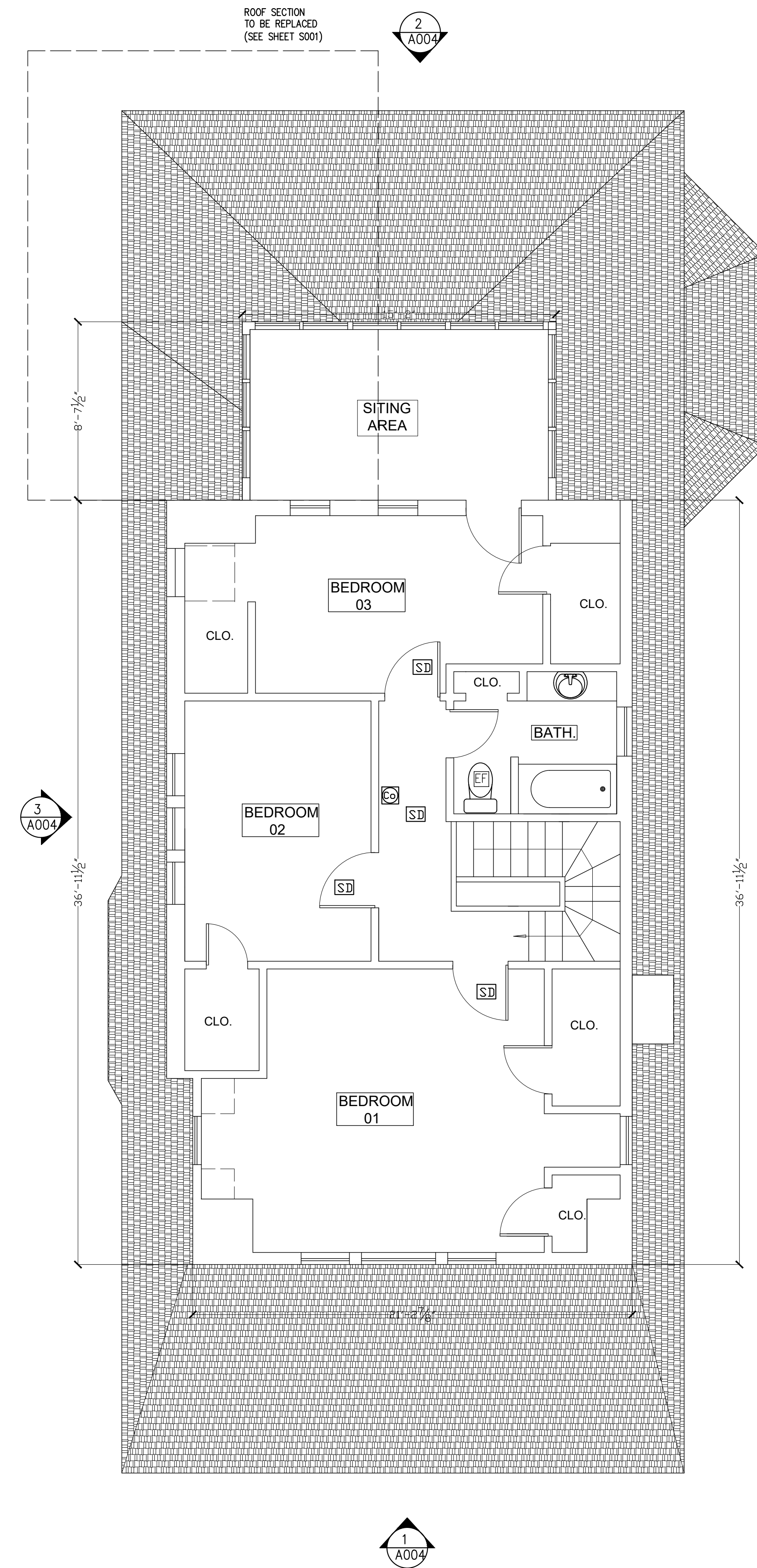
SHEET NUMBER  
**0002**



**EXISTING BASEMENT FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**EXISTING FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**EXISTING SECOND FLOOR PLAN**  
SCALE: 1/4"=1'-0"

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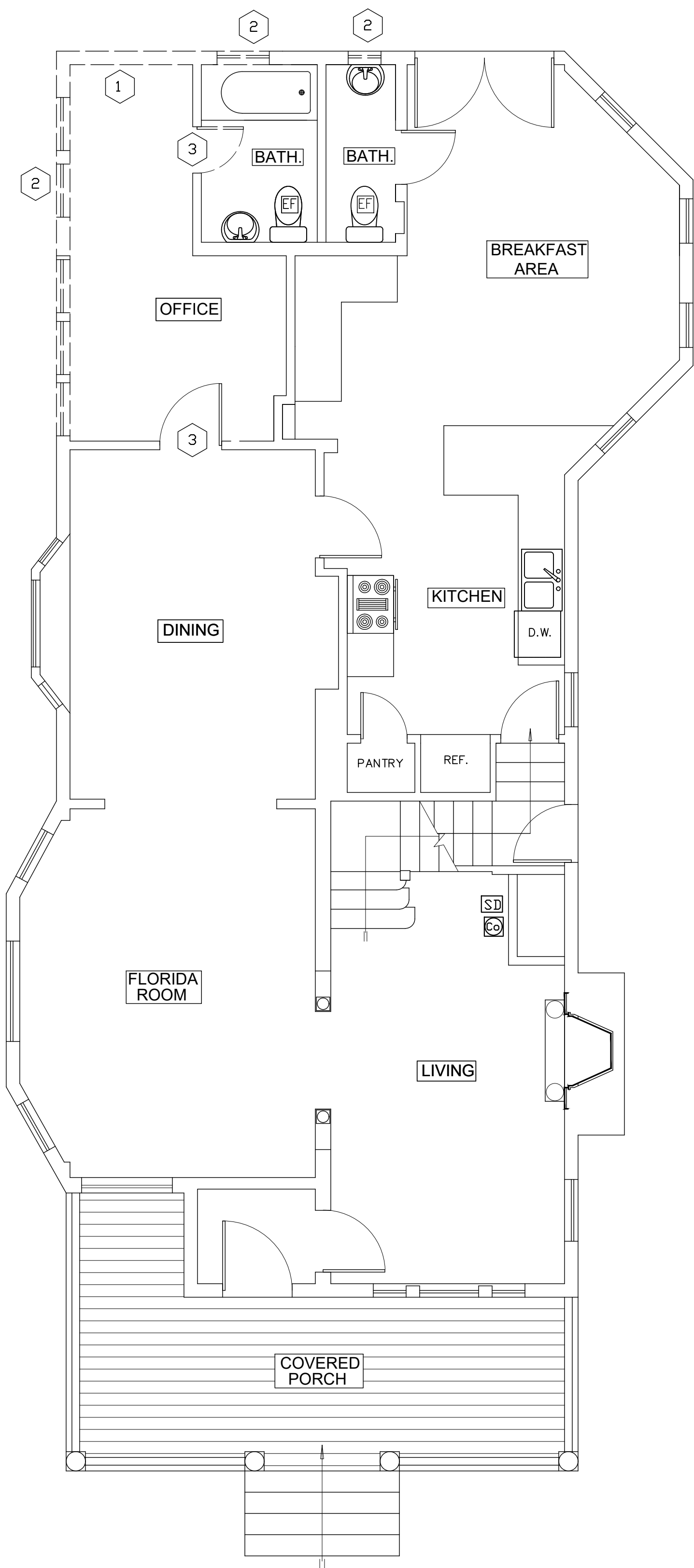
**EXISTING FLOOR PLANS**

DRAWING BY:  
FERNANDO ANGULO

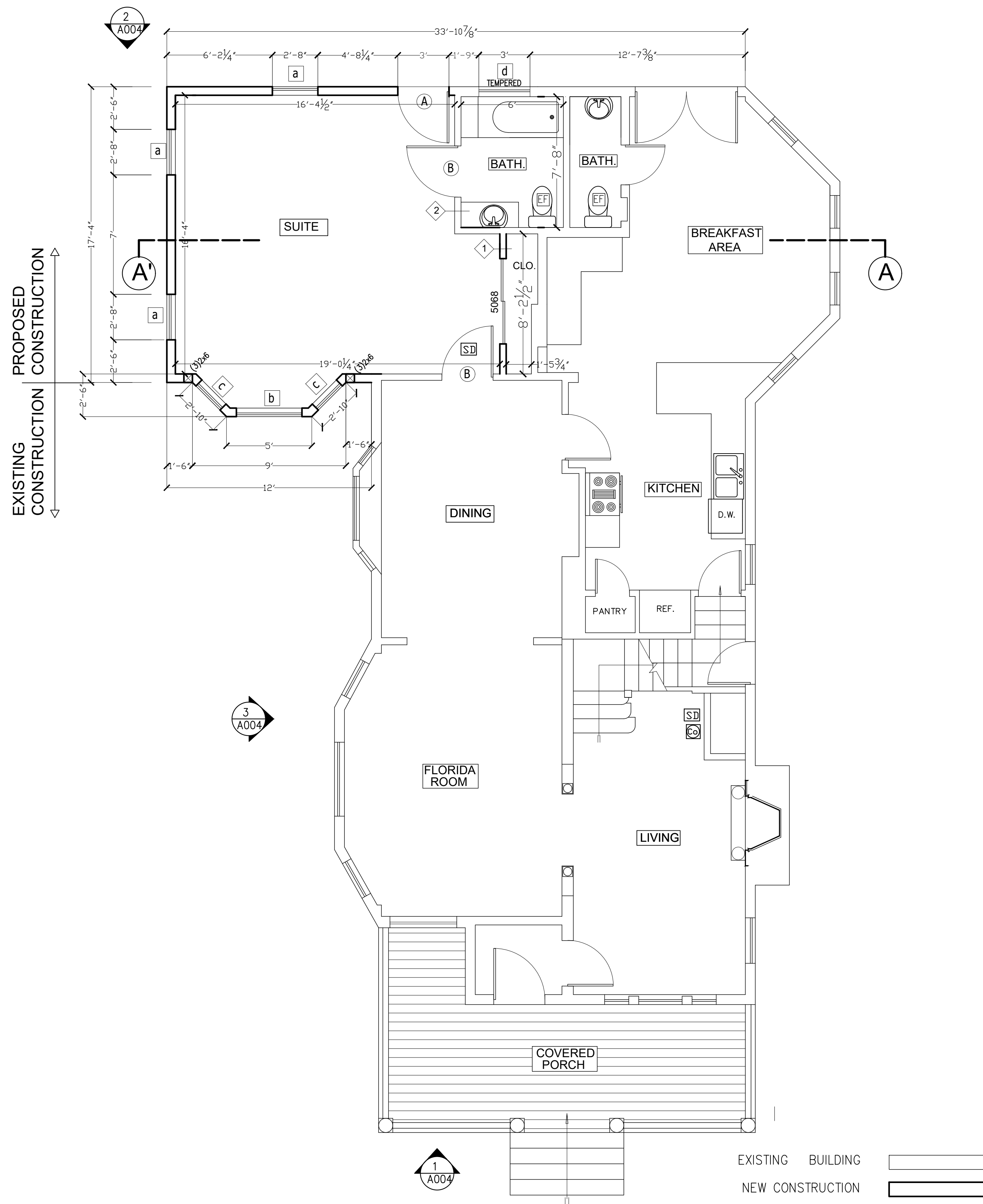
REVISION	
Δ	DATE

ISSUE DATE  
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PROJECT NUMBER

SHEET NUMBER  
**A001**



**DEMO FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**DEMOLITION NOTES**

- REMOVE ALL PORTIONS OF EXISTING WALLS, CEILINGS, FINISHES, LIGHT FIXTURES OUTLETS, ETC. AS REQUIRED TO EFFECT THE WORK SHOWN. ALL ELECTRICAL WIRING TO BE REMOVE BACK TO PANEL.
- DRAPe DUST BARRIERS OR CONSTRUCT TEMPORARY PARTITIONS TO PROTECT BALANCE OF HOUSE FROM FREE FLOW OF CONSTRUCTION DEBRIS OR DIRT THOROUGH THE AIR.
- PROTECT ALL AREAS OF HOUSE NOT LOCATED IN AREAS TO BE DISTURBED DURING CONSTRUCTION RESTORE ALL DAMAGES AREAS TO ORIGINAL CONDITION.
- REMOVE EXISTING DOORS, WINDOWS, TRIM, ETC. AS REQUIRED TO EFFECT THE WORK SHOWN OR IMPLIED BY THESE DRAWINGS.
- CONTRACTOR SHALL ENGINEER AND PROVIDE ALL SHORING AS REQUIRED TO TEMPORARILY SUPPORT EXISTING BUILDING AREAS & STRUCTURES TO REMAIN. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY IF ANY WALLS ARE DISCOVERED TO BE BEARING WHICH WEREN'T ORIGINALLY SHOWN IN STRUCTURAL DRAWINGS AS BEARING DURING DEMOLITION WORK.

DEMOLITION NOTES

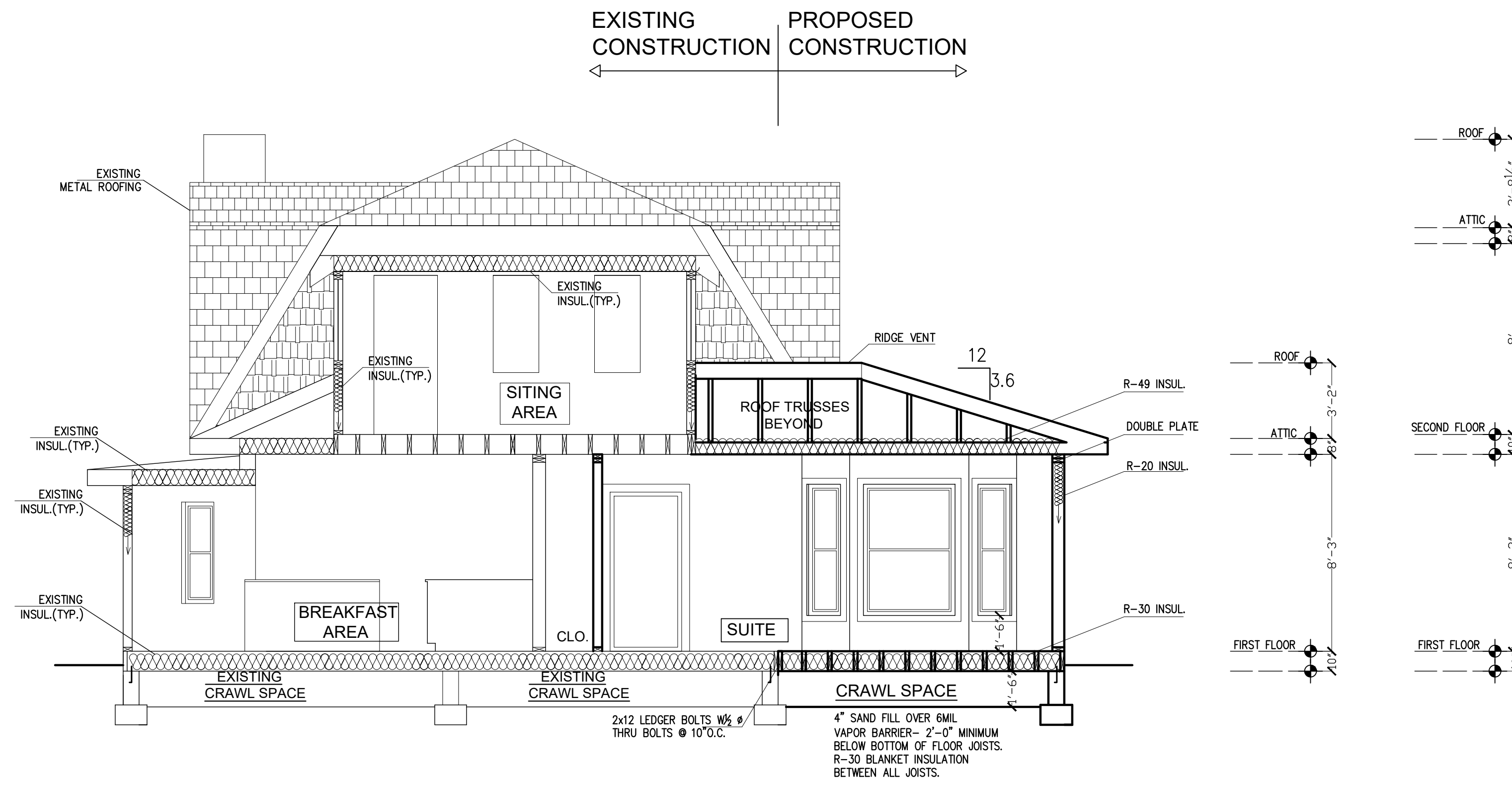
- WALLS TO BE REMOVED
- DOORS TO BE REMOVED
- WINDOWS TO BE REMOVED
- WINDOWS TO REMAIN

- WALLS TO REMAIN
- DOORS TO REMAIN

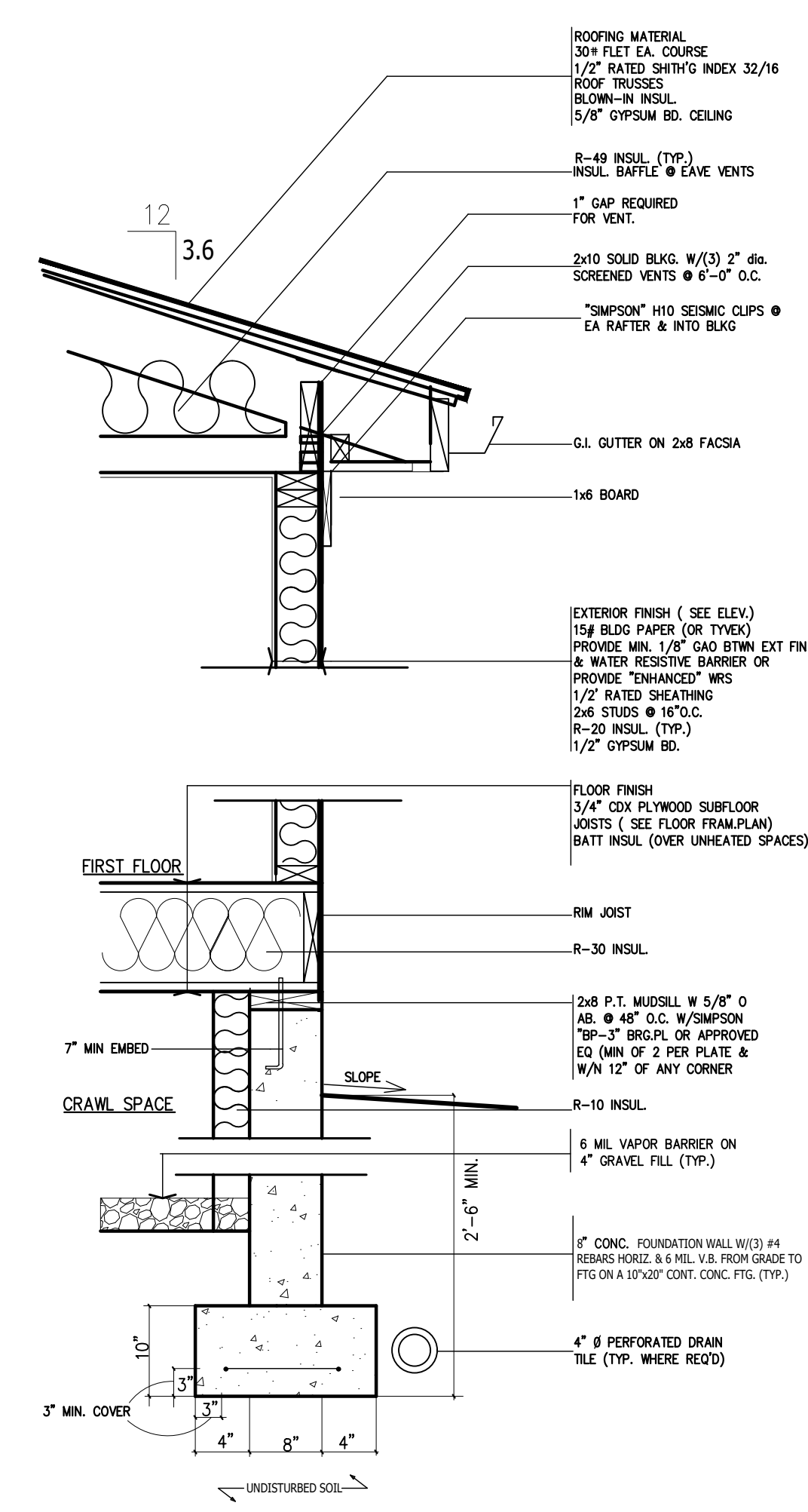
HATCHED AREA INDICATES EXIST AREA FLOORING, ROOF, STAIRS, BUILDING TO BE REMOVED

DEMOLITION NOTES

- WALL TO BE DEMOLISHED
- WINDOW TO BE REMOVED
- DOOR TO BE REPLACED

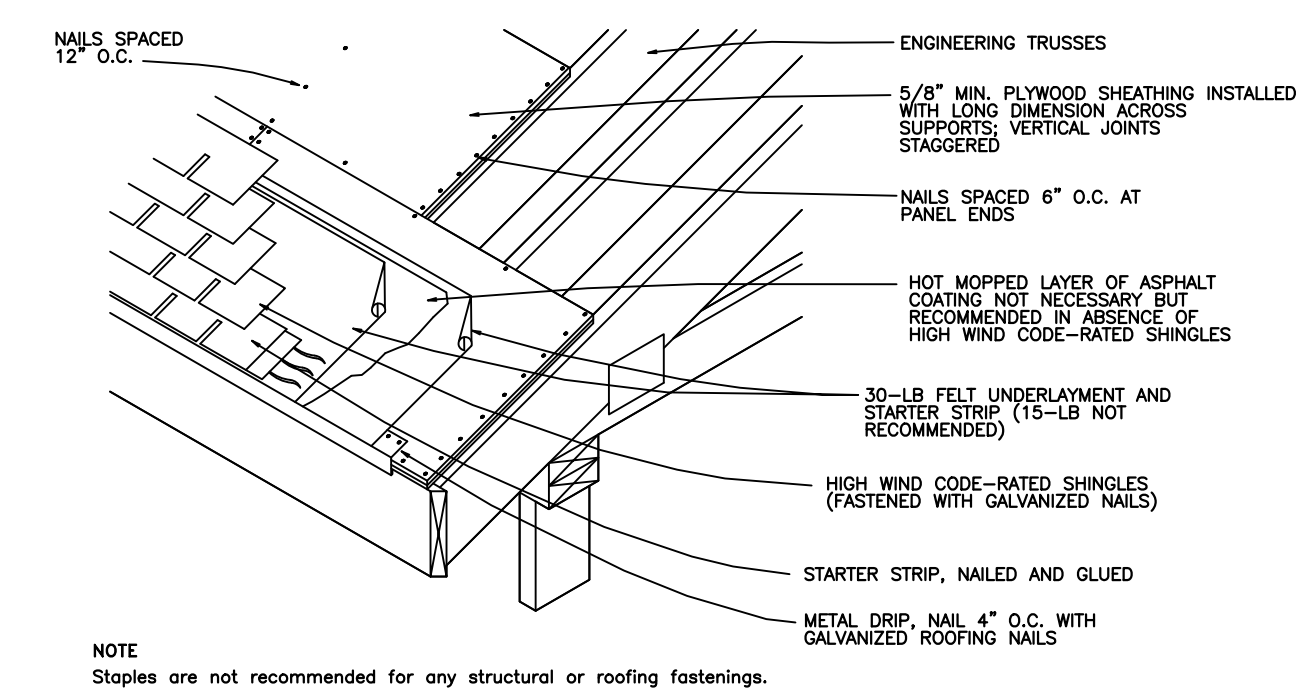


**BUILDING SECTION A-A'**  
SCALE: 1/4" = 1'-0"



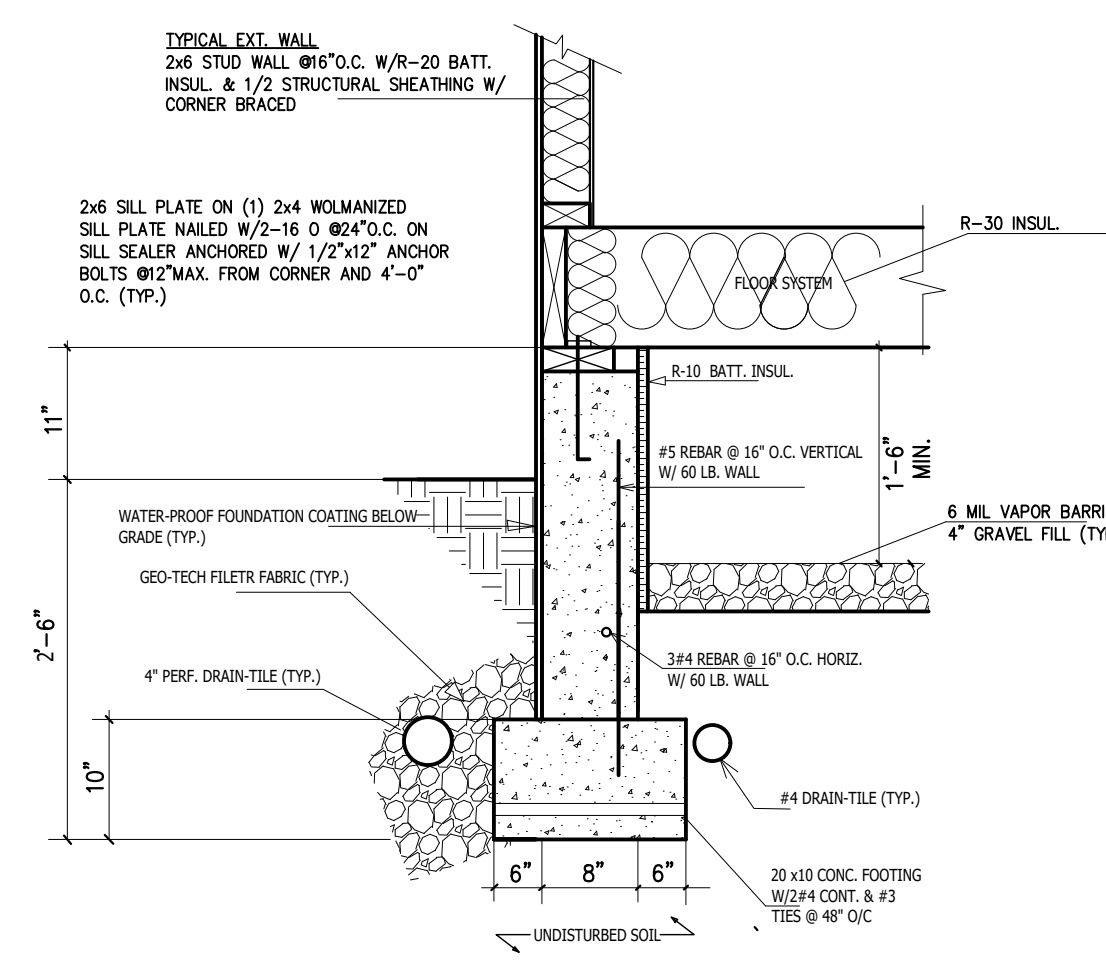
**1 TYP. WALL SECTION**

N/S



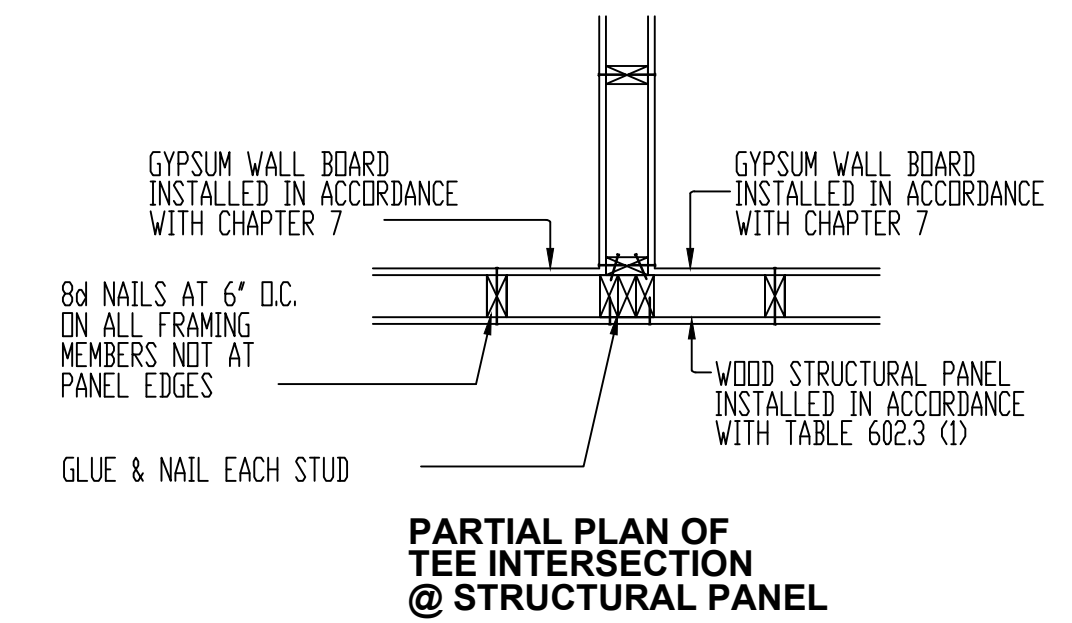
**2 ROOFING DETAIL**

N.T.S.

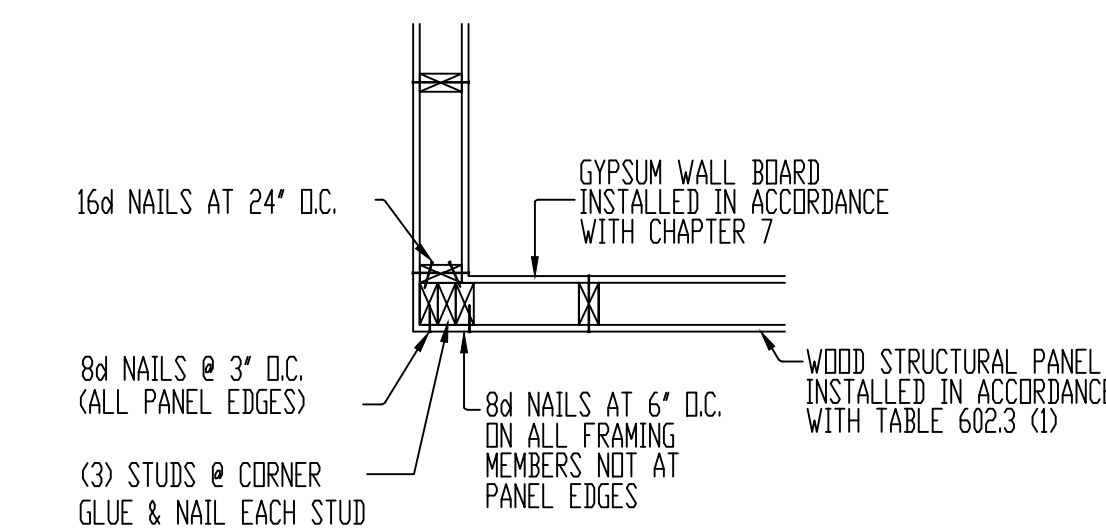


**3 FOUNDATION & SIDING**

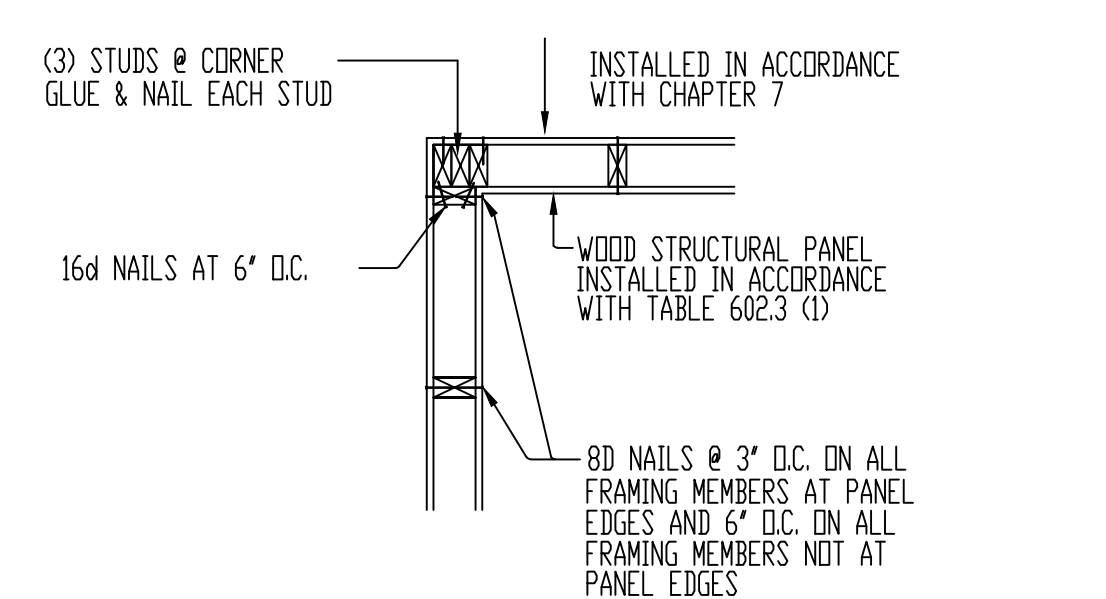
N/S



**PARTIAL PLAN OF TEE INTERSECTION @ STRUCTURAL PANEL**



**PARTIAL PLAN OF OUTSIDE CORNER**



**PARTIAL PLAN OF INSIDE CORNER**

N/S

**4 CORNER STUD FRAMING DETAILS**

**LE DESIGN LLC**  
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PHONE: 703-725-2822  
WWW.LEDESIGN.US  
angulo@yahoo.com

OWNER: **MR. & MRS. ROBERTS**  
HOUSE LOCATION: **TAKOMA PARK MD 20912**  
**7300 HOLLY AVE.**

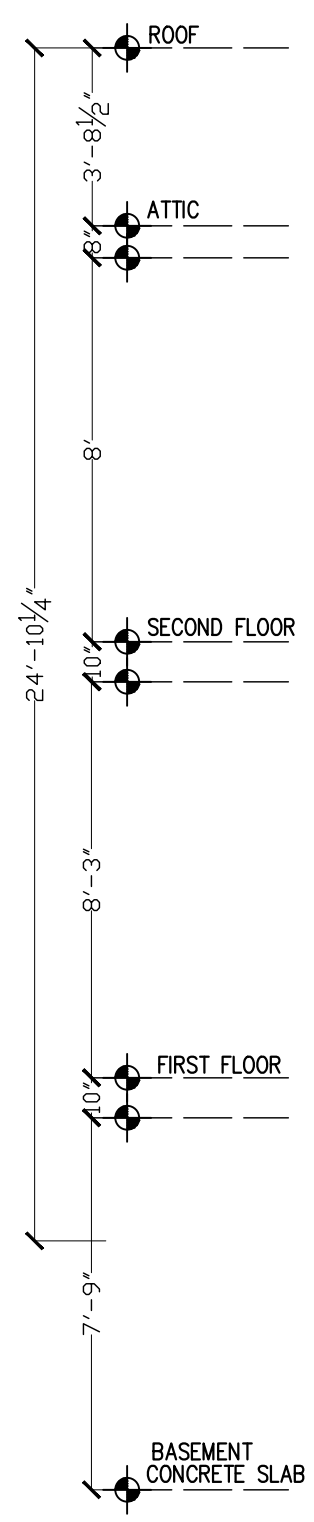
**BUILDING SECTION DETAILS**  
DRAWING BY: **FERNANDO ANGULO**

REVISION	
Δ	DATE

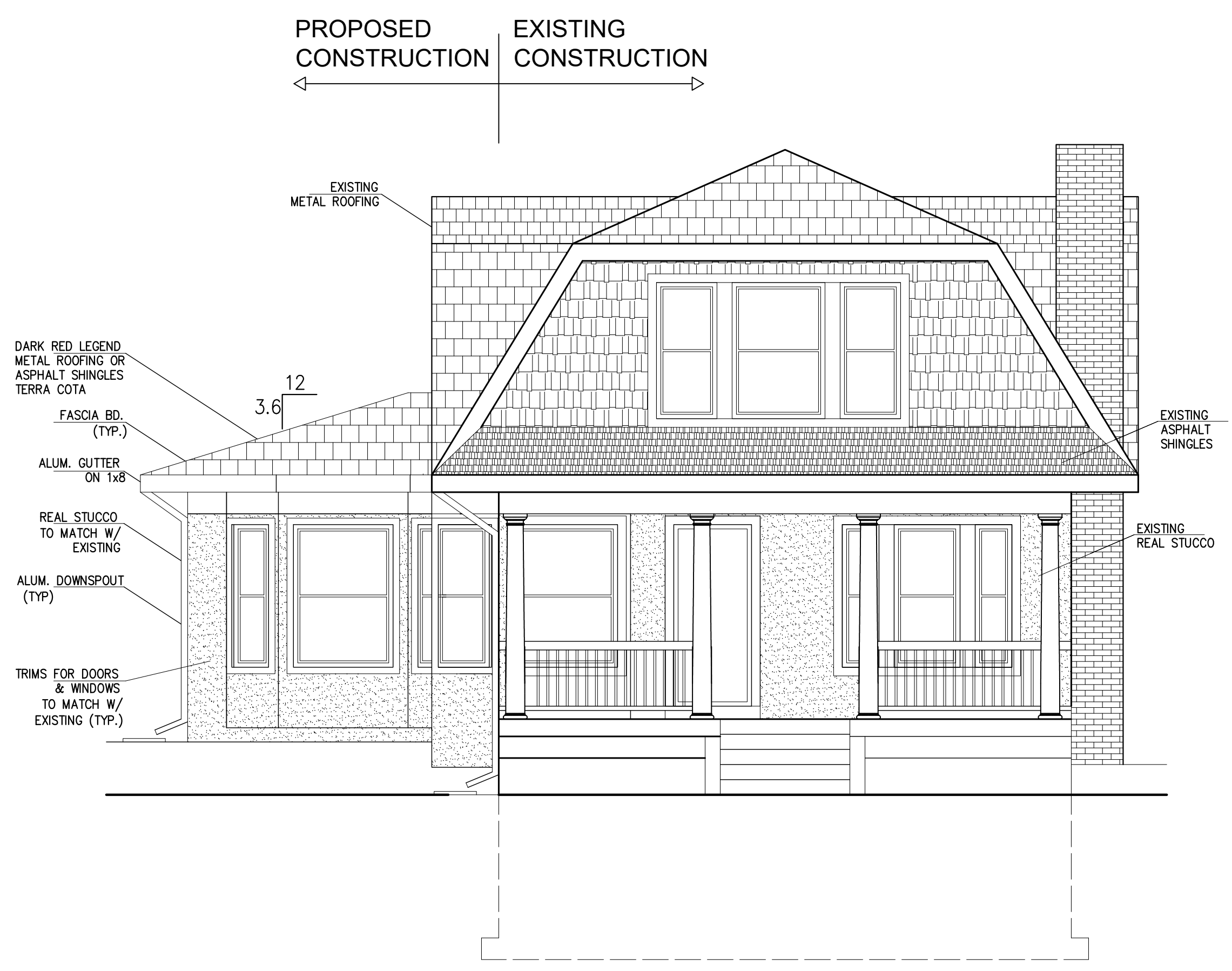
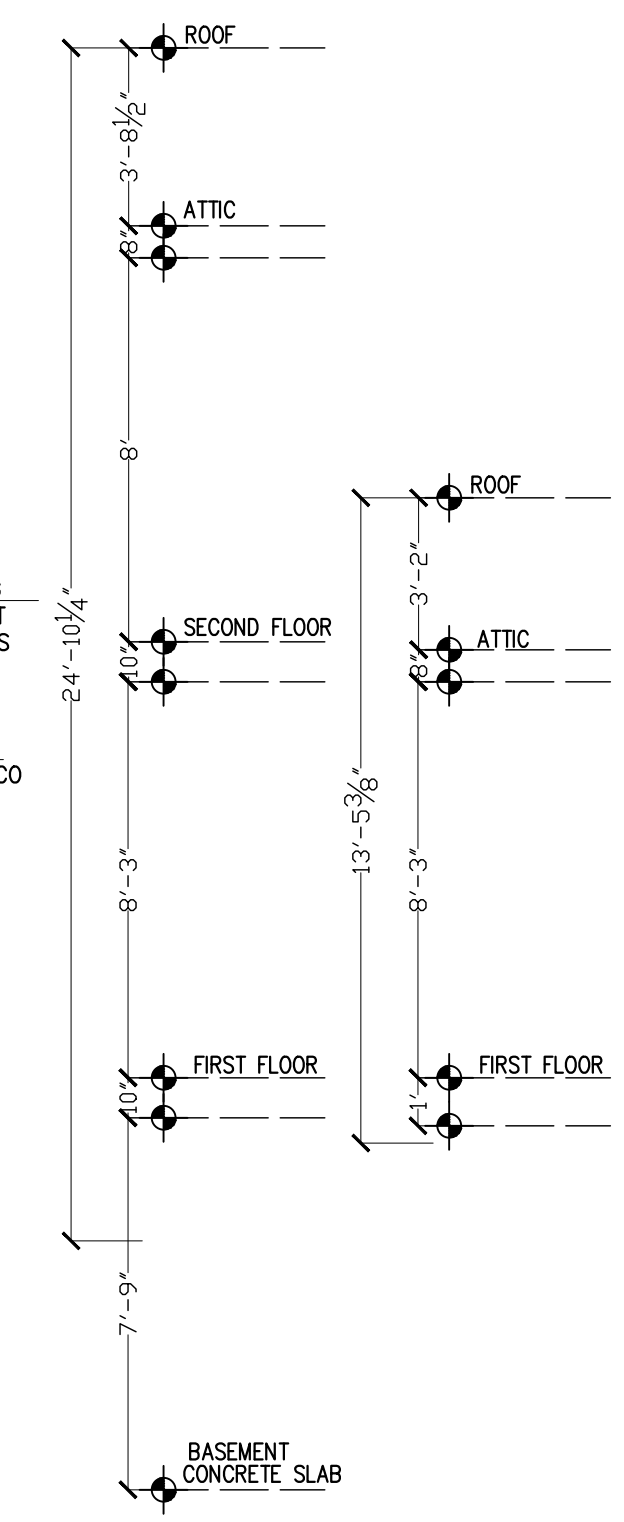
ISSUE DATE: **02/13/2023**  
PROJECT NUMBER

SHEET NUMBER: **A003**

REVISION	
△	DATE



**EXISTING FRONT ELEVATION**  
 SCALE: 1/4"=1'-0"

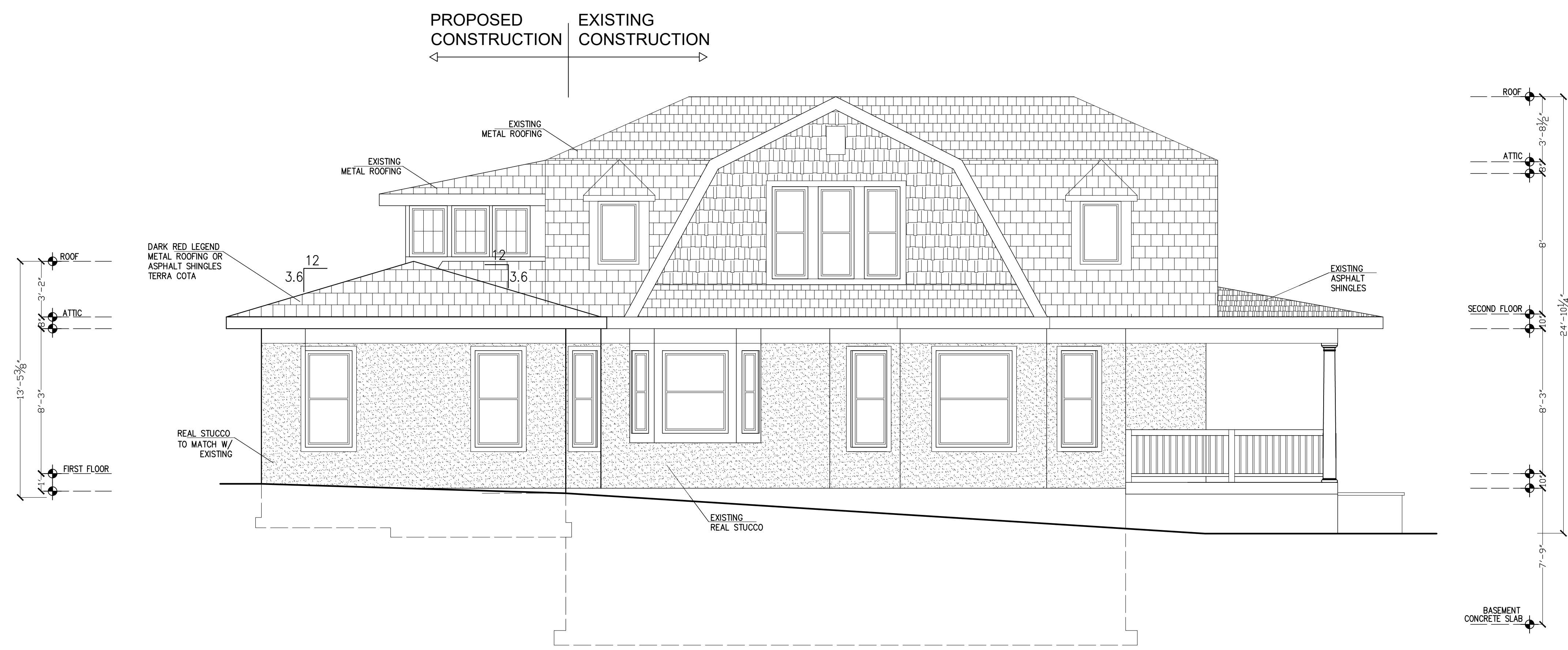


**PROPOSED FRONT ELEVATION**  
 SCALE: 1/4"=1'-0" (1/A004)





**EXISTING LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"



**PROPOSED LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0" (3) A004

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TAKOMA PARK  
MD 20912**

**ELEVATIONS**

DRAWING BY:  
FERNANDO ANGULO

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Δ	DATE

ISSUE DATE  
02/13/2023  
PROJECT NUMBER

SHEET NUMBER  
**A005**

OWNER:  
**MR. & MRS. ROBERTS**

HOUSE LOCATION:  
**7300 HOLLY AVE.**

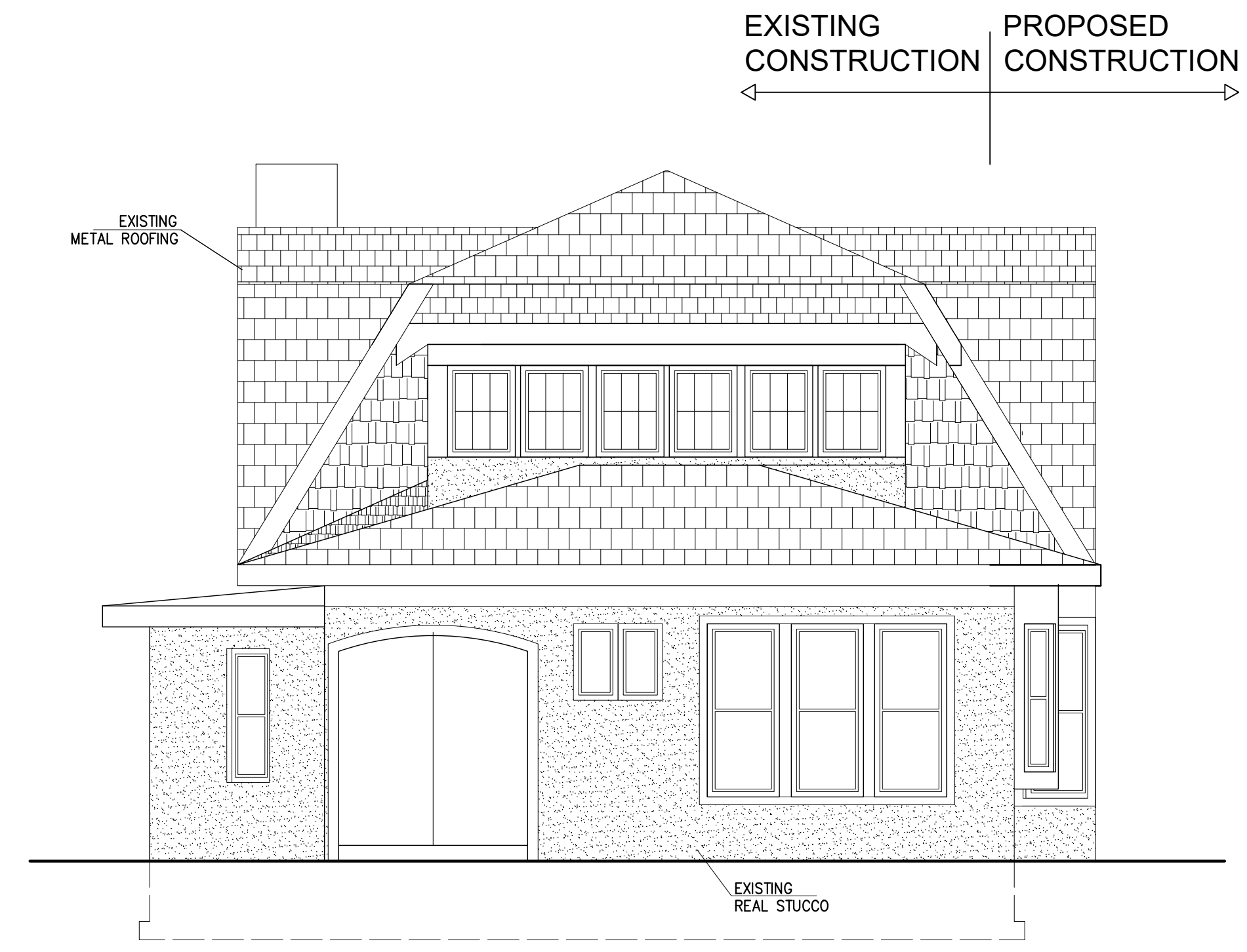
**ELEVATIONS**

DRAWING BY:  
 FERNANDO ANGULO

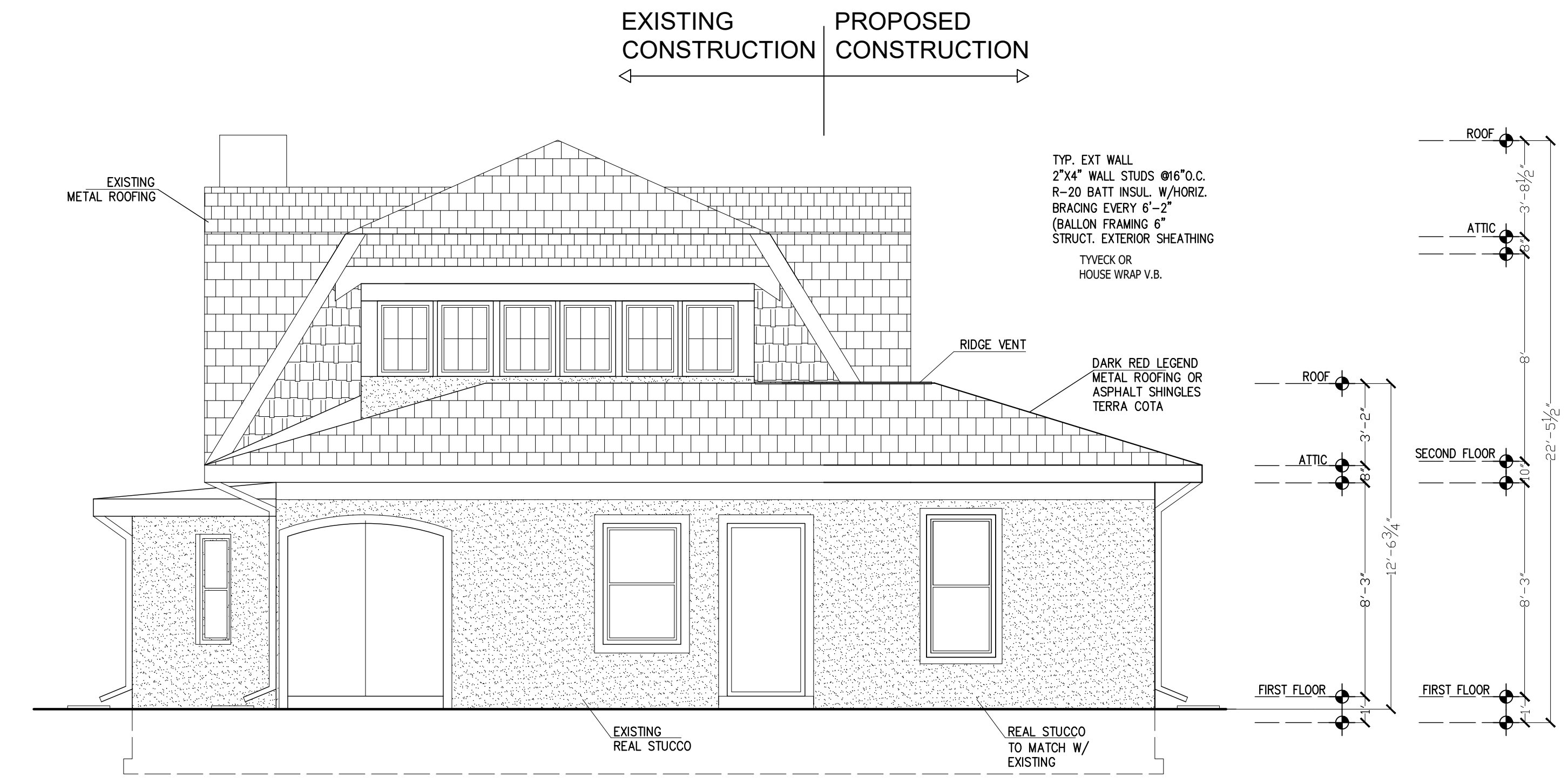
REVISION	
△	DATE

ISSUE DATE  
 02/13/2023  
 PROJECT NUMBER

SHEET NUMBER  
**A006**

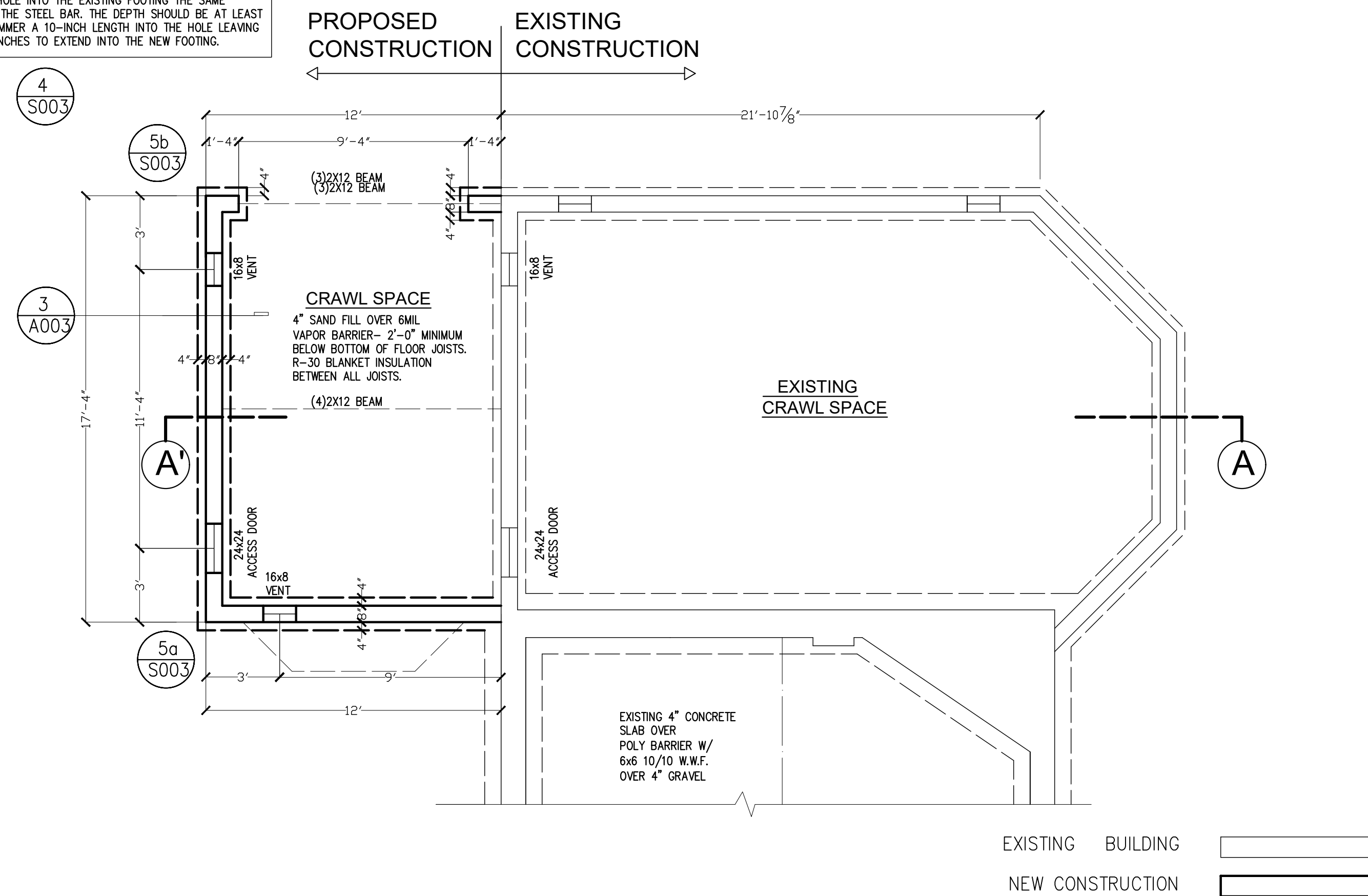


**EXISTING REAR ELEVATION**  
 SCALE: 1/4"=1'-0"



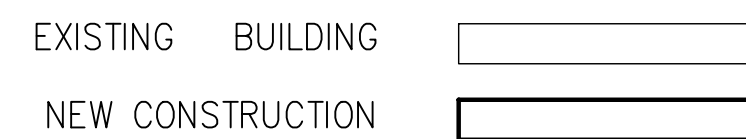
**PROPOSED REAR ELEVATION**  
 SCALE: 1/4"=1'-0" 2  
A004

NOTE TO TIE A NEW FOUNDATION TO AN EXISTING FOUNDATION:  
 USE STEEL RODS TO CONNECT A NEW FOOTING TO AN EXISTING ONE. DRILL A HOLE INTO THE EXISTING FOOTING THE SAME DIAMETER AS THE STEEL BAR. THE DEPTH SHOULD BE AT LEAST 4 INCHES. HAMMER A 10-INCH LENGTH INTO THE HOLE LEAVING AT LEAST 6 INCHES TO EXTEND INTO THE NEW FOOTING.

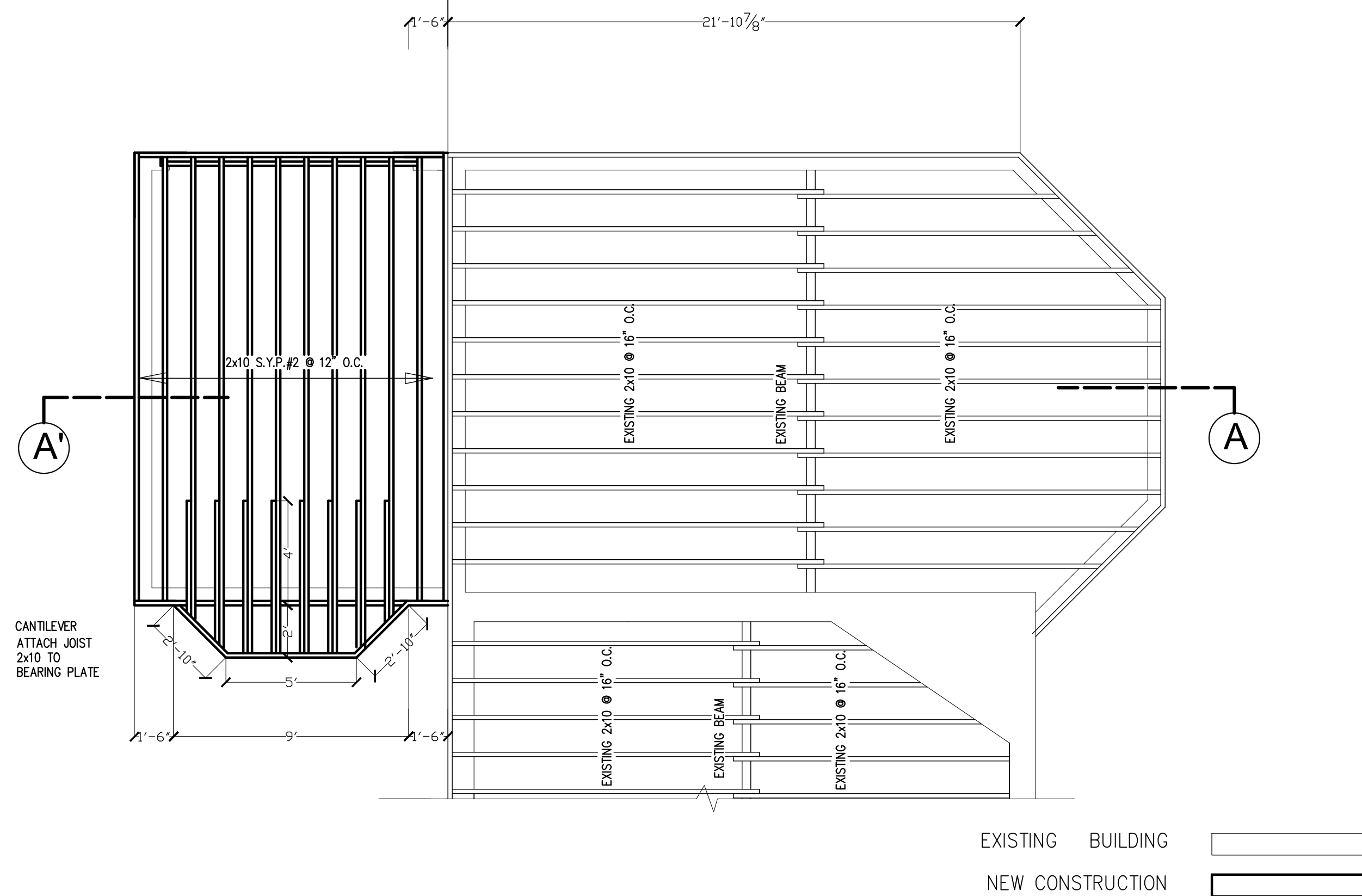


**FOUNDATION PLAN**

SCALE: 1/4"=1'-0"

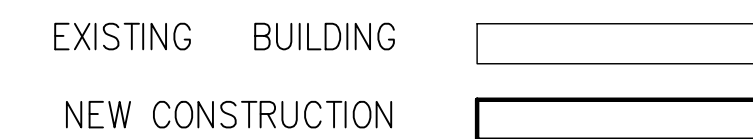


PROPOSED CONSTRUCTION      EXISTING CONSTRUCTION



**FIRST FLOOR FRAMING PLAN**

SCALE: 1/4"=1'-0"



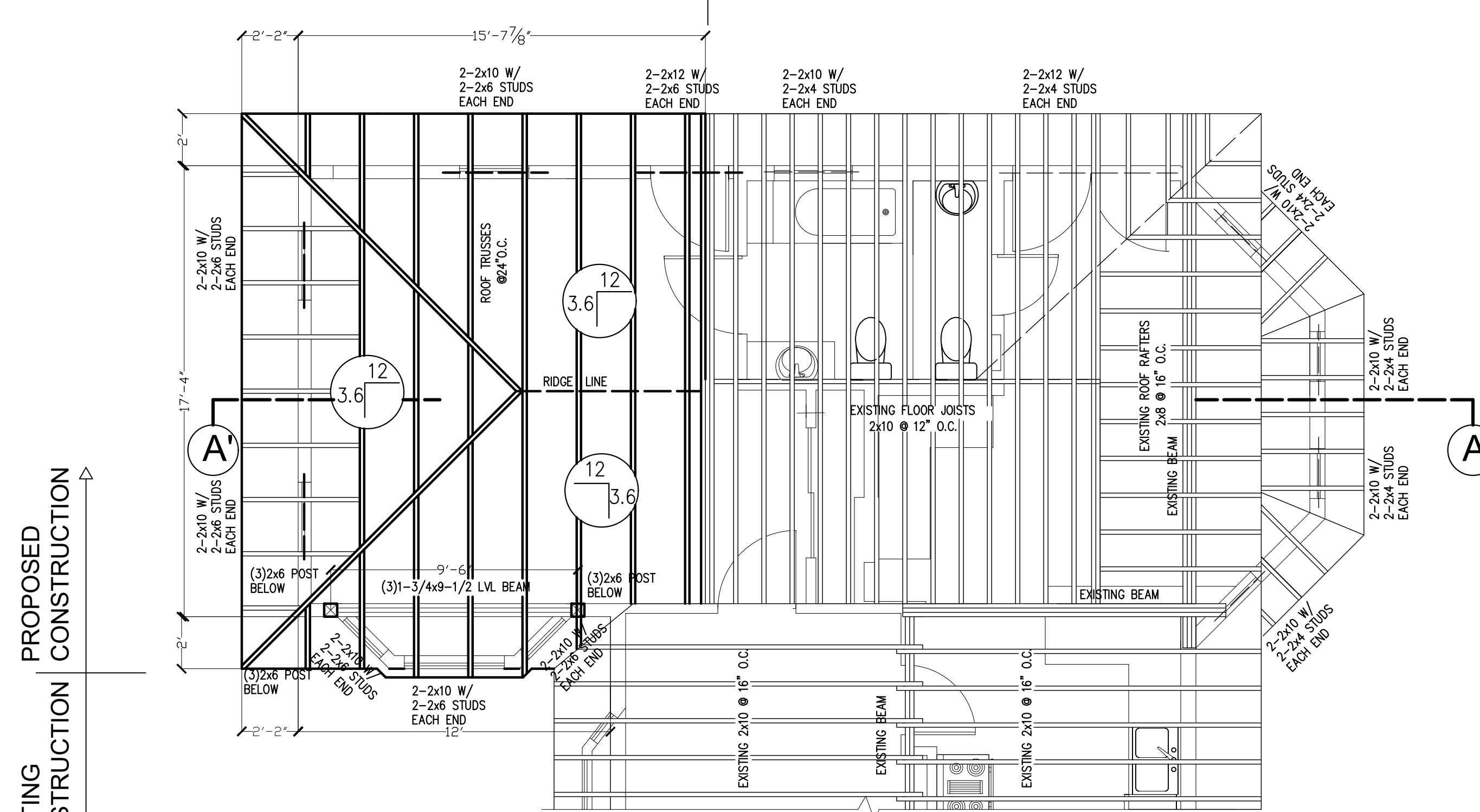
**CONCRETE**

- ALL CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE A.C.I. 318-89.
- ALL CONCRETE UNLESS NOTED OTHERWISE SHALL BE STONE CONCRETE HAVING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI AFTER 28 DAYS.
- REINFORCING STEEL SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF A.S.T.M. A-615 GRADE 60. DESIGN STRESS=60,000 PSI. LAP BARS 40 DIAM. UNLESS OTHERWISE SHOWN.
- WELDED WIRE FABRIC SHALL HAVE A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI AND SHALL CONFORM TO A.S.T.M. A-185.
- MINIMUM STEEL PROTECTION UNLESS OTHERWISE SHOWN, SHALL BE 1" FOR SLABS, 3" FOR FOOTINGS AND OTHERS STRUCTURAL CONCRETE DEPOSITED AGAINST GROUND.
- EXCAVATION SHALL BE KEPT FREE OF WATER, NO CONCRETE SHALL BE PLACED IN WATER.

**FOUNDATION**

- ALL FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 1,500 PSF, OF ENGINEERED CONTROLLED COMPACTED FILL AS REQUIRED HAVING ALLOWABLE BEARING CAPACITY OF 1,500 PSF.
- THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS, AND EXCAVATIONS SHALL BE KEPT FREE OF WATER.
- EDGES OF FOOTINGS SHALL NOT BE PLACED AT A SLOPE GREATER THAN 1 (VERTICAL) TO 2 (HORIZONTAL) WITH RESPECT TO ANY ADJACENT FOOTINGS U.N.O.
- THE FOUNDATION CONTRACTOR SHALL REFER TO THE MECHANICAL AND ELECTRICAL CONTRACTOR DRAWINGS FOR ALL LOCATIONS OF TRENCHES, PITS, CONDUITS, UNDERFLOOR AND PERIMETER DRAINAGE SYSTEMS, ETC.
- THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MAXIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE U.N.O.

PROPOSED CONSTRUCTION      EXISTING CONSTRUCTION

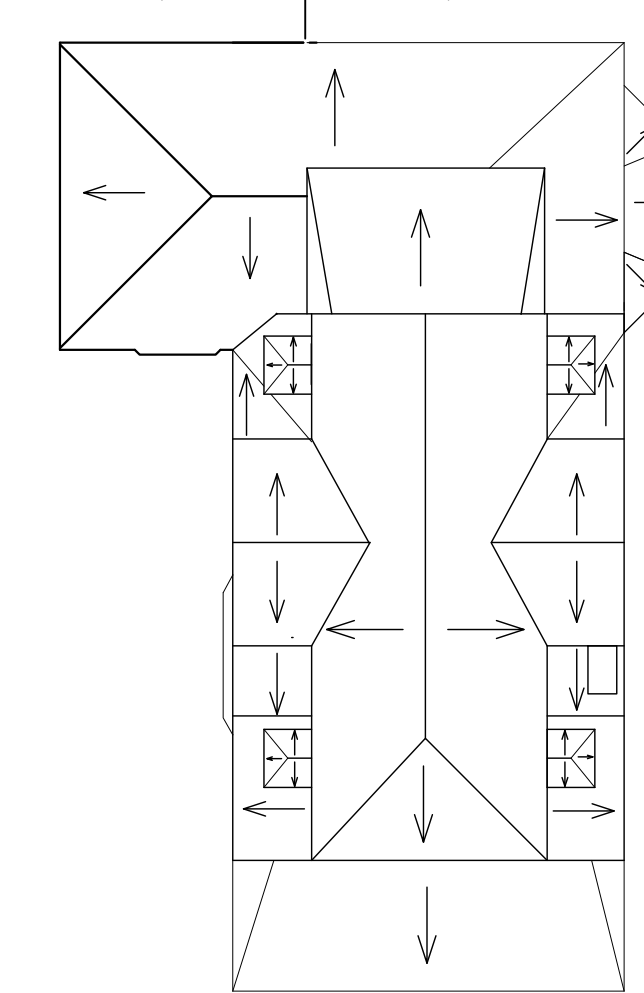


**ROOF FRAMING PLAN**

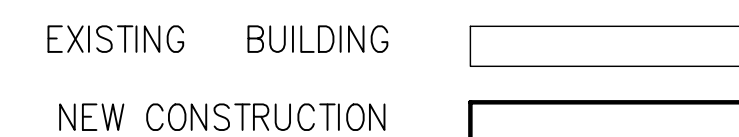
SCALE: 1/4"=1'-0"

EXISTING CONSTRUCTION      PROPOSED CONSTRUCTION

PROPOSED CONSTRUCTION      EXISTING CONSTRUCTION



NOTES:  
 ALL ROOF FRAMING SHALL USE PRE-ENGINEERED ROOF TRUSSES AND ALL SIZES/DESIGN TO BE REVIEWED AND APPROVED BY ROOF TRUSS SUPPLIER OR CONTRACTOR



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**TAKOMA PARK**  
 MD 20912

OWNER:  
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HOUSE LOCATION:  
**7300 HOLLY AVE.**

**FOUNDATION PLAN**

**FRAMING PLANS**

DRAWING BY:  
 FERNANDO ANGULO

REVISION

Δ	DATE

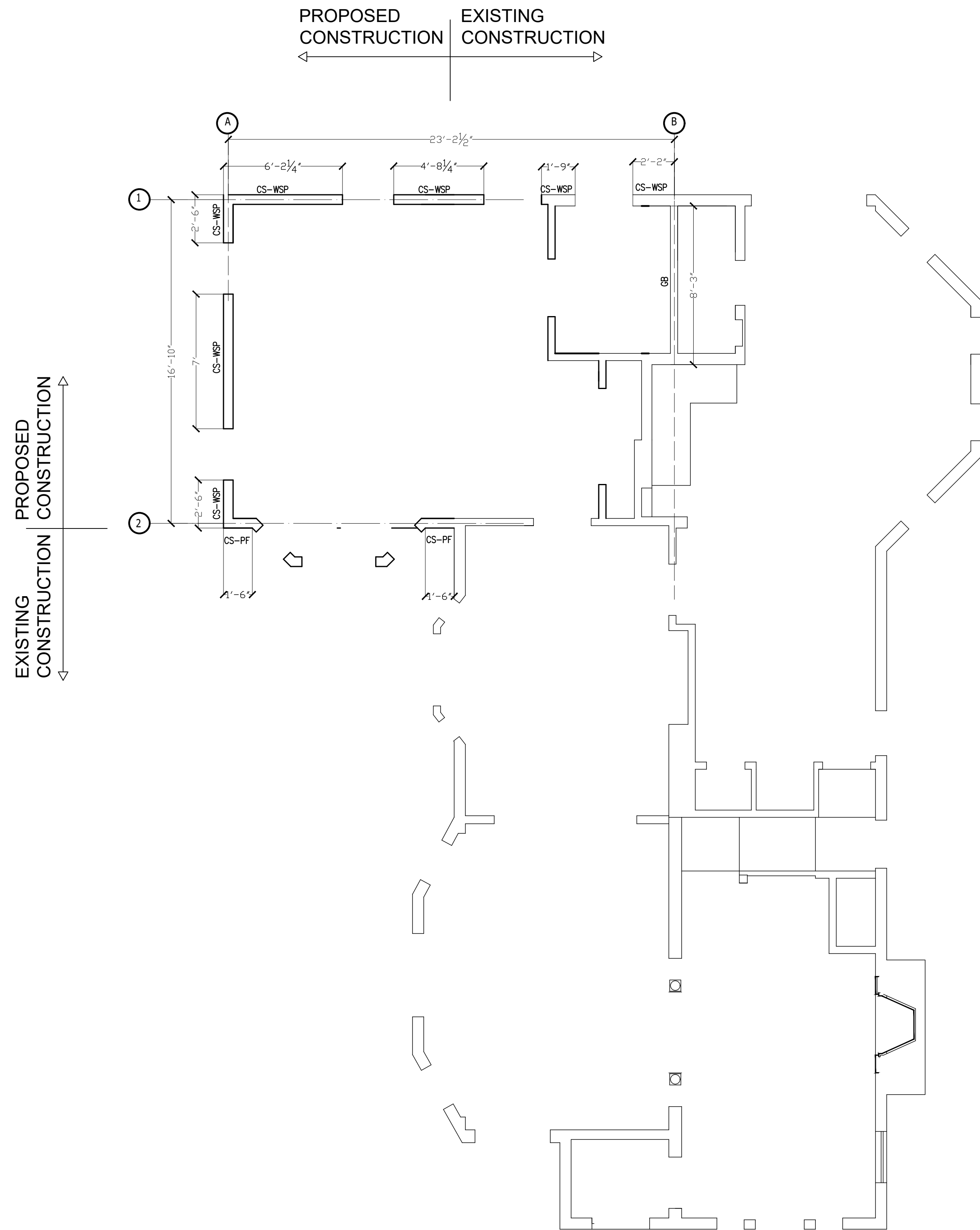
ISSUE DATE

02/13/2023

PROJECT NUMBER

SHEET NUMBER

**S001**



**WALL BRACING- FIRST FLOOR PLAN**

SCALE: 1/4"=1'-0"

FIRST FLOOR-BRACING CALCULATION									
Braced Wall Line	TYPE	Dist. Between BWLs	Min. Braced Panel	Wall Height Factor	Roof Height Factor	No. BWL Factor	Required Braced Panels	Available Braced Panels	Results
1	CS-WSP	16.9'	3.5'	0.90	0.70	1.00	2.21'	15.1'	OK
2	CS-PF	16.9'	3.5'	0.90	0.70	1.00	2.21'	3.2'	OK
A	CS-WSP	23.2'	5.0'	0.90	0.70	1.00	3.15'	12.0'	OK
B	GB	23.2'	9.5'	0.90	0.70	1.00	5.9'	8.3'	OK

Bracing Notes

1. Wind bracing method is CS-WSP per section .602.12 of IRC 2018.
2. Sheathing material shall be wood structural panels with a minimum thickness of  $\frac{3}{8}$ " in.
3. All exterior walls must finished on the inside with  $\frac{1}{2}$  inch minimum gypsum board.
4. A bracing unit must begin within 10 feet of any corner of the structure.
5. The distance between bracing units can not exceed 20 feet.
6. No side of the rectangle can be more than 60'.
7. Basic wind speed is 90 mph, and seismic Design Category is B.
8. LVLs shall have min. Fb = 2800 psi and 2.0E
9. Connection criteria: 6d common (2"x0.113") nails at 6" spacing (panel edges) and at 12" spacing (intermediate supports) or 16 ga.x 1-3/4 staples: at 3" spacing (panel edges) and 6" spacing (intermediate supports).

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 angulof@yahoo.com

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 TAKOMA PARK  
 MD 20912**

**WALL BRACING  
 PLANS**

DRAWING BY:  
 FERNANDO ANGULO

REVISION  
 △ DATE

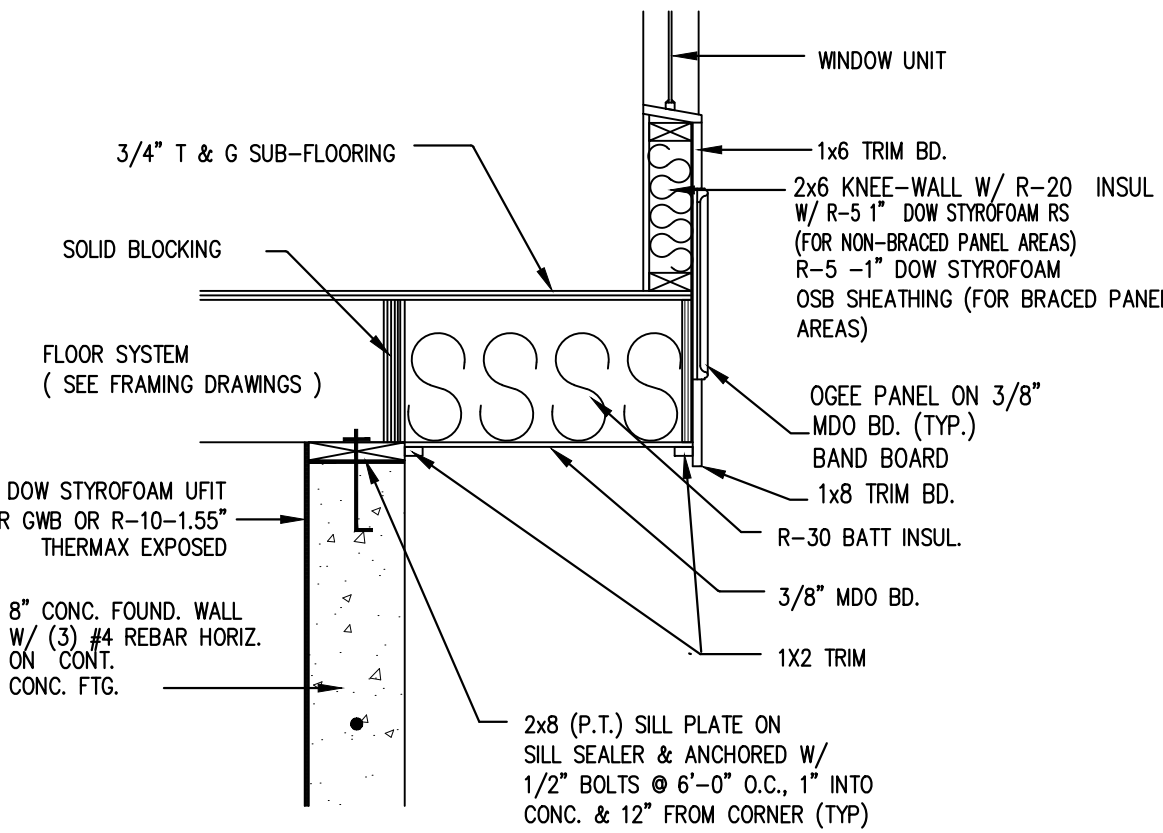
ISSUE DATE  
 02/13/2023  
 PROJECT NUMBER

SHEET NUMBER  
**S002**

# DOOR & WINDOW SCHEDULE

DOOR SCHEDULE					
NAME	QTY	SIZE	DESCRIPTION	THICKNESS	COMMENTS
A	1	3068 EX		1 3/4"	KROSWOOD EXTERIOR DOOR
B	2	3068 IN		1 3/4"	

WINDOW SCHEDULE					
NUMBER	QTY	SIZE	DESCRIPTION	COMMENTS	
a	3	2856	DOUBLE HANG	DELD-WEN W-2500. CLAD WOOD WINDOW	
b	1	31056	FIXED	DELD-WEN W-2500. CLAD WOOD WINDOW	
c	2	2856	DOUBLE HANG	DELD-WEN W-2500. CLAD WOOD WINDOW	
d	1	3048	DOUBLE HANG	DELD-WEN W-2500. CLAD WOOD WINDOW-TEMP.	

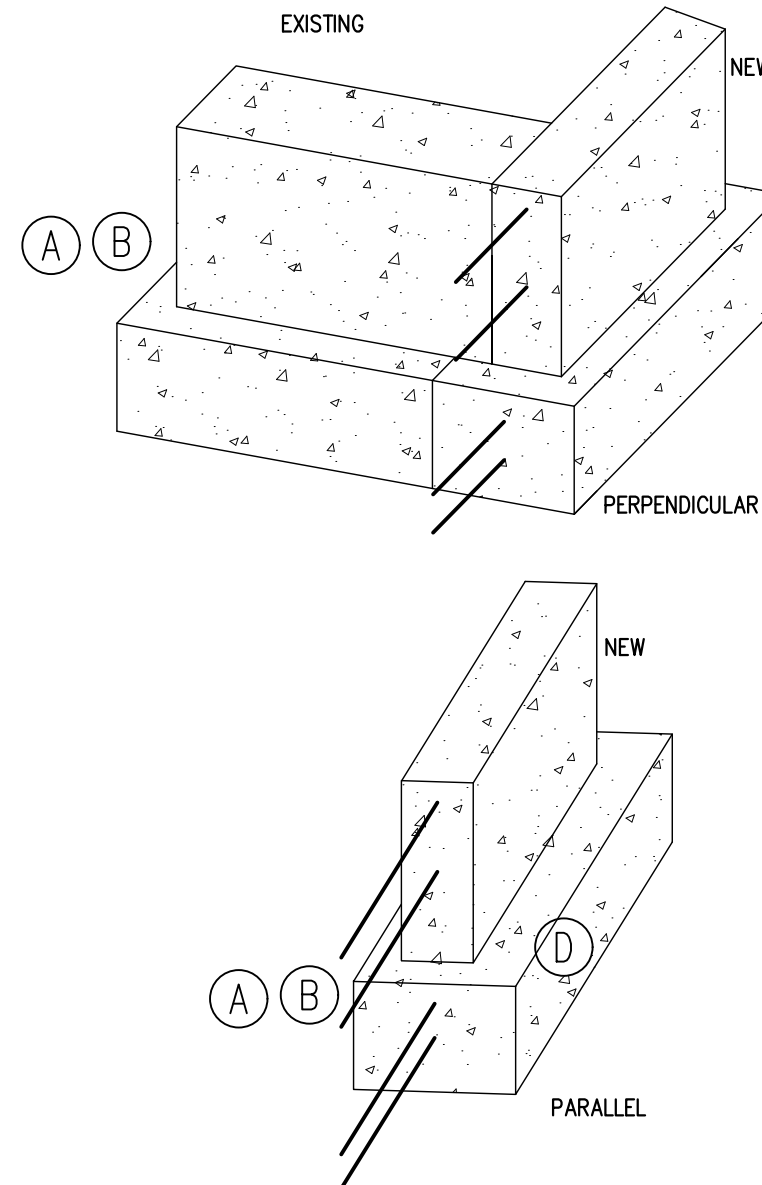


NOT SCALED

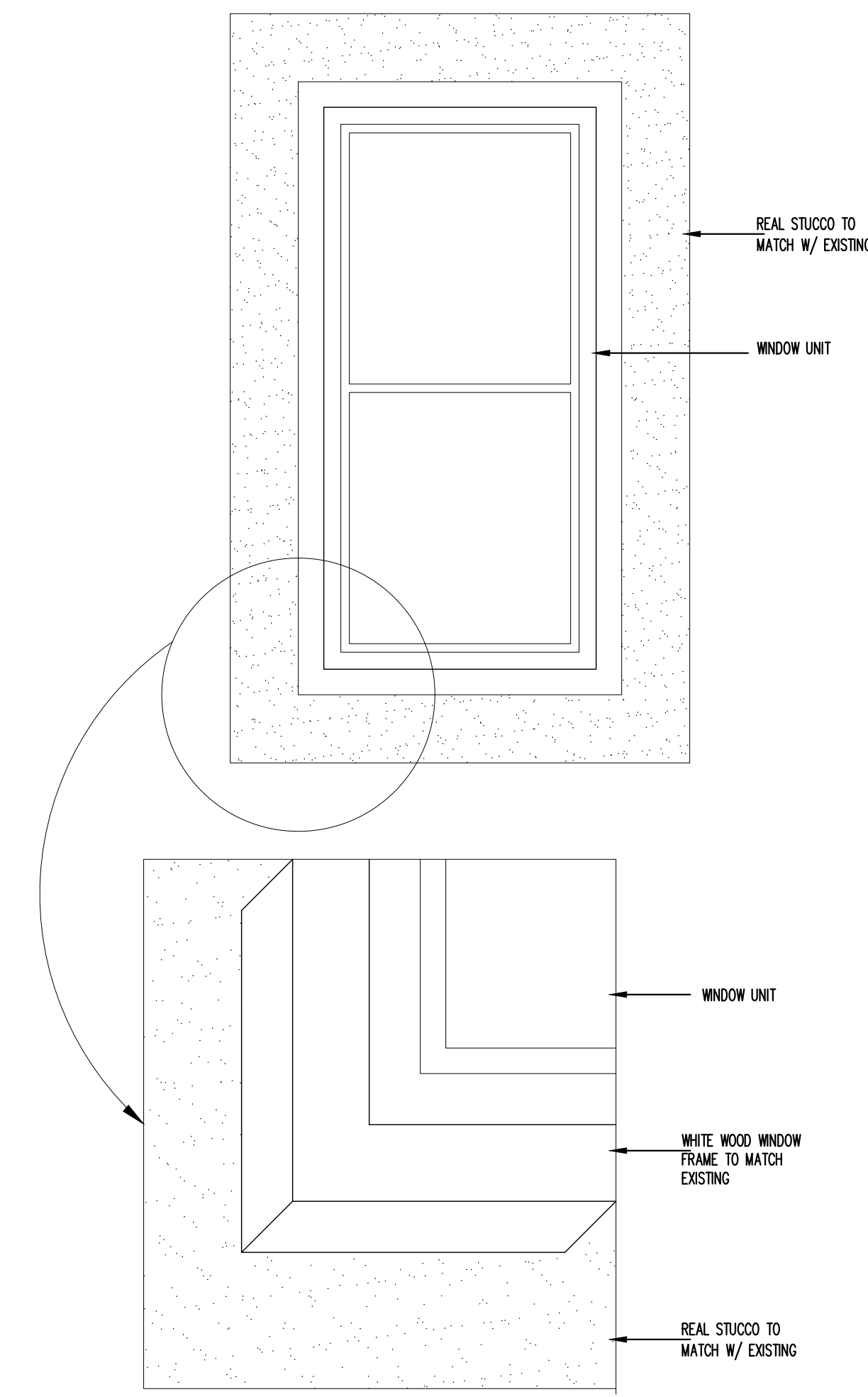
## 3 BAY-WINDOW CANTILEVER

NOTE TO TIE A NEW FOUNDATION TO AN EXISTING FOUNDATION:  
USE STEEL RODS TO CONNECT A NEW FOOTING TO AN EXISTING ONE. DRILL A HOLE INTO THE EXISTING FOOTING THE SAME DIAMETER AS THE STEEL BAR. THE DEPTH SHOULD BE AT LEAST 4 INCHES. HAMMER A 10-INCH LENGTH INTO THE HOLE LEAVING AT LEAST 6 INCHES TO EXTEND INTO THE NEW FOOTING.

- A PARALLEL TO EXISTING:  
USE (4)#2 REBAR 10" IN LENGTH 6" EMBED U.N.O. PERPENDICULAR TO EXISTING USE: (4)#2 REBAR 12" IN LENGTH WITH 6" EMBED U.N.O. (4" INTO 6" STEM).
- B EPOXY SET W/SIMPSON SET OR AT 1-1/2" COVER AT ALL LOCATIONS
- C FOLLOW ALL MFR & JURISDICTION REQ. FOR USE OF EPOXY.
- D REBAR TO HAVE 3" MIN. CONCRETE COVER FROM BOTTOM AND 2" AT SIDES.

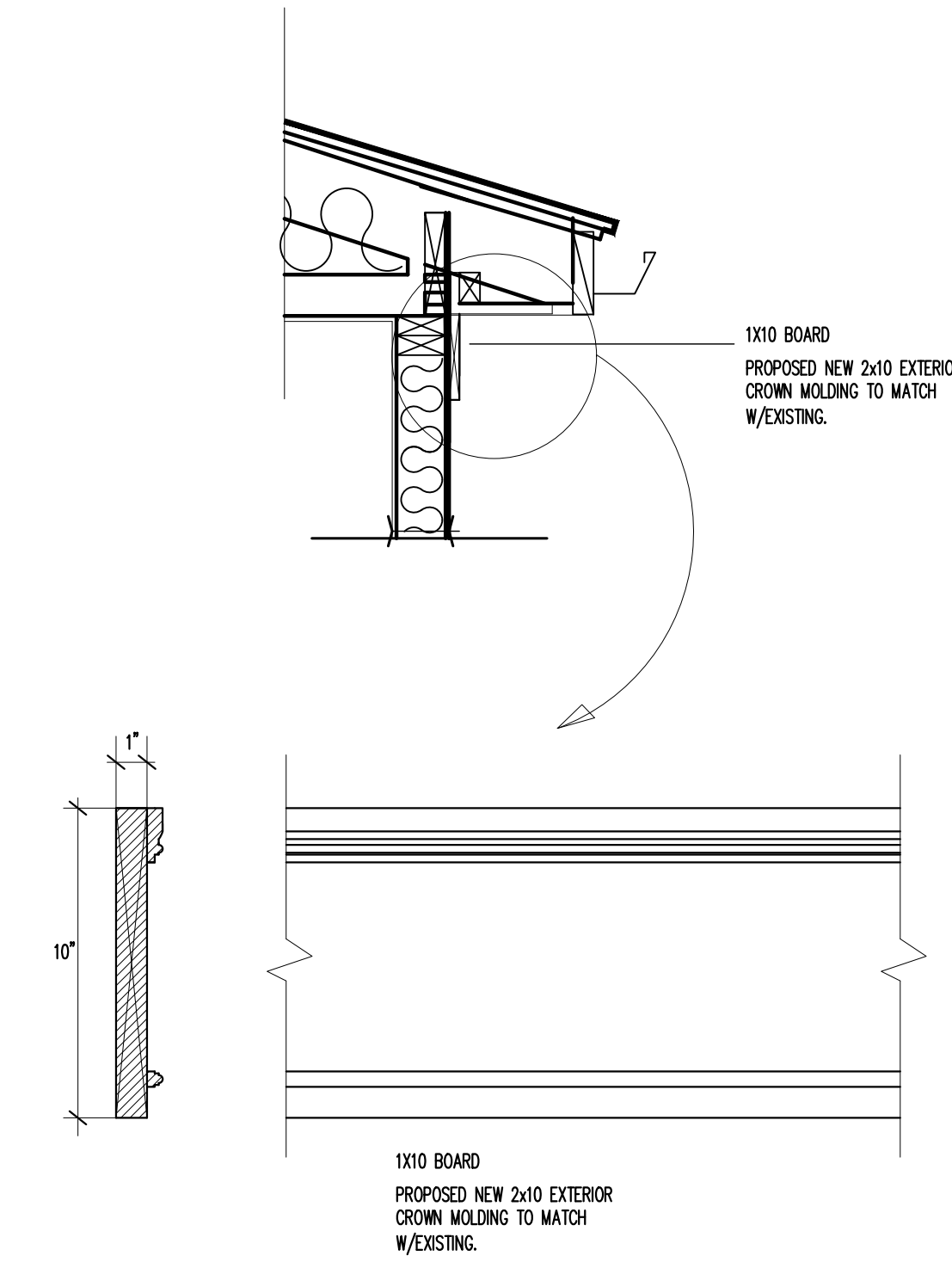


## 4 EXISTING FOUNDATION CONNECTION



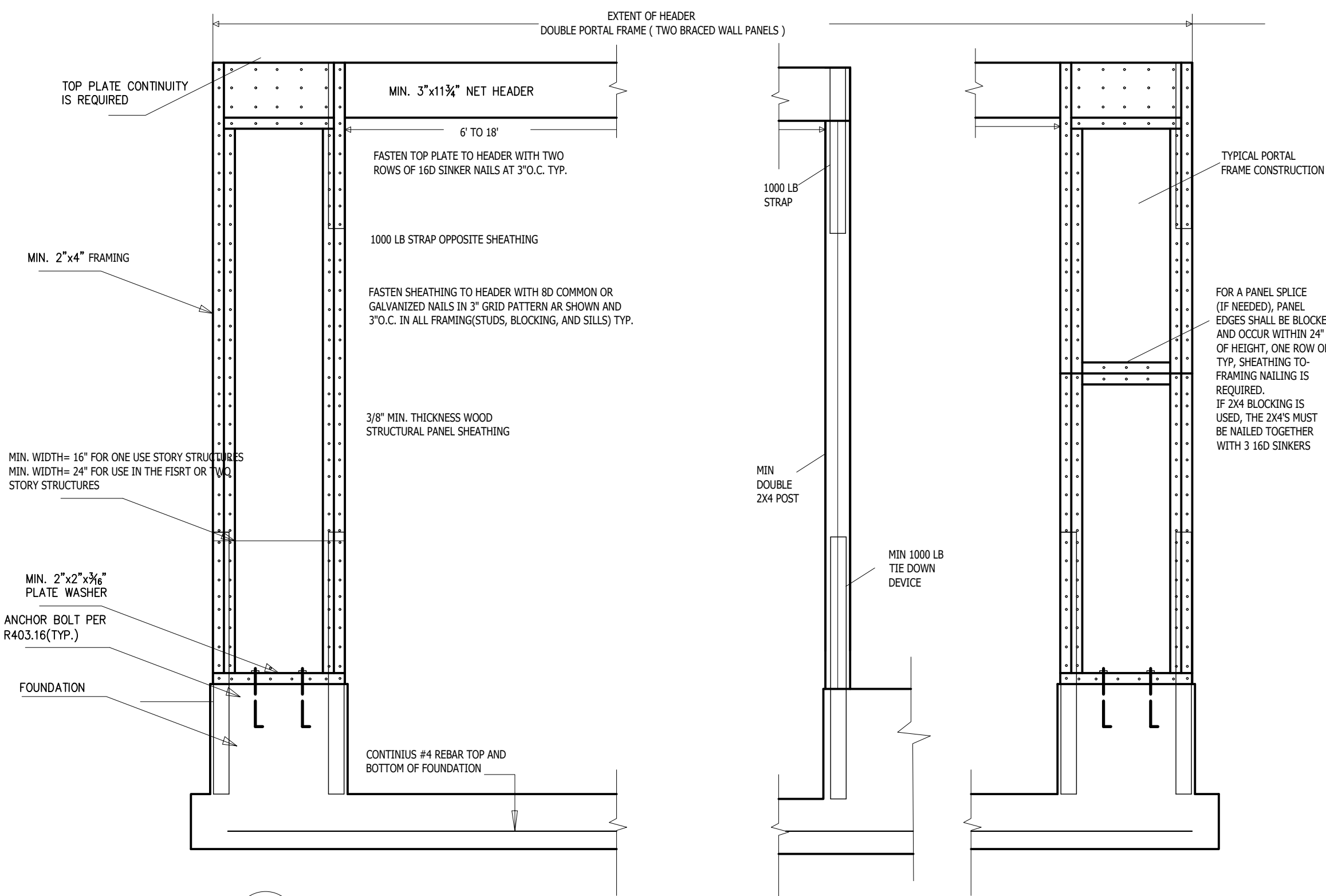
## 1 WOOD FRAME WINDOW DETAIL

N.T.S.



## 2 1x10 WOOD BOARD DETAIL

N.T.S.



## a OVER CONCRETE OR MASONRY BLOCK FOUNDATION

## 5 BRACED WALL, CONTINUOUS SHEATHING PORTAL FRAME

**LE DESIGN LLC**  
IDEAS PROJECTS CONSTRUCTION  
5310 DORIS DR.  
WALDORF, MD 20601  
PHONE: 703-725-2822  
WWW.LEDESIGN.US  
angulo@le.com

TAKOMA PARK  
MD 20912

OWNER:  
**MR. & MRS. ROBERTS**  
HOUSE LOCATION:  
**7300 HOLLY AVE.**

## DETAILS

DRAWING BY:  
FERNANDO ANGULO

REVISION	
Δ	DATE

ISSUE DATE  
02/13/2023  
PROJECT NUMBER

SHEET NUMBER  
**S003**



# Tree Protection Plan Permit Application Packet

**Application Fee: \$50**

First Submission

Resubmission

Submission Date: 2/7/23

Tree Impact Assessment Reference Number (W00, etc.): W010292-012723

*Official Use Only:*

**PROJECT PROPERTY OWNER** ( Note - Application must be signed and submitted by the property owner):

Project Address: 7300 Holly Ave Takoma Park MD 20912

Name: Patrick Roberts Phone: 646-645-9225

Email: patrickcroberts@gmail.com

Applicant Mailing Address (if different from project address): 6749 Eastern Ave Takoma Park MD 20912

**PROJECT DETAILS:**

Will any Urban Forest Trees (> 24" circumference) need to be removed as part of this project?

No  Yes

Will this project require a Takoma Park Storm Water Permit? (search 'Storm Water Permit' at takomaparkmd.gov)

No  Yes Permit Number: \_\_\_\_\_

Will a Montgomery County Building Permit be required for this project? (see montgomerycountymd.gov/dps/)

No  Yes Permit Number: \_\_\_\_\_

**CONTRACTOR / ARCHITECT / ARBORIST / AGENT** (Not required, but helpful when available):

1. Name/Company: USA Services LLC Project Role: contractor

Address: 1013 S. Belgrade Rd Silver Spring MD 20902

Email: usaservicesllc@gmail.com Phone: 202-374-8012

2. Name/Company: LE Design Project Role: Architect

Address: \_\_\_\_\_

Email: fernando@ledesign.us Phone: 703-725-2822



# Tree Protection Plan Permit Application

## The Tree Protection Plan Permit Process

1. Tree Protection Plan Permit applications should be submitted only after a Tree Impact Assessment has been requested and conducted. The Tree Impact Assessment should be requested early in your design process so that you can best account for tree impact concerns without risking costly redesigns.
2. Complete and **submit a Tree Protection Plan Permit Application** including the following:
  - A completed and signed copy of this application packet. Every item in the Tree Protection Checklist in this packet must be checked and addressed. **Refer closely to the Tree Protection Plan Manual**, found on the City of Takoma Park website or at the Public Works building, for guidance.
  - All supplementary documentation specified in the Tree Protection Plan Checklist including:
    - A **Tree Inventory** listing all urban forest trees in the vicinity of your project
    - A **project plan drawing** accurately depicting the extents of your project and locations of all urban forest trees indicated in your Tree Inventory
    - Any **narrative descriptions** required to describe your project and your Tree Protection Plan.
    - Any relevant **construction or tree protection detail drawings or descriptions**
    - Any **reports from** arborists, surveyors, or other professionals as may be helpful
3. The City of Takoma Park Urban Forest Manager will review the application and determine if any revisions are needed. Once the plan is deemed satisfactory it will receive **preliminary approval with two further steps required** before the permit is issued.
  - a. The permit will be on hold until a **15-day adjacent property comment period** is complete. The properties will be notified of their right to review and appeal the plan.
  - b. The permit will be on hold until the applicant provides a **signed Contractor Agreement Form**.
4. After receiving a permit, the applicant must coordinate the following before beginning construction activities:
  - a. A **Preconstruction Meeting** in advance of any tree protection measures being installed, including the contractor foreman, the property owner/agent, and the Urban Forest Manager. This meeting is to ensure that all parties fully understand the requirements of the Tree Protection Plan.
  - b. A **Tree Protection Measures Inspection** conducted by the Urban Forest Manager after the measures are installed.
5. The project will then receive **Notice of Approval to Break Ground**.
6. All **tree protection measures must remain in place** until the completion of the project or as stipulated in the approved Tree Protection Plan. The plan may require **inspections by the Urban Forest Manager** at certain project milestones to approve certain activities or adjustments to the tree protection measures.
7. After completion, some projects will require a **post-construction inspection, post-construction tree healthcare measures, or other requirements specified in the approved plan**, which will be reviewed and approved by the Urban Forest Manager.

Please use the MyTKPK web portal to upload all required application materials and then follow any instructions for uploading supplementary materials. We encourage you to fill in this application packet electronically using the pdf application of your choice. A paper submission option is available upon request.

Please review the following pages to accurately complete your Tree Protection Plan Permit Application. The Urban Forest Manager can provide basic guidance but will typically refer you to the **Tree Protection Plan Manual** document. For more complicated projects you may need to hire a consulting arborist or similarly qualified professional to aid in composing your Tree Protection Plan.



# Tree Protection Plan Permit Application

## Tree Protection Plan Checklist

The following checklist will guide you through the creation of your tree protection plan. Checking a box alone is not sufficient, you must actually include the required element on your tree protection plan. Please provide a response for each element to state whether or not it applies to your project. Please refer to the Tree Protection Plan Manual as you work through this checklist for guidance in completing your Tree Protection Plan (TPP).

### 1. Tree Inventory/List

- (Required) I have included a tree inventory for all Urban Forest Trees (trees with trunks measuring 7.8 inches diameter or greater at 4.5 feet from the ground) within 50 feet of potential impacts involved with this project. This may include trees on neighboring properties, whose trunk measurements may be estimated. The trees are marked on the plan drawing with their inventory number and their diameters listed along with any other helpful information.

### 2. Critical Root Zones (CRZ)

- (Required) I understand the potential extents to which tree roots may grow and have adequately considered the root zone of Urban Forest Trees in this plan.

Note: Drawing a circle on your plan for the CRZ of each tree is optional, though can be helpful, particularly when done under the guidance of a qualified arborist.

### 3. Tree Protection Fence (TPF)

- TPF will be installed and I have depicted its location on the plan drawing. I have also specified the type of approved TPF to be used by including an approved detail drawing and/or description as part of my submission.
- No TPF will be installed.

### 4. Equipment Usage

- Heavy equipment, such as a mini-excavator, will be used on this project and I have included details on the specific equipment to be used, including type of equipment, model, ground pressure, and other information as available.
- No heavy equipment will be used. All work will be conducted with hand tools and by foot traffic only.

### 5. Trunk Protection

- Equipment or vehicles may pass close to a tree's trunk and trunk protection has been specified on the plan for the relevant trees. The installation detail for the trunk protection has been included as part of this submission.
- No trees will require trunk protection.





# Tree Protection Plan Permit Application

## 6. Root Protection Matting/Soil Compaction

- Root protection matting will be used to protect roots and soil within tree CRZ's that will be exposed to heavier construction traffic or materials storage. The areas where root protection matting is to be installed have been depicted on the project plan drawing. The construction detail for the root protection matting has been included as part of this submission and is adequate to reduce soil compaction from the expected load.
- No root protection matting is required on this project. Only light foot traffic is expected and no substantial materials storage will occur inside a tree's CRZ.

## 7. Materials Storage

- Significant materials, soil, and/or equipment will be stored on site. The storage area has been depicted on the plan drawings and adequately limits the risk of soil compaction and root damage.
- No materials, soil, or equipment are to be stored on the property. All materials will be stored off-site.

## 8. Silt Fence/Erosion Control

- Erosion control measures will be used on this project and are depicted on the plan drawings. If sediment control will pass through a tree's CRZ, a trenchless installation has been specified.
- No erosion control or silt fence will be required for this project.

## 9. Excavation and Grade Changes

- There will be excavation and/or changes to the grade as part of this project and they have been indicated on the plan drawings. The depth of excavation is also included. Grade changes have been limited to minimize impacts to trees. Appropriate measures have been taken to limit the extent of excavation that may impact tree roots.
- There will be no excavation or changes to the grade as part of this project.

## 10. Root Pruning

- Root pruning will be conducted as part of this project. Lines depicting the locations of root pruning have been included on the plan drawings. The method and depth of root pruning have been noted in narrative format.
- No root pruning will be required as part of this project.



# Tree Protection Plan Permit Application

## 11. Utilities Installation

- Underground utilities will be installed as a part of this project and their locations are depicted on the project plan drawings. The method and depth of installation/excavation is specified. Appropriate methods and alignments have been selected to minimize root impacts.
- No underground utilities will be installed as part of this project.

## 12. Preliminary Exploratory Excavation

- With prior approval from the UFM and in keeping with the guidelines included in the Tree Protection Plan Manual, I have conducted a preliminary exploratory excavation to inform this tree protection plan. The report from this exploration is included as part of this submission.
- No preliminary exploratory excavation was required for this project.

## 13. Landscaping

- Landscaping will occur as part of this project. The landscaping plan is included in this submission and addresses concerns about tree root impacts during installation.
- No landscaping will occur as part of this project.

## 14. Pruning

- Pruning of an urban forest tree will occur as part of this project. A description of which trees will require pruning and the extent and location of branches to be pruned has been included.
- No pruning of an urban forest tree will be conducted as part of this project.

## 15. Tree Healthcare / Stress Mitigation Plan

- Trees are likely to experience an elevated degree of stress during this project and a Tree Healthcare Plan has been created.
- No Tree Healthcare Plan is required as trees are not likely to experience an elevated degree of stress.

## 16. Construction Methods that Require Special Consideration

- (Required) I have reviewed Item 16 in the Tree Protection Plan Manual and have accounted for any special considerations that may be applicable to my project in my Tree Protection Plan.



# Tree Protection Plan Permit Application

## Supplementary Narrative Description of Project and Tree Protection Plan

Most tree protection plans require some amount of written description to clarify elements of the project and tree protection measures. Please refer to the Tree Protection Plan Checklist earlier in this application and the Tree Protection Plan manual for clarity on which elements may need to be specifically described. Such narrative descriptions can be provided in one of three ways mentioned below.

Please select which method(s) you are using to provide narrative descriptions:

- A report or written document attached to this application
- Notes added directly onto the plan drawings
- Notes added to the space provided on this page

The tree of concern is the 38-inch trunk diameter white oak near the back right corner of the existing house.  
Back side of addition will be on piers, we have flexibility to locate piers within the area to accommodate for the roots if any.  
Continuous footers will be installed on front and left side of the additions.  
Work will be conducted with hand tools, no heavy equipment.  
Excavation for the pier footer(s) closest to the tree will be done carefully by hand.  
We will install protection fencing to define the area of work near the tree and restrict activities behind that area.  
6" of woodchips will be laid down over high-traffic areas.



# Tree Protection Plan Permit Application

## Attached Documents

All plans require some degree of supporting documentation, such as tree inventories, plan drawings, construction detail drawings, professional reports, supplementary written explanations, etc. Below, please list the title of each document you have attached as part of this Tree Protection Plan submission. The documents must be clearly titled in the same manner as you have listed them here.

- Attached Document #1: Tree protection detail drawing
- Attached Document #2: A003 Section
- Attached Document #3: S001 Foundation, framing plan
- Attached Document #4: Tree inventory
- Attached Document #5: \_\_\_\_\_
- Attached Document #6: \_\_\_\_\_
- Attached Document #7: \_\_\_\_\_
- Attached Document #8: \_\_\_\_\_
- Attached Document #9: \_\_\_\_\_
- Attached Document #10: \_\_\_\_\_

## Applicant / Property Owner Signature

By signing below, you hereby affirm the following:

- I have reviewed and am familiar with the Tree Protection Plan Manual.
- I have completed the Tree Protection Plan Checklist.
- I have included any required narrative descriptions and attached documents.
- I understand that the project may not begin until the Urban Forest Manager provides approval to break ground.
- I understand that I may not alter the project plan in a way that may change its impact to trees without written approval from the Urban Forest Manager.
- I understand that violating the provisions agreed to in this document may result in a Stop Work Order and a citation as per City of Takoma Park municipal code.

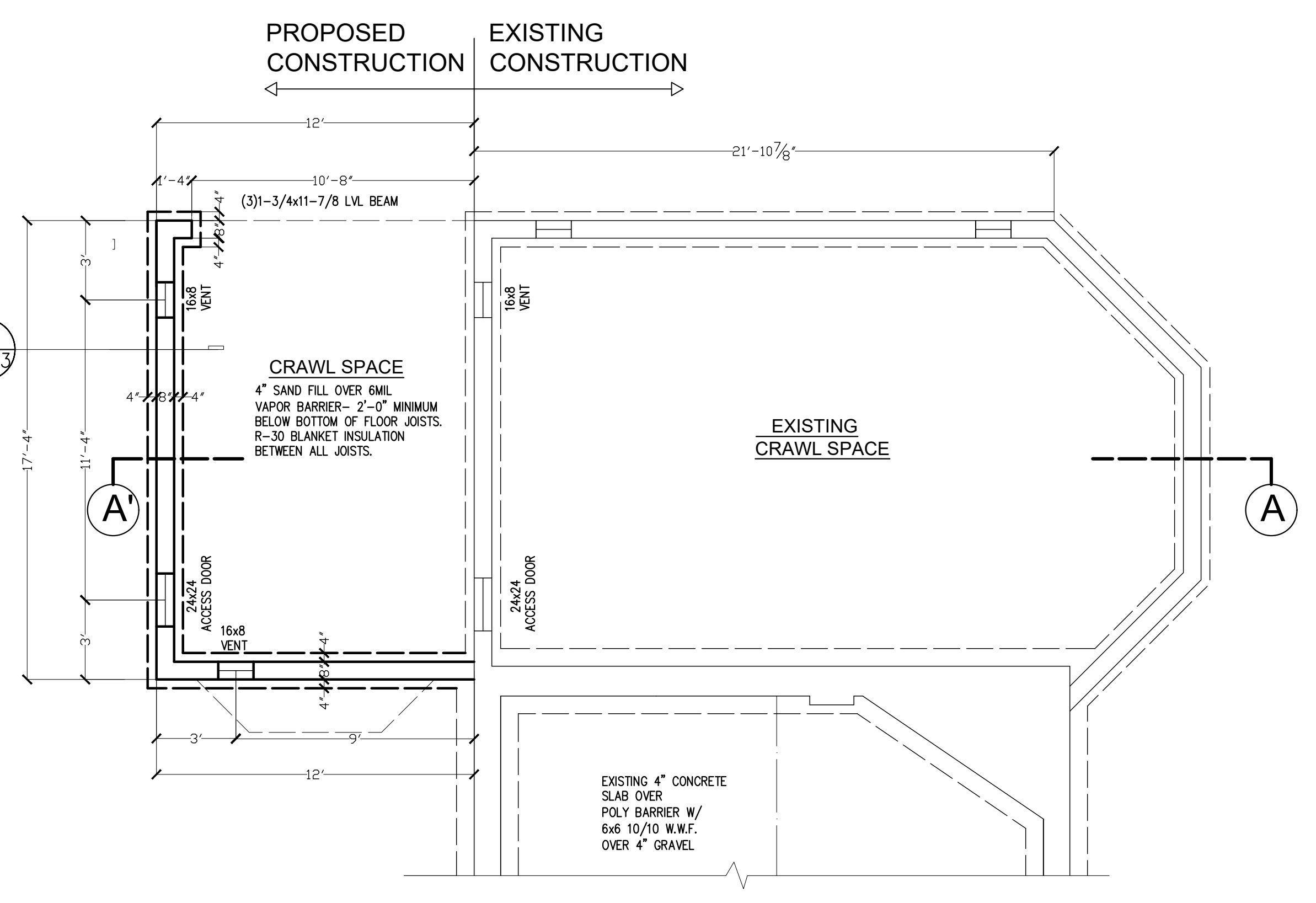
*Patrick Roberts*

Signature

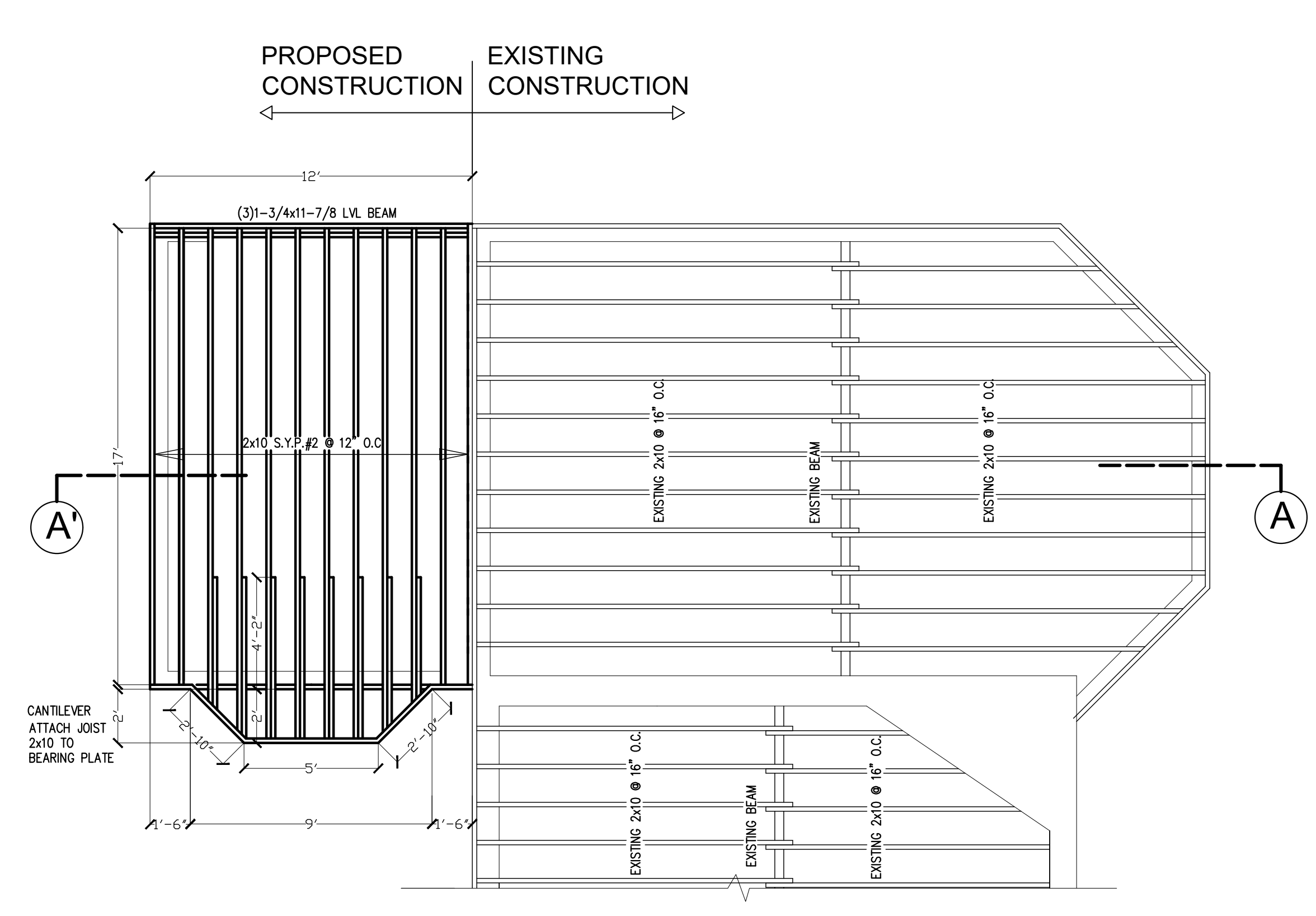
2/7/23

Date





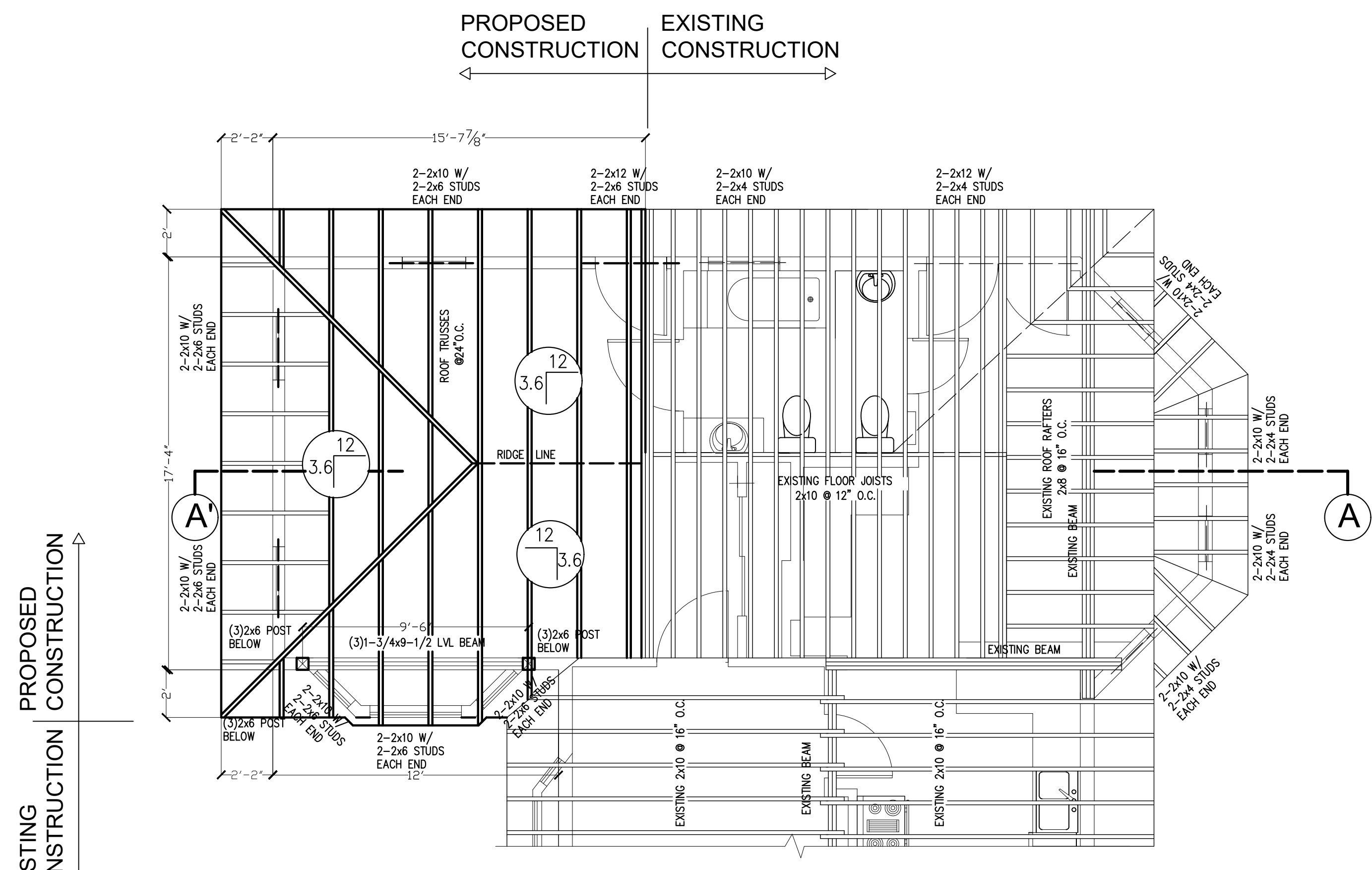
**FOUNDATION PLAN**  
 SCALE: 1/4"=1'-0"



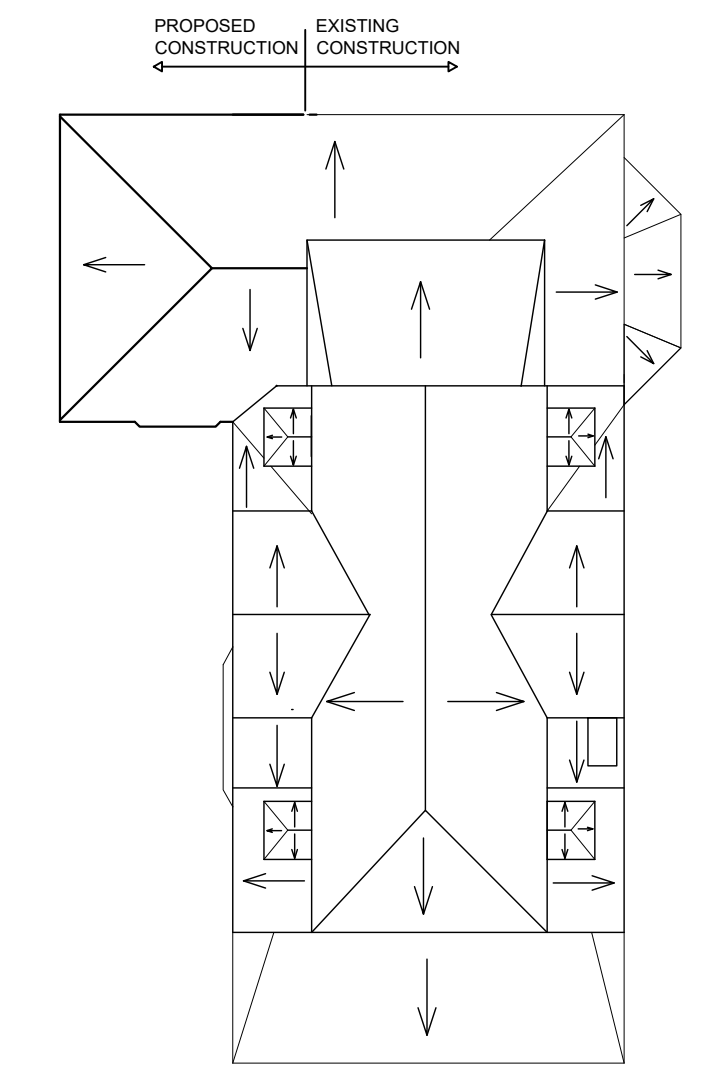
**FIRST FLOOR FRAMING PLAN**  
 SCALE: 1/4"=1'-0"

- CONCRETE**
1. ALL CONCRETE WORK SHALL CONFORM WITH THE REQUIREMENTS OF THE AMERICAN CONCRETE INSTITUTE A.C.I. 318-89.
  2. ALL CONCRETE UNLESS NOTED OTHERWISE SHALL BE STONE CONCRETE HAVING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 PSI AFTER 28 DAYS.
  3. REINFORCING STEEL SHALL BE DEFORMED BARS OF INTERMEDIATE GRADE NEW BILLET STEEL CONFORMING TO CURRENT REQUIREMENTS OF A.S.T.M. A-615 GRADE 60. DESIGN STRESS=60,000 PSI. LAP BARS 40 DIAM. UNLESS OTHERWISE SHOWN.
  4. WELDED WIRE FABRIC SHALL HAVE A MINIMUM ULTIMATE STRENGTH OF 70,000 PSI AND SHALL CONFORM TO A.S.T.M. A-185.
  5. MINIMUM STEEL PROTECTION UNLESS OTHERWISE SHOWN, SHALL BE 1" FOR SLABS, 3" FOR FOOTINGS AND OTHERS STRUCTURAL CONCRETE DEPOSITED AGAINST GROUND.
  6. EXCAVATION SHALL BE KEPT FREE OF WATER, NO CONCRETE SHALL BE PLACED IN WATER.

- FOUNDATION**
1. ALL FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL HAVING A MINIMUM SAFE BEARING CAPACITY OF 1,500 PSF, OF ENGINEERED CONTROLLED COMPACTED FILL AS REQUIRED HAVING ALLOWABLE BEARING CAPACITY OF 1,500 PSF.
  2. THE CONTRACTOR SHALL SAFEGUARD AND PROTECT ALL EXCAVATIONS, AND EXCAVATIONS SHALL BE KEPT FREE OF WATER.
  3. EDGES OF FOOTINGS SHALL NOT BE PLACED AT A SLOPE GREATER THAN 1 (VERTICAL) TO 2 (HORIZONTAL) WITH RESPECT TO ANY ADJACENT FOOTINGS U.N.O.
  4. THE FOUNDATION CONTRACTOR SHALL REFER TO THE MECHANICAL AND ELECTRICAL CONTRACTOR DRAWINGS FOR ALL LOCATIONS OF TRENCHES, PITS, CONDUITS, UNDERFLOOR AND PERIMETER DRAINAGE SYSTEMS, ETC.
  5. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MAXIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE U.N.O.

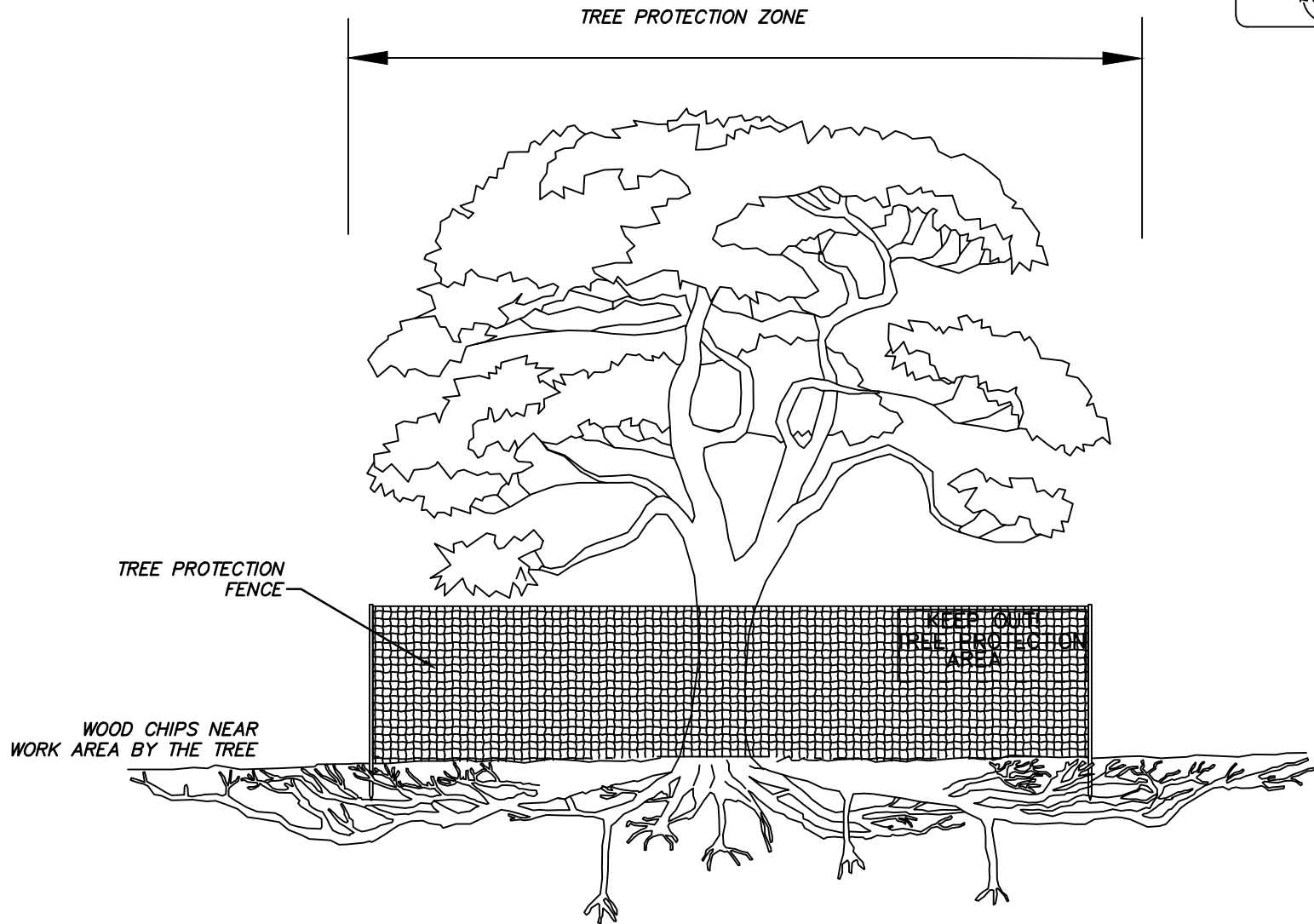
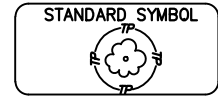


**ROOF FRAMING PLAN**  
 SCALE: 1/4"=1'-0"



**NOTES:**  
 ALL ROOF FRAMING SHALL USE PRE-ENGINEERED ROOF TRUSSES AND ALL SIZES/DESIGN TO BE REVIEWED AND APPROVED BY ROOF TRUSS SUPPLIER OR CONTRACTOR

EXISTING BUILDING   
 NEW CONSTRUCTION

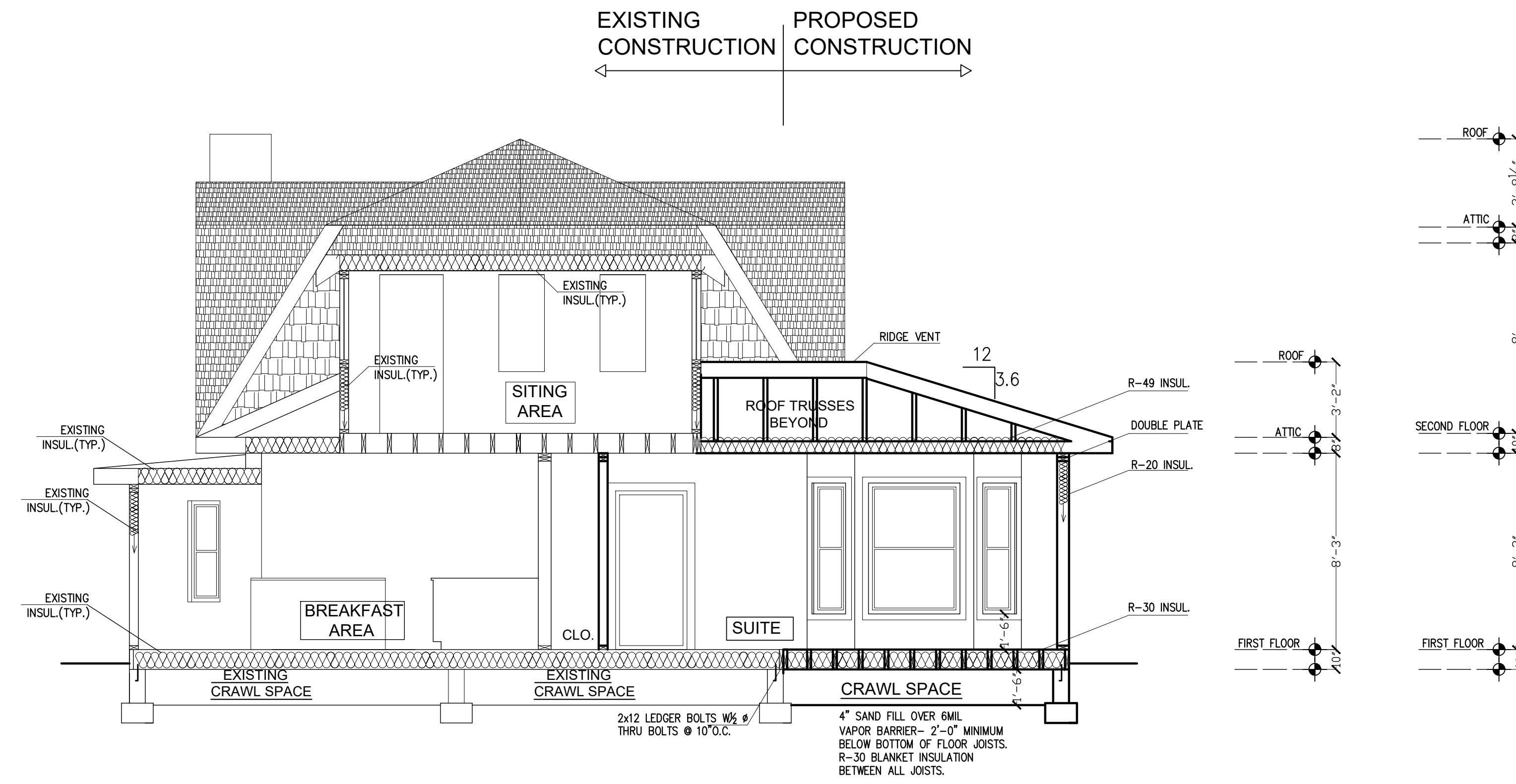


SECTION VIEW

DATE	APPR	
	REVISED	
ISSUED:		
	REFERENCE	

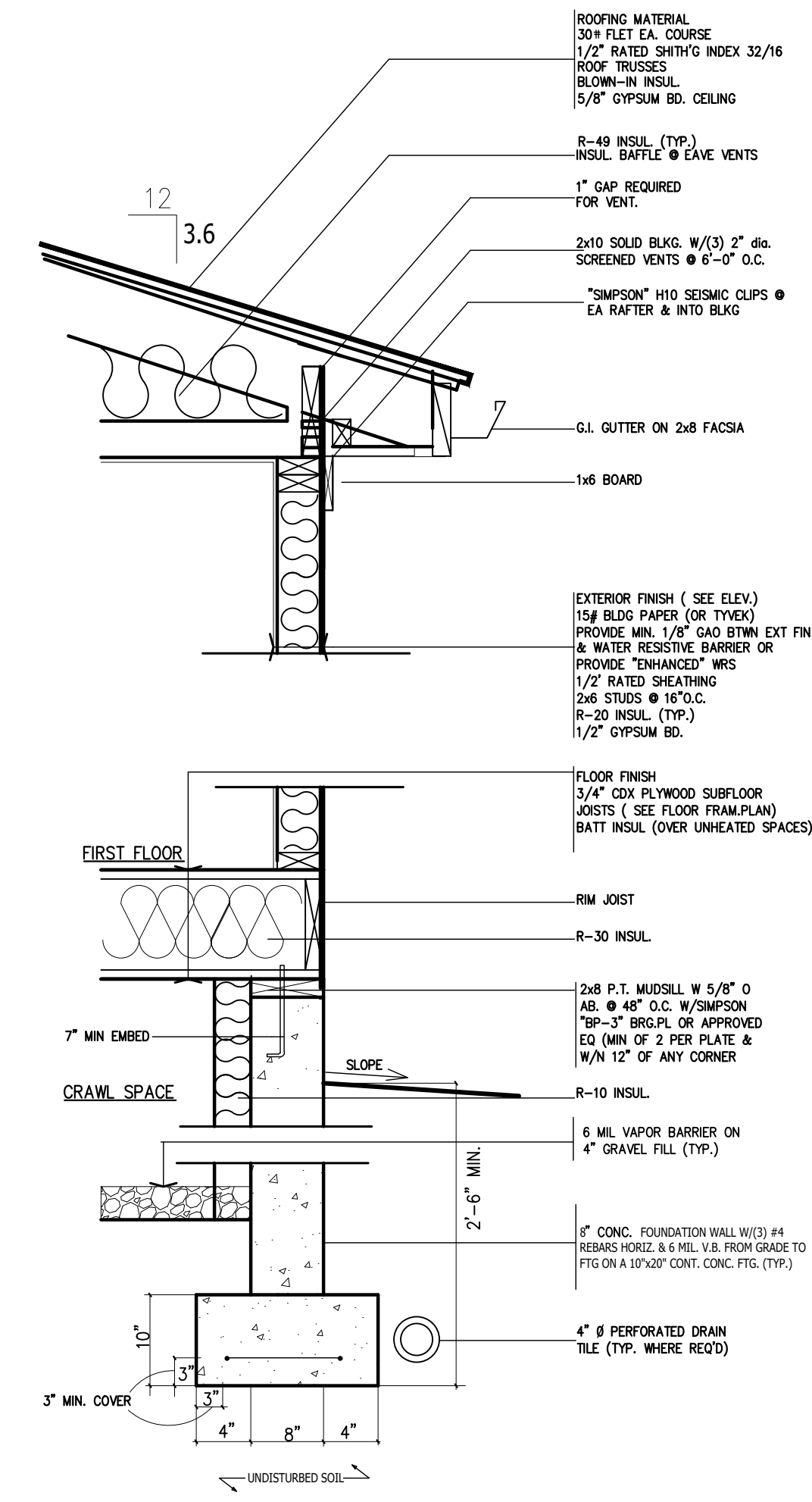
**TREE PROTECTION**

**7300 HOLLY AVE.  
TAKOMA PARK  
MD. 20192**



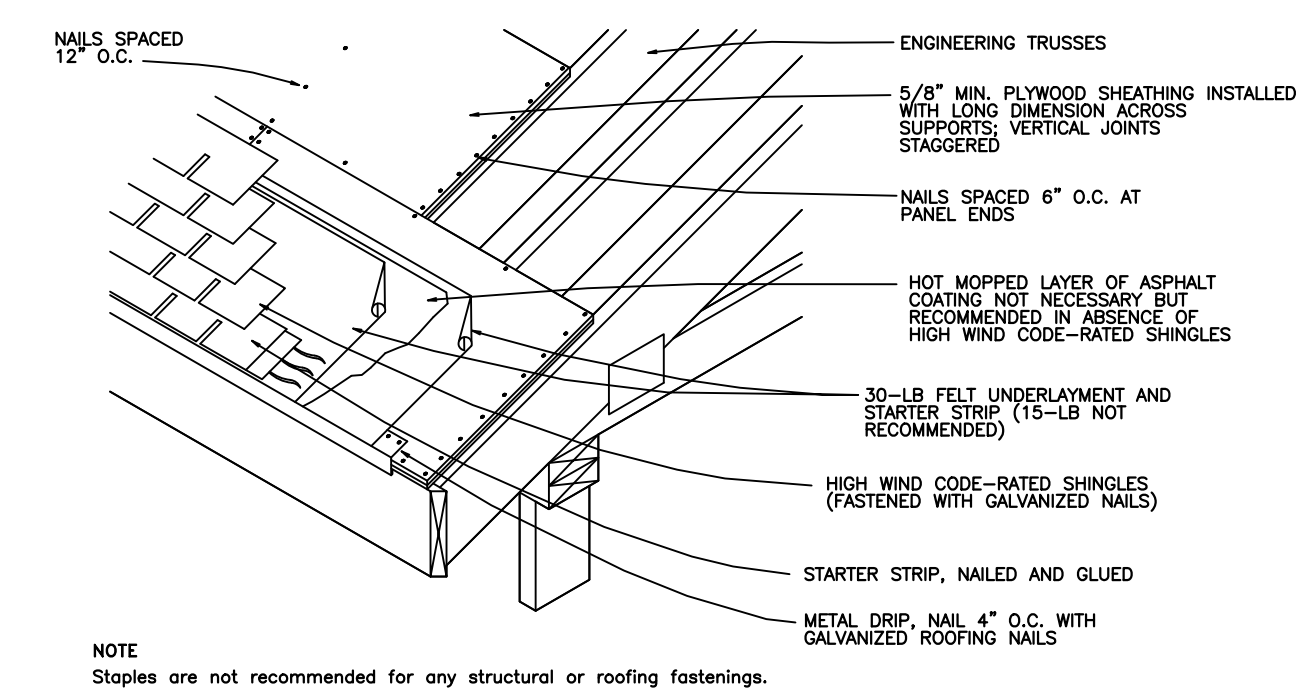
**BUILDING SECTION A-A'**  
SCALE: 1/4" = 1'-0"

EXISTING BUILDING   
NEW CONSTRUCTION



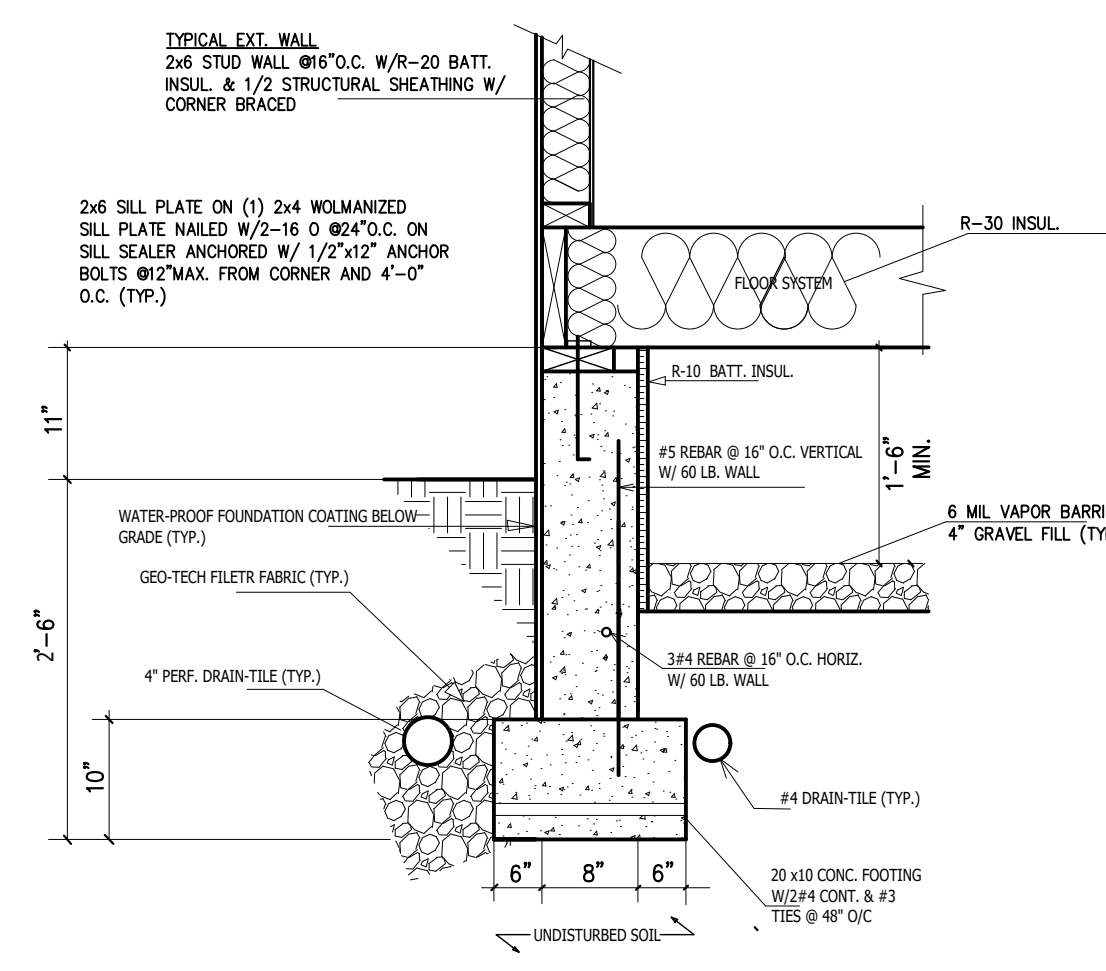
**1 TYP. WALL SECTION**

N/S



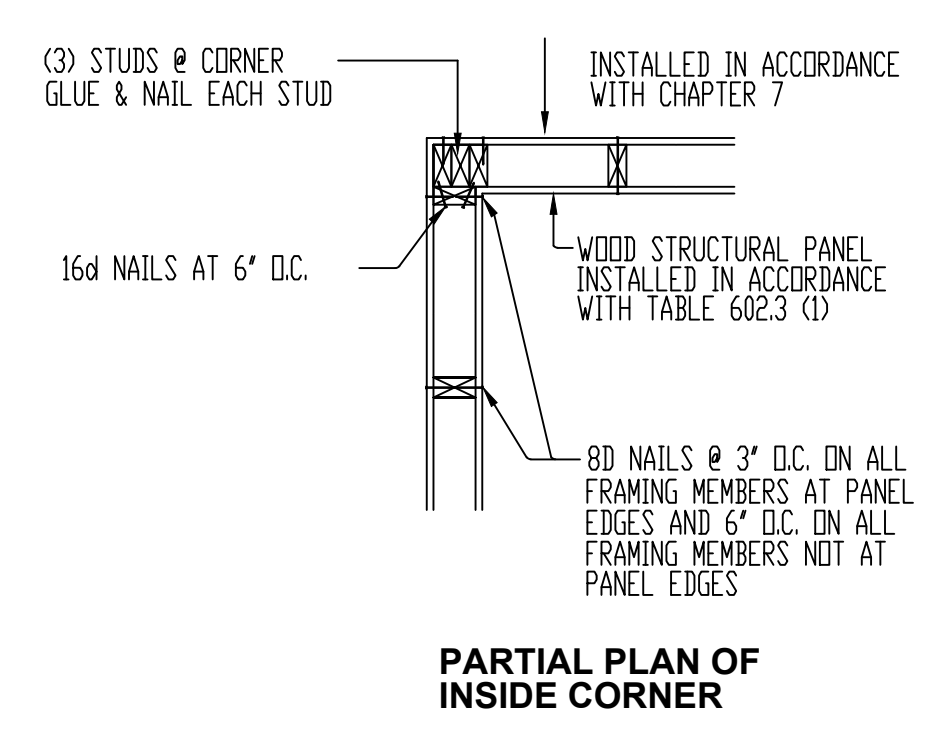
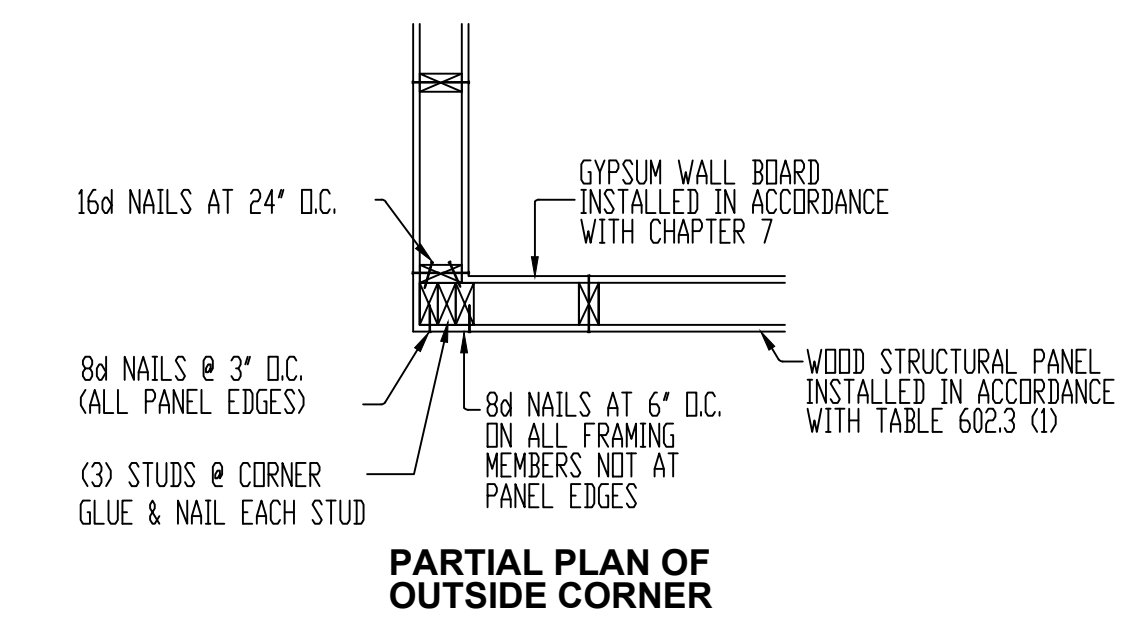
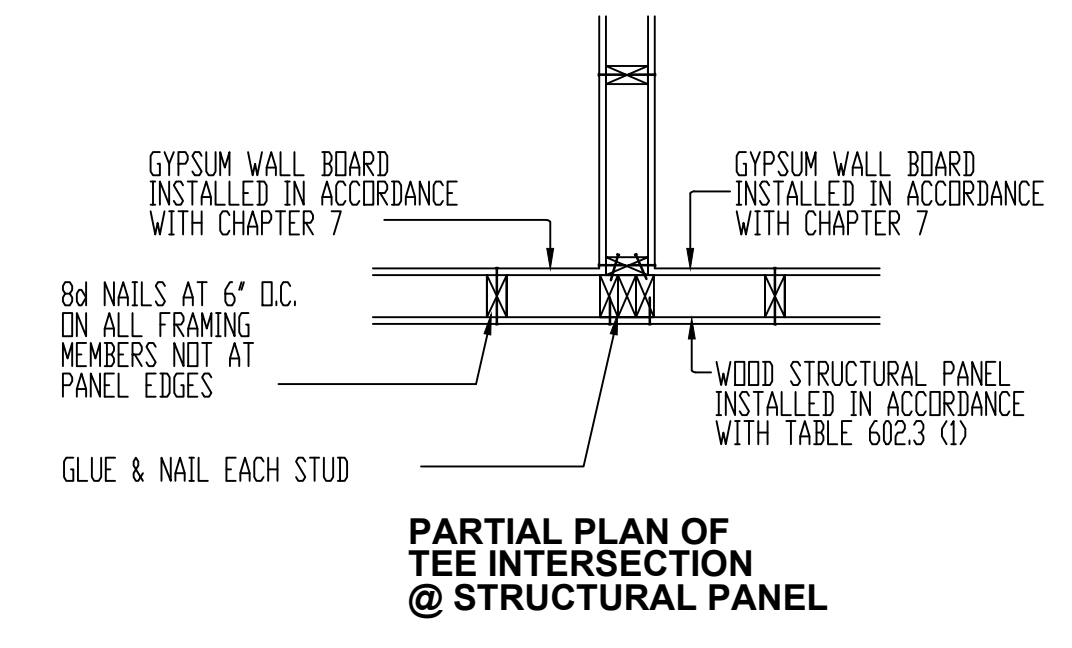
**2 ROOFING DETAIL**

N.T.S.



**3 FOUNDATION & SIDING**

N/S



**4 CORNER STUD FRAMING DETAILS**

N/S

**LE DESIGN LLC**  
IDEAS PROJECTS CONSTRUCTION  
5310 DORIS DR.  
WALDORF, MD 20601  
PHONE: 703-725-2822  
WWW.LEDESIGN.US  
angulo@le.com

OWNER: **MR. & MRS. ROBERTS**  
HOUSE LOCATION: **TAKOMA PARK MD 20912**  
**7300 HOLLY AVE.**

**BUILDING SECTION DETAILS**  
DRAWING BY: **FERNANDO ANGULO**

REVISION	
Δ	DATE

ISSUE DATE: **11/30/2022**  
PROJECT NUMBER

SHEET NUMBER: **A003**





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02/13/2023

Gil Cohen  
11229 Bybee St  
Silver Spring, MD 20902

RE: Tree Protection Plan Permit Application  
Permit Number: W010337-020823  
7300 Holly Ave  
Takoma Park, MD 20912

Dear Gil Cohen:

The Tree Protection Plan for 7300 Holly Ave has received preliminary approval from the City of Takoma Park. Preliminary approval means that your permit is contingent on both of the following being completed:

### **15-Day Comment Period**

Per Chapter 12, Section 307(b)(2) of the City Code, all properties that share a common property line with the above property must be informed of the preliminary approval and have the right to review or contest the Tree Protection Plan. Public Works staff will mail a letter to the adjacent properties notifying them of this. The deadline for receiving a written notice of appeal is 2/28/2023 9:47:54 AM.

### **Signed Contractor Agreement Form**

To provide assurance that your selected contractor is prepared to complete the proposed work in accordance with the approved Tree Protection Plan, they must sign the Contractor Agreement form. Please provide the signed form either by responding to this email with the PDF attached or by having your contractor email it to [Urbanforestmanager@takomaparkmd.gov](mailto:Urbanforestmanager@takomaparkmd.gov). The form can be found by following this link: [Contractor Agreement Form](#)

Once the appeal deadline has passed without appeal, the Contractor Agreement form has been signed and provided, and if no additional concerns arise, you will be notified of the full approval of your permit.

If you have any questions, please contact the Urban Forest Manager by replying to this email.

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To monitor the progress or update this request please log into the [\[MY TKPK\]](#)







