

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6713 Westmoreland, Takoma Park	Meeting Date:	2/22/2023
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	2/15/2023
Applicant:	Alex Thompson and Emily Adams (Joseph Rabinowitz, Agent)	Public Notice:	2/8/2023
Review:	HAWP	Tax Credit:	N/A
Case Number:	REVISION 989155	Staff:	Dan Bruechert
PROPOSAL:	Revision to previously approved HAWP for alterations to setback and side elevation.		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application:

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Craftsman
DATE: c. 1915-25

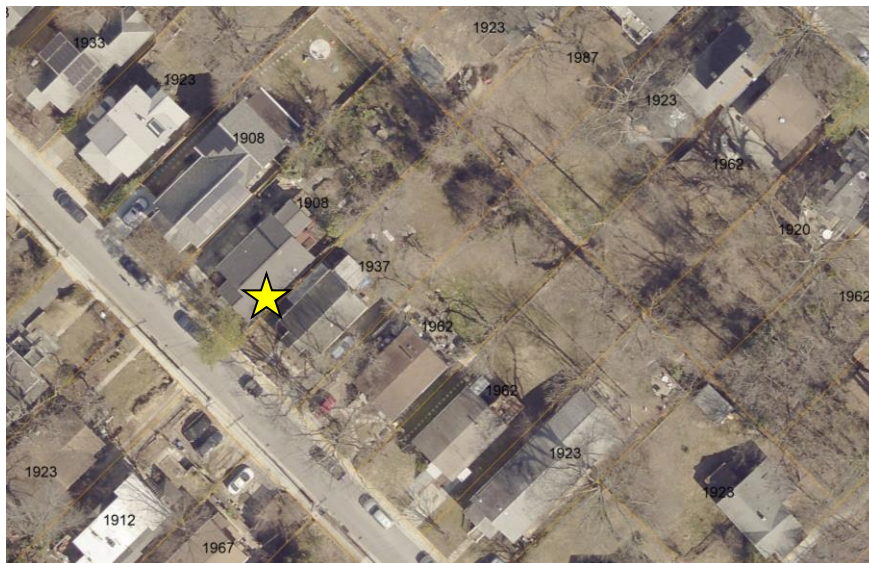


Figure 1: 6713 Westmoreland Ave. is located on the north side of the street midblock.

BACKGROUND

The HPC approved a revised HAWP at the subject property at the October 17, 2022 HPC meeting.¹

¹ The Staff Report and HAWP application for the October 17, 2022 approval are available here: <https://montgomeryplanning.org/wp-content/uploads/2022/10/II.A-6713-Westmoreland-Ave-Takoma-Park-REV989155.pdf>.

During the zoning review, the Department of Permitting Service found the east wall of the proposed addition did not satisfy the Zoning Ordinance setback requirements and determined revisions were necessary. The applicant has made revisions to the east wall and seeks the HPC approval before obtaining final building permits.

PROPOSAL

The applicant revised the east (right) wall of the approved addition to comply with require setbacks.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The *Guidelines* define a Contributing Resource as:

A resource which contributes to the overall character of the district and its streetscape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character.

The *Guidelines* state the following regarding the review of Contributing Resources:

A majority of structures in the Takoma Parle Historic District have been assessed as being "Contributing Resources". While these structures may not have the same level of architectural or historical significance as Outstanding Resources or may have lost some degree of integrity, collectively, they are the basic building blocks of the Takoma Park district. However, they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.

Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to

Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of way*, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district).

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Minor alterations to areas that do not directly front on a public right-of-way - such as vents, metal stovepipes, air conditioners, fences, skylights, etc. - should be allowed as a matter of course; alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis.
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing.
- Original size and shape of window and door openings should be maintained, where feasible.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (c) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a one-and-a-half story, 1,571 SF, front gable, Craftsman-style house. The historic house has non-original one-over-one, single-hung, vinyl windows and aluminum siding. There is an existing one-story addition at the rear, which was constructed after 1963 (see *Fig. 2* below).

The approved design (see *Fig. 2*, below) extended the wall plane of the historic house. The Department of Permitting Service determined that the wall was too close to the side (east) property line to satisfy side setback requirements and required design revisions satisfy zoning. To accomplish this, the applicant has maintained the house footprint and roofline, but has inset the east wall plane by one foot (see *Fig. 3*, below).

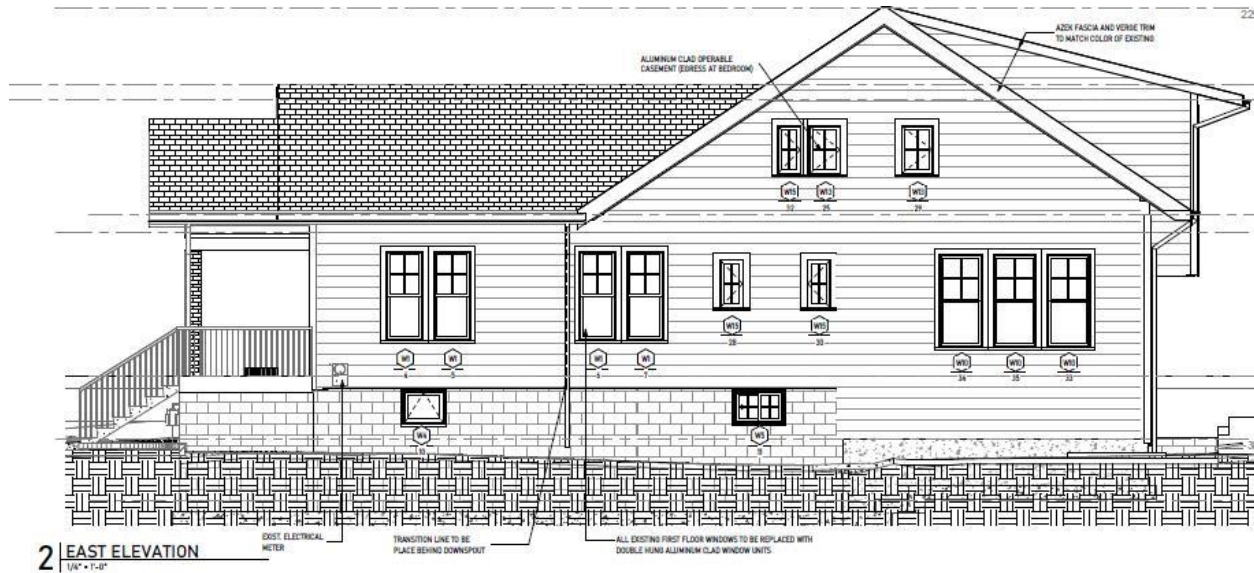


Figure 2: Approved East elevation.

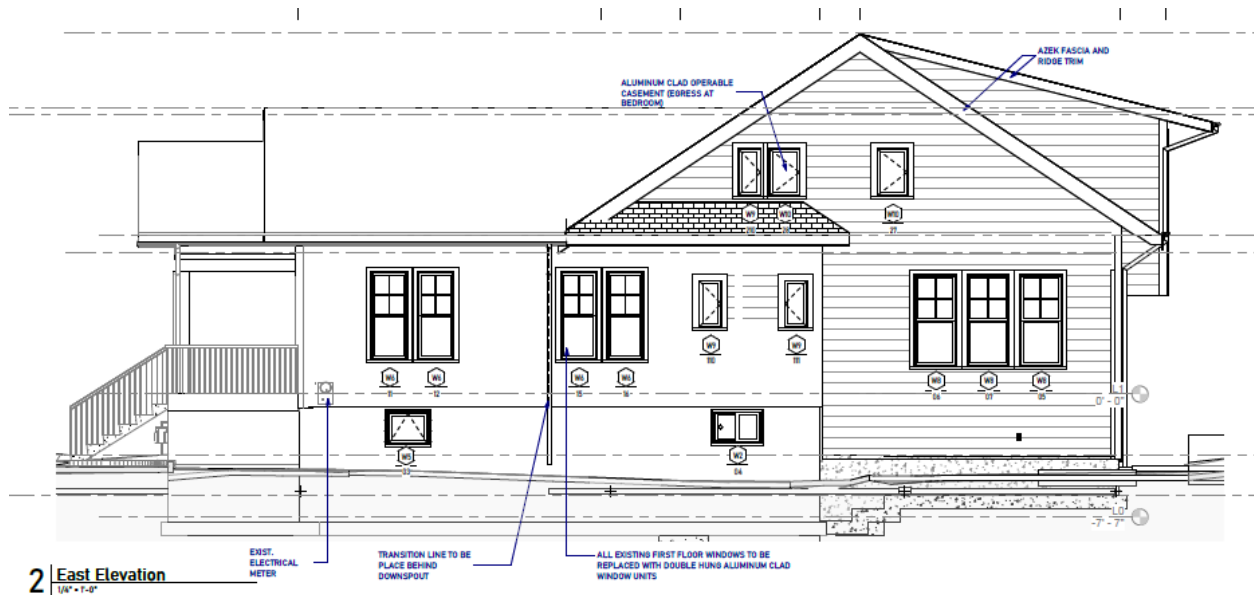


Figure 3: Revised addition, inset by 1' (one foot) from the historic wall plane.

Staff finds the proposed revision is consistent with the previous approval and will not have a significant impact on the character of the approved addition. In fact, Staff finds the revisions will slightly reduce the visual impact the addition has on the surrounding streetscape and recommends the HPC approve the HAWP under the criteria identified below.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), & (d), having found that the proposal, as modified by the conditions, is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior’s Standards for Rehabilitation* #2, #9, and #10.

and with the general condition that the applicant shall present the 3 electronic permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3408 or dan.bruechert@mongomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: Guerilla Construction LLC E-mail: Carl@go-guerilla.com
Address: 6600 York RD City: Towson Zip: 21212
Daytime Phone: 410-967-4111 Tax Account No.: MHiC 135541

AGENT/CONTACT (if applicable):

Name: HO/ Alex Thompson E-mail: abt630@gmail.com
Address: 6713 westmoreland Ave City: Takoma Park Zip: 20912
Daytime Phone: 301-793-1311 Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property Takoma Park

Is the Property Located within an Historic District? Yes/District Name Takoma Park
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 6713 Street: westmoreland Ave
Town/City: Takoma Park Nearest Cross Street: Elm Ave
Lot: 07 Block: 18 Subdivision: 005 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Carl Havelin _____ 1-31-2023
Signature of owner or authorized agent Date

Adjacent and Confronting Properties:

Takoma Park, MD 20912

6801 Westmoreland Avenue

6711 Westmoreland Avenue

6710 Westmoreland Avenue

6712 Westmoreland Avenue

6800 Westmoreland Avenue

6712 Allegheny Avenue

6714 Allegheny Avenue

6716 Allegheny Avenue

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Single family Dwelling, One level with finished basement. Front Porch, Parking Pad on the side. Rear Deck with a walk off onto the Backyard. Backyard is sloped and it includes various trees and vegetation with a small patio pad.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Demolish rear room and deck of the house and expand with an Addition of Aproximately 1620 SF. Addition will have a large living room with fireplace, Split Level with a Walk up to existing part of the Dwelling's 1st floor and a to the existing basement, a side entrance to the Living room with Mud-room. Second floor of the Addition to accomodate 3 bedrooms and 2 bathrooms, laundry, and an Attic Access. Renovation of existing to include new kitchen, renovate existing bathroom and update finishes.

Revisions to plans as followed.

We had to slide the right side of the addition in by 18" on both first and second floor to meet zoning codes. So on the right side off the house there will be a small bump in where the new addition meets the existing house. There will also be a small roof line to follow the existing first floor roof line to cove the first floor ceiling. These are very small changes and not very noticeable. These changes only effect the right side of the house

Description of Work Proposed: Please give an overview of the work to be undertaken:

Property	Proposed Work

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Work Item 1: _____

Description of Current Condition:

Proposed Work:

	1. Regional Administration Management	2. Site Plan	3. Final Designs	4. Detailed Specifications	5. Procurement	6. Tender Issues	7. Property Management
Project Start							
Plan Construction	*	*	*	*	*	*	*
Contract Agreements	*	*	*	*	*	*	*
Groundwork	*	*	*	*	*	*	*

Work Item 2: _____

Description of Current Condition:

Proposed Work:

	1. Regional Administration Management	2. Site Plan	3. Final Designs	4. Detailed Specifications	5. Procurement	6. Tender Issues	7. Property Management
Project Start							
Plan Construction	*	*	*	*	*	*	*
Contract Agreements	*	*	*	*	*	*	*
Groundwork	*	*	*	*	*	*	*
Building Construction	*	*	*	*	*	*	*
Interior Fit-Out	*	*	*	*	*	*	*
Move-in Preparation	*	*	*	*	*	*	*
Occupancy	*	*	*	*	*	*	*

Work Item 3: _____

Description of Current Condition:

Proposed Work:

	1. Regional Administration Management	2. Site Plan	3. Final Designs	4. Detailed Specifications	5. Procurement	6. Tender Issues	7. Property Management
Project Start							
Plan Construction							
Contract Agreements							
Groundwork							
Building Construction							
Interior Fit-Out							
Move-in Preparation							
Occupancy							

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

6713 Westmoreland Avenue

Takoma Park, Maryland 20912

Addition & Renovation



1 Front View



2 Back View

Index of Drawings

PDF	No.	Name	Issue
A01 Cover	A01	Cover Sheet	01/31/2023
A02 SitePlan	A02	Existing / Proposed Site Plans	01/31/2023
A02 SitePlan	A07	Stormwater Runoff Control	01/31/2023
A02 SitePlan	SD2	Existing / Proposed Site Plans	01/24/2023
A03 Plans-B-G	A03	Proposed Basement, Ground Flr	01/31/2023
A04 Plans-1-2	A04	Proposed 1st & 2nd Floor Plans	01/31/2023
A05 Elev-E-W	A05	Proposed Elevations East West	01/31/2023
A06 Elev-N-S	A06	Proposed Elevations North South	01/31/2023
A10 DemoPlans1	A10	Demo Plans Site / Basement	01/31/2023
A11 DemoPlans2	A11	Demo Plans First Floor / Attic	01/31/2023
A12 DemoElevs	A12	Demo Elevations	01/31/2023
A20 Foundation	A20	Foundation Plan	01/31/2023
A21 FrameFlr	A21	Floor Framing Plans	01/31/2023
A22 FrameRoof	A22	Roof Framing Plans	01/31/2023
A23 FrameWall-G-1	A23	Levels G / 1 Wall Framing Plans	01/31/2023
A24 FrameWall-2	A24	Level 2 Wall Framing Plan	01/31/2023
A25 RoofPlan	A25	Roof Plan	01/31/2023
A26 Sched	A26	Door & Window Schedules	01/31/2023
A30 BldgSect	A30	Building Sections	01/31/2023
A31 WallSect	A31	Wall Sections	01/31/2023
A32 Sect-Dtl	A32	Sections / Details	01/31/2023
A40 RCP	A40	Reflected Ceiling Plans	01/31/2023
A41 SwitchOutlet	A41	Switch / Outlet Plan	01/31/2023

Montgomery County Codes

Building Construction Code: 2018 International Building Code, adopted and amended by Montgomery County (Effective date: May 20, 2020)

Mechanical Code: 2018 International Mechanical Code, adopted and amended by Montgomery County (Effective date: May 20, 2020)

Plumbing Code: 2019 Washington Suburban Sanitary Commission (WSSC) Plumbing and Fuel Gas Code (Effective date: March 1, 2019)

Electrical Code: 2018 National Electrical Code, adopted and amended by Montgomery County (Effective date: May 20, 2020)

Energy Code: 2018 International Energy Code, adopted and amended by Montgomery County (Effective date: May 20, 2020)

Property Data

Address: 6713 Westmoreland Ave
Municipality: Takoma Park

Legal Description: Pinecrest
Landuse: Single Family Detached

WSSC Grid: 208NE01
District: 13
Map: JH51
Subdivision: 005
Lot: 7
Block: 18

Zone: R-40
Takoma Park Historic District

Building Data

Above Grade Living Area: 3195 SF
Existing No Work: 711 SF
Renovated: 849 SF
Addition: 1635 SF

Stories: 2
Use Classification: Single Family Residential
Construction Type - 5B
Non-Sprinklered

Project Team

Owner:
Alex Thompson
Emily Adams
6713 Westmoreland Ave.
Takoma Park, MD 20912

Design/Build Contractor:
guerilla / construction LLC
6600 York Road #100
Baltimore, MD 21212

Structural Consultant:
Steadfast | Mike Dominelli, PE
443-838-4738
564 W University Pkwy
Baltimore, MD 21210

General Notes

- The drawings and specifications herein provide graphic and written requirements for the execution of The Work by The Contractor.
- All dimensions are to face of finished wall, unless noted otherwise
- The Contractor shall be responsible for executing The Work as drawn and specified in The Contract Documents
- Contractor shall have sole responsibility and control over construction means, methods, techniques, sequences and coordination of all portions of The Work.
- The Contractor shall visit site prior to commencing Work to take field measurements and verify field dimensions for horizontal and vertical control, and shall report any discrepancies to the owner.
- The Contractor shall continue operations at The Site to the limits of the project site as described on the drawings and shall protect adjoining property from damage.
- All materials and workmanship shall comply with applicable building codes.
- The building and grounds shall be kept clean at all times. After completion of The Contract and before receiving final payment, The Contractor shall remove from the premises trash rubbish, tools, equipment and excess materials.
- The Contractor shall store materials in a safe and dry location
- The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items. Any necessary adjustments between field measurements and drawings shall be coordinated with The Owner or Owner's Representative.
- All specified products and systems shall be installed according to manufacturer's written instruction; including, but not limited to instructions regarding preparation of substrates and adjoining construction, weather conditions and protection after installation.
- The Contractor shall furnish and install all necessary materials, labor and equipment for a complete mechanical and electrical system.
- The Contractor shall coordinate with The Owner the final selection of hardware, fixtures, finishes and accessories not specified.
- The Contractor shall guarantee, for the period of one year after the date of completion and final acceptance by The Owner, all workmanship and materials.
- All equipment warranties and maintenance manuals shall be given to The Owner. Warranty periods shall begin upon completion of Work.
- The Owner shall obtain and pay for the building permit, The Contractor shall be responsible for obtaining and paying for all other permits and shall obtain all required building department inspections.



guerilla
construction llc.

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Contact : Joseph Robinowitz

6713 Westmoreland
Avenue
Takoma Park, Maryland 20912

Revisions:

#	Description	Date
1	Historic Review	04/11/2022
2	Setbacks compliance review	01/31/2023

Scale:
Date Last Modified: 01/31/2023

Designed By: Guerilla Construction
Drawn By: SP | MS | EM
Checked By: Joseph Rabinowitz

Cover Sheet

A01

Permit Submission 01/31/2023



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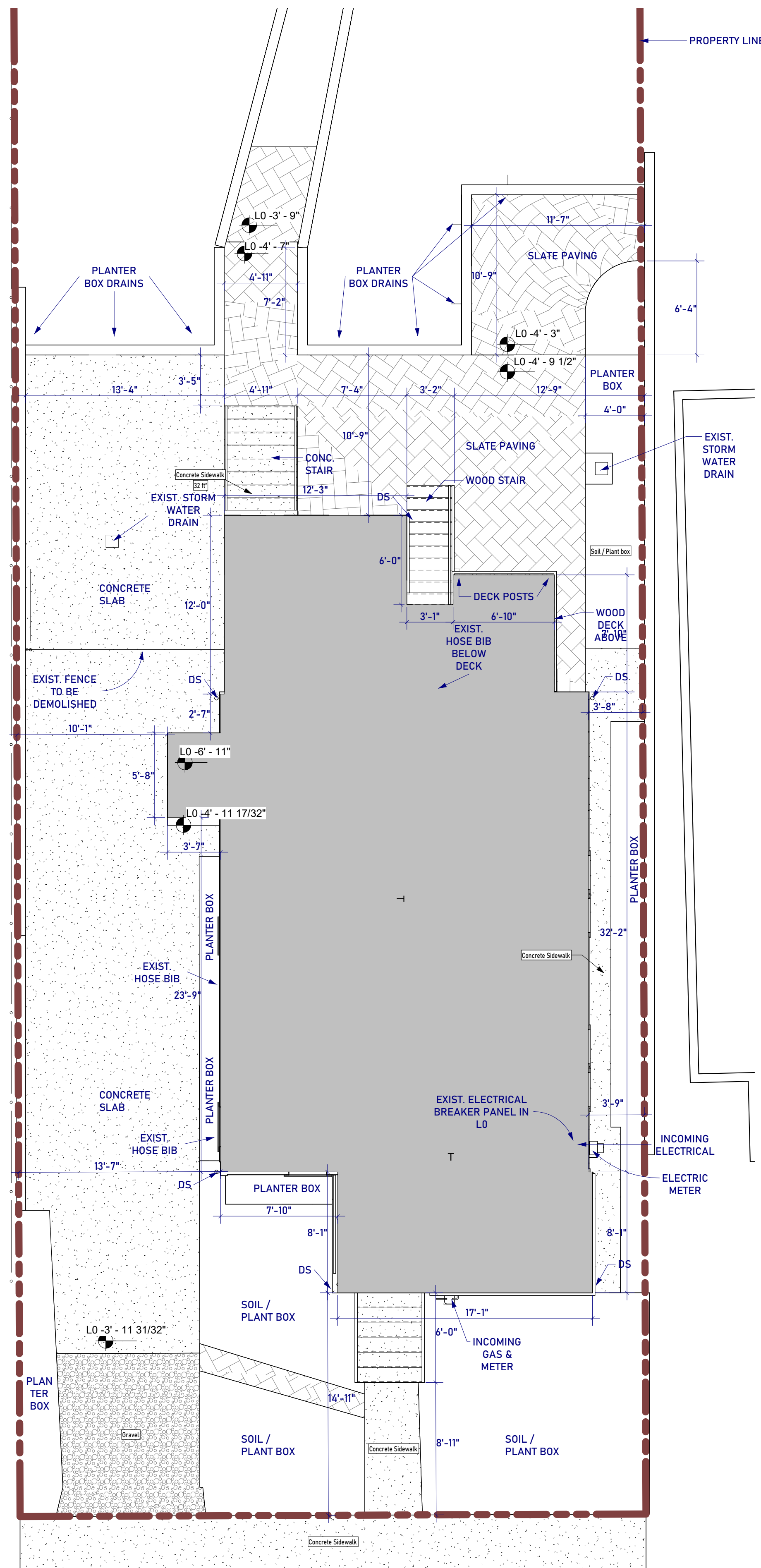
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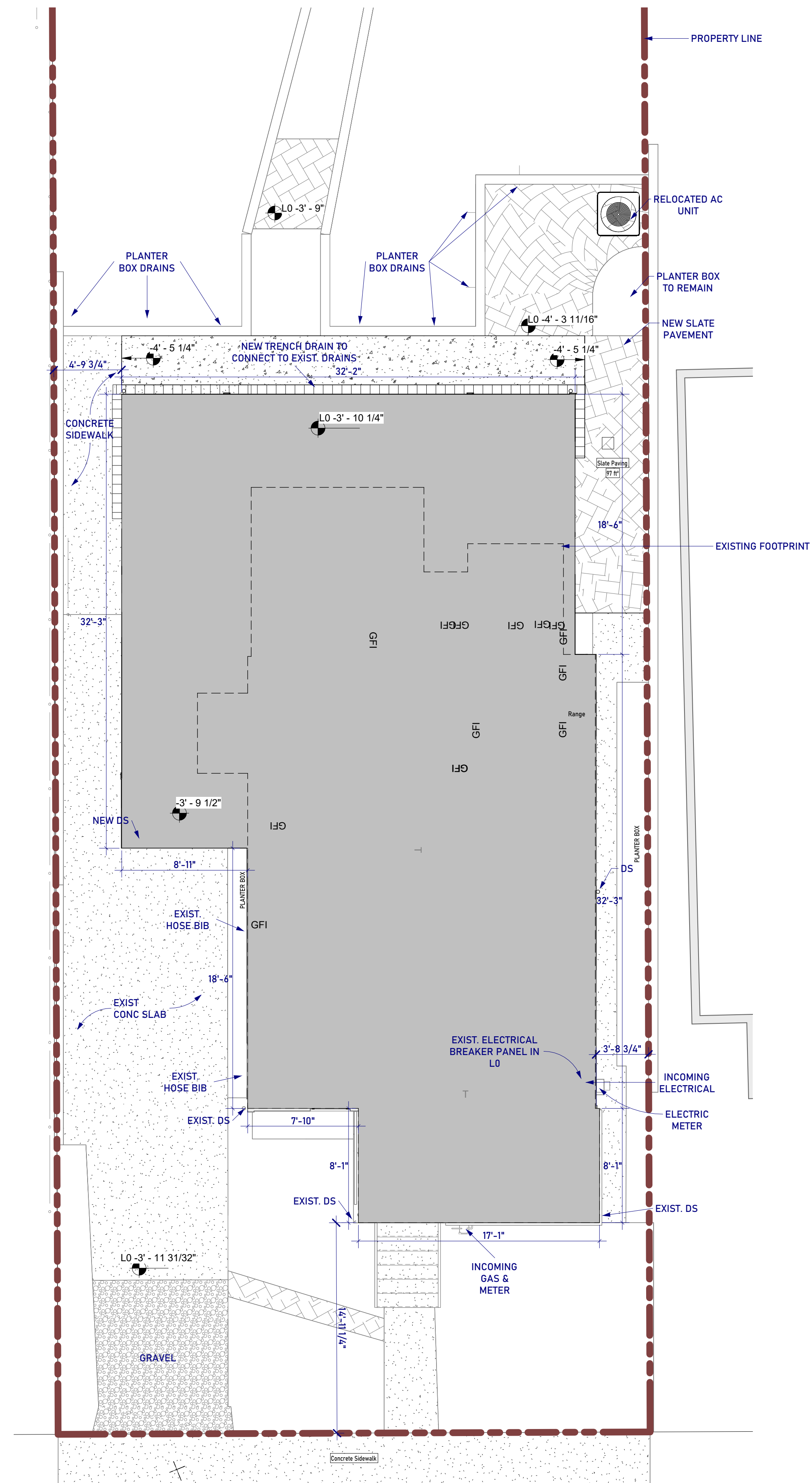
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 Date Last Modified: 01/31/2023
 Designed By: Guerilla Construction
 Drawn By: SP | MS | EM
 Checked By: Joseph Robinowitz

Existing / Proposed Site Plans

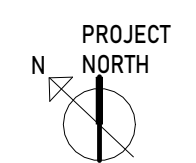
A02



1 Exist. Site Work
 3/16" = 1'-0"



2 Proposed Site Work
 3/16" = 1'-0"

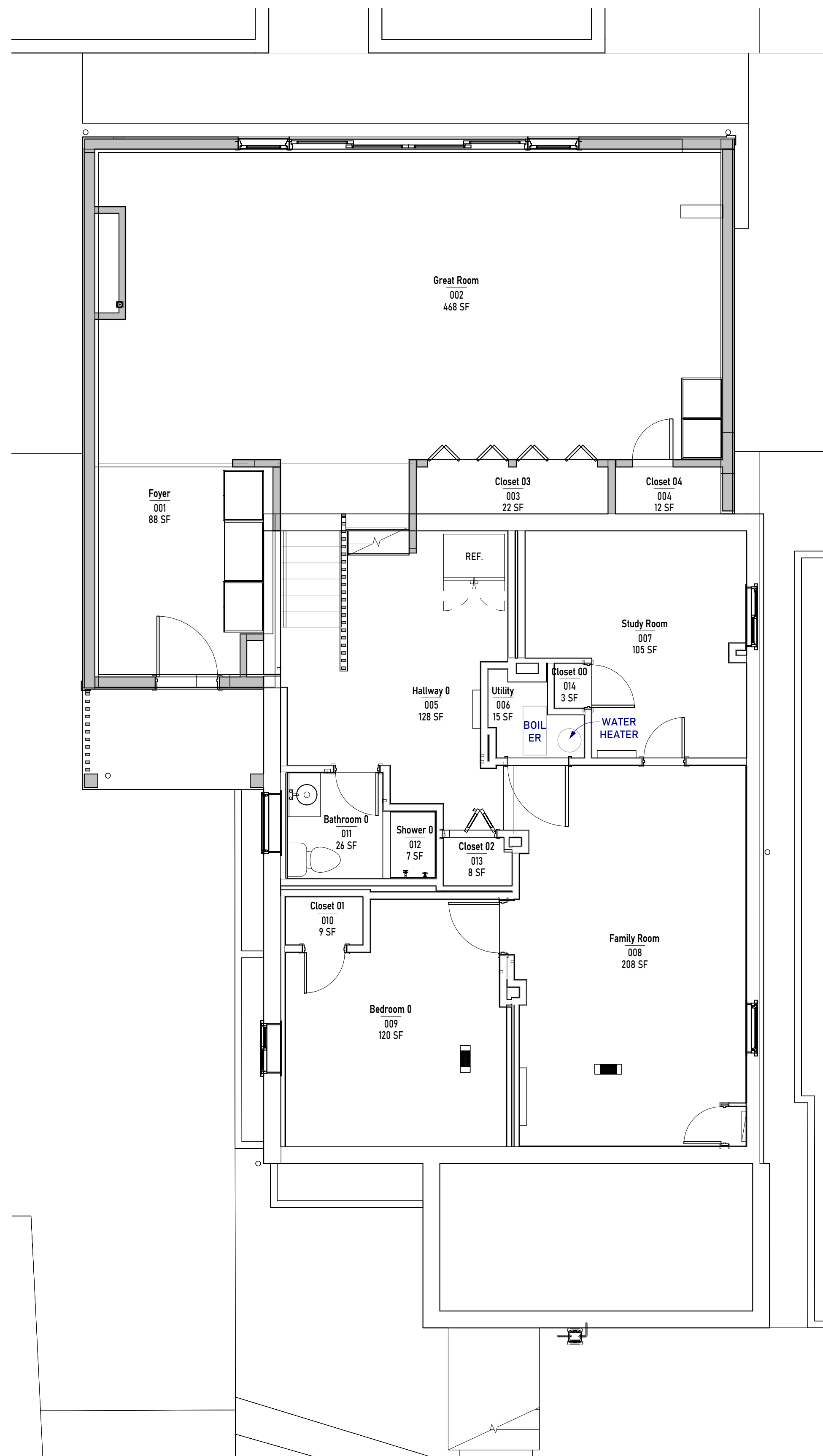


Permit Submission 01/31/2023

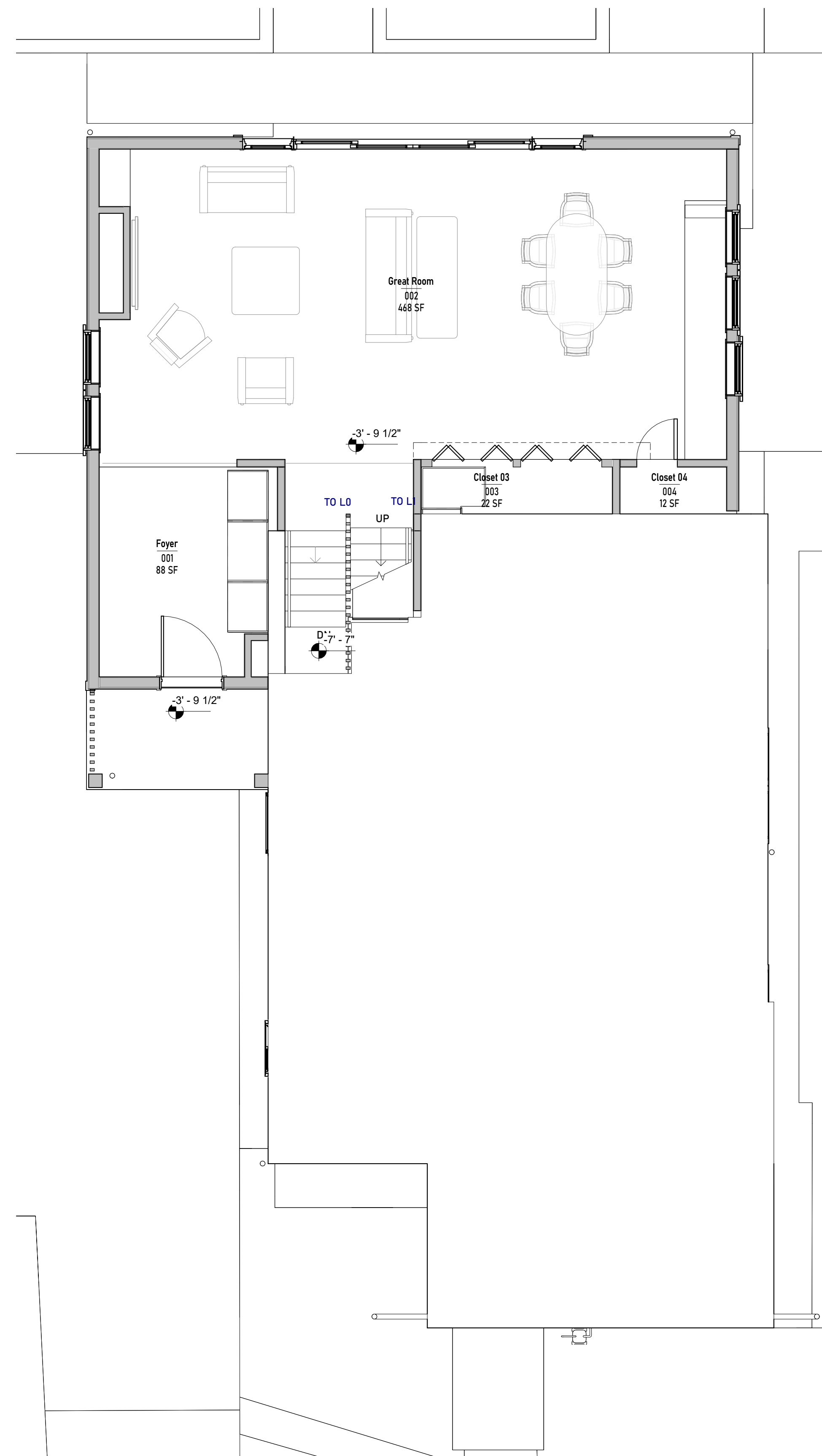


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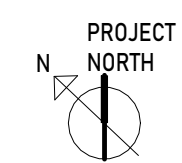


2 | Basement (L0)
1/4" = 1'-0"



1 | Ground Floor (L0.5)
1/4" = 1'-0"

NEW WALLS SHOWN WITH GRAY IN-FILL



**6713 Westmoreland
Avenue**
Takoma Park, Maryland 20912

Revisions:

#	Description	Date
1	Historic Review	04/11/2022
2	Setbacks compliance review	01/31/2023

Scale: 1/4" = 1'-0"
Date Last Modified: 01/31/2023

Designed By: Guerilla Construction
Drawn By: SP | MS | EM
Checked By: Joseph Rabinowitz

**Proposed
Basement,
Ground Flr**

A03

Permit Submission 01/31/2023



**guerilla
construction llc.**

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Revisions:

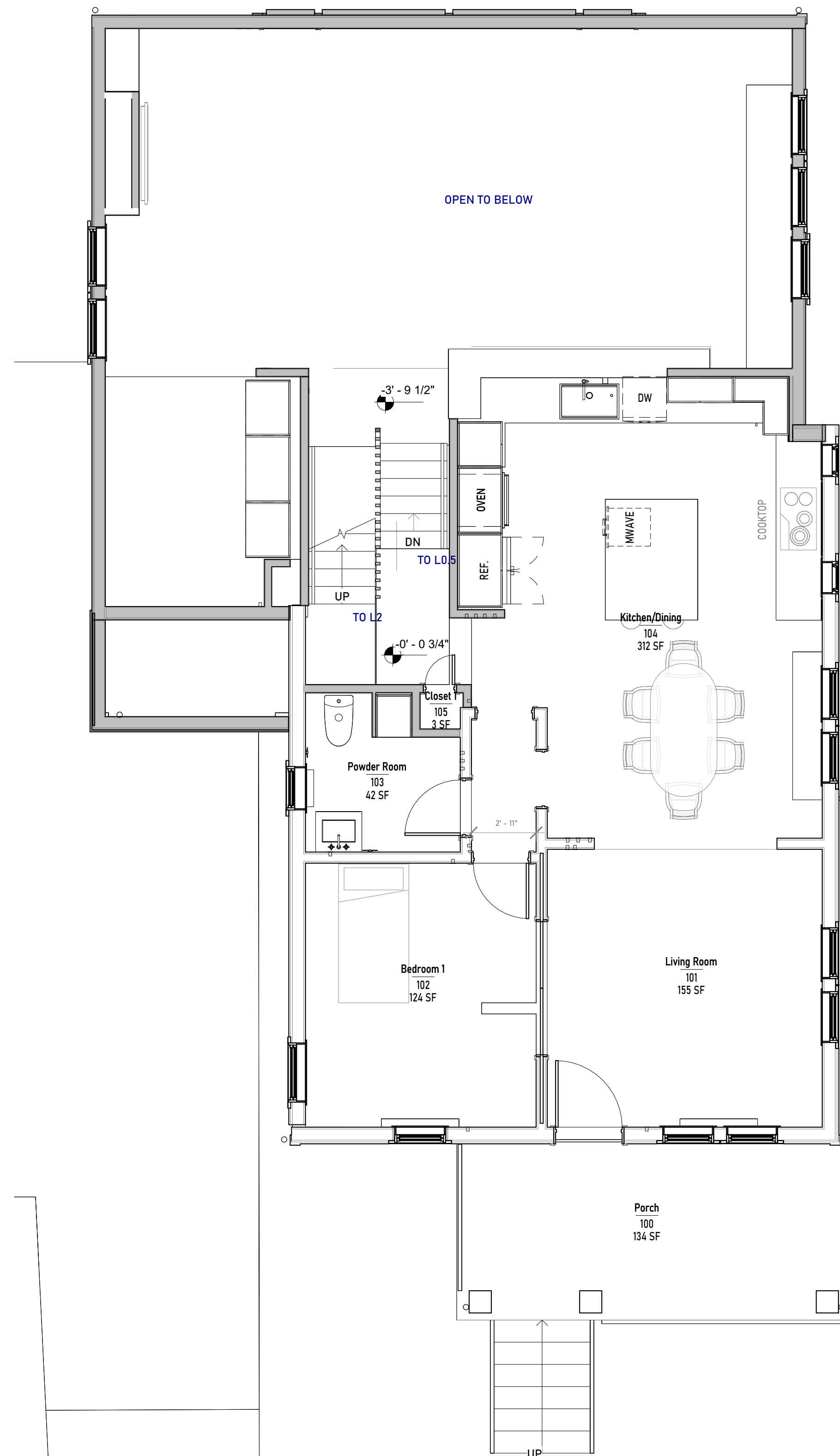
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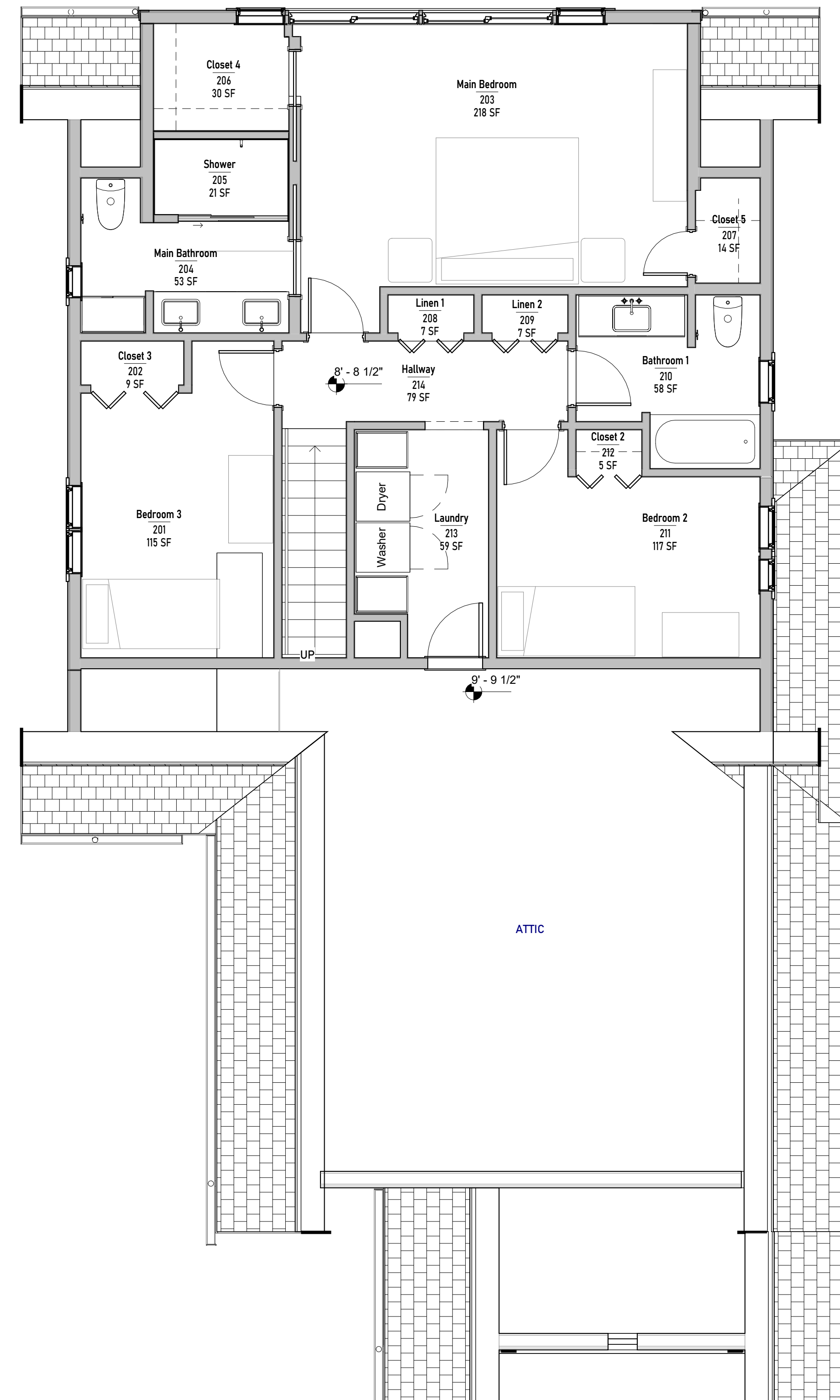
Designed By: Guerilla Construction
Drawn By: SP | MS | EM
Checked By: Joseph Rabinowitz

**Proposed 1st
& 2nd Floor
Plans**

A04

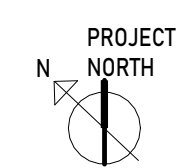


1 First Floor
1/4" = 1'-0"



2 Second Floor
1/4" = 1'-0"

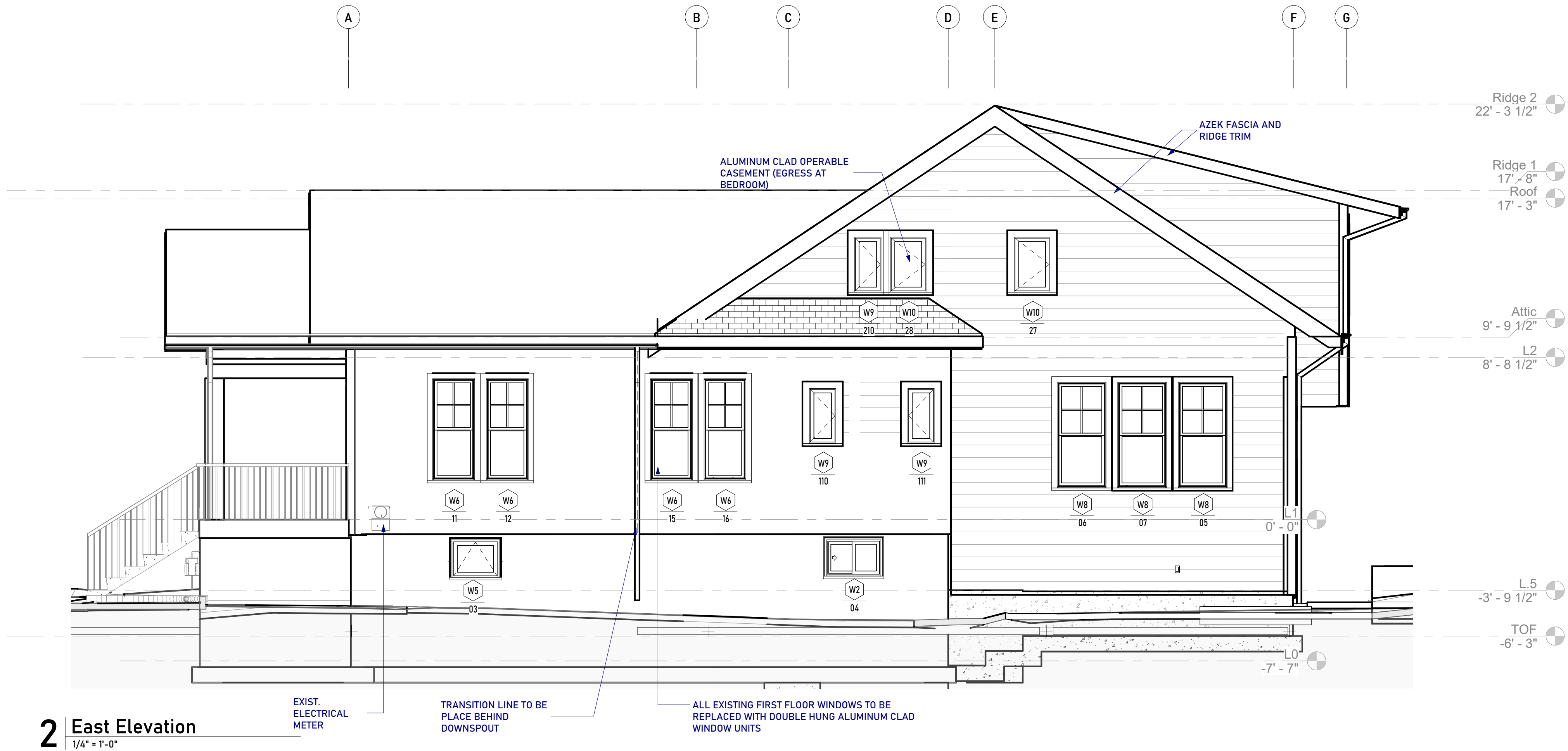
NEW WALLS SHOWN WITH GRAY IN-FILL



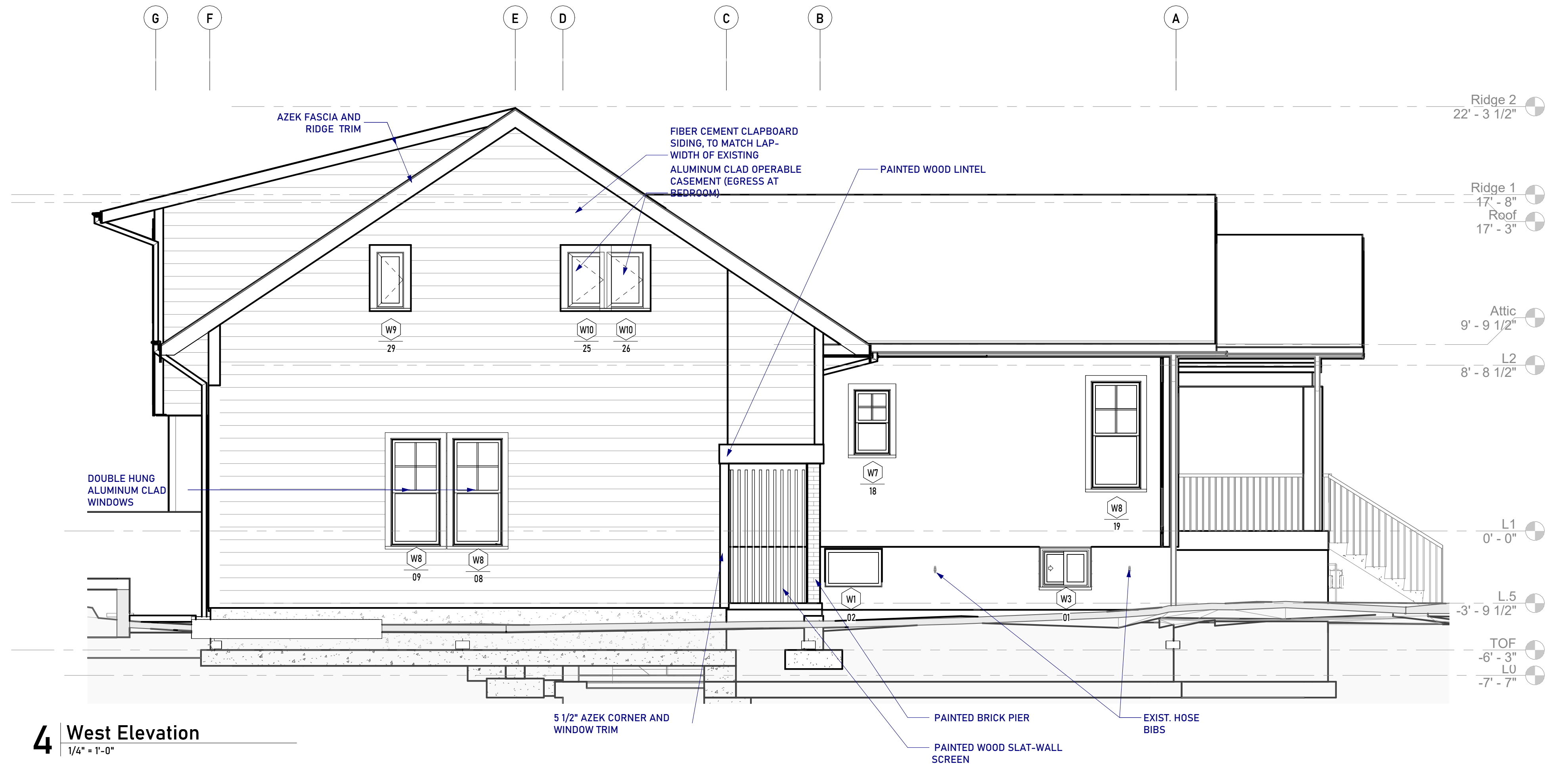
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2 East Elevation
 1/4" = 1'-0"



4 West Elevation
 1/4" = 1'-0"

6713 Westmoreland Avenue
 Takoma Park, Maryland 20912

Revisions:

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1	Historic Review	04/11/2022
2	Setbacks compliance review	01/31/2023

Scale: 1/4" = 1'-0"
 Date Last Modified: 01/31/2023
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 Checked By: Joseph Robinowitz

Proposed Elevations East West

A05

Permit Submission 01/31/2023



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**6713 Westmoreland
Avenue**
Takoma Park, Maryland 20912

Revisions:

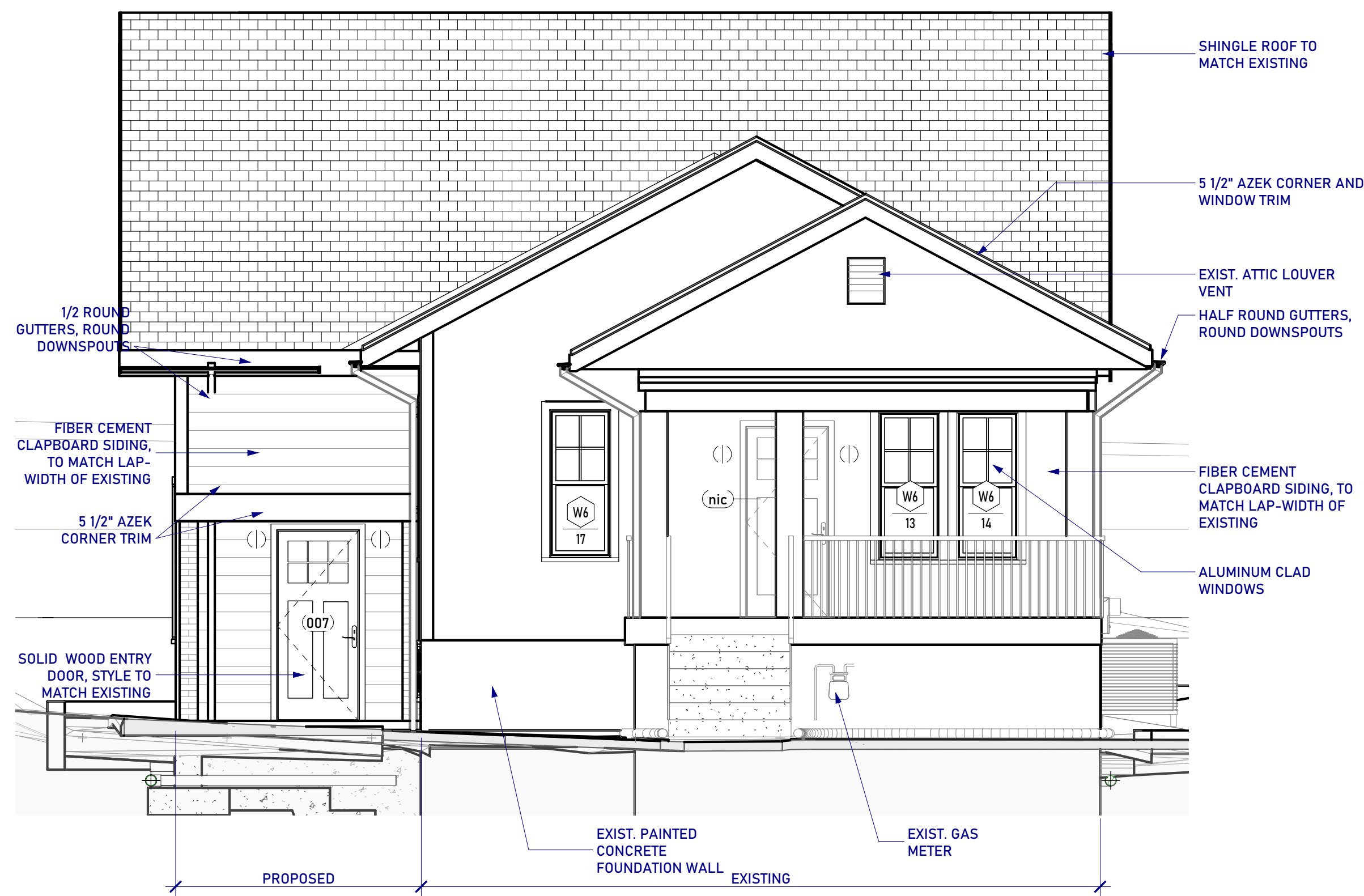
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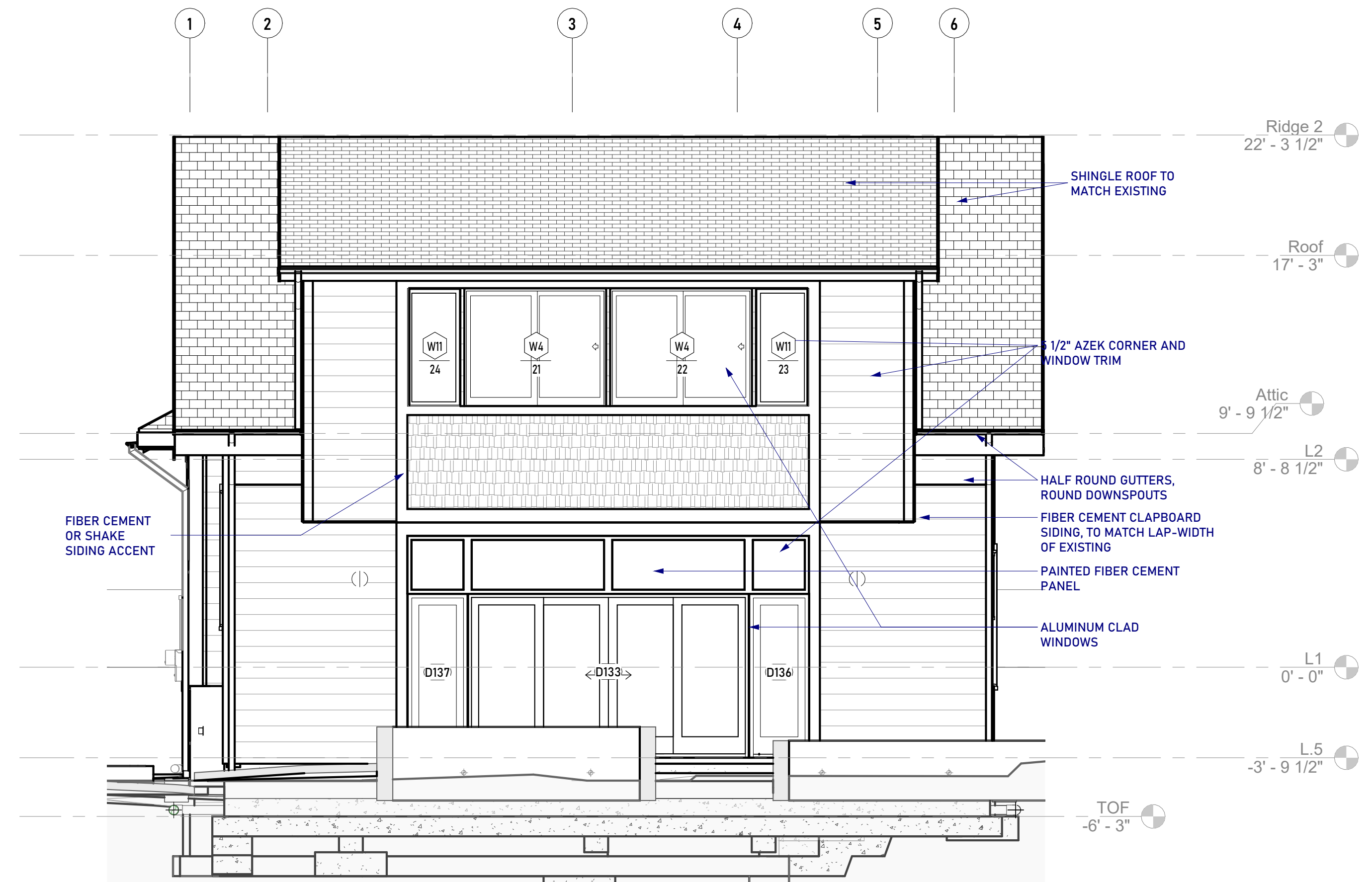
Designed By: Guerilla Construction
Drawn By: SP | MS | EM
Checked By: Joseph Robinowitz

**Proposed
Elevations
North South**

A06



1 South Elevation
1/4" = 1'-0"



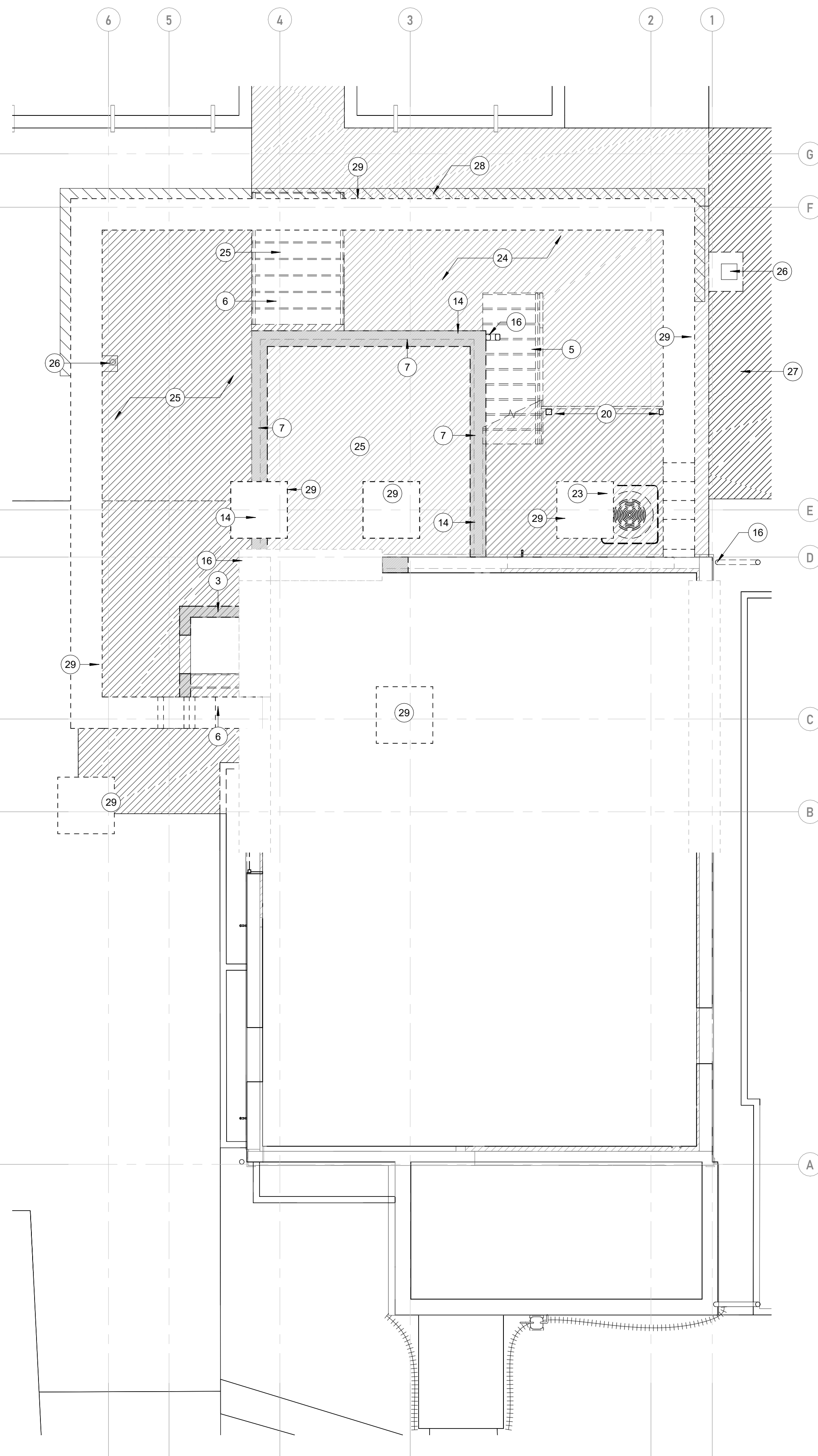
2 North Elevation
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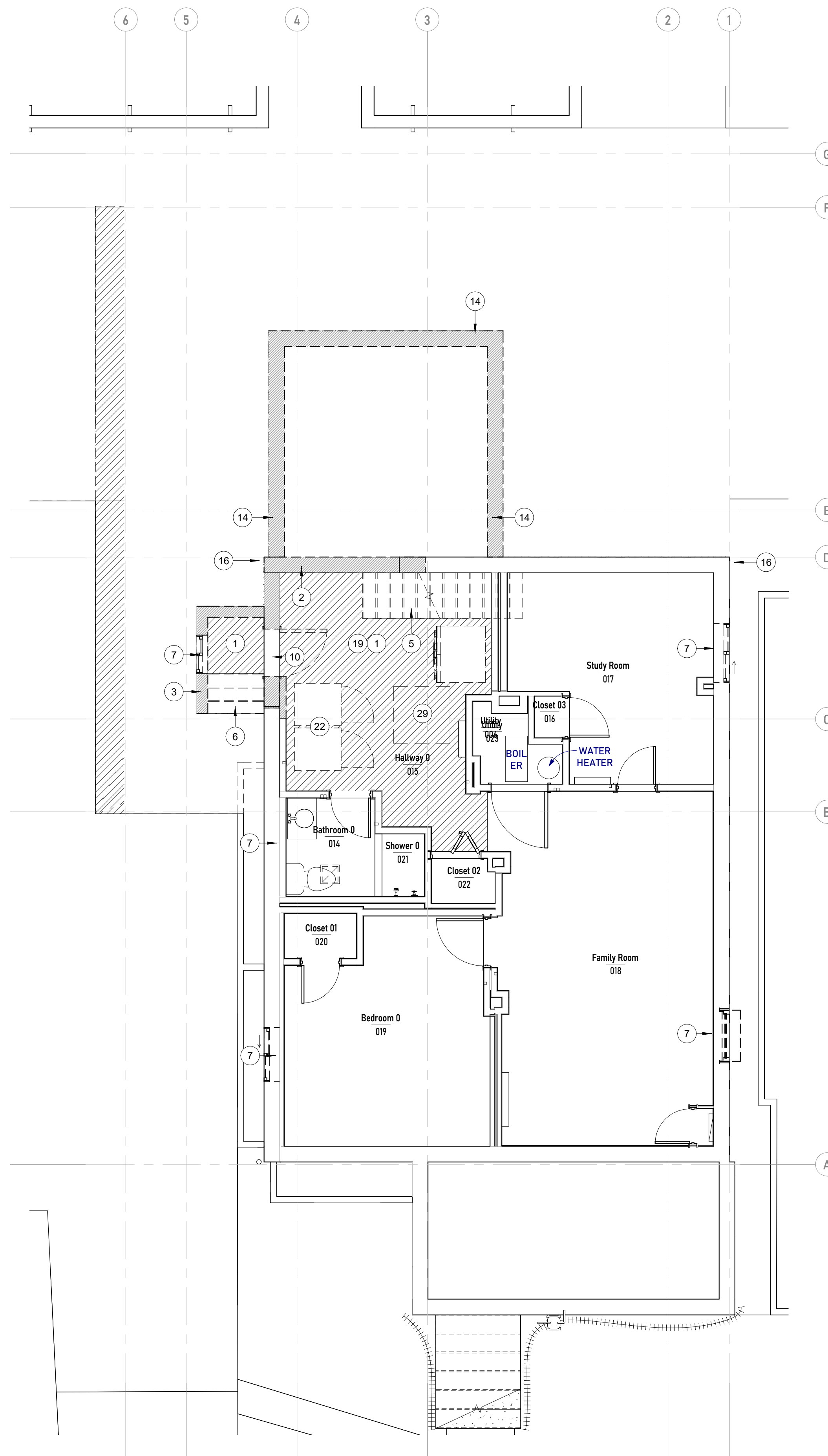
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1 | Demo. Site (L0.5)
1/4" = 1'-0"



2 | Demo. Basement (L0)
1/4" = 1'-0"

Notes-Demo Plan

- 1 EXISTING FLOORING TO BE REMOVED AND/OR REPLACED
- 2 EXISTING NON-LOAD-BEARING WALL TO BE REMOVED
- 3 EXISTING LOAD-BEARING WALL TO BE REMOVED
- 5 EXISTING WOODEN STAIR TO BE DEMOLISHED
- 6 EXISTING CONCRETE STAIR TO BE DEMOLISHED
- 7 EXISTING WINDOW TO BE REMOVED AND/OR REPLACED
- 9 EXISTING RAILING / HANDRAIL TO BE REMOVED
- 10 EXISTING DOOR TO BE REMOVED AND/OR REPLACED
- 11 EXISTING ROOF & RAFTERS TO BE DEMOLISHED
- 12 EXISTING CHIMNEY TO BE REMOVED
- 13 EXTERIOR WALL TO BE REMOVED
- 14 EXISTING FOUNDATION WALL TO BE REMOVED
- 15 PORTION OF EXISTING GUTTER TO BE DEMOLISHED
- 16 EXISTING DOWNSPOUT TO BE DEMOLISHED
- 17 EXISTING SHEATHING TO BE REMOVED AND/OR REPLACED
- 18 EXISTING PLUMBING FIXTURES TO BE REMOVED
- 19 EXISTING CEILINGS TO BE REMOVED
- 20 EXISTING DECK & STRUCTURE TO BE DEMOLISHED
- 21 EXISTING FLOOR JOISTS TO BE CUT. PROVIDE TEMPORARY SHORING AND BRACING TO SUPPORT FLOOR AS NEEDED
- 22 EXISTING WASHER/ DRYER TO BE REMOVED AND RELOCATED
- 23 EXISTING AC UNIT TO BE RELOCATED
- 24 EXISTING SLATE PAVING TO BE REMOVED AND SALVAGED
- 25 EXISTING CONCRETE PAVING TO BE REMOVED
- 26 EXISTING STORM WATER DRAIN TO BE RELOCATED
- 27 EXISTING PLANTER BOX TO BE DEMOLISHED AND PREPARED FOR SLATE LAYING
- 28 GRADE TO BE DEMOLISHED TO ACCOMMODATE DRAIN TRENCH
- 29 EXCAVATE GRADE AS NECESSARY TO ACCOMMODATE FOOTING
- 30 EXISTING FLOOR SHEATHING AND JOISTS TO BE DEMOLISHED

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Designed By: Guerilla Construction
Drawn By: SP | MS | EM
Checked By: Joseph Rabinowitz

**Demo Plans
Site /
Basement**

A10

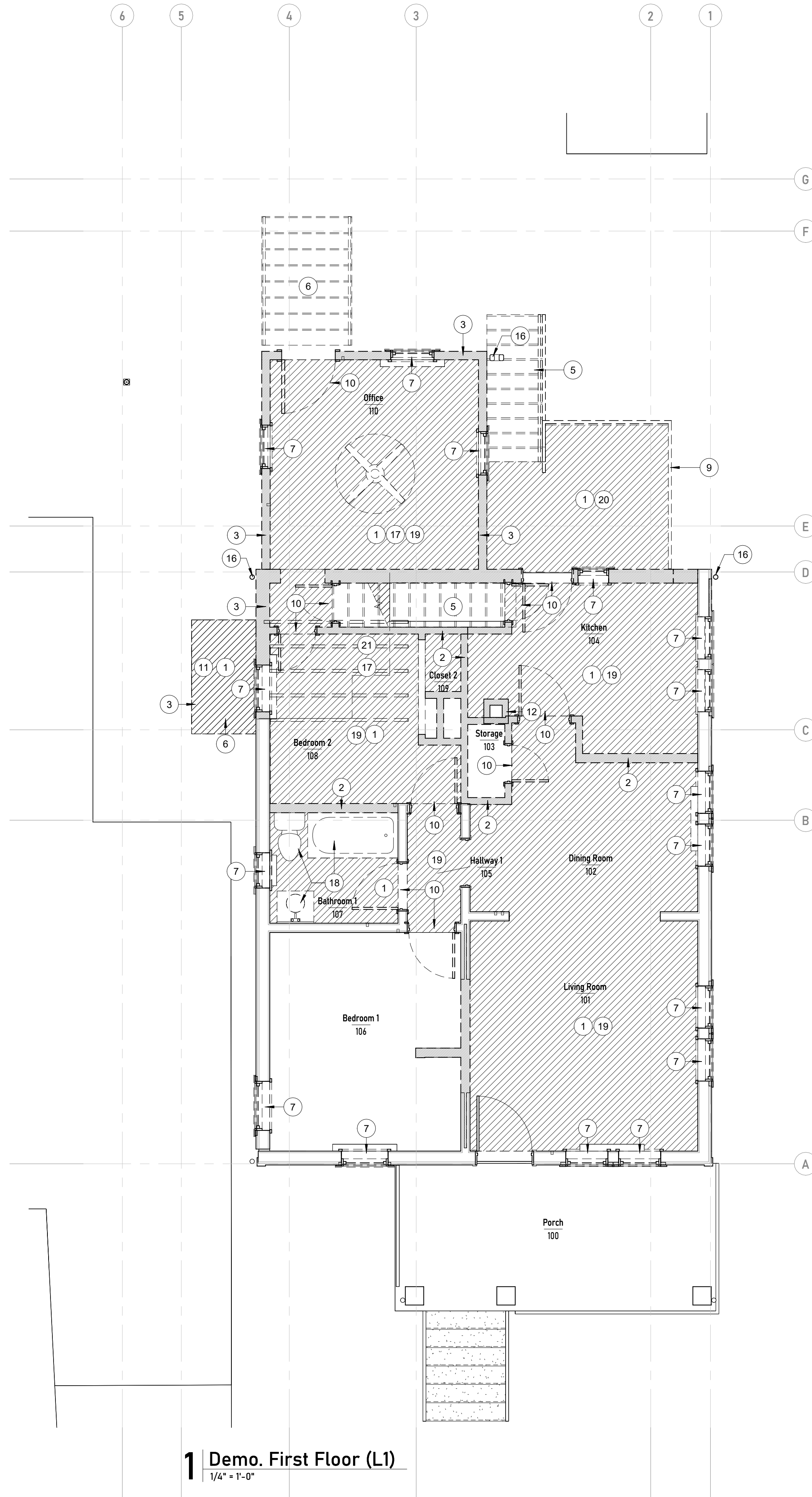
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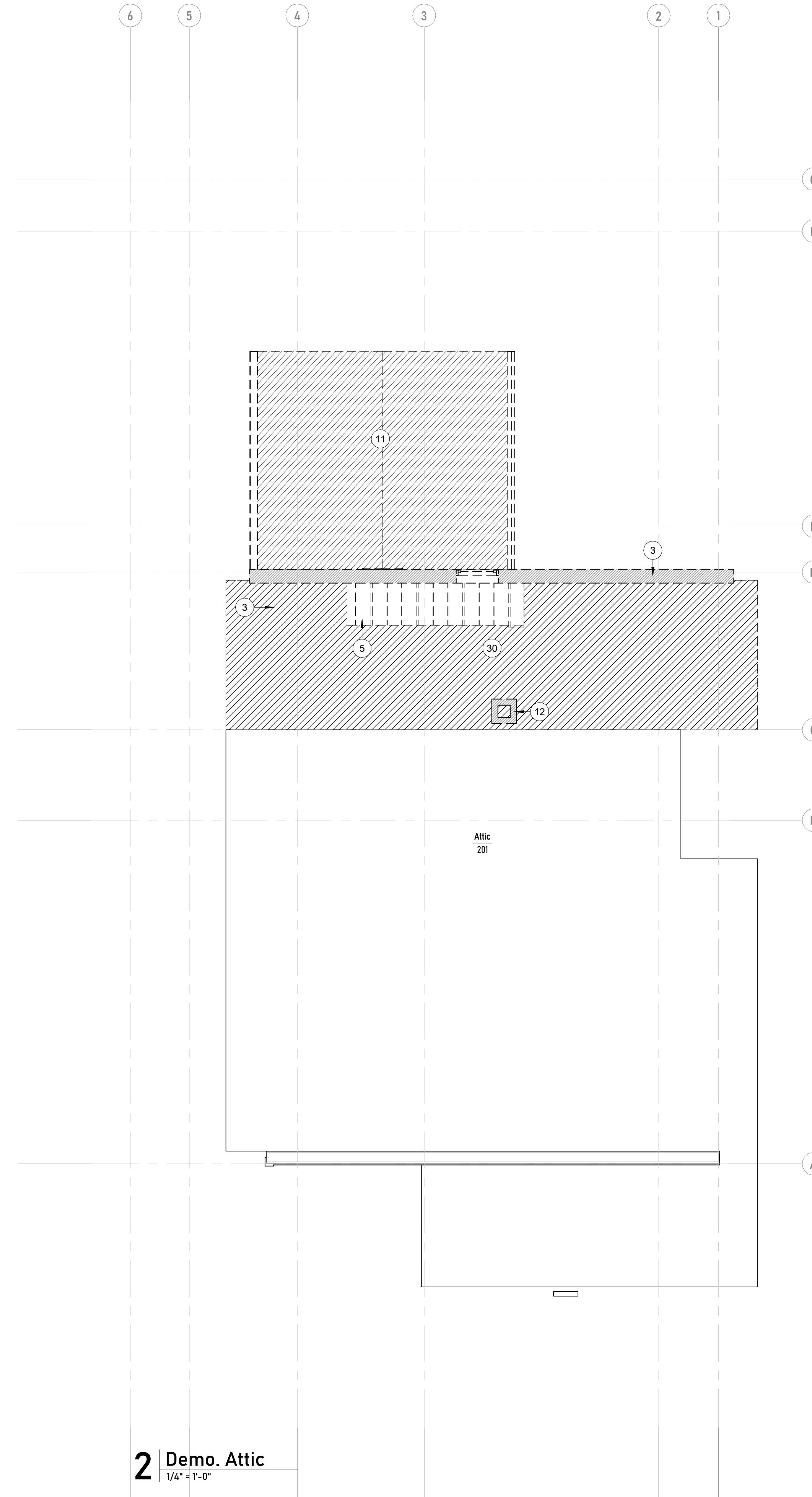
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1 Demo. First Floor (L1)
1/4" = 1'-0"



2 Demo. Attic
1/4" = 1'-0"

Notes-Demo Plan

- 1 EXISTING FLOORING TO BE REMOVED AND/OR REPLACED
- 2 EXISTING NON-LOAD-BEARING WALL TO BE REMOVED
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Drawn By: SP | MS | EM
Checked By: Joseph Robinowitz

**Demo Plans
First Floor /
Attic**

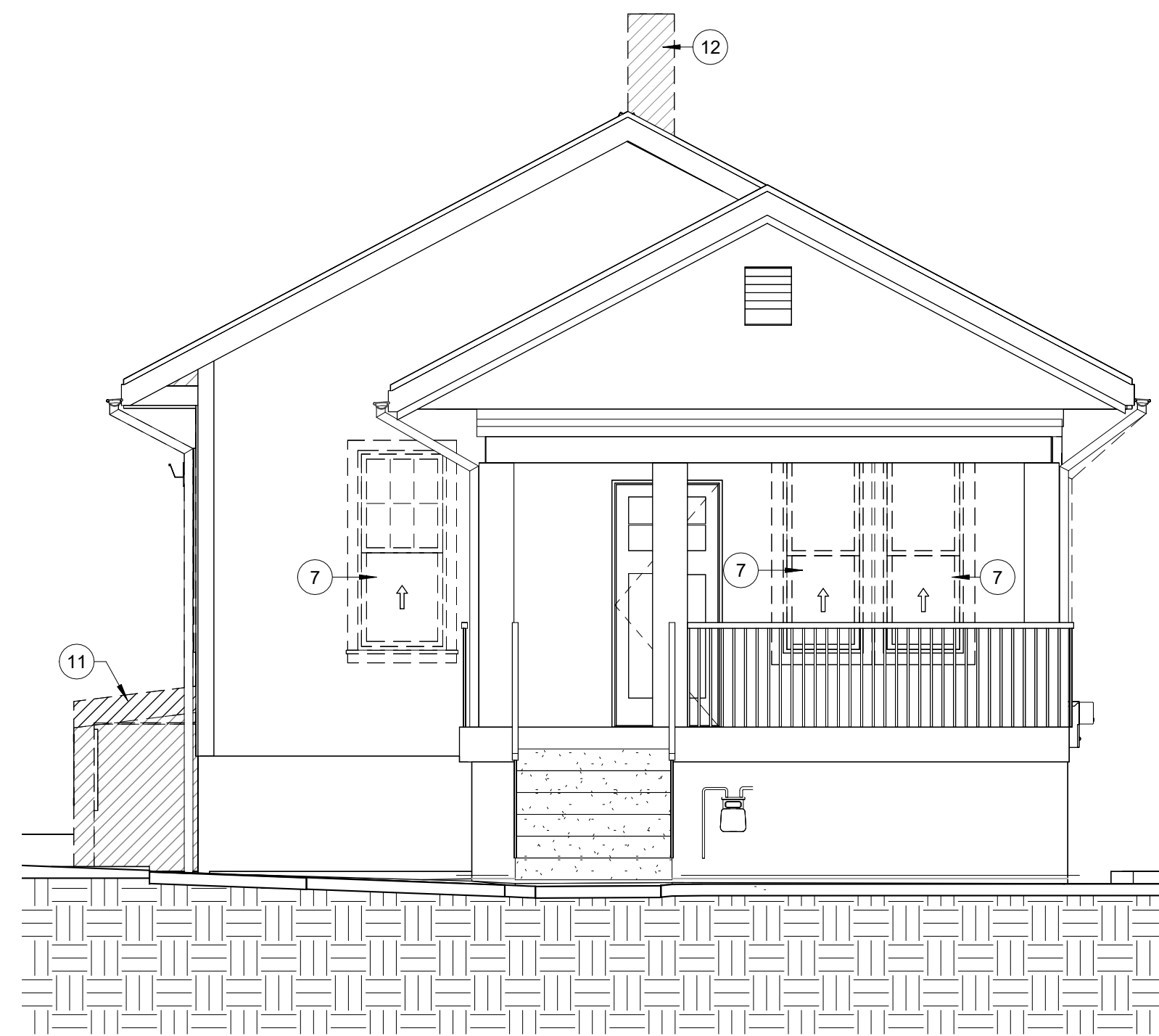
A11

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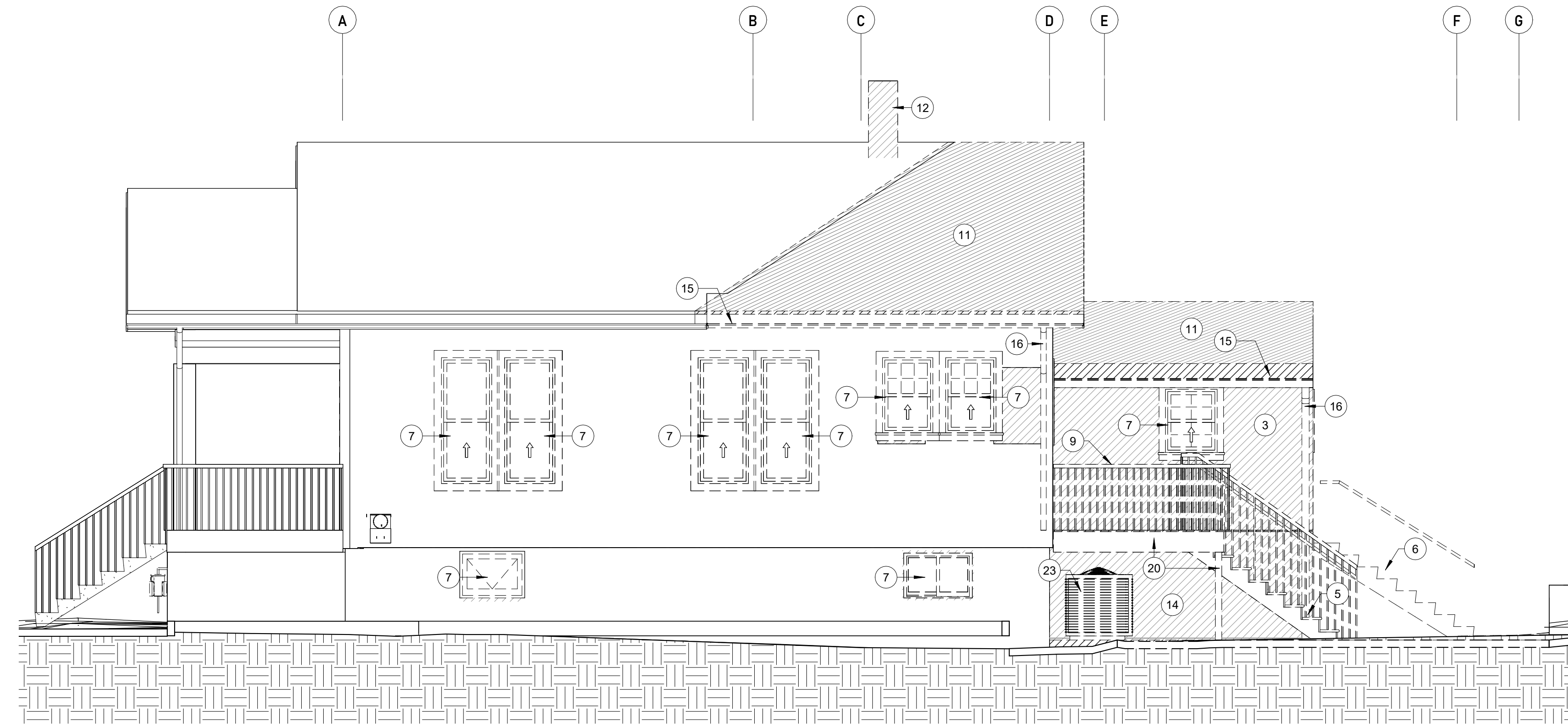


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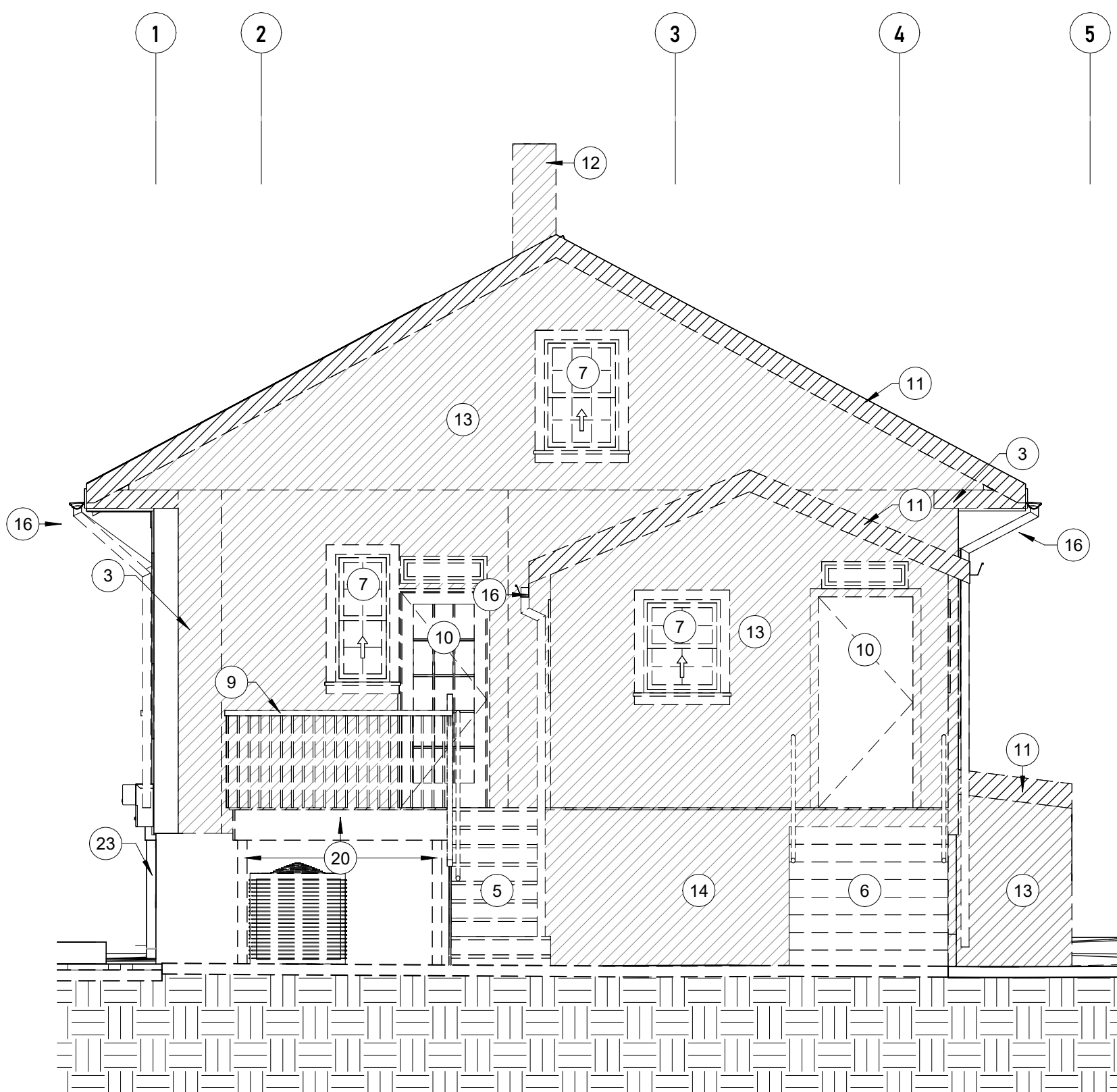
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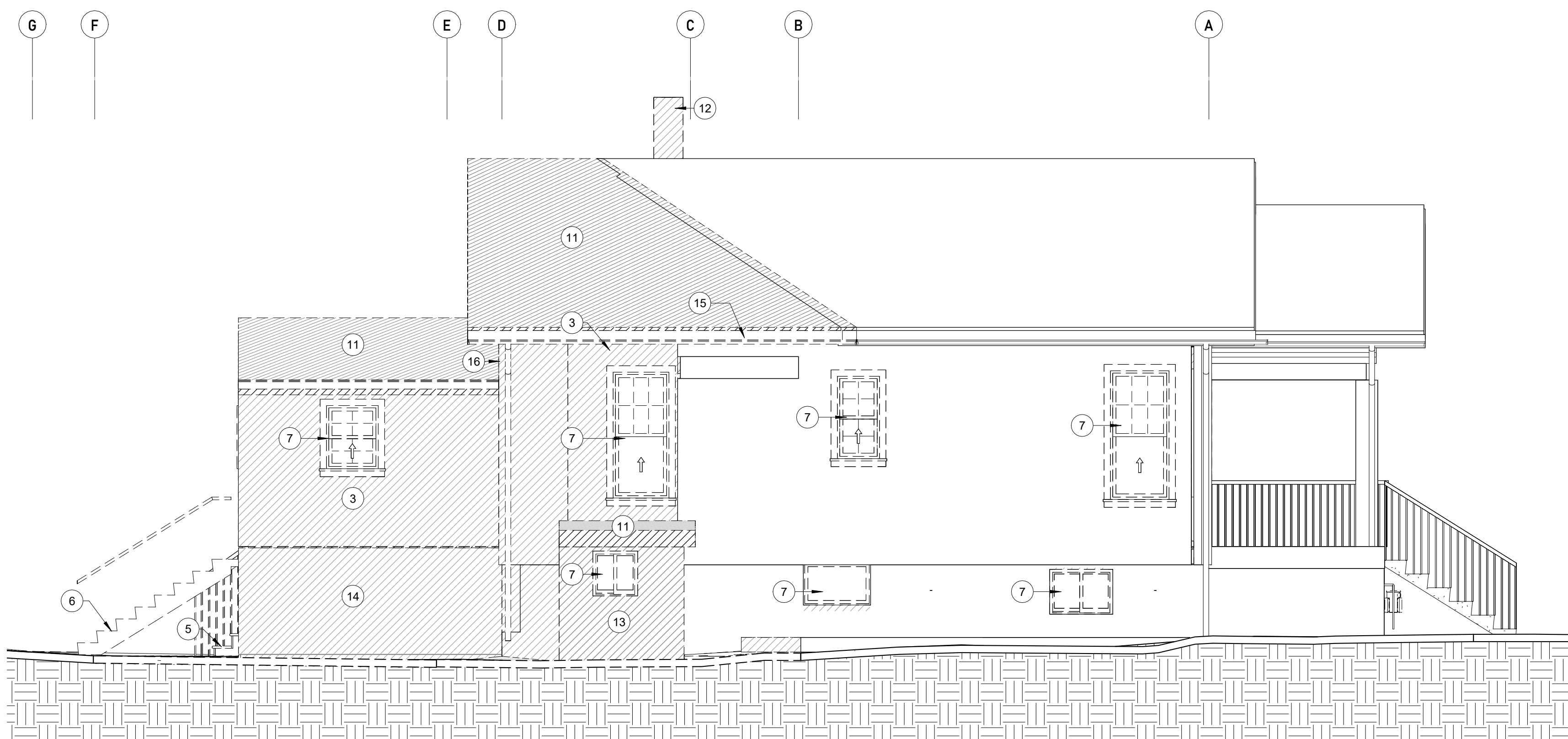
1 South Elevation - Demo
1/4" = 1'-0"



2 East Elevation - Demo
1/4" = 1'-0"



3 North Elevation - Demo
1/4" = 1'-0"



4 West Elevation - Demo
1/4" = 1'-0"

Notes-Demo Plan1

- 1 EXISTING FLOORING TO BE REMOVED AND/OR REPLACED
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**Demo
Elevations**

A12

Permit Submission 01/31/2023



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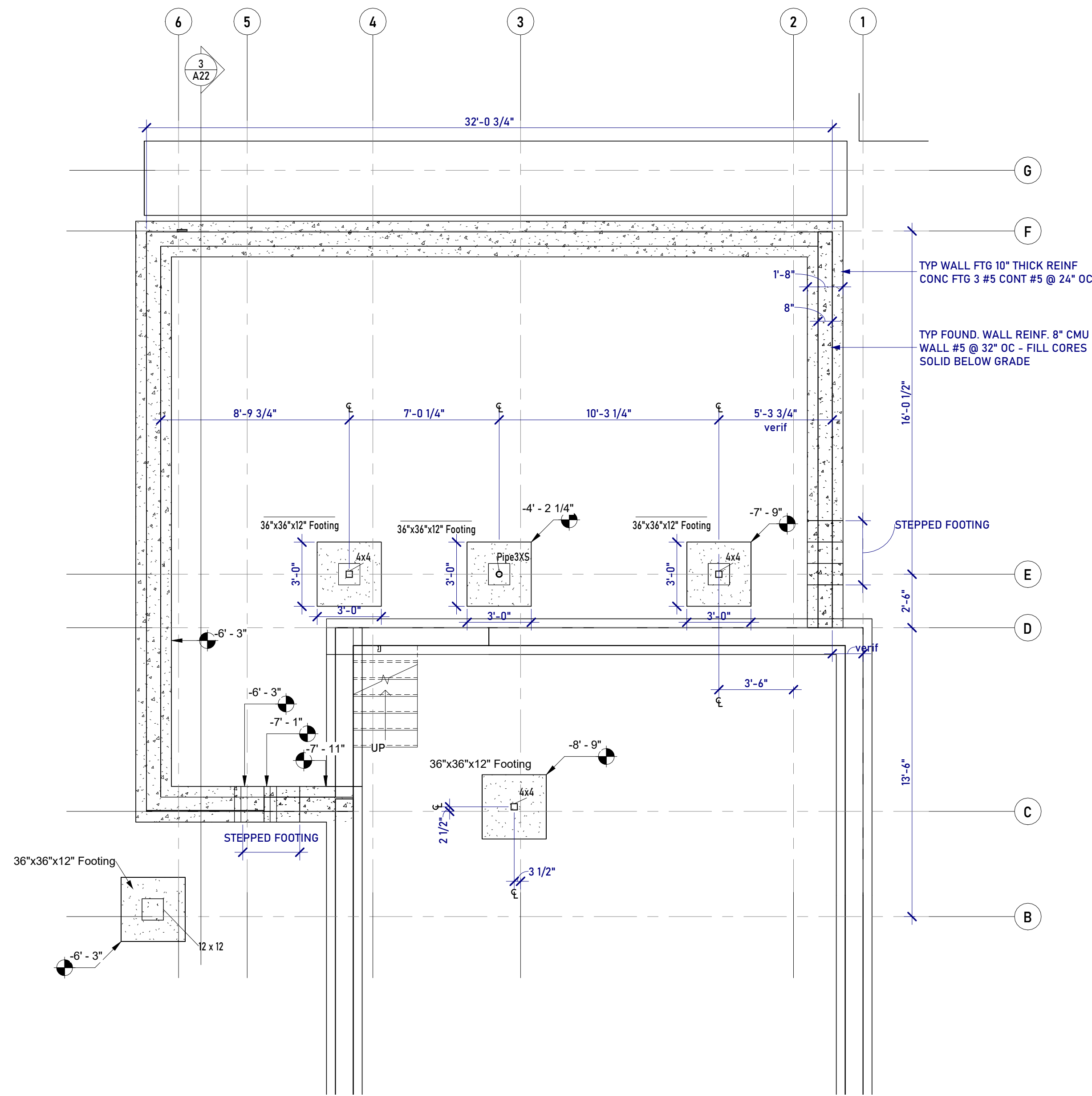
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Date Last Modified: 01/31/2023

Designed By: Guerilla Construction
Drawn By: SP
Checked By:

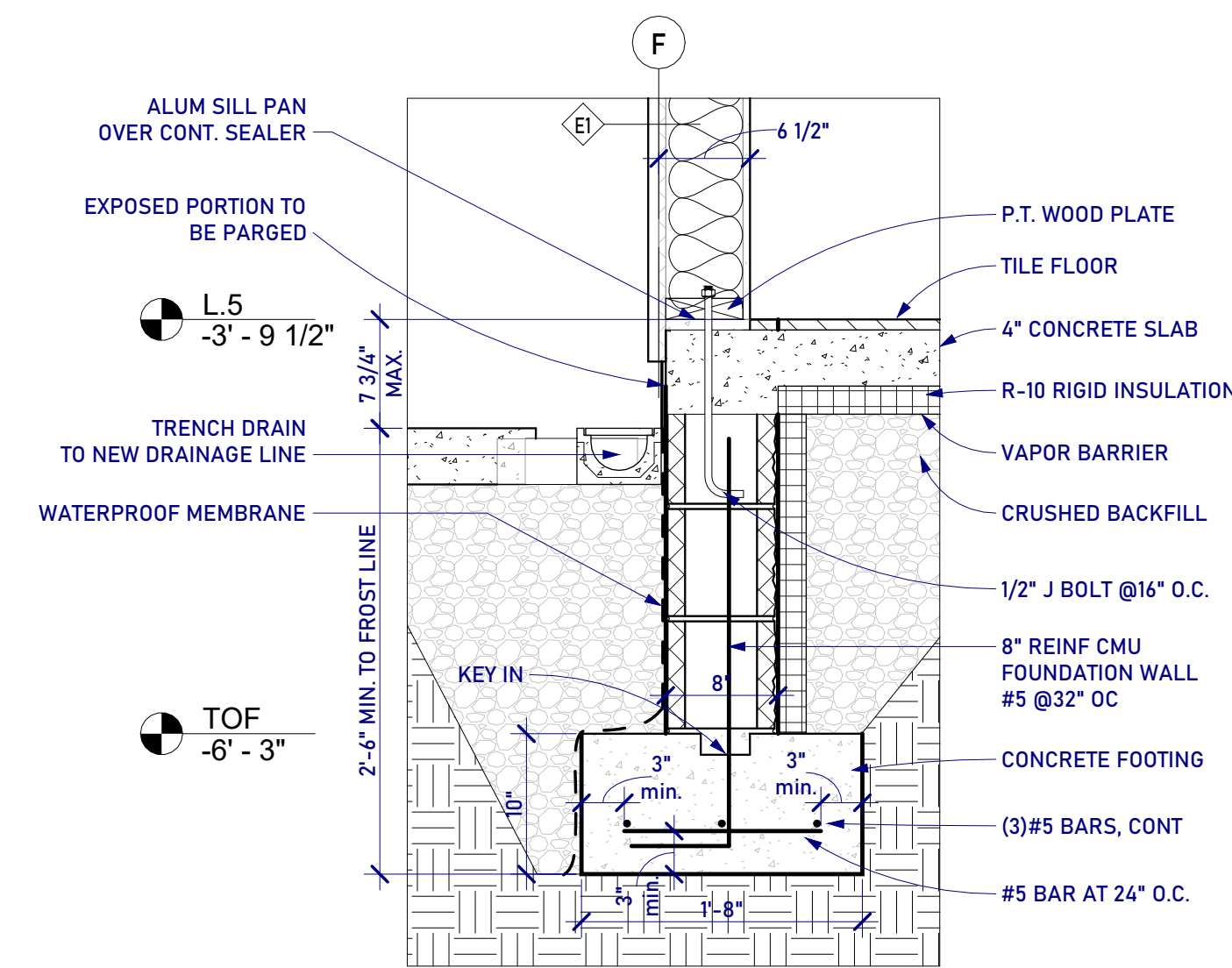
**Foundation
Plan**

A20

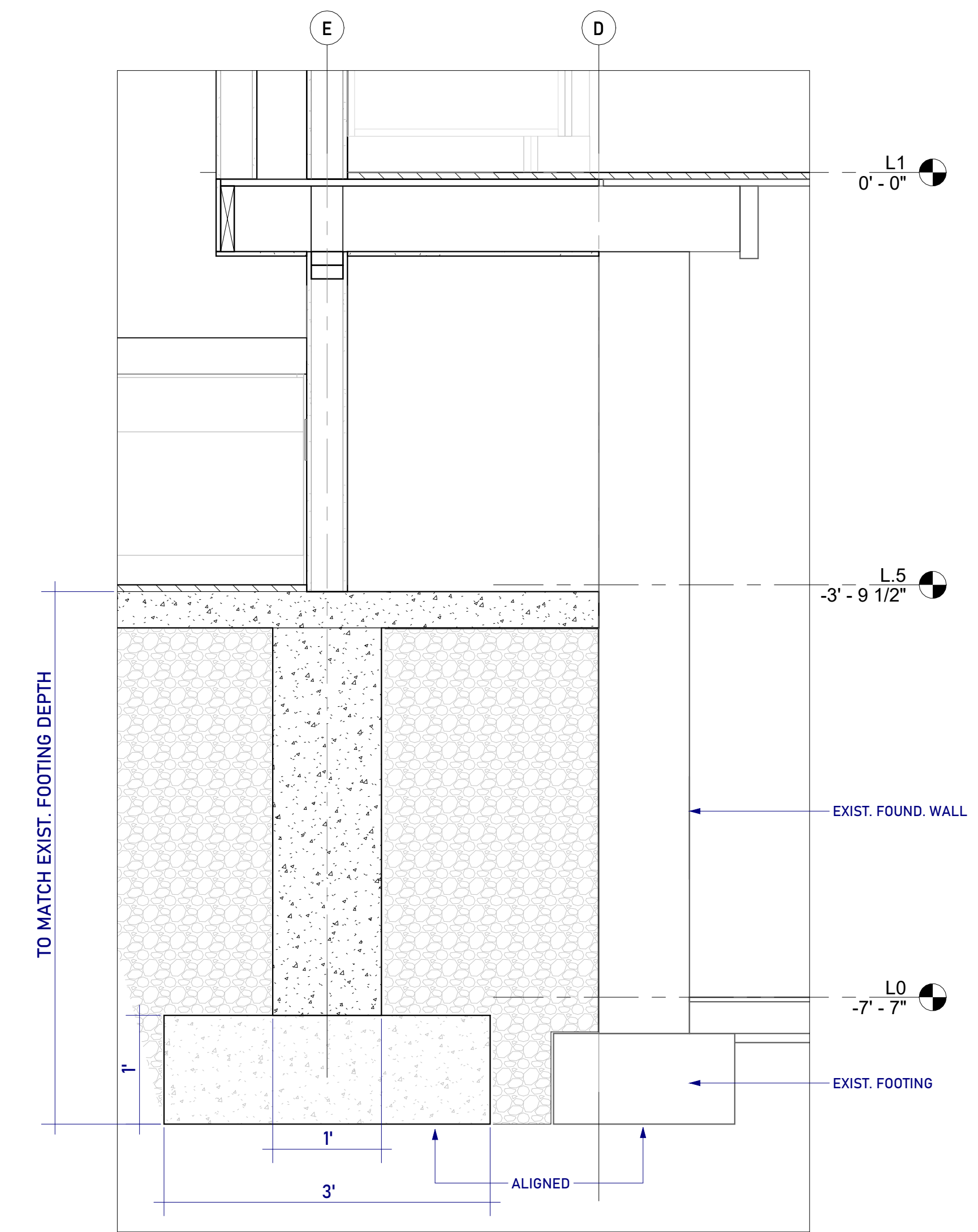
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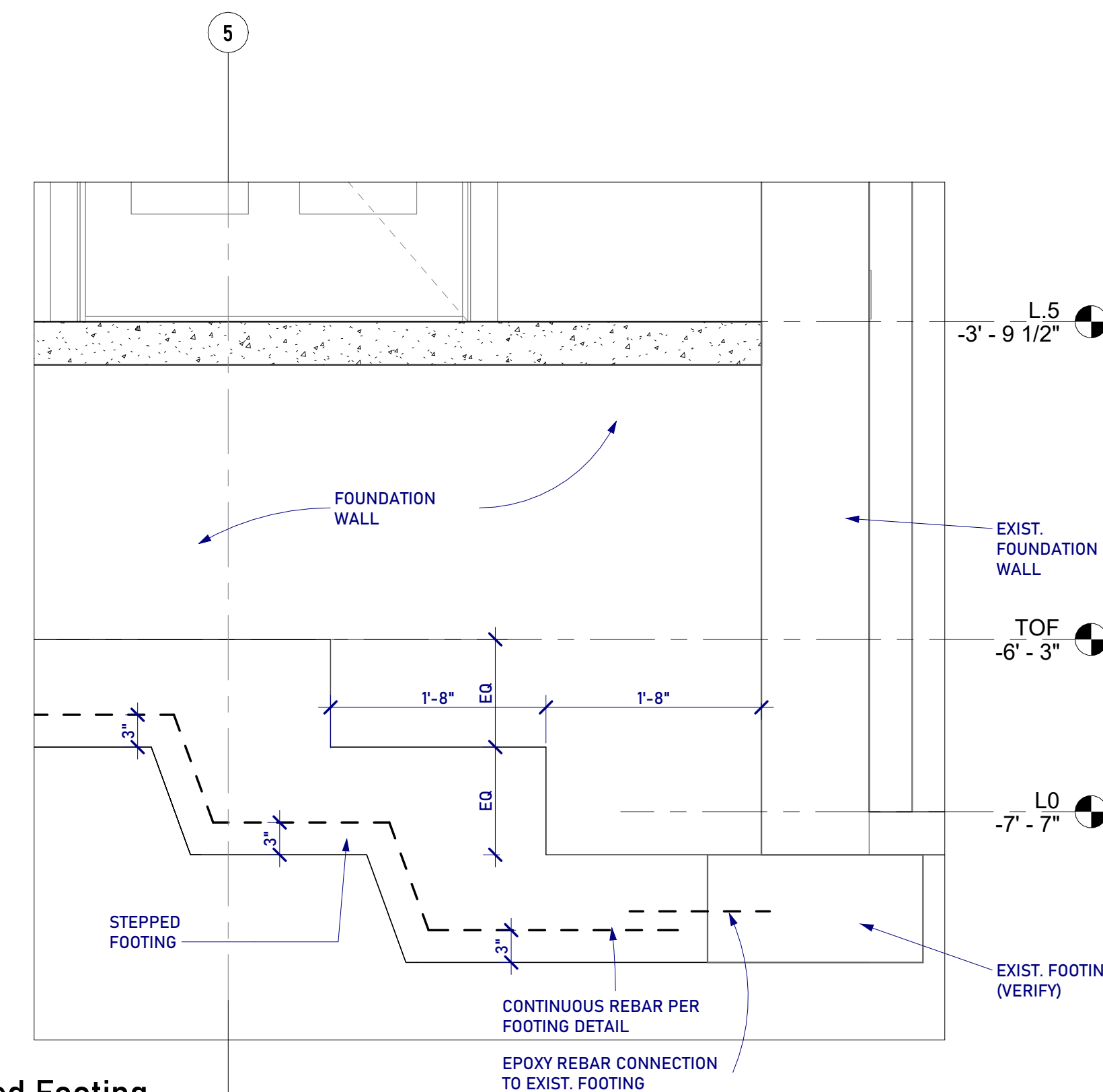
1 Foundation Plan
1/4" = 1'-0"



2 Typical Foundatoin Wall
1" = 1'-0"



3 Foundation at Existing Basement
1" = 1'-0"

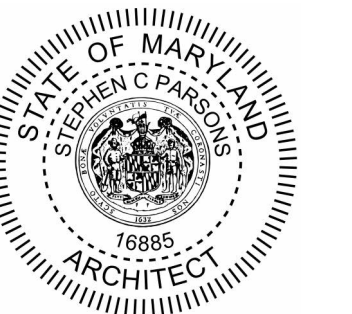


4 Typical Stepped Footing
1" = 1'-0"



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I certify that these documents were prepared or approved by me as an employee of Guerilla Construction LLC, and that I am a duly licensed architect under the laws of the State of Maryland, license number 16885, expiration date 02/07/2023.

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Takoma Park, Maryland 20912

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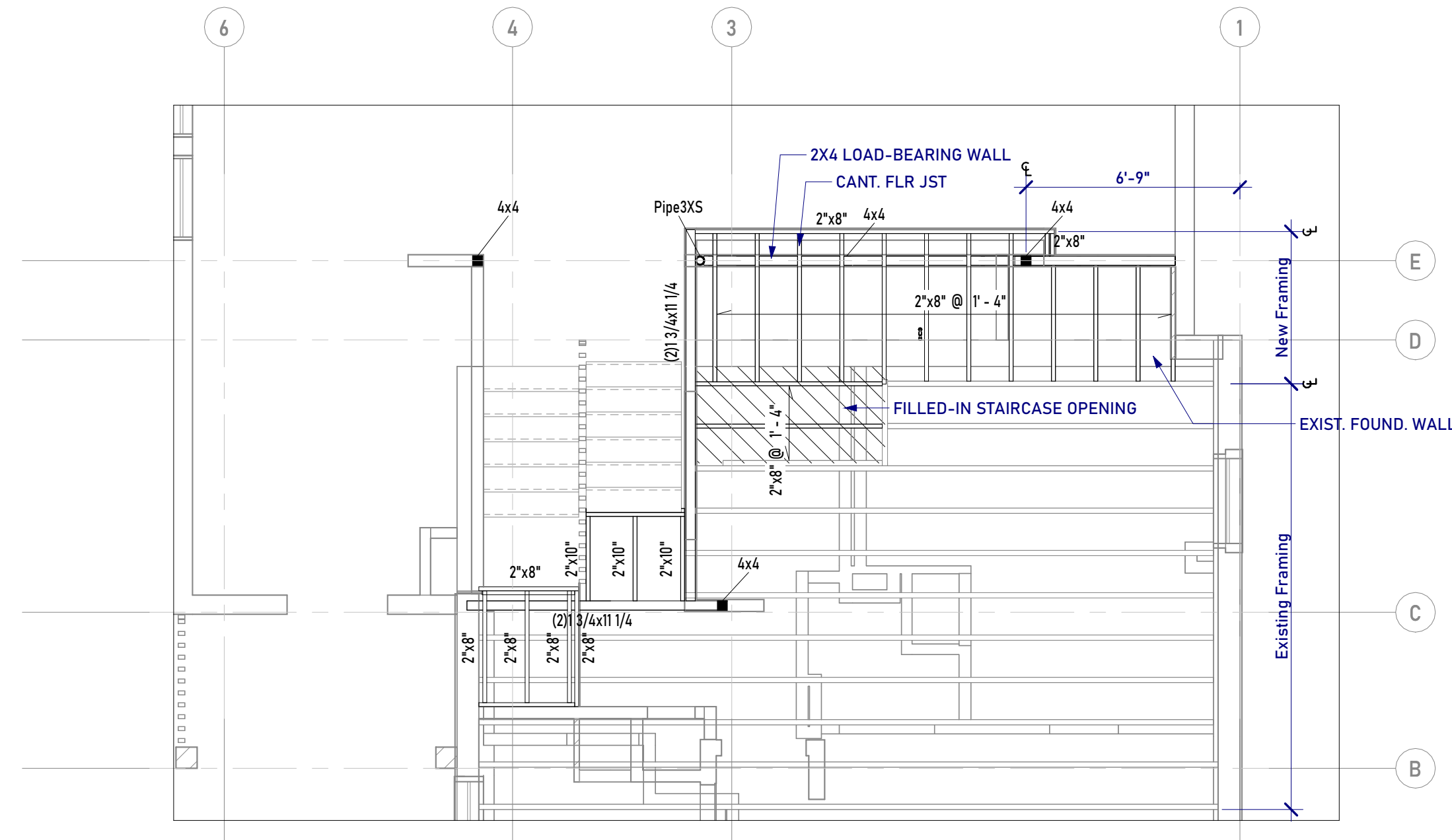
Scale: 1/4" = 1'-0"
Date Last Modified: 01/31/2023

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Checked By:

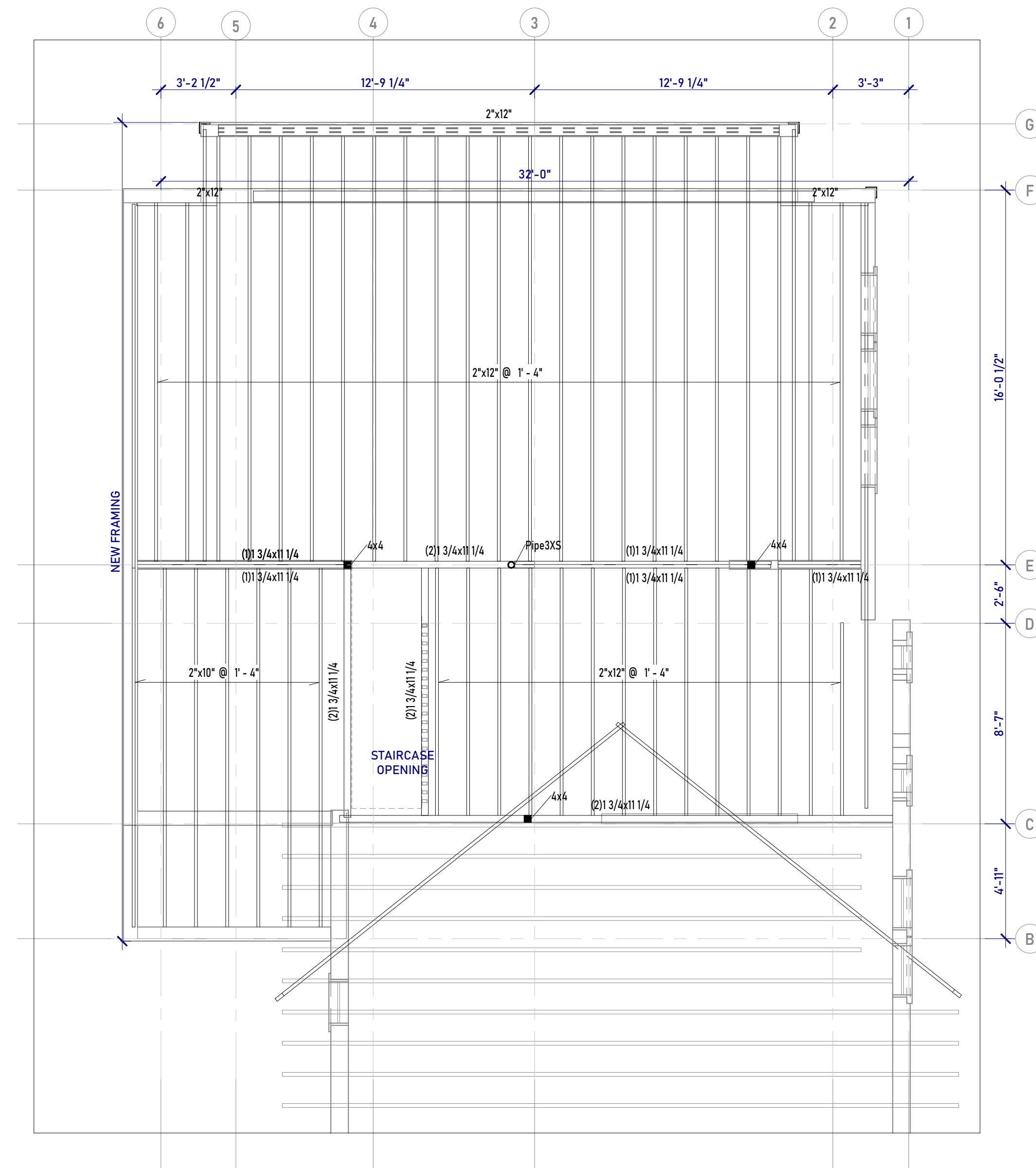
**Floor Framing
Plans**

A21

Permit Submission 01/31/2023



1 First Floor Framing
1/4" = 1'-0"



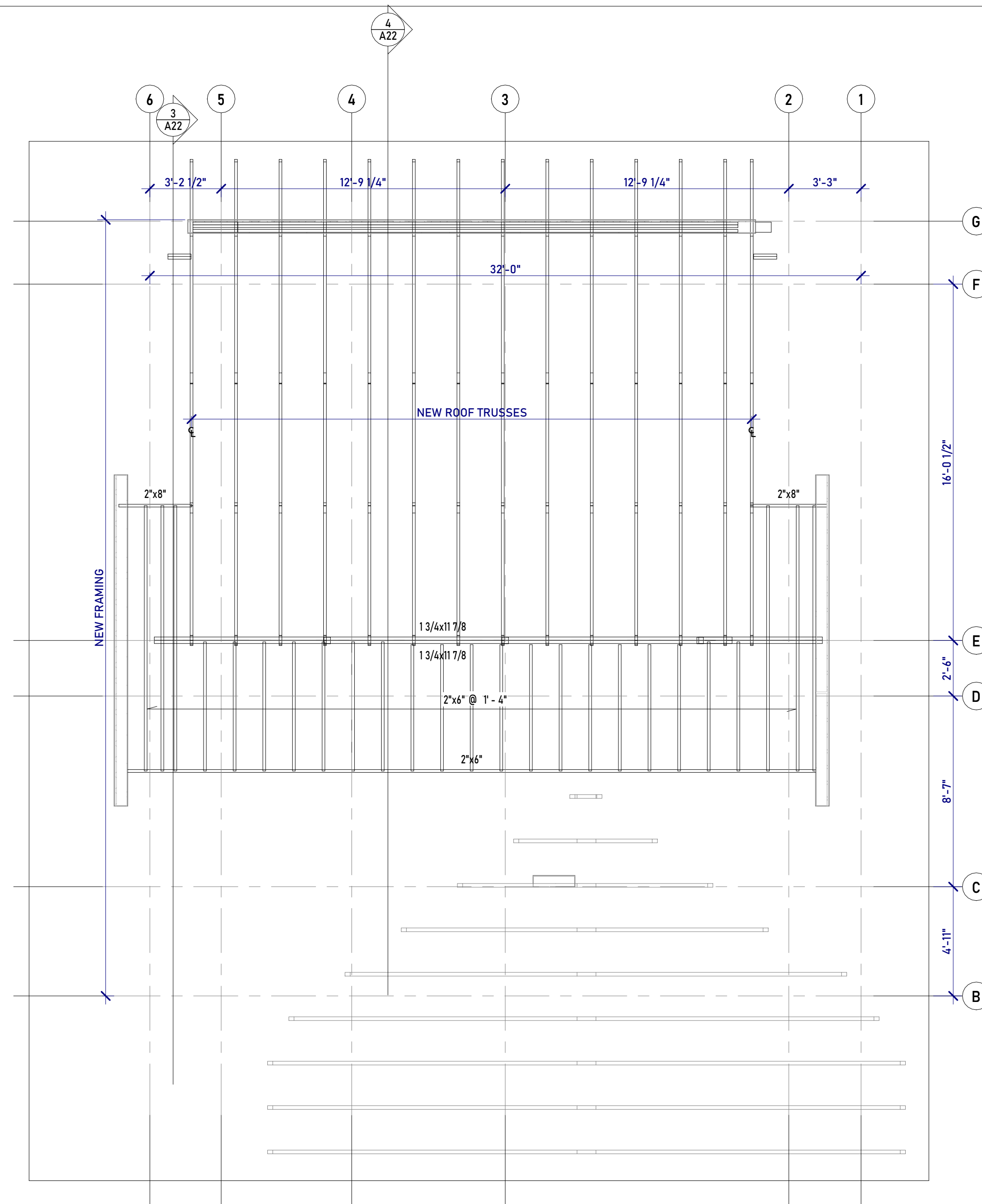
2 Second Floor Framing
1/4" = 1'-0"



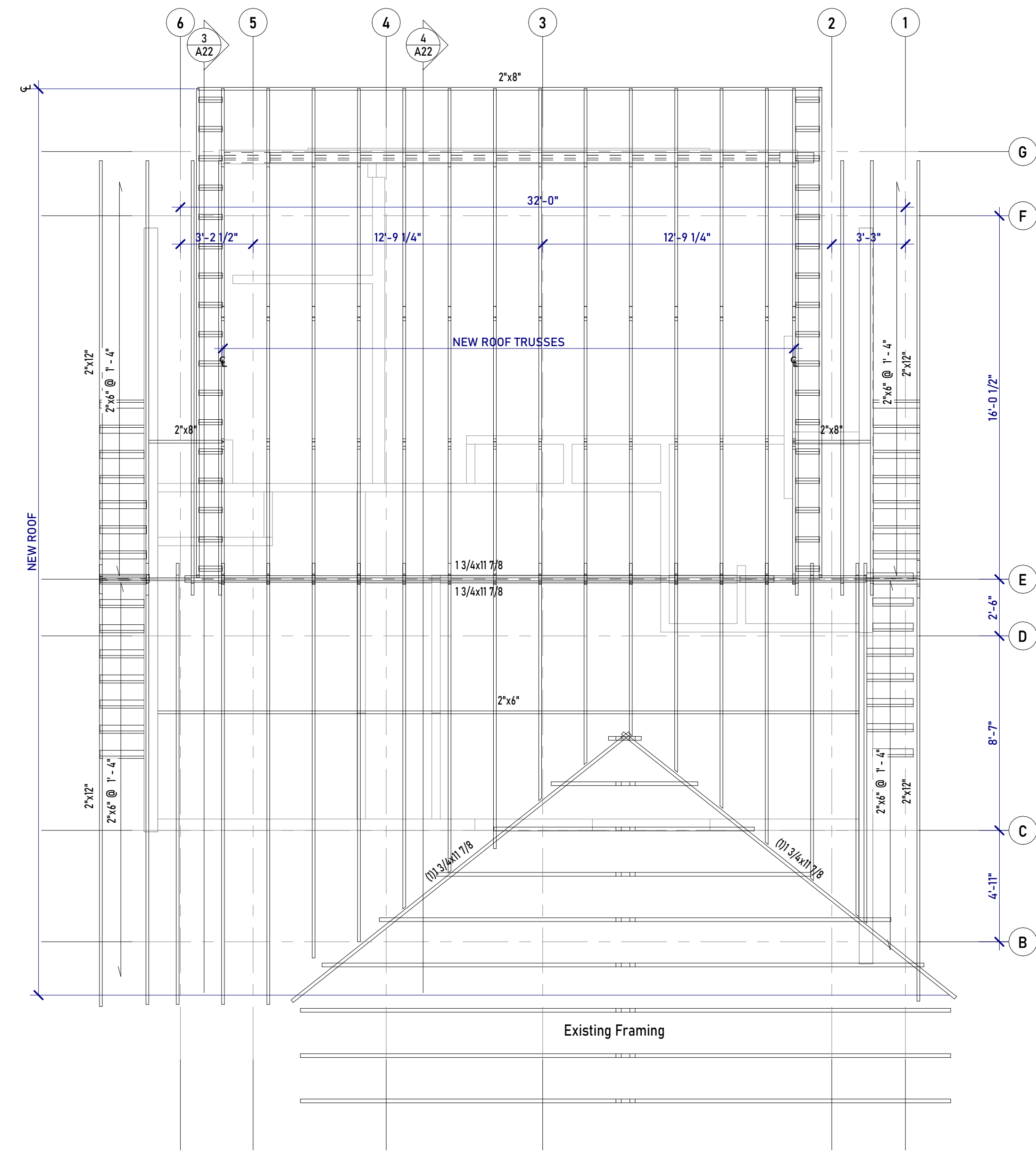
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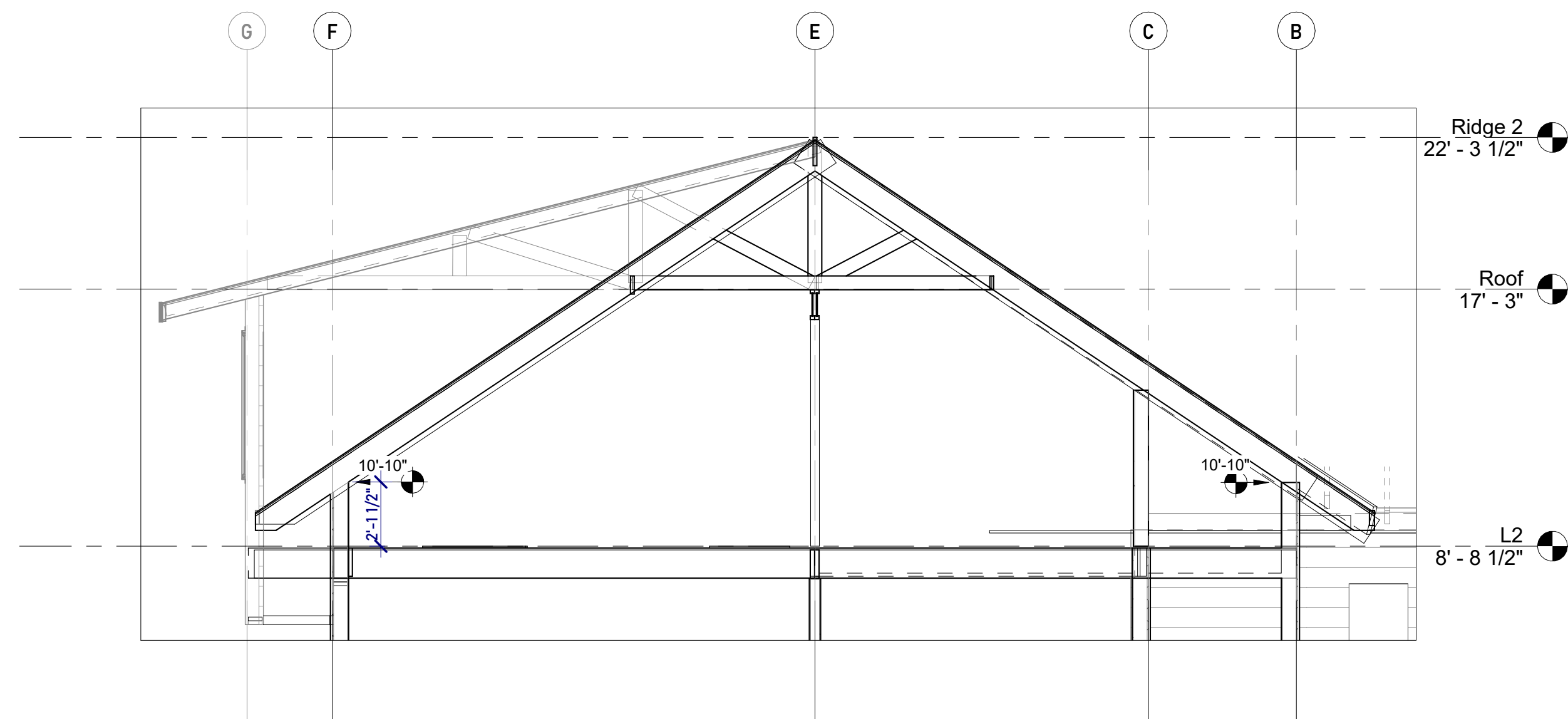
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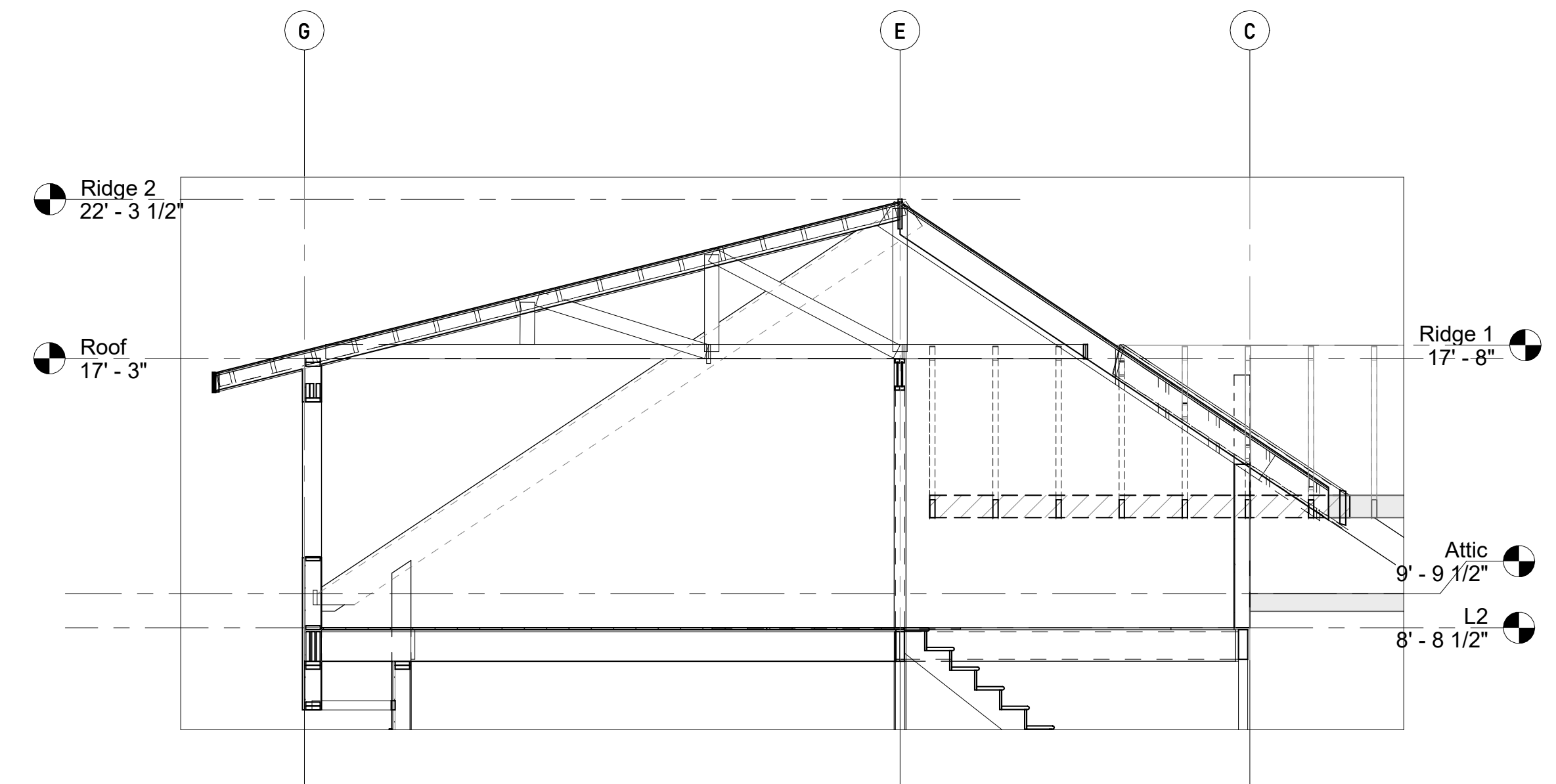
1 Lower Roof Framing Plan
1/4" = 1'-0"



2 Upper Roof Framing Plan
1/4" = 1'-0"



3 Section at Roof Gable
1/4" = 1'-0"



4 Section at Roof Dormer
1/4" = 1'-0"

Revisions:

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Checked By:

**Roof Framing
Plans**

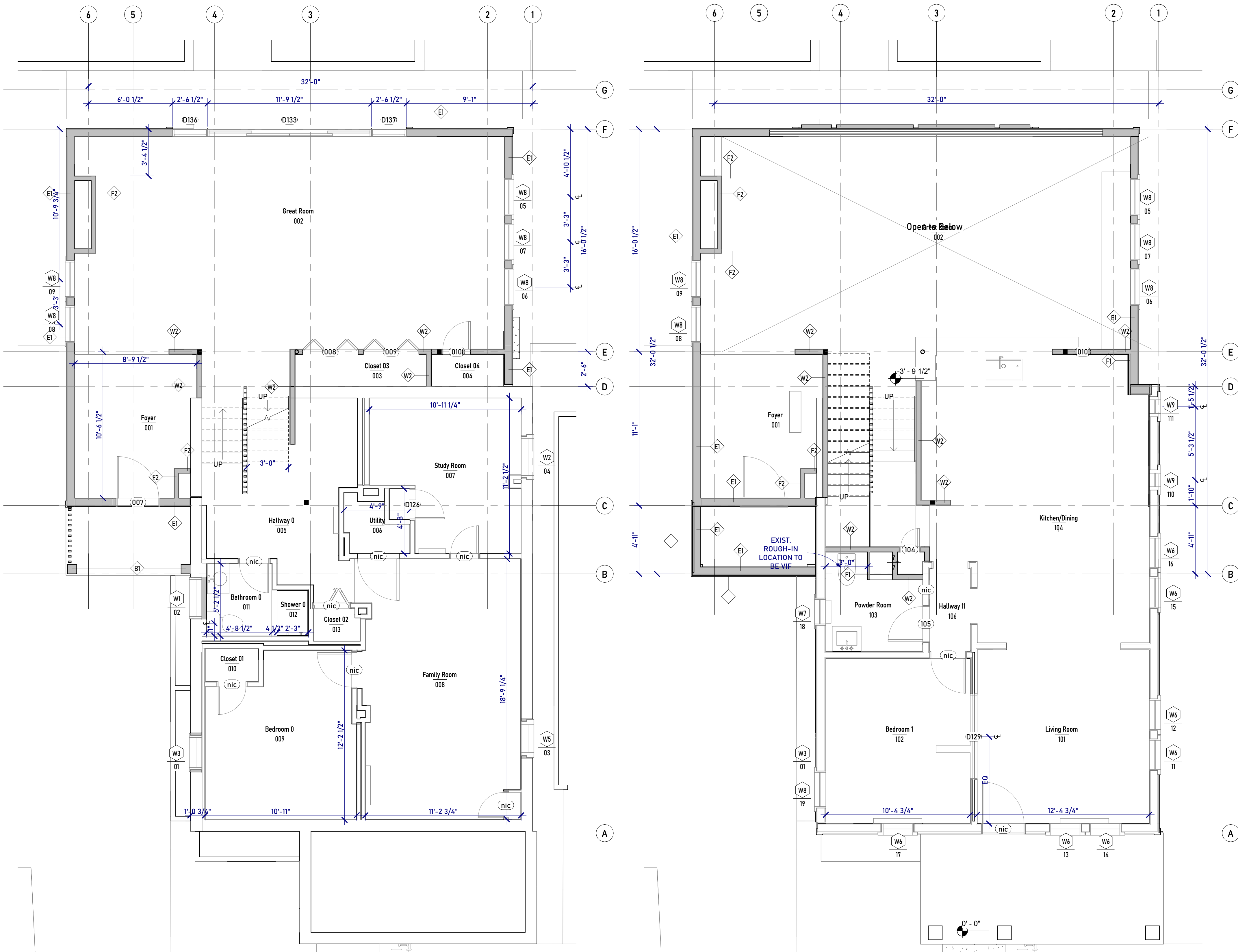
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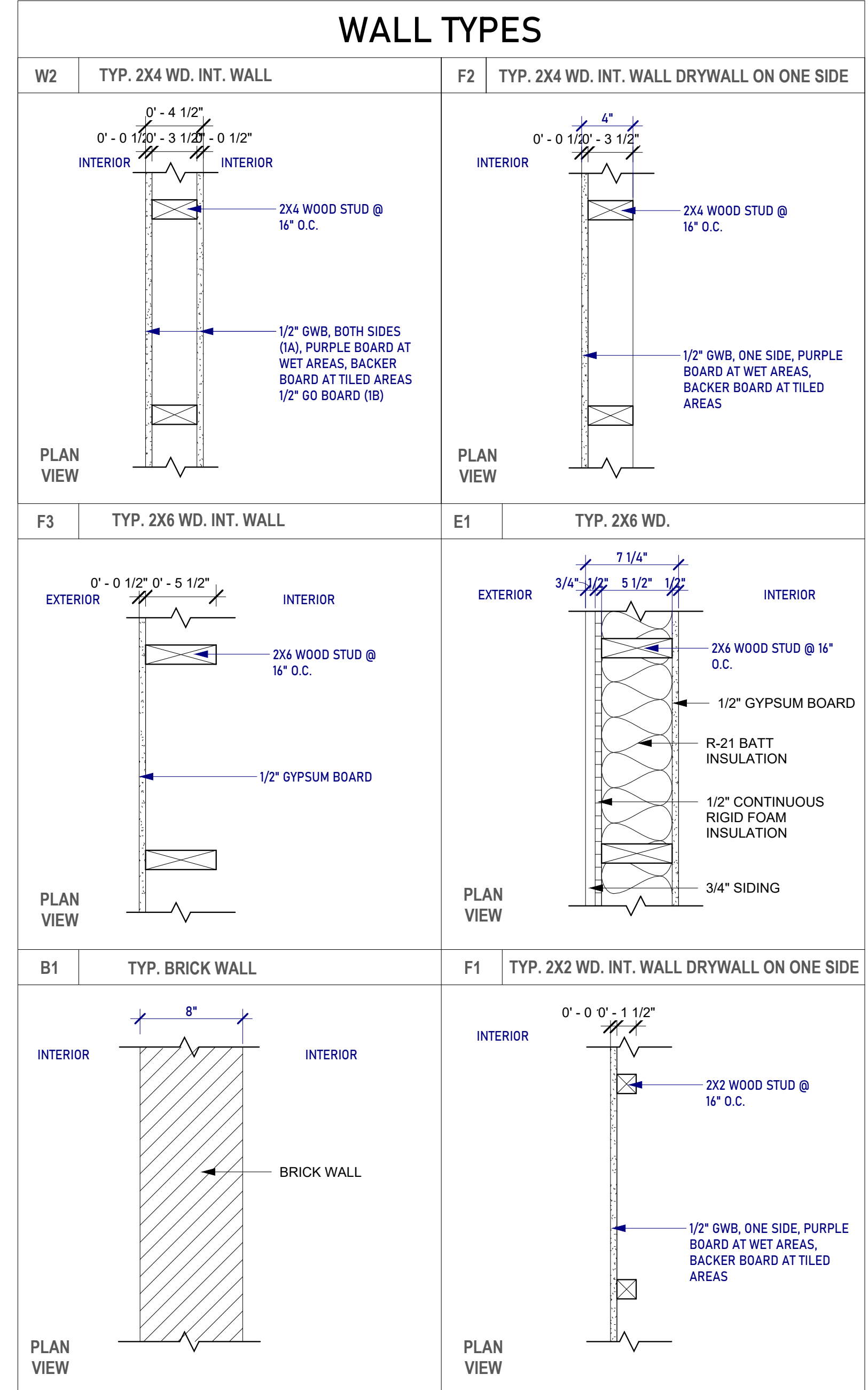
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1 GROUND FLOOR / BASEMENT PLAN
 1/4" = 1'-0"

2 FIRST FLOOR PLAN
 1/4" = 1'-0"



Wall Types
 1 1/2" = 1'-0"

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Levels G / 1
Wall Framing
Plans

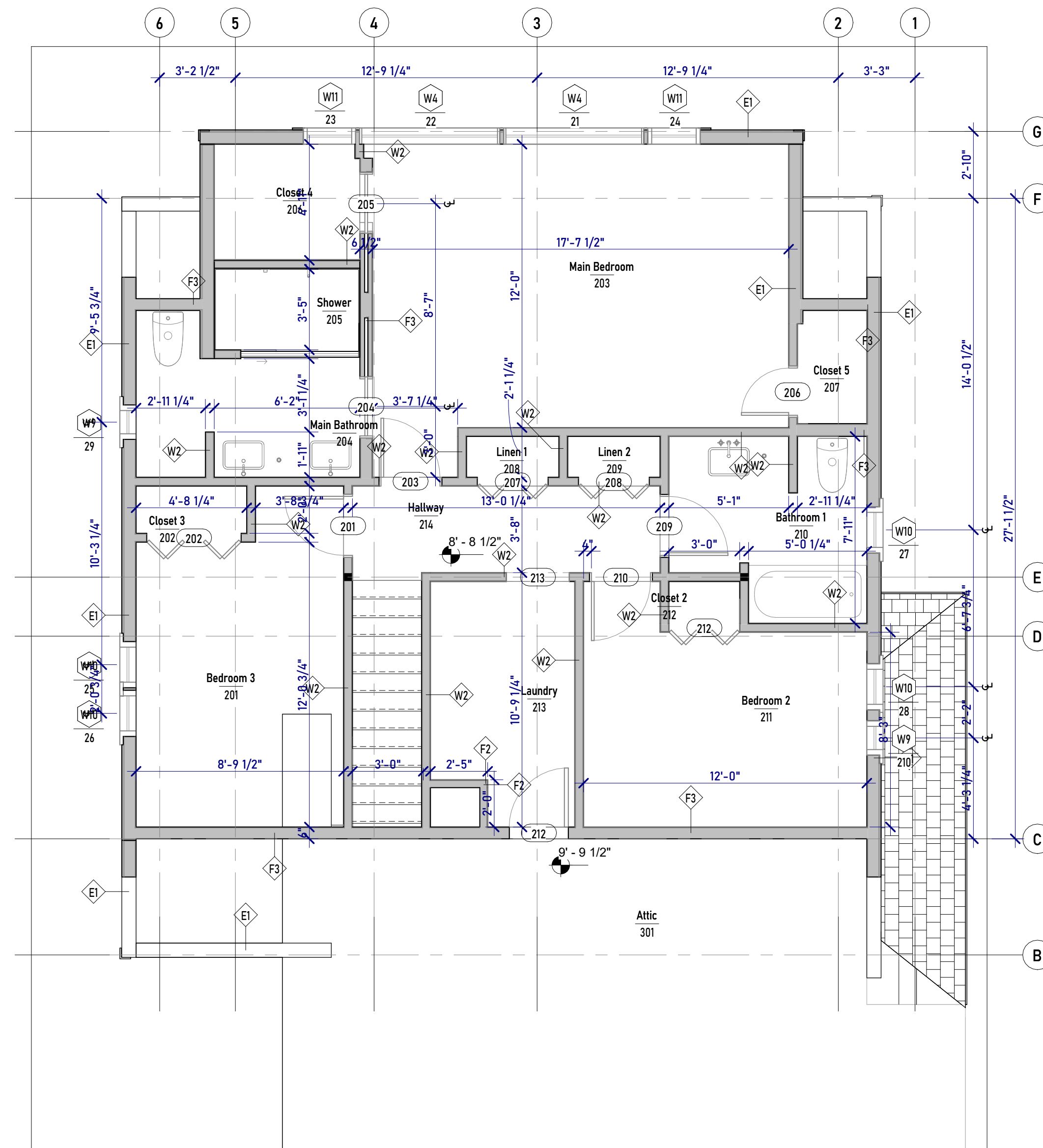
A23

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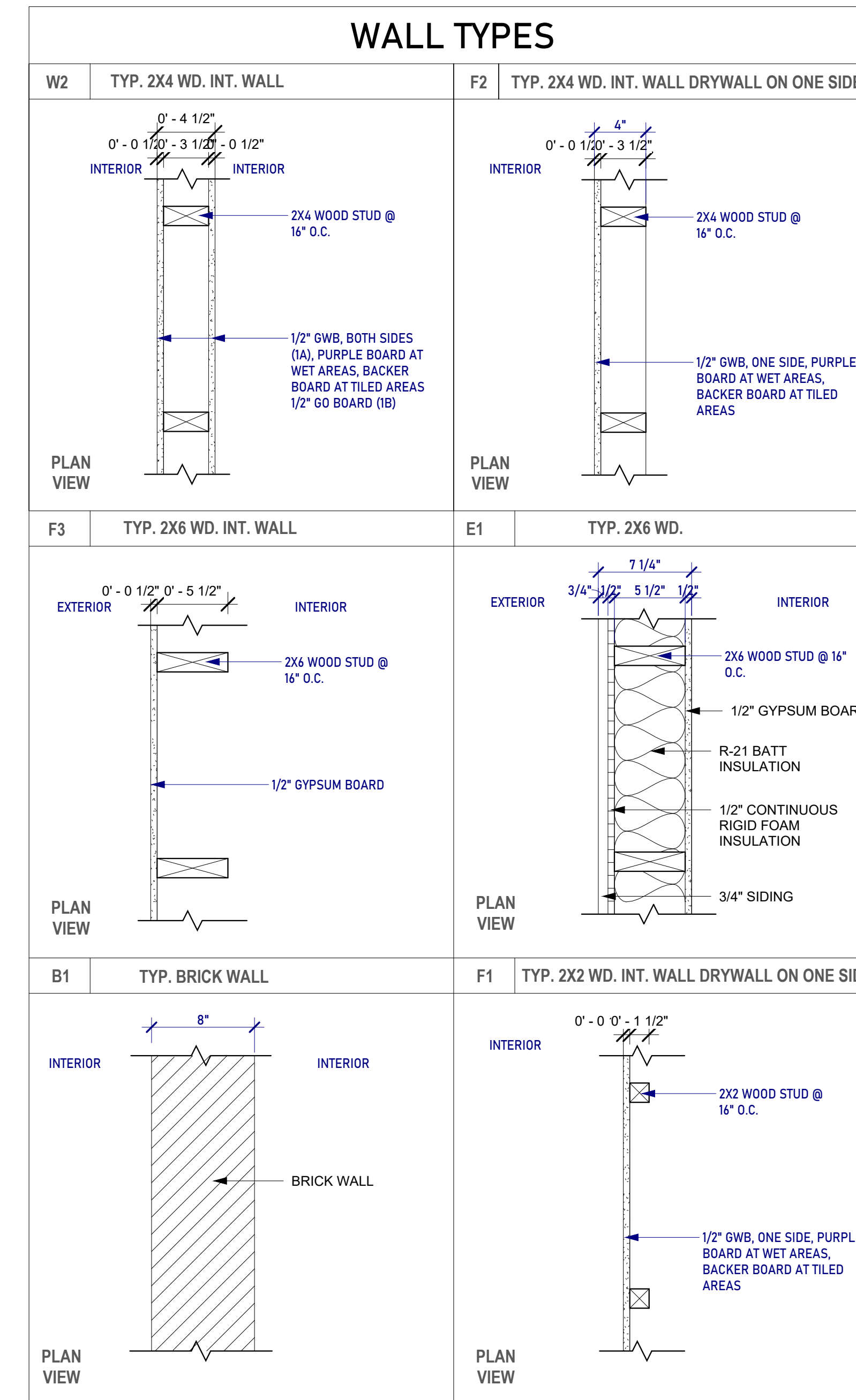


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1 SECOND FLOOR WALL FRAMING PLAN
1/4" = 1'-0"



Wall Types
1 1/2" = 1'-0"

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Designed By: Guerilla Construction
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**Level 2 Wall
Framing Plan**

A24

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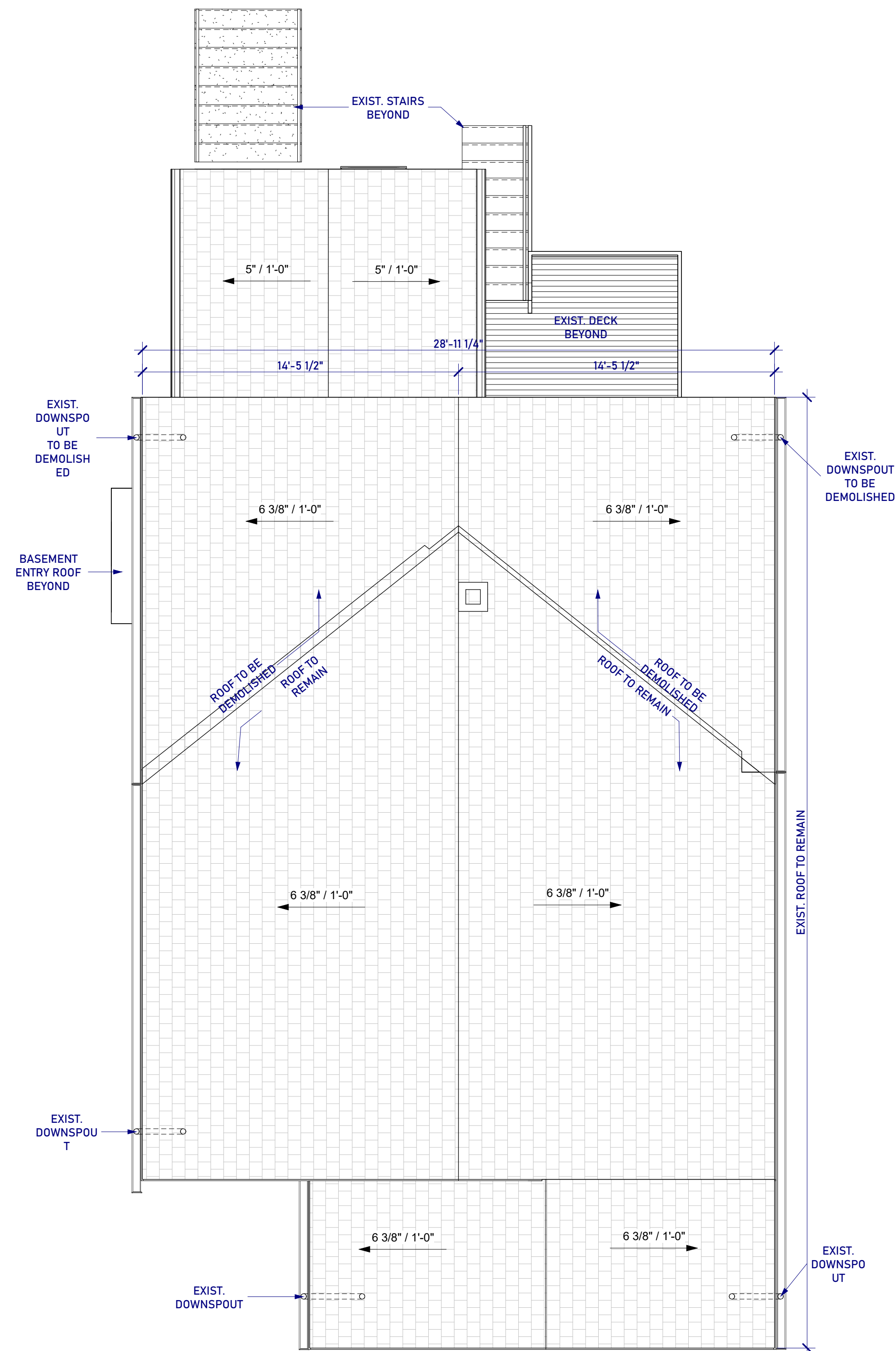
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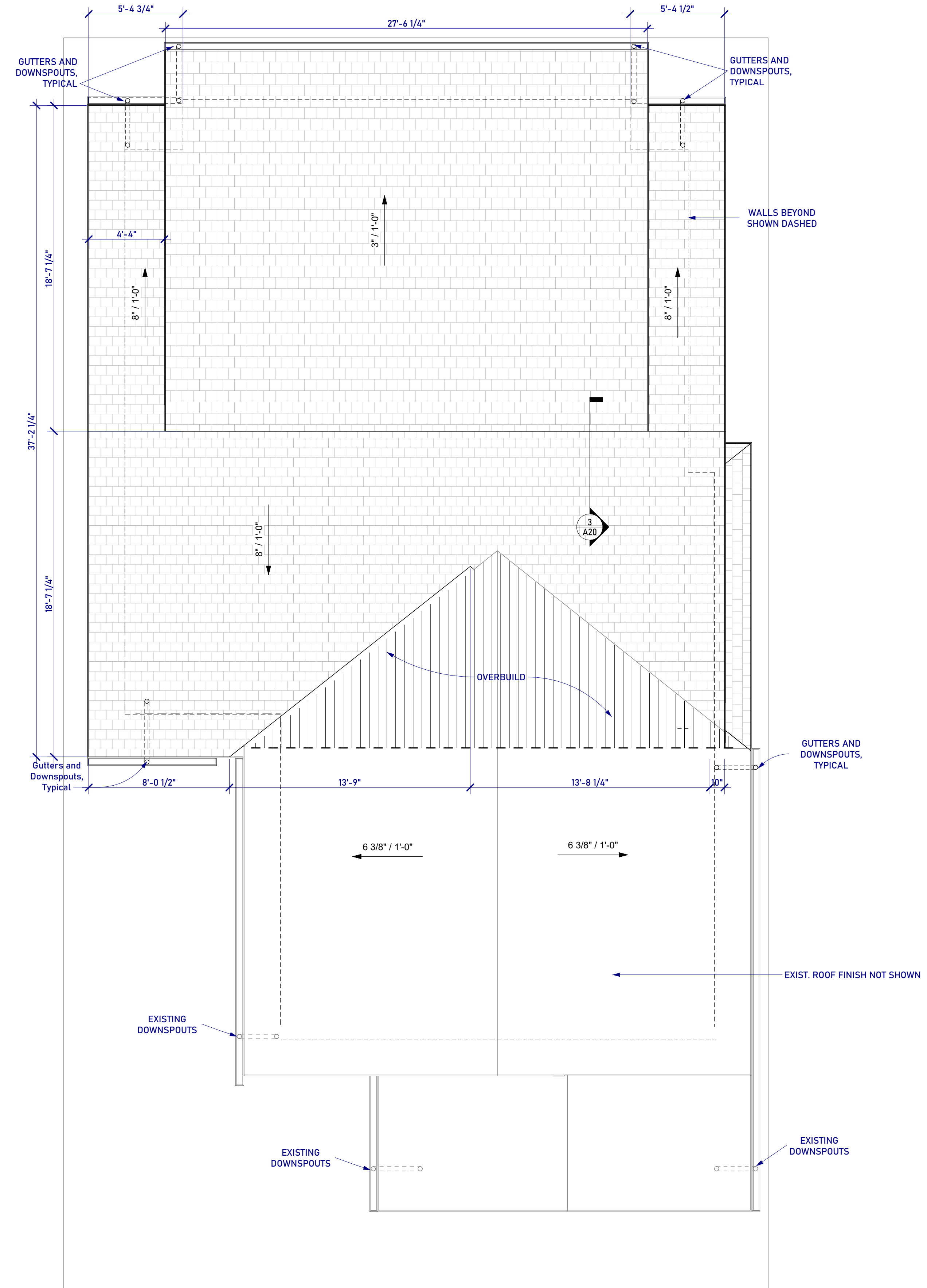
Designed By: Guerilla Construction
Drawn By: SP | MS | EM
Checked By: Joseph Rabinowitz

Roof Plan

A25



1 Exist. Roof Plan
1/4" = 1'-0"



2 Prop. Roof Plan
1/4" = 1'-0"

Permit Submission 01/31/2023

Window Schedule														
Mark	Type	Room Name	Room Number	Manufacturer Series Function	Ex. Field Width	Ex. Field Height	Height	Width	Sill Height	Wall Thickness	Interior Color	Exterior Color	Glass	Comments
L0														
01	W3	Bedroom 0	009	Andersen Corporation 400 / E Series Gliding	34 1/2"	24 1/2"	23 1/2"	29 1/2"	4' - 7 25/32"	2"x6"	White	Black	Tempered	Replacement for E22
02	W1	Bathroom 0	011	Andersen Corporation 1400 / E Series Awning - Stationary	36 3/4"	23 1/2"	24 1/4"	36"	4' - 7 23/32"	2"x6"	White	Black		Replacement for E21
03	W5	Family Room	008	Andersen Corporation 1400 / E Series Awning	34 1/2"	24 1/2"	23 1/2"	29 1/2"	4' - 6"	2"x6"	White	Black		Replacement for E10
04	W2	Study Room	007	Andersen Corporation 400 / E Series Gliding	37 1/2"	24 1/2"	23 1/2"	35 1/2"	4' - 6 3/4"	2"x6"	White	Black		Replacement for E11
L5														
05	W8	Great Room	002	Andersen Corporation 400 / E Series Casement			68 1/4"	32"	5' - 6"	2"x6"	White	Black		New
06	W8	Great Room	002	Andersen Corporation 400 / E Series Casement			68 1/4"	32"	5' - 6"	2"x6"	White	Black		New
07	W8	Great Room	002	Andersen Corporation 400 / E Series Casement			68 1/4"	32"	5' - 6"	2"x6"	White	Black		New
08	W8	Great Room	002	Andersen Corporation 400 / E Series Casement			68 1/4"	32"	3' - 0"	2"x6"	White	Black		New
09	W8	Great Room	002	Andersen Corporation 400 / E Series Casement			68 1/4"	32"	3' - 0"	2"x6"	White	Black		New
L1														
11	W6	Living Room	101	Andersen Corporation 1400 / E Series Double Hung	27 1/2"	68 3/4"	65 1/2"	27 1/2"	2' - 1 1/2"	2"x6"	White	Black		Replacement for E4
12	W6	Living Room	101	Andersen Corporation 1400 / E Series Double Hung	27 1/2"	68 3/4"	65 1/2"	27 1/2"	2' - 1 1/2"	2"x6"	White	Black		Replacement for E5
13	W6	Living Room	101	Andersen Corporation 1400 / E Series Double Hung	27 1/2"	68 3/4"	65 1/2"	27 1/2"	2' - 1 1/2"	2"x6"	White	Black		Replacement for E2
14	W6	Living Room	101	Andersen Corporation 1400 / E Series Double Hung	27 1/2"	68 3/4"	65 1/2"	27 1/2"	2' - 1 1/2"	2"x6"	White	Black		Replacement for E3
15	W6	Kitchen/Dining	104	Andersen Corporation 1400 / E Series Double Hung	27 1/2"	68 3/4"	65 1/2"	27 1/2"	2' - 1 1/2"	2"x6"	White	Black		Replacement for E6
16	W6	Kitchen/Dining	104	Andersen Corporation 1400 / E Series Double Hung	27 1/2"	68 3/4"	65 1/2"	27 1/2"	2' - 1 1/2"	2"x6"	White	Black		Replacement for E7
17	W6	Bedroom 1	102	Andersen Corporation 1400 / E Series Double Hung	30 1/2"	68 3/4"	65 1/2"	27 1/2"	2' - 2 1/2"	2"x6"	White	Black		Replacement for E1
18	W7	Powder Room	103	Andersen Corporation 1400 / E Series Double Hung	23"	45"	41 1/2"	23 1/2"	4' - 0"	2"x6"	White	Black	Tempered	Replacement for E18
19	W8	Bedroom 1	102	Andersen Corporation 1400 / E Series Double Hung	30 1/2"	68 3/4"	65 1/2"	27 1/2"	2' - 2 1/2"	2"x6"	White	Black		Replacement for E19
110	W9	Kitchen/Dining	104	Andersen Corporation 400 / E Series Casement			35 1/2"	17 1/2"	4' - 11/8"	2"x6"	White	Black		New
111	W9	Kitchen/Dining	104	Andersen Corporation 400 / E Series Casement			35 1/2"	17 1/2"	4' - 11/8"	2"x6"	White	Black		New
L2														
21	W4	Main Bedroom	203	Andersen Corporation 400 / E Series Gliding			59 1/4"	71 1/4"	2' - 0 15/32"	2"x6"	White	Black		New
22	W4	Main Bedroom	203	Andersen Corporation 400 / E Series Gliding			59 1/4"	71 1/4"	2' - 0 15/32"	2"x6"	White	Black		New
23	W11	Closet 4	206	Andersen Corporation 1400 / E Series Casement - Stationary			59 1/4"	26 3/4"	2' - 2 21/32"	2"x6"	White	Black		New
24	W11	Main Bedroom	203	Andersen Corporation 1400 / E Series Casement - Stationary			59 1/4"	26 3/4"	2' - 2 21/32"	2"x6"	White	Black		New
25	W10	Bedroom 3	201	Andersen Corporation 400 / E Series Casement			35 1/2"	23 1/2"	3' - 0"	2"x6"	White	Black		New
26	W10	Bedroom 3	201	Andersen Corporation 400 / E Series Casement			35 1/2"	23 1/2"	3' - 0"	2"x6"	White	Black		New
27	W10	Bathroom 1	210	Andersen Corporation 400 / E Series Casement			35 1/2"	23 1/2"	3' - 6"	2"x6"	White	Black	Tempered	New
28	W10	Bedroom 2	211	Andersen Corporation 400 / E Series Casement			35 1/2"	23 1/2"	3' - 6"	2"x6"	White	Black		New
29	W9	Main Bathroom	204	Andersen Corporation 400 / E Series Casement			35 1/2"	17 1/2"	3' - 0"	2"x6"	White	Black	Tempered	New
210	W9	Bedroom 2	211	Andersen Corporation 400 / E Series Casement			35 1/2"	17 1/2"	3' - 6"	2"x6"	White	Black		New

Door Schedule									
Level	Mark	Type	Manufacturer	Room Name	Room Number	Description	Width	Height	
L5									
L5	007	A		Foyer	001	Single Entry Door	36"	84"	
L5	008	C		Closet 03	003	Double Bifold	48"	33"	
L5	009	C		Closet 03	003	Double Bifold	48"	33"	
L5	010	J		Closet 04	004	Single Flush	24"	33"	
L5	D133	O	Andersen Corporation	Great Room	002	Vinyl-clad wood Gliding Patio Door	141"	82 1/2"	
L5	D136	R	Andersen Corporation	Great Room	002	Vinyl-clad wood stationary inswing door	30 1/4"	82 1/2"	
L5	D137	R	Andersen Corporation	Great Room	002	Vinyl-clad wood stationary inswing door	30 1/4"	82 1/2"	
L1									
L1	109	A				Single Entry Door	36"	84"	
L1	105	B		Powder Room	103	Single Two Panel Swing	30"	80"	
L1	nic	B		Bedroom 1	102	Single Two Panel Swing	30"	80"	
L1	107	B				Single Two Panel Swing	30"	80"	
L1	123	C				Double Bifold	48"	33"	
L1	116	C2				Flush Panel Bifold	48"	80"	
L1	nic	CO		Kitchen/Dining	104	Cased Opening	30"	80"	
L1	111	G				Single Flush	30"	60"	
L1	D129	H		Bedroom 1	102		72"	80"	
L1	104	L		Closet 1	105	Single Flush Swing	16"	80"	
L2									
L2	203	B		Main Bedroom	203	Single Two Panel Swing	30"	80"	
L2	201	B		Bedroom 3	201	Single Two Panel Swing	30"	80"	
L2	209	B		Bathroom 1	210	Single Two Panel Swing	30"	80"	
L2	210	B		Bedroom 2	211	Single Two Panel Swing	30"	80"	
L2	206	B		Closet 5	207	Single Two Panel Swing	24"	78"	
L2	208	C1		Linens 2	209	Single Bifold	36"	80"	
L2	207	C1		Linens 1	208	Single Bifold	36"	80"	
L2	212	C1		Closet 2	212	Single Bifold	36"	80"	
L2	202	C2		Closet 3	202	Flush Panel Bifold	48"	80"	
L2	205	D		Closet 4	206	Single Two Panel Pocket	30"	80"	
L2	204	D		Main Bathroom	204	Single Two Panel Pocket	30"	80"	
L2	213	S		Laundry	213	Single Two Panel Pocket	32"	80"	
Attic									
Attic	212	E		Attic	301		30"	42"	



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 Contact : Joseph Robinowitz

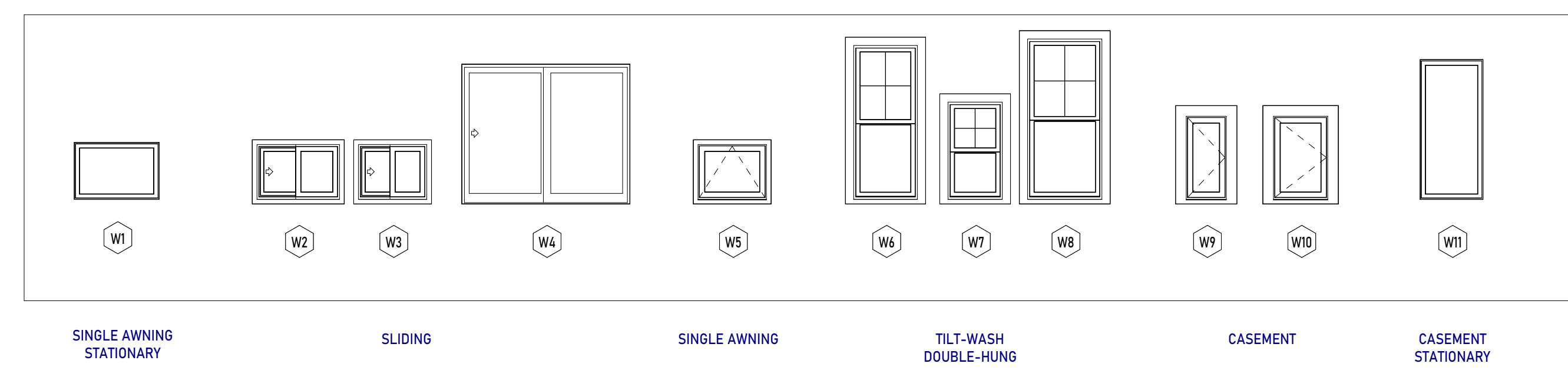
6713 Westmoreland Avenue
 Takoma Park, Maryland 20912

Revisions:		
#	Description	Date
1	Historic Review	04/11/2022
2	Setbacks compliance review	01/31/2023

Scale: As indicated
 Date Last Modified: 01/31/2023
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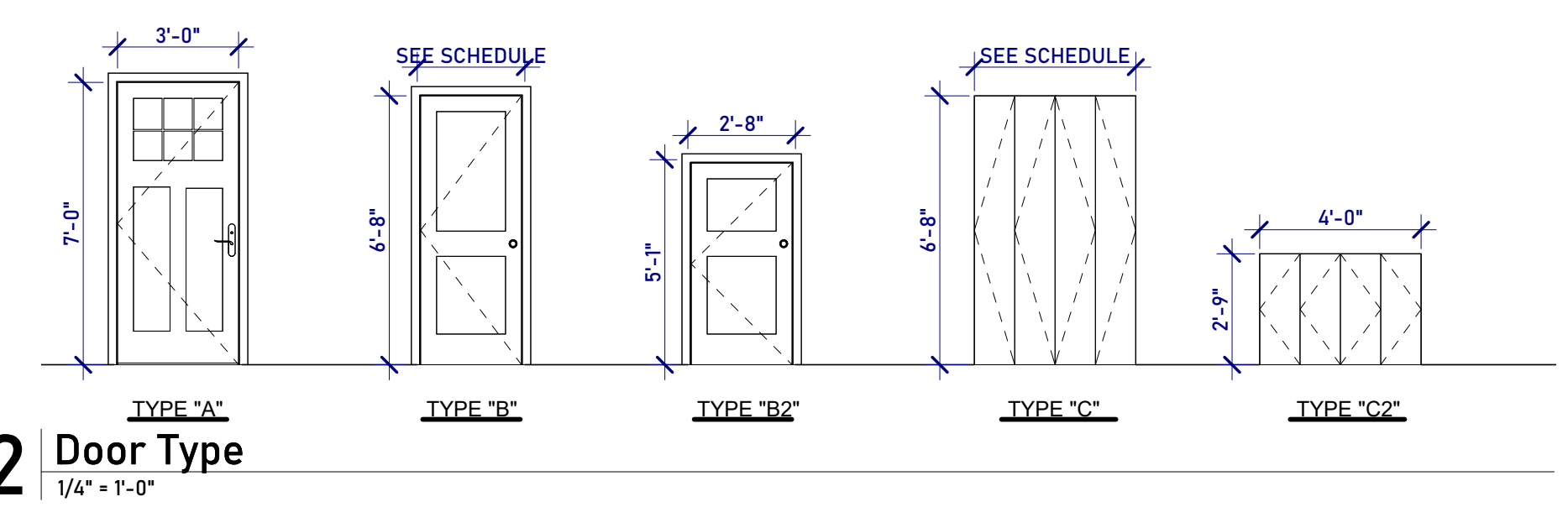
Door & Window Schedules

A26

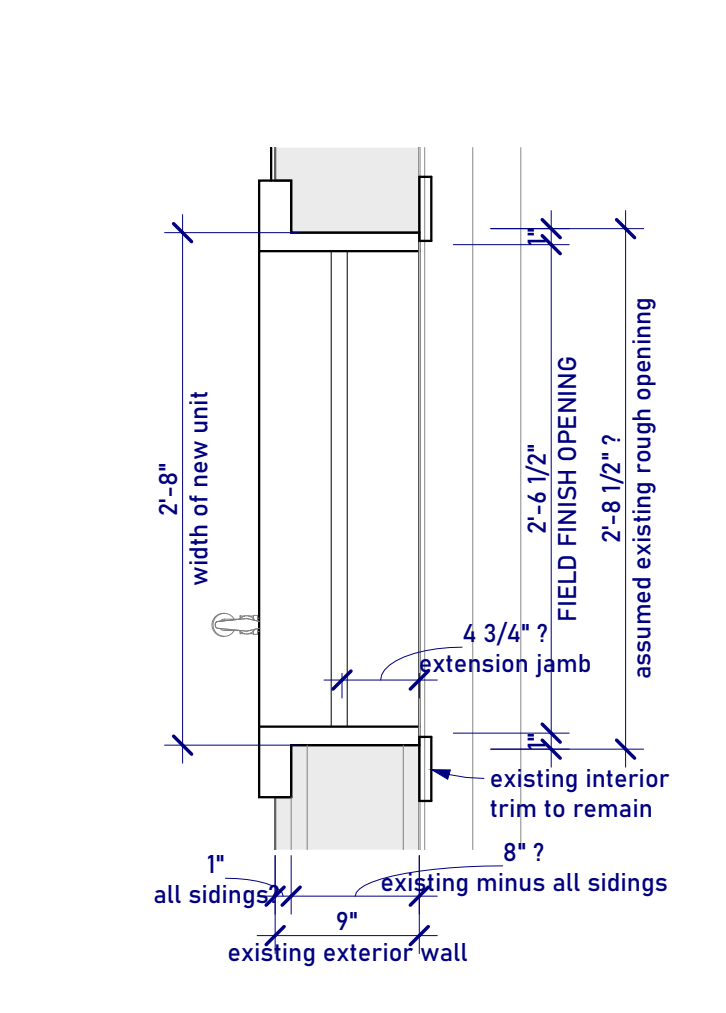


WINDOW NOTES:
 1. ROUGH OPENING DIMENSION OF THE EXISTING WINDOWS TO BE VIF.
 2. RIGHT/LEFT HANDED TO BE DETERMINED
 3. WINDOWS TO BE ANDERSEN 400 OR E SERIES.
 4. WINDOWS TO HAVE SIMULATED DIVIDED LIGHT WITH THE CHAMFER EXTERIOR GRILLES WITH A MINIMUM 7/8" DIAMETER.

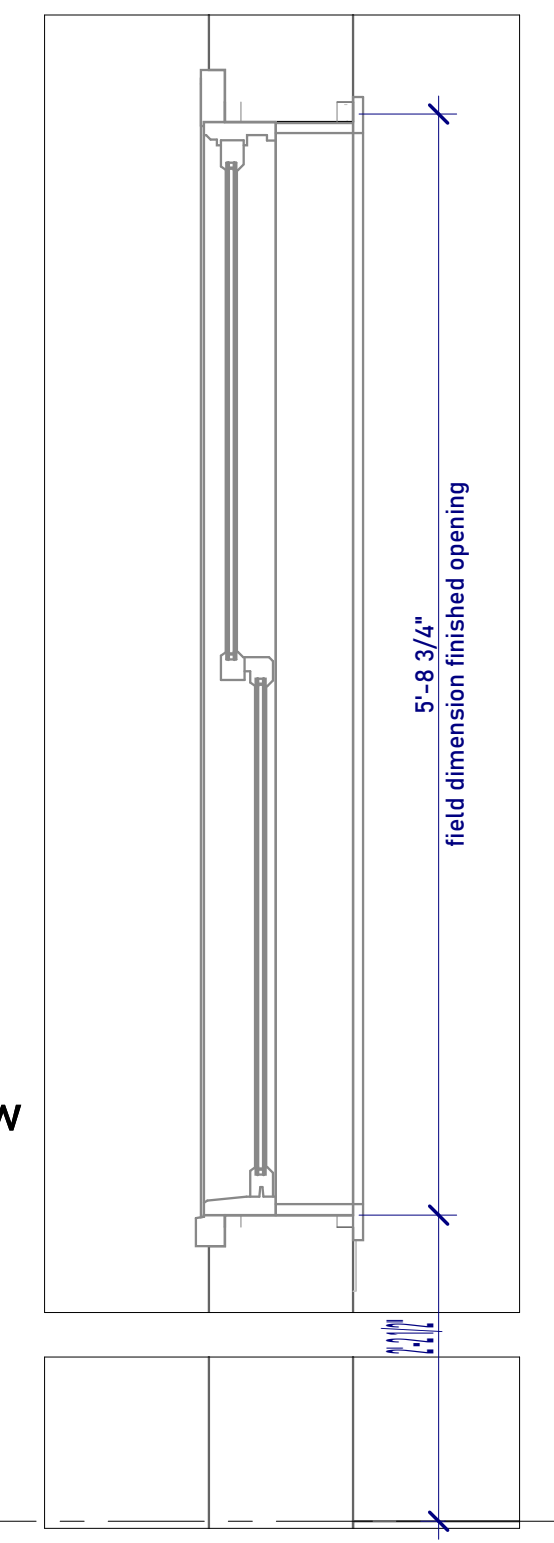
1 Windows Legend
 1/4" = 1'-0"



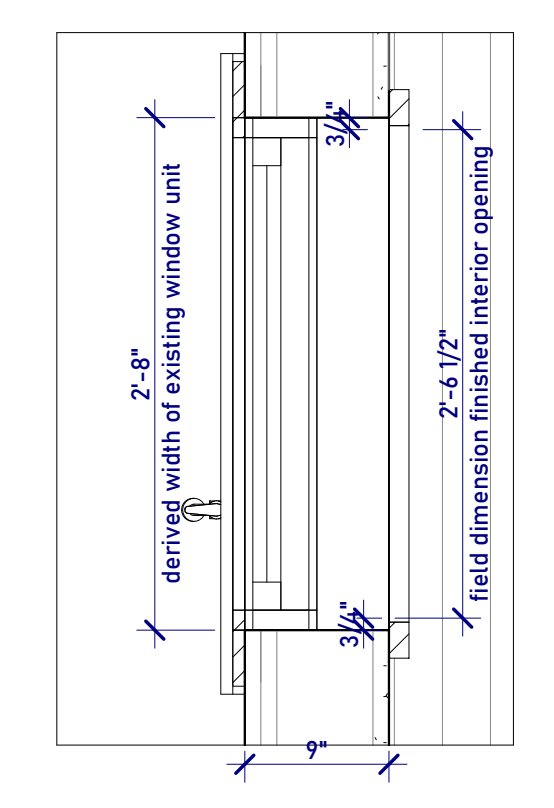
2 Door Type
 1/4" = 1'-0"



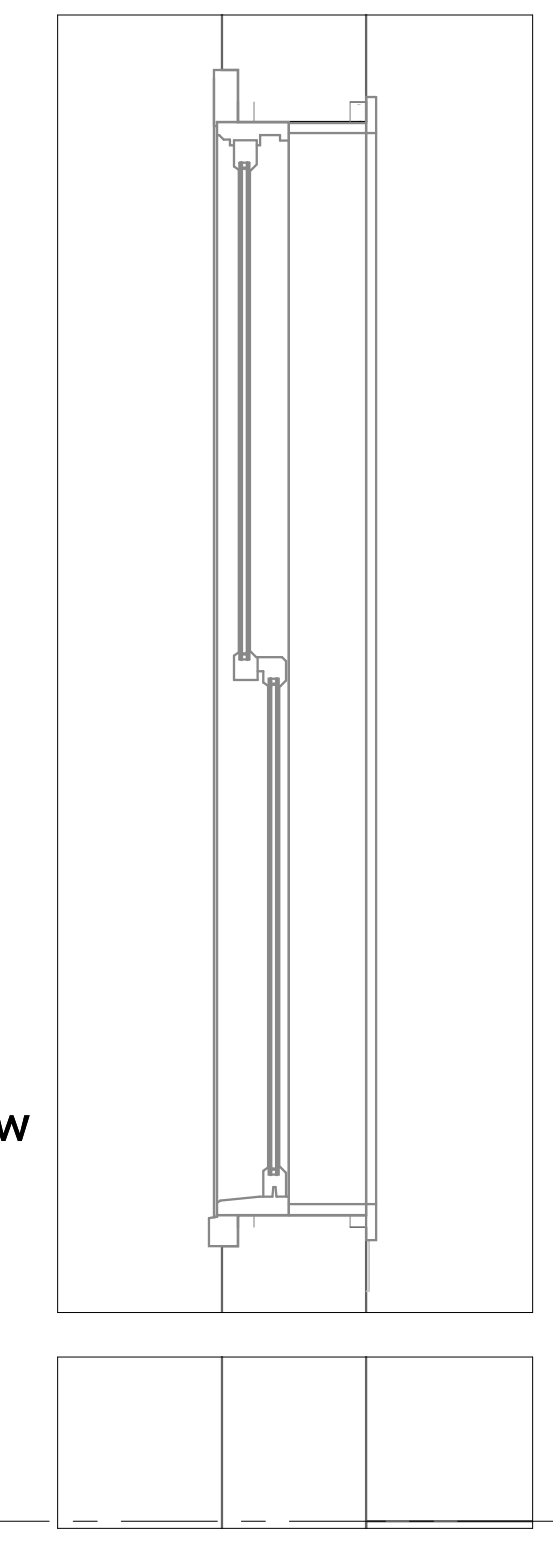
3 Plan @ Replacement Window
 1" = 1'-0"



4 Section @ Existing Window
 1" = 1'-0"



5 Plan @ Existing Window
 1" = 1'-0"

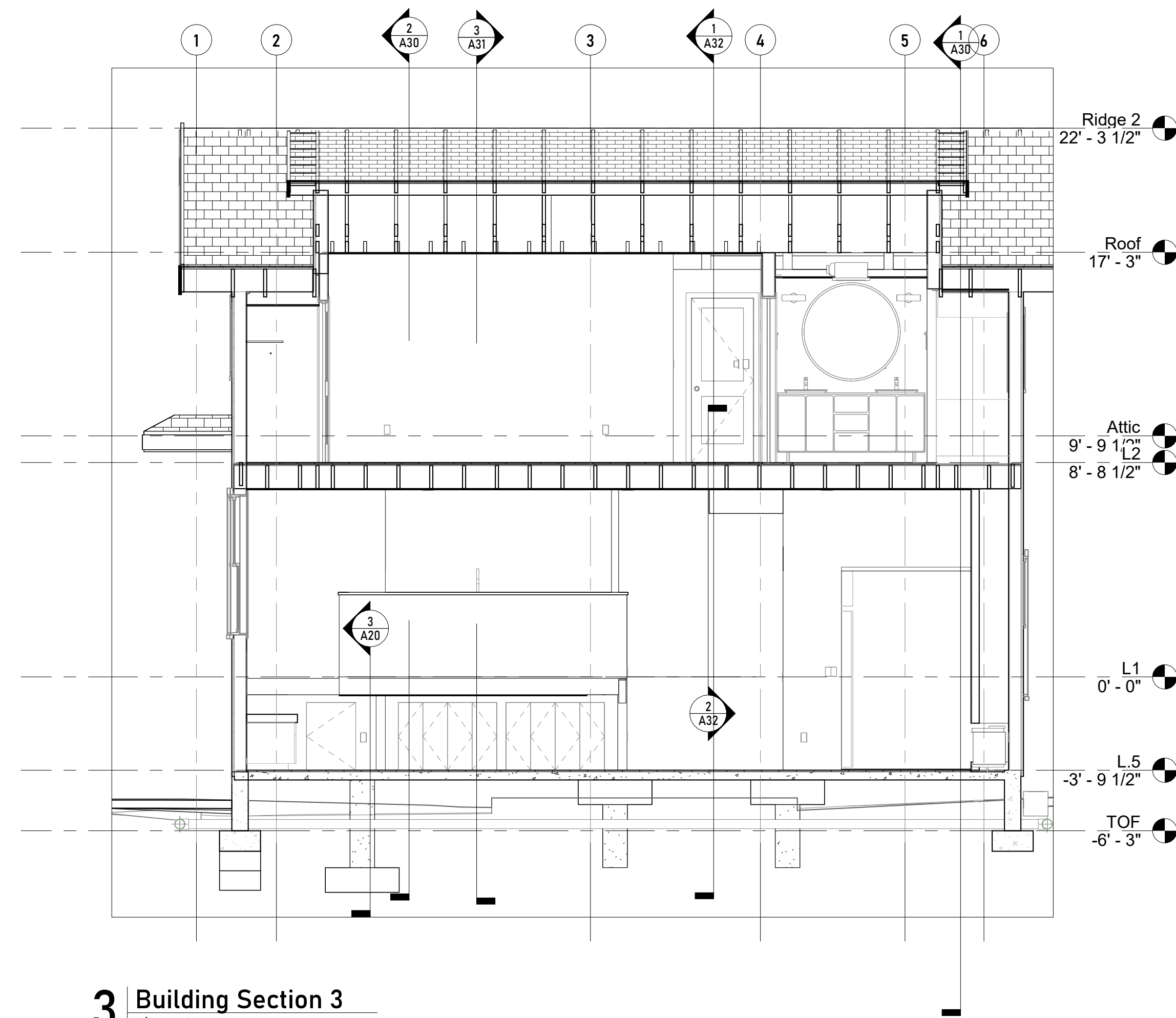


6 Section @ Replacement Window
 1" = 1'-0"

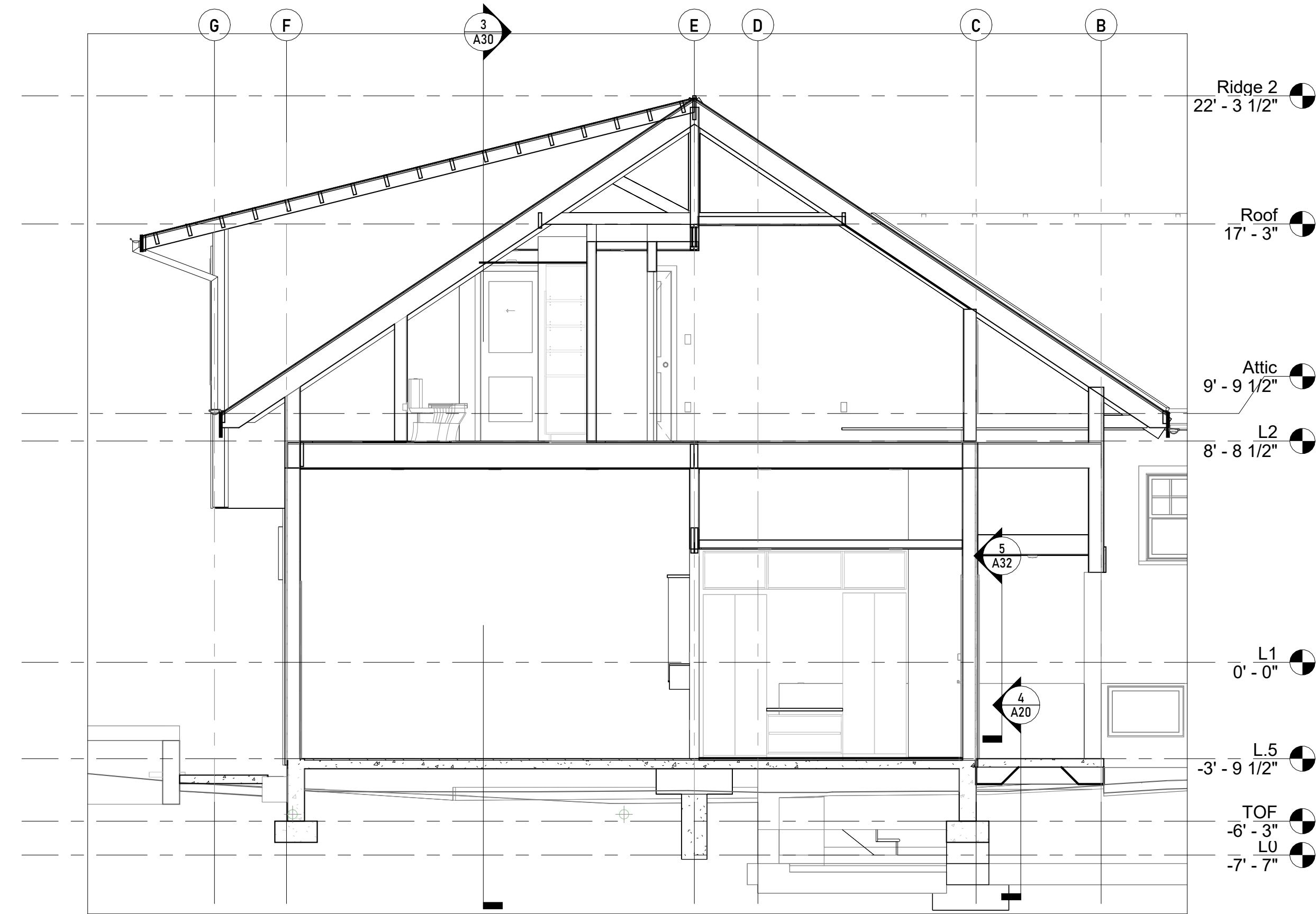


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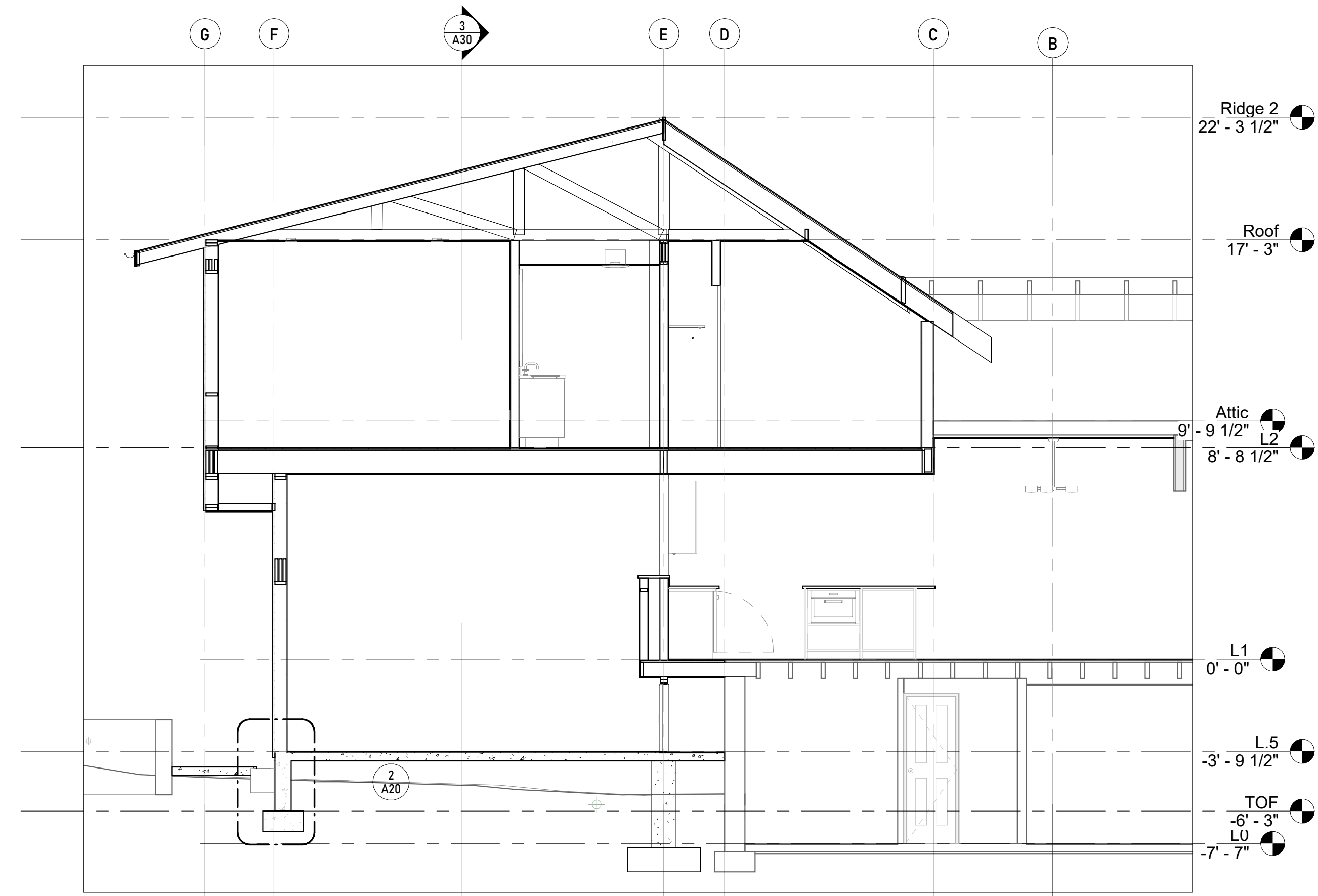
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3 Building Section 3
1/4" = 1'-0"



1 Building Section 1
1/4" = 1'-0"



2 Building Section 2
1/4" = 1'-0"

**6713 Westmoreland
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**Building
Sections**

A30

Permit Submission 01/31/2023



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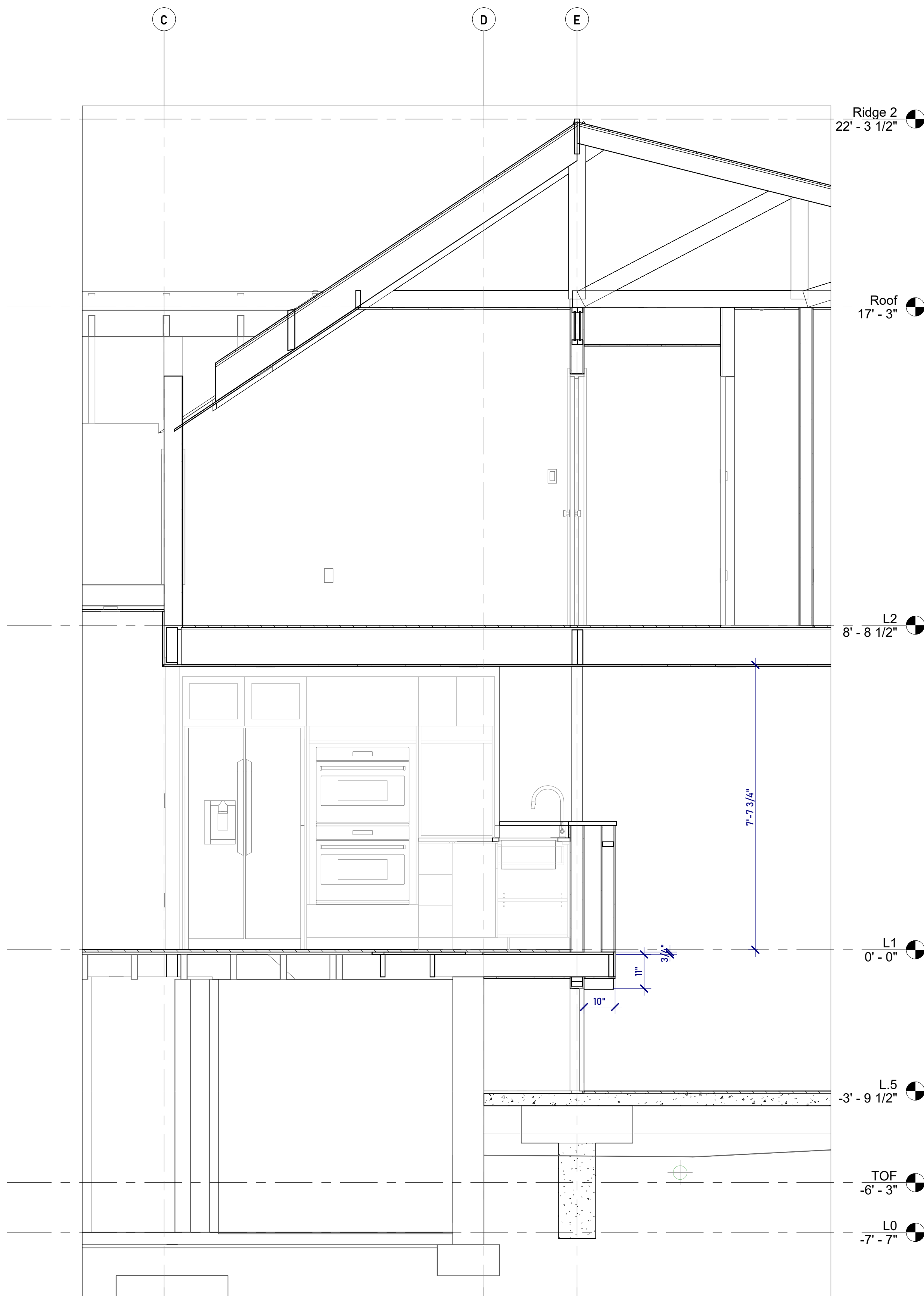
Scale: 1/2" = 1'-0"
Date Last Modified: 01/31/2023

Designed By: Guerilla Construction
Drawn By: SP | MS | EM
Checked By: Joseph Rabinowitz

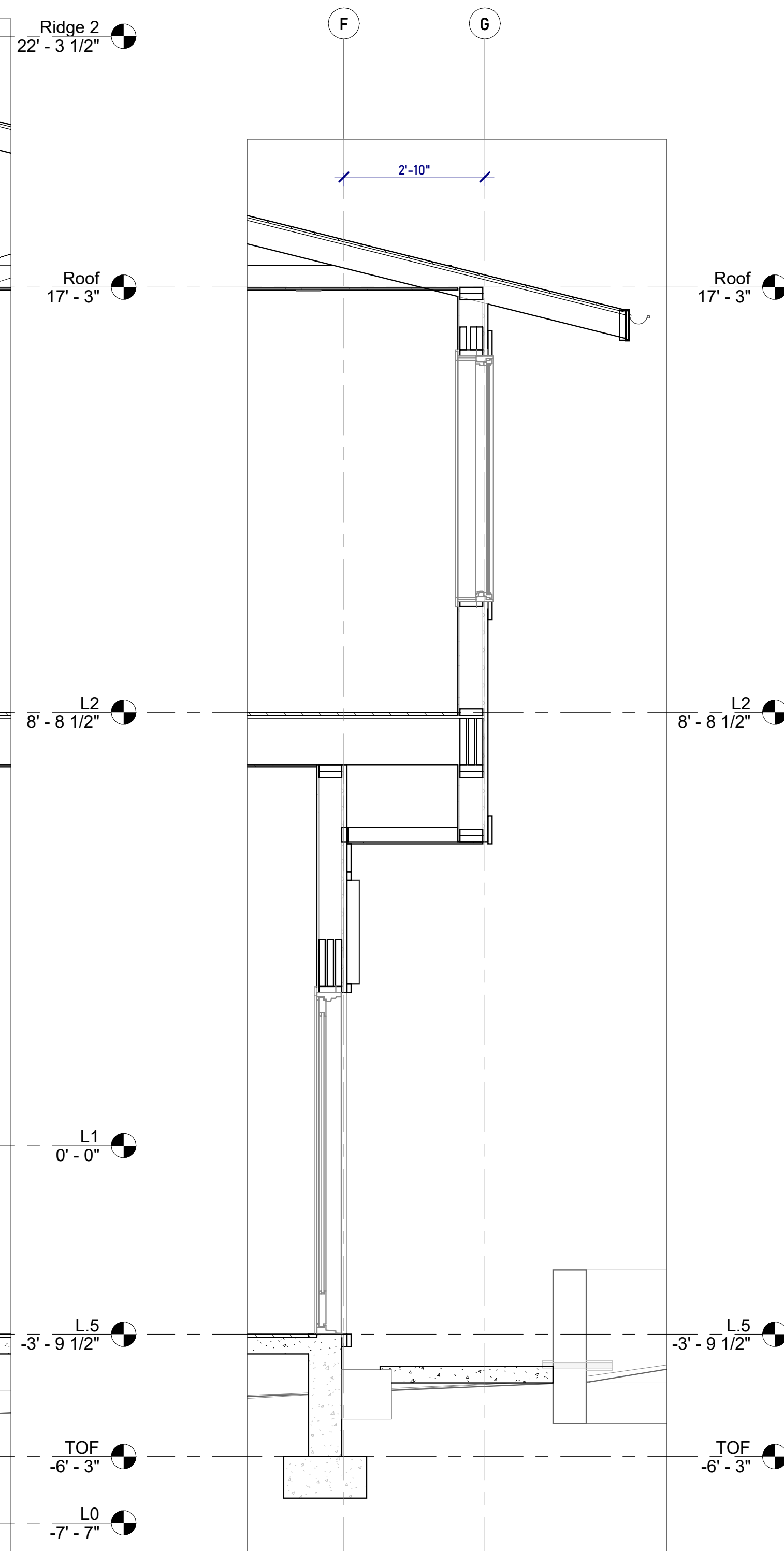
Wall Sections

A31

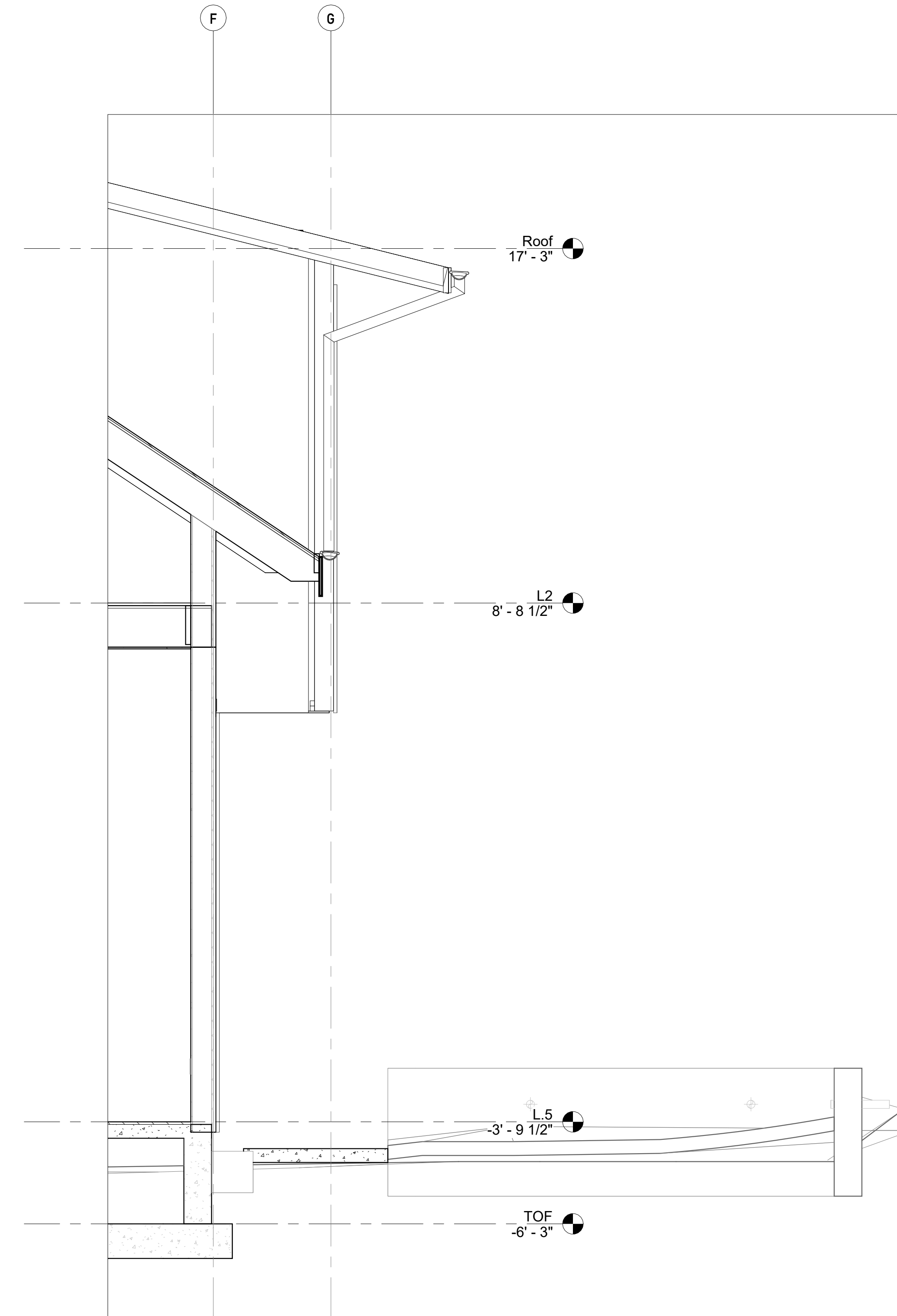
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3 Wall Section 3
1/2" = 1'-0"



2 Wall Section 2
1/2" = 1'-0"



1 Wall Section 1
1/2" = 1'-0"



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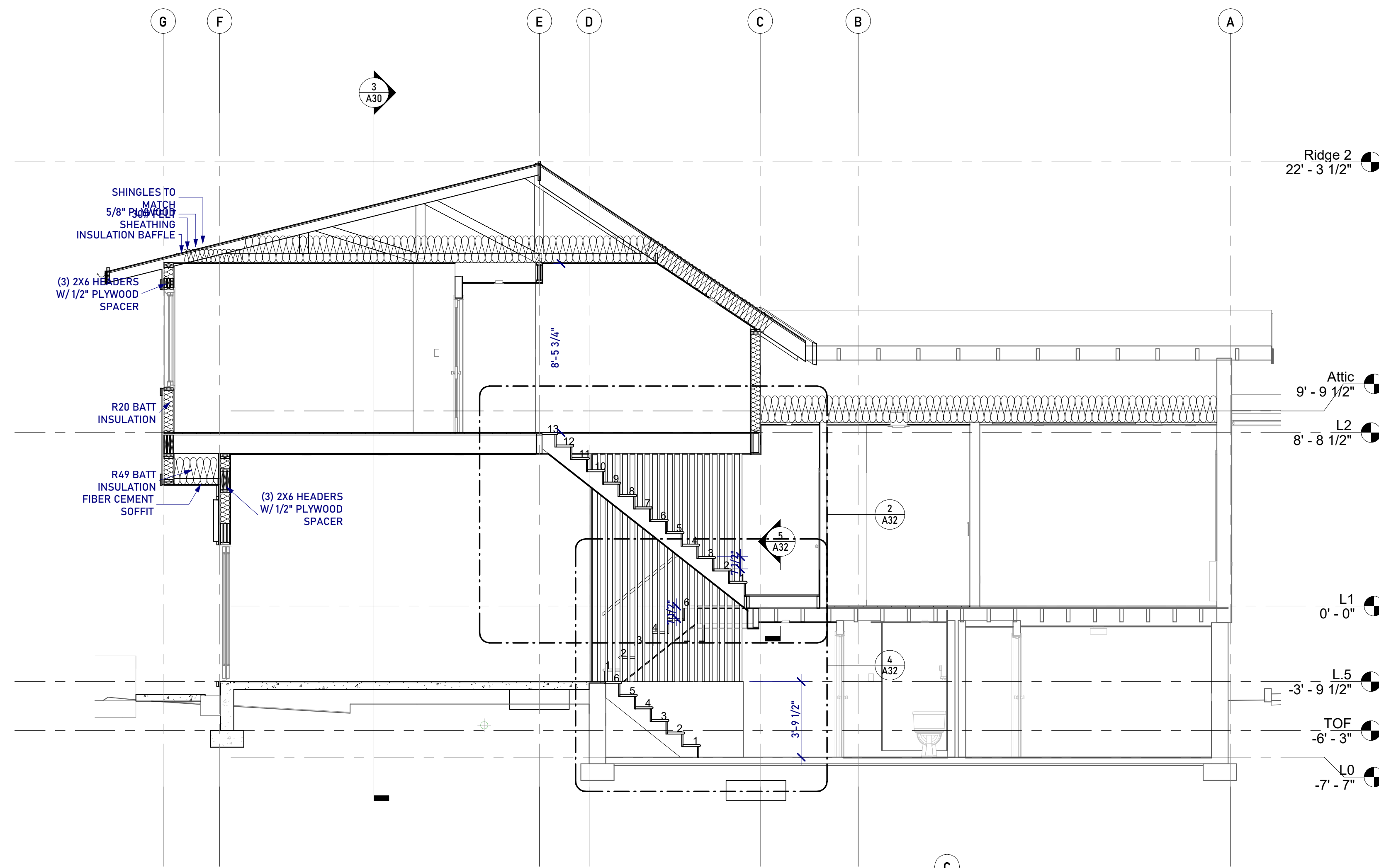
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Date Last Modified: 01/31/2023

Designed By: Guerilla Construction
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Checked By: Joseph Rabinowitz

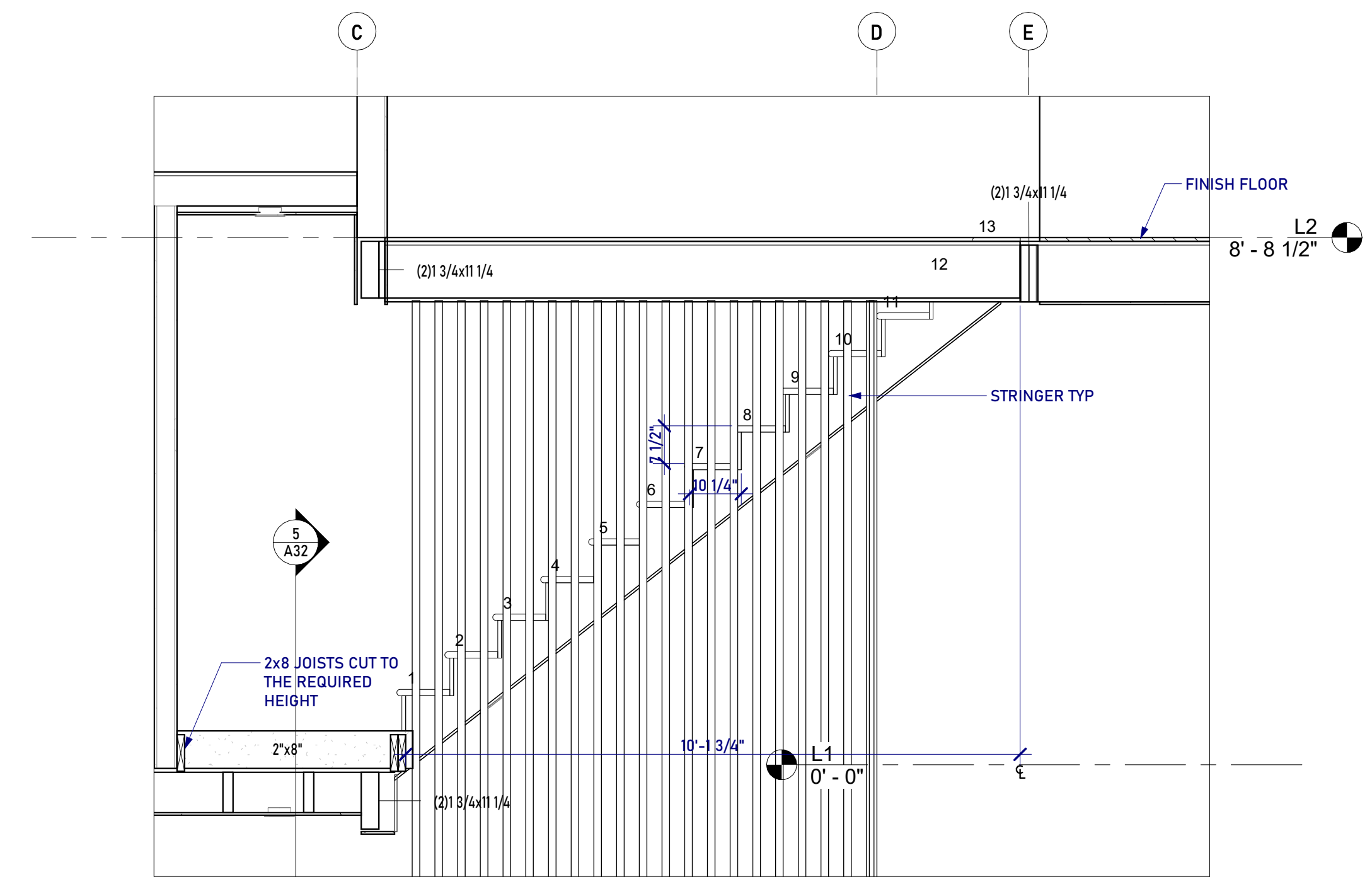
**Sections /
Details**

A32

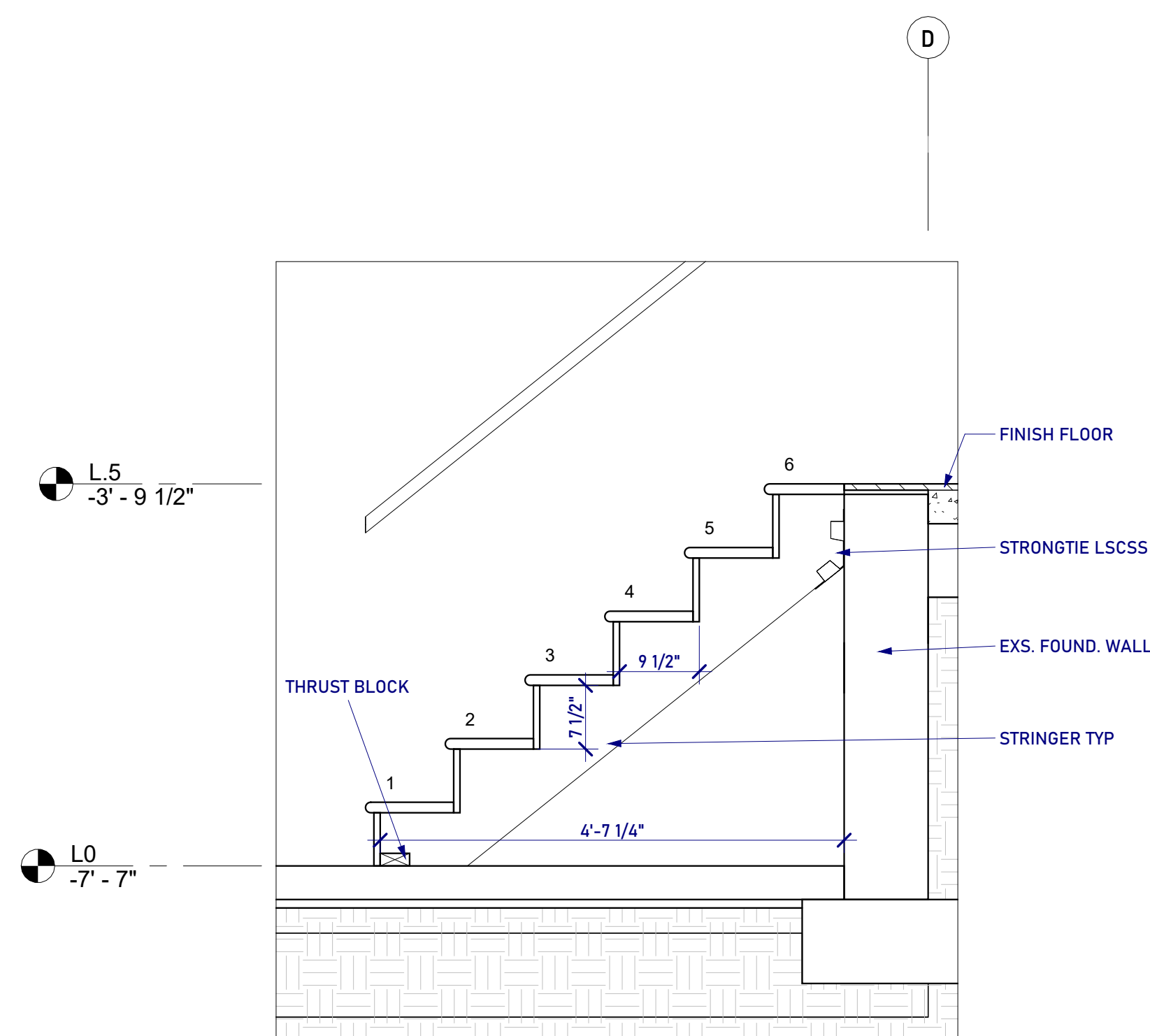
Permit Submission 01/31/2023



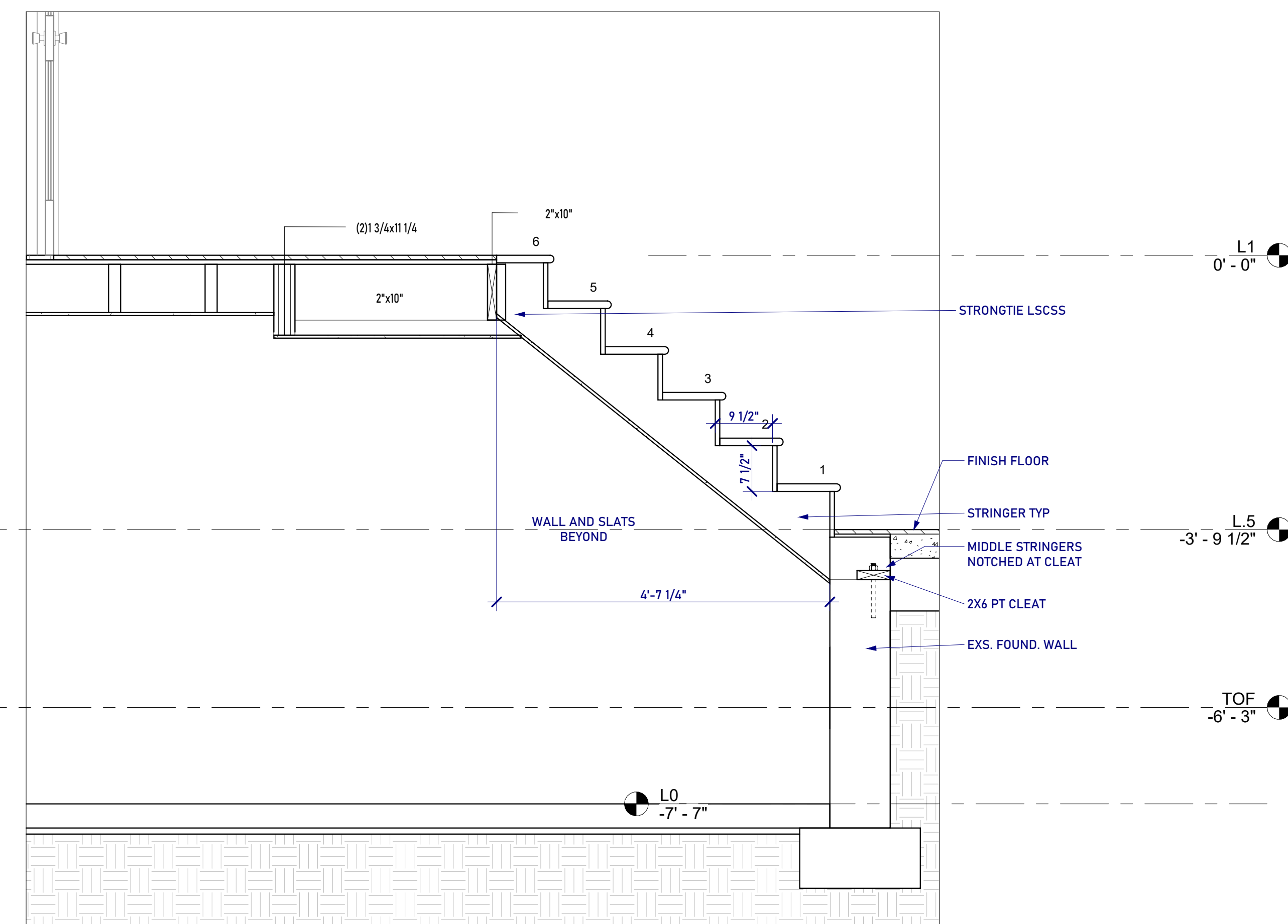
1 STR Sec3
1/4" = 1'-0"



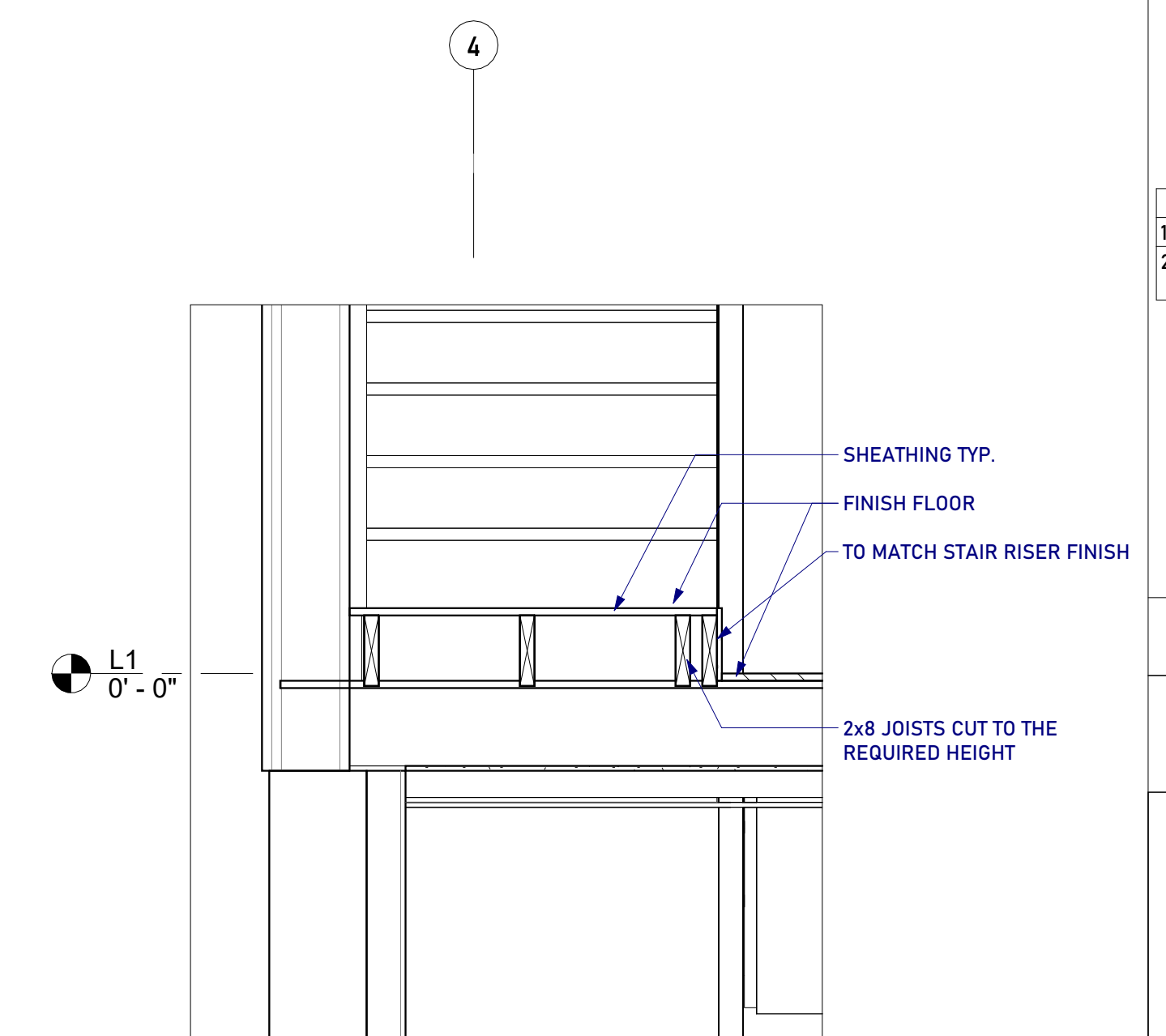
2 L1 - L2 Stair Detail
1/2" = 1'-0"



3 L0 - L0.5 Stair Detail
3/4" = 1'-0"



4 L0.5 - L1 Stair Detail
3/4" = 1'-0"



5 1st Floor Landing Detail
3/4" = 1'-0"



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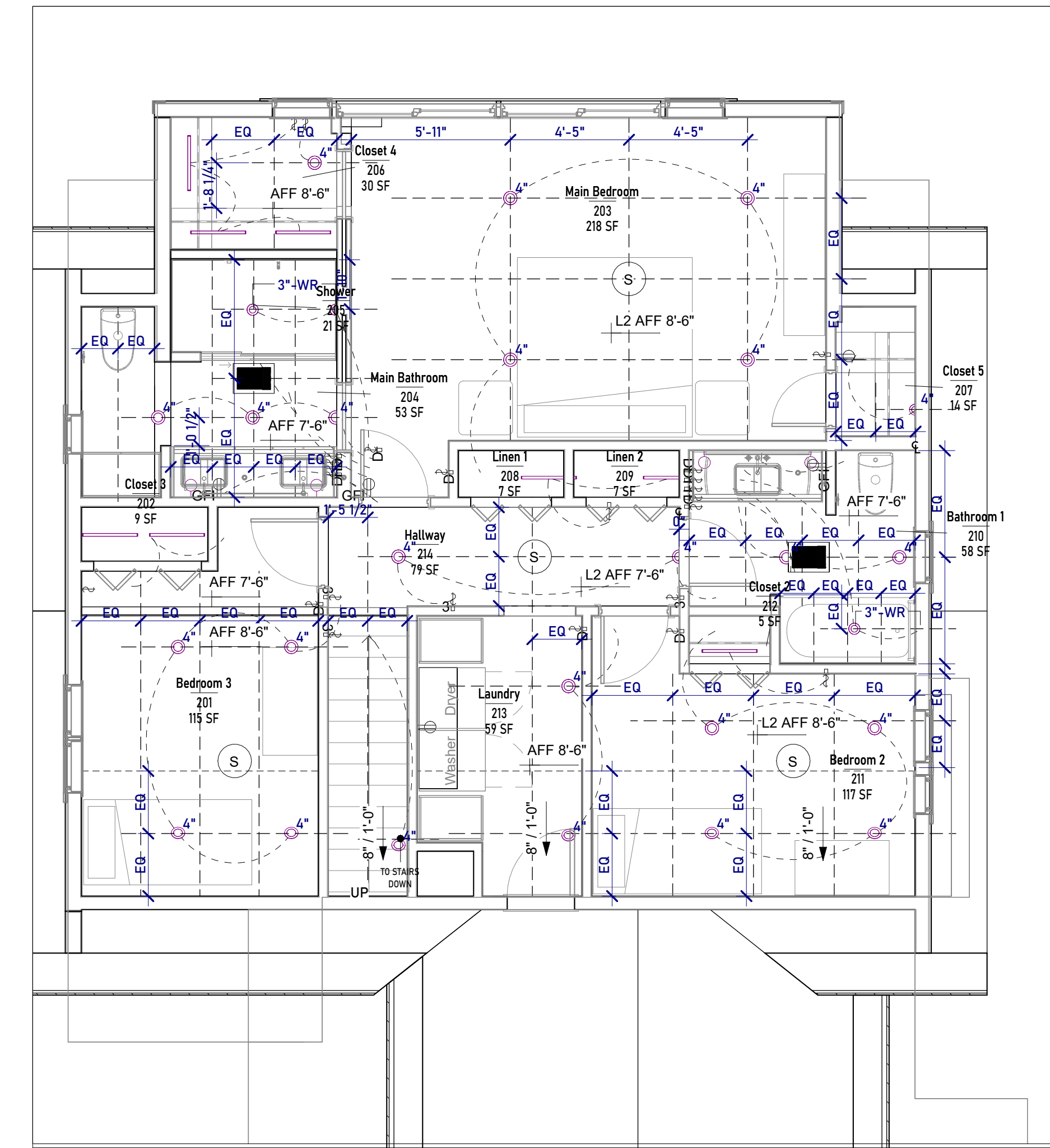
Scale: 1/4" = 1'-0"
Date Last Modified: 01/31/2023

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Checked By: Joseph Robinowitz

**Reflected
Ceiling Plans**

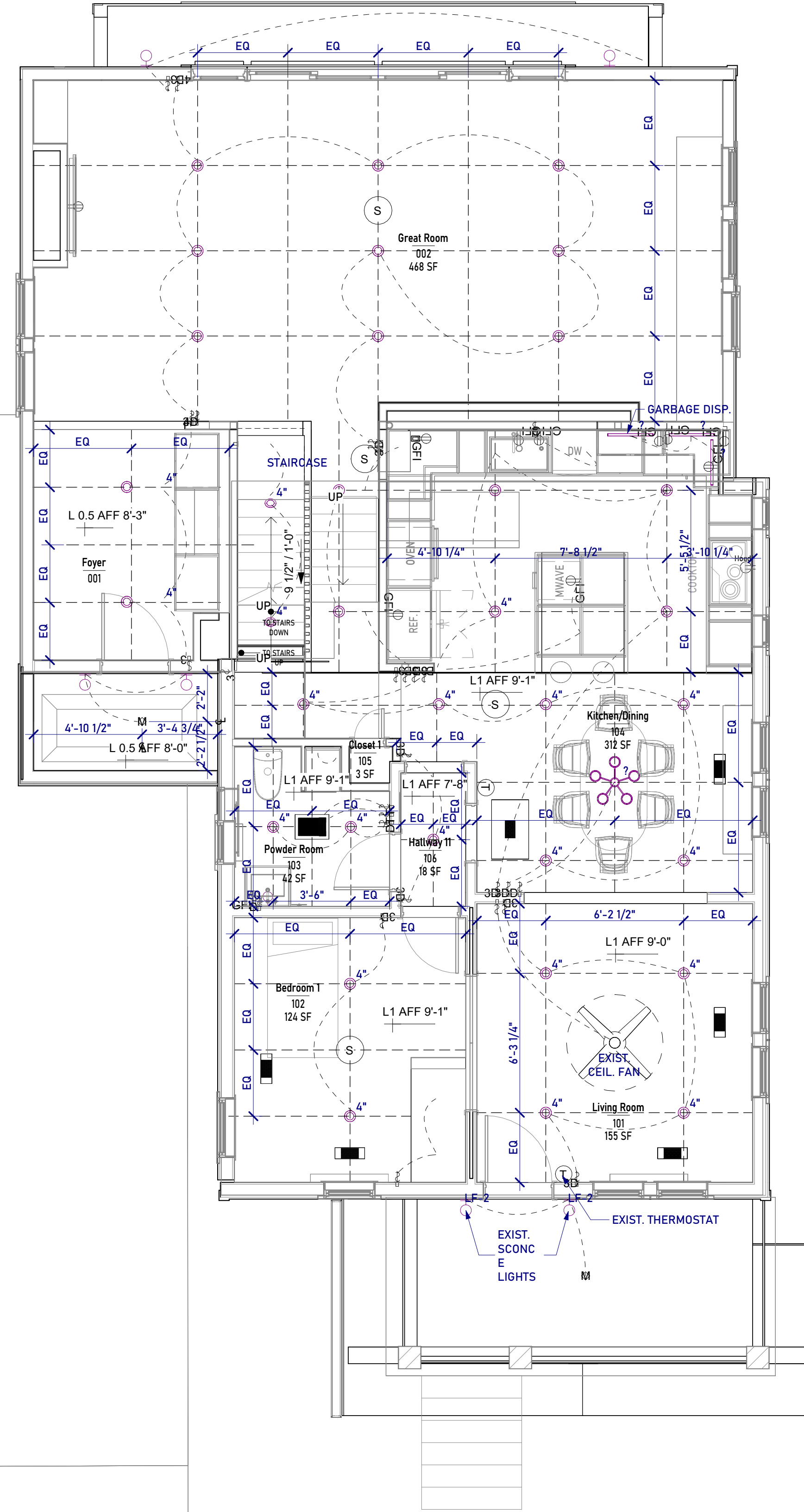
A40

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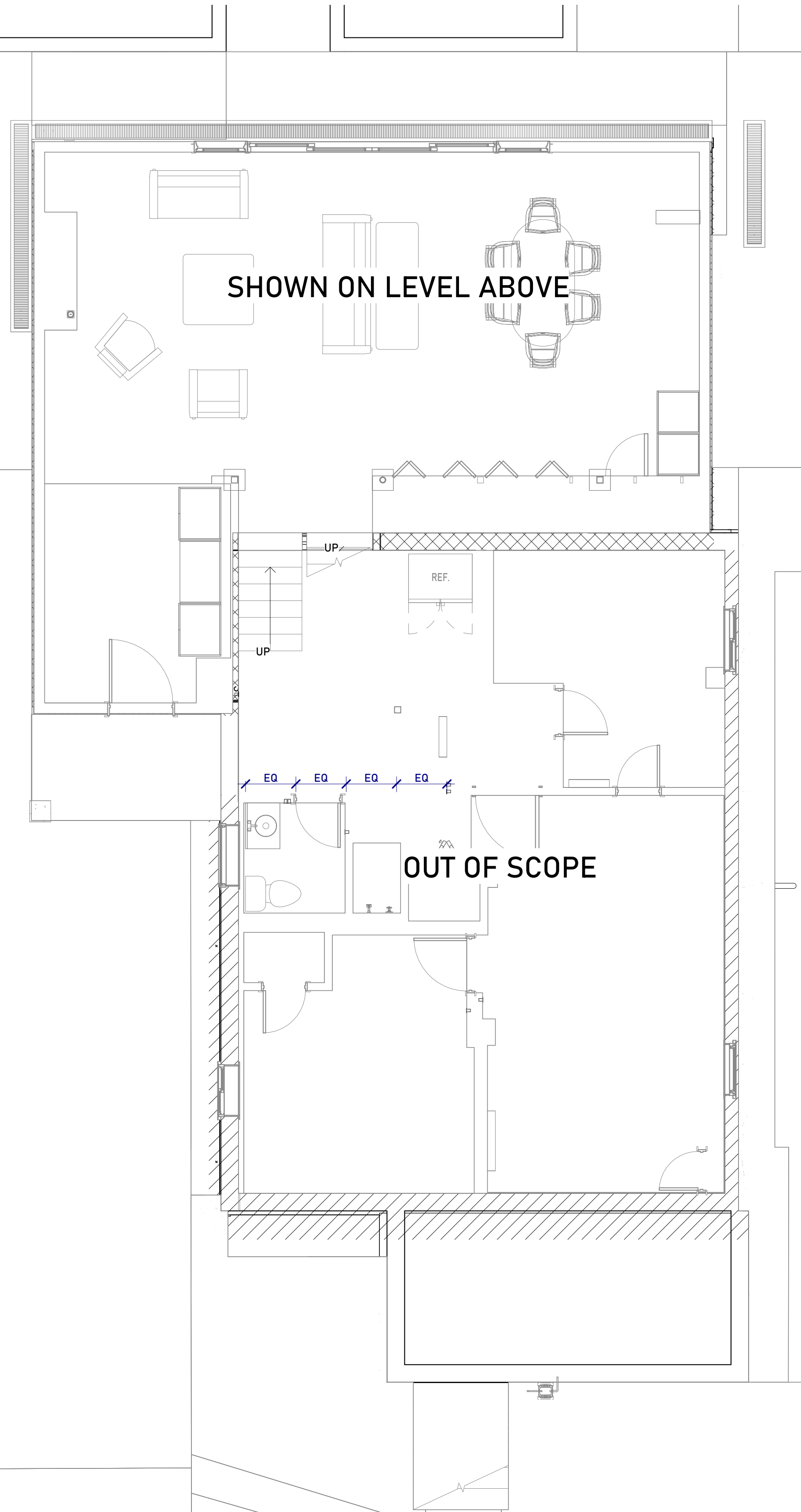


3 Second Floor RCP
1/4" = 1'-0"

- SWITCH
- S: SWITCH - 3 WAY
- S: SWITCH W/ TIMER
- RECEPTACLE / 16" A.F.F., U.N.O.
- RECEPTACLE / - GFI
- FOUR-PLEX RECEPTACLE
- CLOTHES DRYER OUTLET
- RANGE OUTLET
- DATA OUTLET
- NOTE:
1- ALL LIGHTS TO BE DIMMABLE (U.N.O.)
- SURFACE MTD FIXTURE
- 4" (U.N.O.) CANLESS RECESSED LED (MTD IN BULKHEAD / INSIDE CABINET)
- PENDANT LIGHT
- UNDER CABINET / STRIP LED
- WALL SCONCE
- SMOKE DETECTOR
- MOTION DETECTOR



2 First Floor RCP
1/4" = 1'-0"



1 Basement RCP
1/4" = 1'-0"



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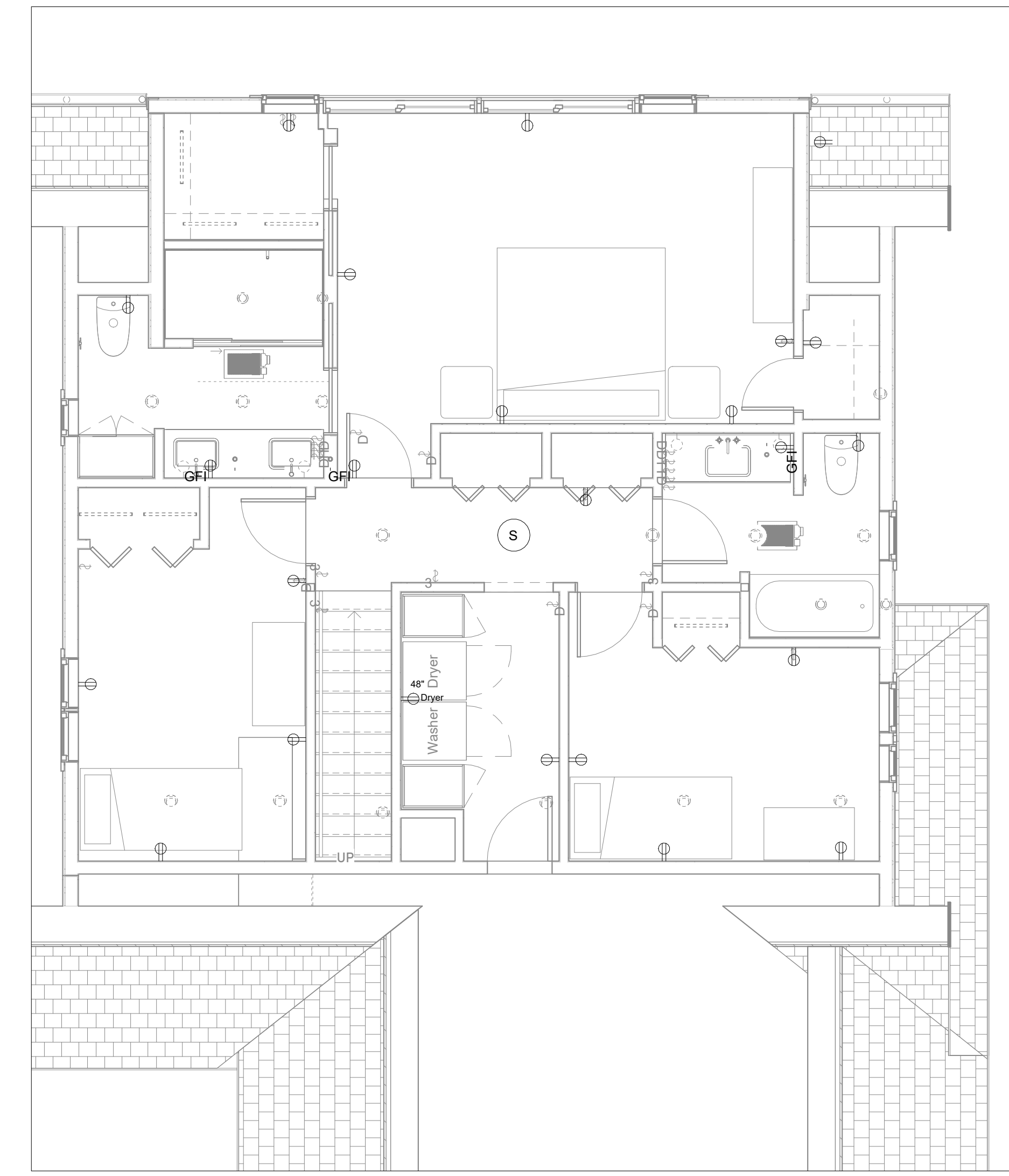
Scale: 1/4" = 1'-0"
Date Last Modified: 01/31/2023

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Checked By: JR

**Switch /
Outlet Plan**

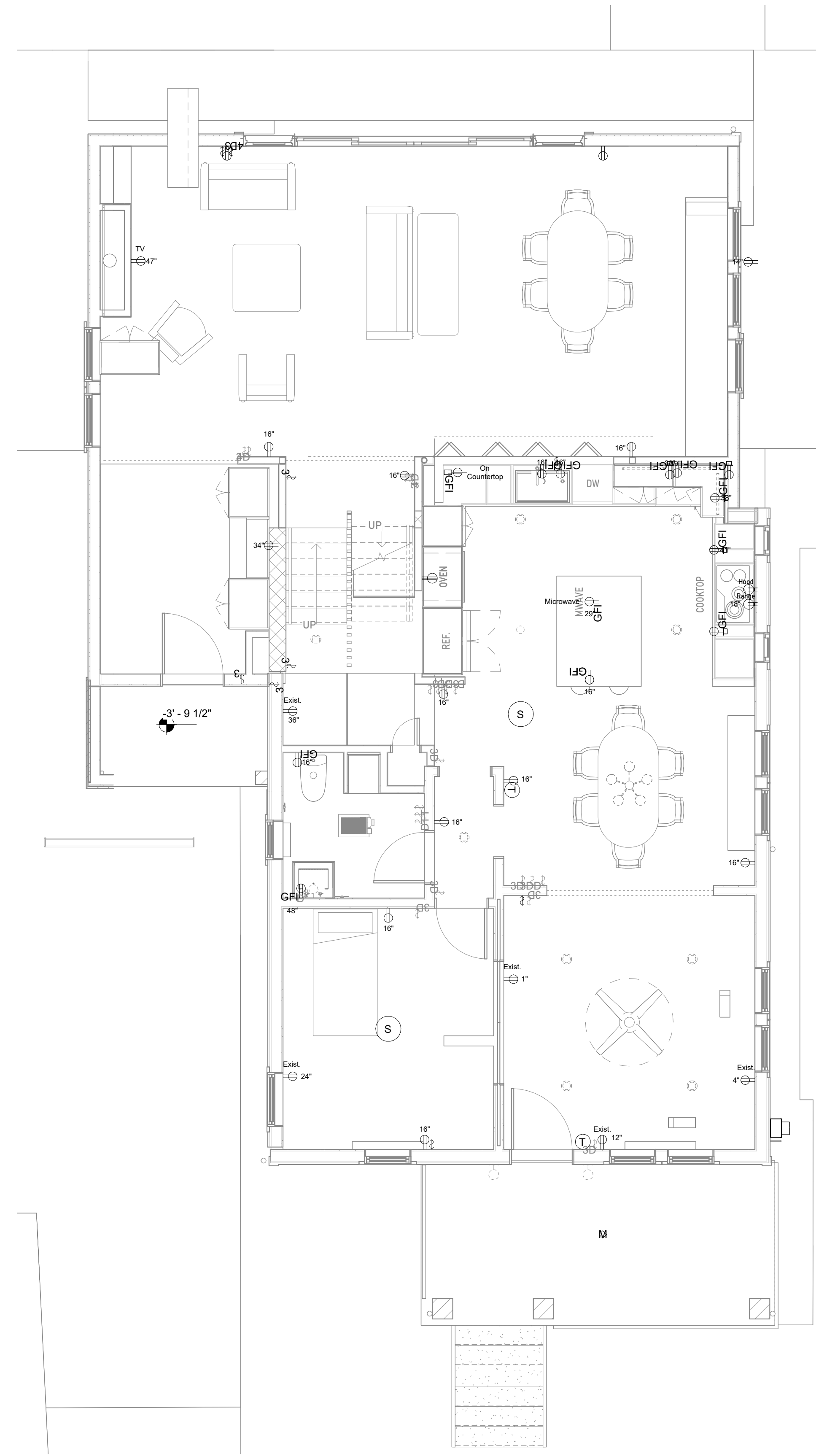
A41

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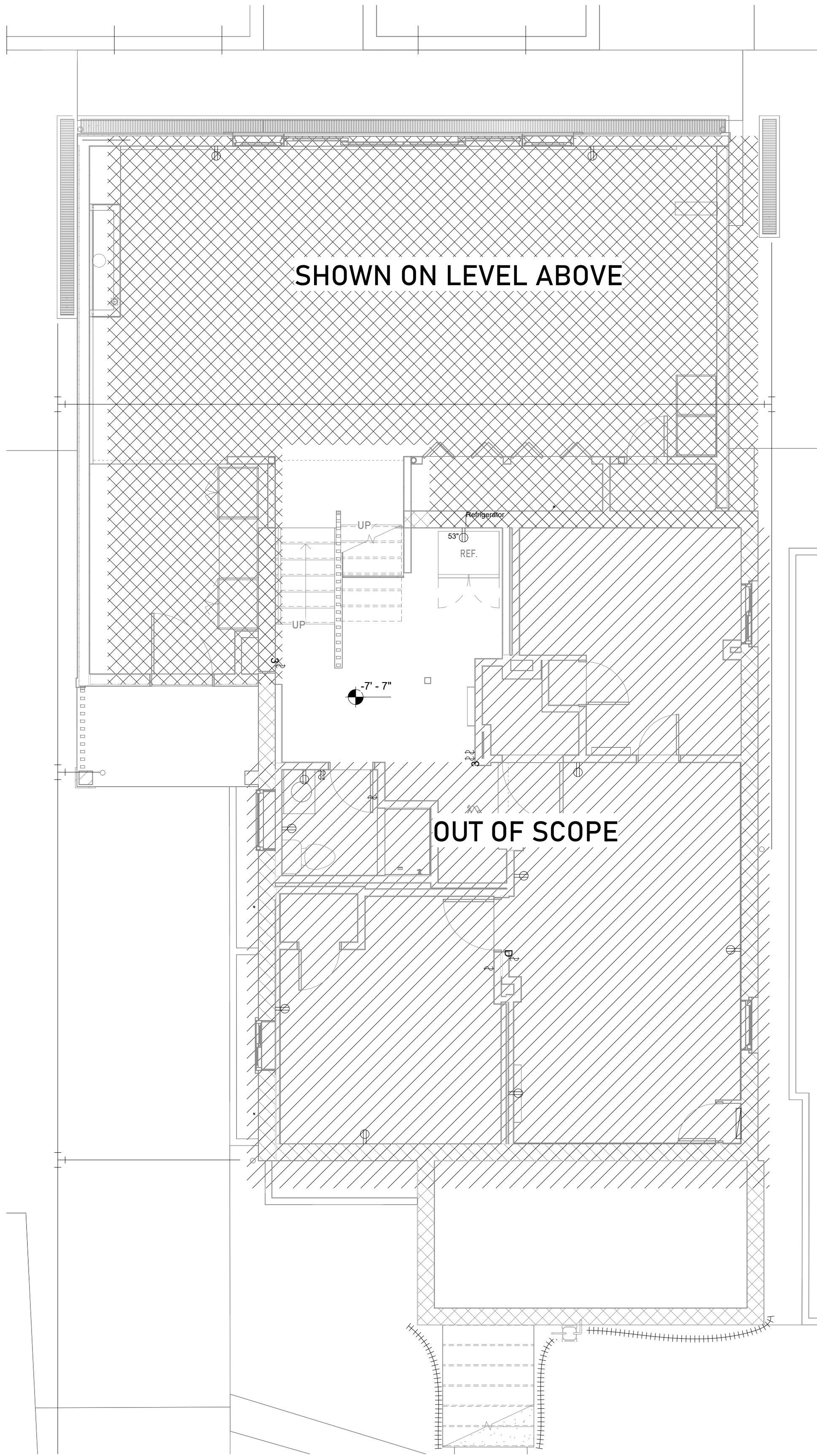


3 Second Floor
1/4" = 1'-0"

- SWITCH
- S SWITCH - 3 WAY
- S SWITCH W/TIMER
- RECEPTACLE / 16" A.F.F., U.N.O.
- RECEPTACLE / - GFI
- FOUR-PLEX RECEPTACLE
- CLOTHES DRYER OUTLET
- RANGE OUTLET
- DATA OUTLET
- NOTE:
1- ALL LIGHTS TO BE DIMMABLE (U.N.O)
- SURFACE MTD FIXTURE
- 4" (U.N.O) CANLESS RECESSED LED (MTD IN BULKHEAD / INSIDE CABINET)
- PENDANT LIGHT
- UNDER CABINET / STRIP LED
- WALL SCONCE
- S SMOKE DETECTOR
- M MOTION DETECTOR



2 First Floor
1/4" = 1'-0"



1 Basement Level
1/4" = 1'-0"

SHOWN ON LEVEL ABOVE

OUT OF SCOPE