

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7218 Maple Avenue, Takoma Park	Meeting Date:	3/22/2023
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	3/15/2023
Applicant:	Katherine Ivceovich	Public Notice:	3/8/2023
Review:	HAWP	Tax Credit:	N/A
Permit Number:	1020137	Staff:	John Liebertz
PROPOSAL: New handrails on front porch.			

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with four (4) conditions** the HAWP application with final approval of all details delegated to staff:

1. Specifications and dimensions for the newel posts shall be shown on all applicable drawings;
2. Profile and dimensions of the proposed handrail and dimensions of the bottom rail shall match the existing porch handrail;
3. Dimensions and spacing of the balusters shall match the porch balusters; and
4. Additional details and specifications showing the method of construction and materials to be used that will anchor the newel posts to the porch and ground.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Four Square Colonial Revival
DATE: 1909

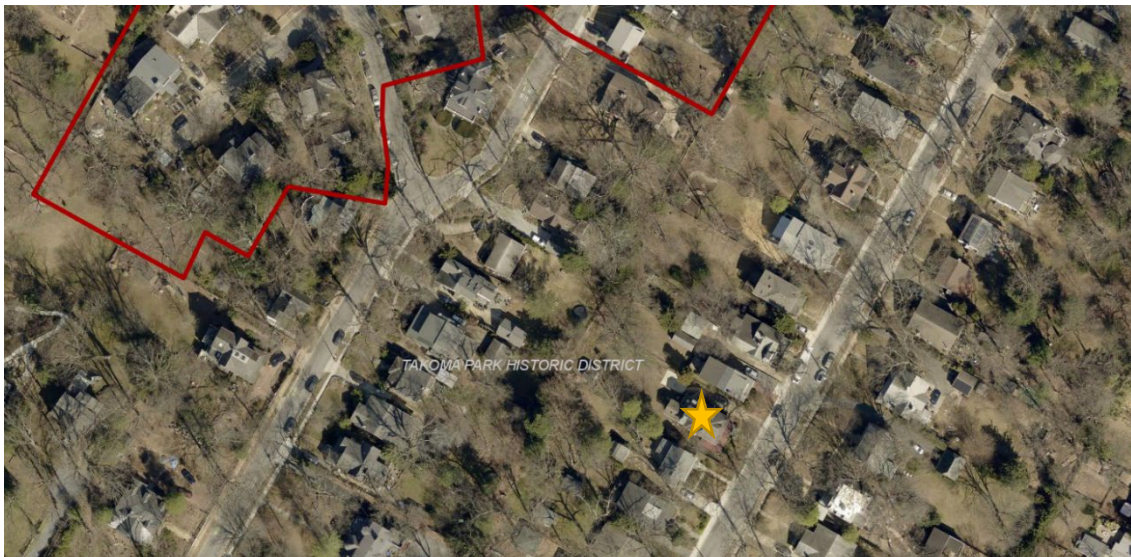


Figure 1: The subject property at 7218 Maple Avenue is located on the west side of Maple Avenue. The red line is the boundary of the Master Plan Historic District and the yellow star is the location of the subject dwelling. Source: Montgomery Planning.

PROPOSAL

The applicant proposes to construct new handrails on the stairs accessing the front porch.

APPLICABLE GUIDELINES

The Historic Preservation Office and Historic Preservation Commission (HPC) consult several documents when reviewing alterations and new construction within the Takoma Park Historic District. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these three documents is outlined below.

Takoma Park Historic District Guidelines

There are two broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

A majority of the buildings in the Takoma Park Historic District have been assessed as being “Contributing Resources.” While these buildings may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. They are important to the overall character of the district and the streetscape due to their size, scale, and architectural qualities, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource.

The following guidance which pertains to this project are as follows:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A-8

The following guidance which pertains to this project are as follows:

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a Contributing Resource to the Takoma Park Historic District and features a two-story, Colonial Revival-styled Four Square constructed in 1909. The house is adorned with a character defining wraparound front porch that rests on parged pier foundation. The porch features tongue-and-groove wood flooring, wood Doric columns that support a standing seam metal hipped roof, and a wood balustrade. The porch is accessed by means of a 9'-wide wood stair flanked by concrete cheek walls.

There are no relevant Historic Area Work Permits (HAWP) associated with the front porch or stair. In the mid-twentieth century, previous owners demolished the original stair balustrade and handrail (*Figure 2*) and replaced them with the existing concrete cheek walls.



Figure 2: View of the facade of the house, 1909 (left) and 2023 (center), and model of the proposed stair balustrade (right). Note the original demolished stair railing extended from the center of the column to a newel post. Source: Property Owner and Montgomery Planning.

The applicant proposes to construct a wood balustrade (handrail) on the front stair for accessibility to the porch. The project consists of the installation of: 1) newel posts adjacent to the columns and at the base of the stair; and 2) a wood balustrade that matches the design of the porch balustrade. The stair balustrade would match the design, material, profile, dimensions, and spacing of the porch balustrade (handrail, balusters, and bottom rail) to the closest degree possible.

Staff finds that the proposed stair balustrade to be consistent with the applicable guidelines as it is consistent with the character of the house and surrounding historic district. While restoration of the original design is not feasible absent demolition of the concrete cheek walls (which is not proposed as part of this application), the proposed balustrade recalls the design and character of this missing feature (Figure 2).

This method of construction (a free-standing square post and associated balustrade adjacent to a porch column) is typical for porch stairs of similar configurations. Such designs are evident at 7219 Maple Avenue and 7109 Carroll Avenue in the Takoma Park Historic District (Figure 3). At the subject property, the width of the stairs allows for the installation with no adverse visual effects to the overall design of the porch. Furthermore, the height and design of the proposed balustrade aligns with the porch balustrade creating a consistent transition and horizontal line. In addition, the property owner or future property owner could remove the proposed free-standing balustrade without damaging historic material and restore the stair to its original configuration.

Staff recommends the submission of final specifications to staff prior to the issuance of final permits. This would include: 1) dimensions and design for the newel posts; 2) profile and dimensions of the proposed handrail and dimensions of the bottom rail (to match the existing porch handrail); 3) dimensions and spacing of the balusters (to match the porch balusters); and 4) additional details and specifications on how the newel posts will be anchored to the porch and ground.



Figure 3: View of the similar stair configurations at 7219 Maple Avenue (left) and 7109 Carroll Avenue (right), 2023.

Source: Montgomery Planning.

After full and fair consideration of the applicant's submission, staff finds the proposal, as modified by the conditions, consistent with the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (5) having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*, and *Takoma Park Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Historic Preservation Commission (HPC) **approve with four (4) conditions** the HAWP application with final approval of all details delegated to staff:

1. Specifications and dimensions for the newel posts shall be shown on all applicable drawings;
2. Profile and dimensions of the proposed handrail and dimensions of the bottom rail shall match the existing porch handrail;
3. Dimensions and spacing of the balusters shall match the porch balusters; and,
4. Additional details and specifications showing the method of construction and materials to be used that will anchor the newel posts to the porch and ground.

under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (5), having found that the proposal is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or john.liebertz@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent _____
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119
Fax 301-270-4568
www.takomaparkmd.gov



7500 Maple Avenue
Takoma Park, MD 20912

MUNICIPALITY LETTER

December 23, 2022

To: Katherine Ivcevic
7218 Maple Avenue, Takoma Park, MD 20912
katieridds@gmail.com 2024150387

To: Department of Permitting Services
2425 Reedie Drive, 7th floor
Wheaton, Maryland 20902

From: Planning and Development Services Division

THIS IS NOT A PERMIT – For Informational Purposes Only

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

Representative Name: Katherine Ivcevic katieridds@gmail.com 2024150387

Location of Project: 7218 Maple Avenue (front porch)

Proposed Scope of Work: We simply wish to rebuild the original pair of wood railings that were removed at some point prior to our ownership. It's a major accessibility issue for our aging parents.

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

City Of Takoma Park

The City of Takoma Park permits for the following issues:

Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: <https://takomaparkmd.gov/services/permits/tree-permits>. The City's Urban Forest Manager can be reached at 301-891-7612 or urbanforestmanager@takomaparkmd.gov.

Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for a Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information on visit: <https://takomaparkmd.gov/government/public-works/stormwater-management-program/>. The City Engineer should be contacted to determine if a City permit is required. The City Engineer can be reached at 301-891-7620.

City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see: <https://takomaparkmd.gov/services/permits/> or contact the Department of Public Works at 301-891-7633.

Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.

eSigned via SeamlessDocs.com
Katherine Alexandra Ivcevic
Key: 38bf2056622713c0b979ea7ee94776a

Katherine Alexandra
Ivcevic

12-22-2022

eSigned via SeamlessDocs.com
Planning Department
Key: 19fe64f123e96a3ff4576219059d5fbc

12-23-2022



7218

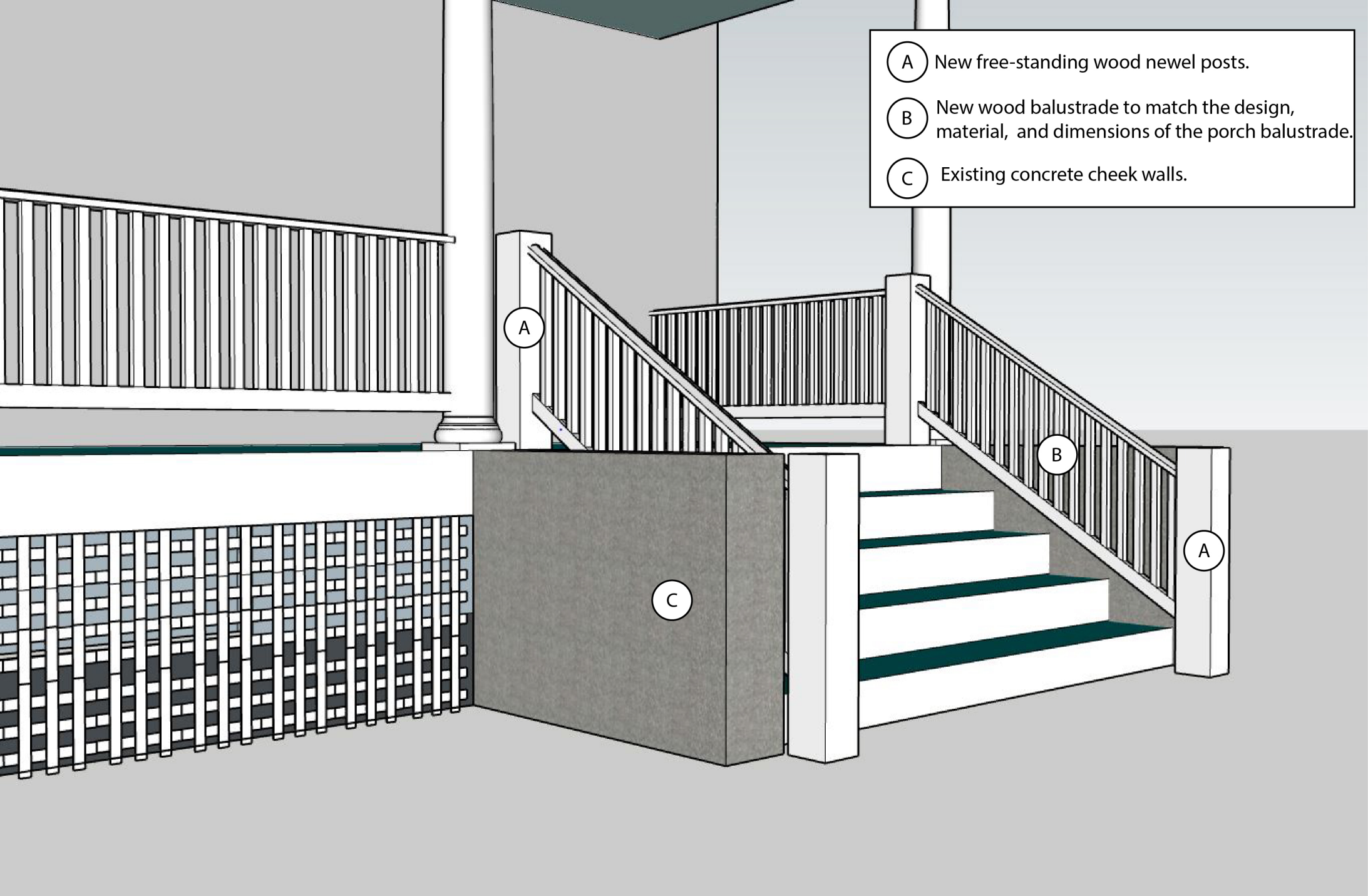
Frontpoint
MAINTENANCE



Sept. 6 - 1909 -
This is our new house

218 Maple Ave. Takoma Park, Md.
(now 7218 Maple Ave.)

- (A) New free-standing wood newel posts.
- (B) New wood balustrade to match the design, material, and dimensions of the porch balustrade.
- (C) Existing concrete cheek walls.



- A New free-standing wood newel posts.
- B New wood balustrade to match the design, material, and dimensions of the porch balustrade.
- C Existing concrete cheek walls.

