

*Preliminary Consultation*  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7421 Cedar Ave., Takoma Park	<b>Meeting Date:</b>	2/8/2023
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	2/1/2023
<b>Applicant:</b>	Pat Hanrahan Dana Haden, Architect	<b>Public Notice:</b>	1/25/2023
<b>Review:</b>	Preliminary Consultation	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Alterations to Accessory Structure		

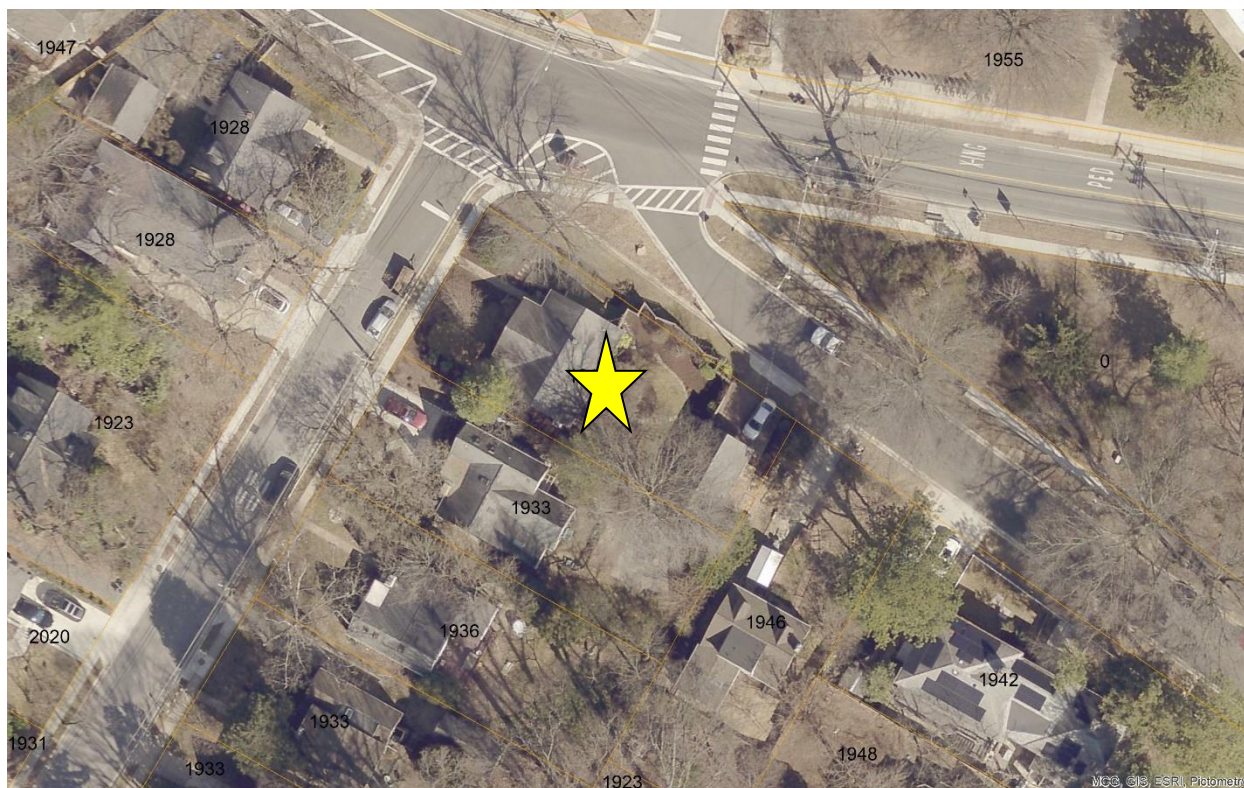
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**RECOMMENDATION**

Staff recommends the applicant make any changes recommended by the HPC and return for a HAWP.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource within the Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c.1918



*Figure 1: The subject property is at the corner of Cedar Ave. and Old Philadelphia Ave.*

## **PROPOSAL**

The applicant proposes to convert the existing garage to an accessory dwelling unit.

## **APPLICABLE GUIDELINES**

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*), and the Secretary of the Interior's Standards for Rehabilitation (*Standards*).

### ***Takoma Park Historic District Design Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier

architectural styles

Original size and shape of window and door openings should be maintained, where feasible

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

**Secretary of the Interior’s Standards for Rehabilitation**

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject property has a one-and-a-half story Craftsman Bungalow facing Cedar Avenue—identified as a Sears Conway in the Takoma Park Master Plan amendment—and a detached one-car garage oriented toward Old Philadelphia Avenue. Staff’s impression of the garage, based on a site visit, is that the building was constructed sometime before WWII, but that it was not constructed at the same time as the house. This conclusion was reached based primarily on the appearance of the exposed CMU exterior and steel casement windows. Unfortunately, the property is omitted from the Sanborn Maps, so Staff has been unable to determine a more specific date of construction for the detached garage.

The applicant proposes alterations for all four elevations of the detached garage to convert it to an accessory dwelling unit. Additionally, the applicant proposes to replace the existing asphalt shingle roof in-kind. Because that work will not result in a visual change to the structure it does not need a HAWP, but is eligible for the County Historic Preservation Tax Credit.

### **Front (street-facing) Elevation**

The most dramatic changes are proposed for the street-facing elevation. The existing elevation has a wood roll-up garage door with a shuttered upper-floor window. The applicant proposes to remove the existing garage door and install three sash windows and a full-lite door. The space below the sash windows will be filled in, but details for this feature were not provided. Above the new windows and door, the applicant proposes to construct a new shed roof with exposed rafter tails, supported by wood brackets that will project beyond the front wall plane by 3' (three feet). On the second floor, the applicant proposes to remove the existing asbestos shingle siding and install Hardie shingles and a new vinyl-clad sash window. Window and door specifications were not included in the submission.

Staff finds the existing garage door is not a historic feature and may be removed. In other projects where the HPC has considered garage-to-ADU conversions, the historic garage doors were extant and were retained and incorporated into the redesigned structure. While the form of the existing structure is clearly visible, Staff requests feedback from the HPC on the appropriateness of installing windows and doors with a residential-style window and door assembly. Would a carriage-style door, either operable or fixed, that retained the garage character be more appropriate in this location (see below)? Regardless, Staff finds that even though this is an accessory structure, that vinyl-clad windows are inappropriate because they are an inappropriate substitute material for wood or steel windows and because of the visibility of these elevations. Staff recommends that the infill windows be either wood or aluminum-clad window.



*Figure 2: An operable carriage-style door in a converted garage.*

Staff finds the simple shed roof design is compatible with the character of the structure and the historic house and would recommend the HPC approve the alteration as part of the HAWP. Staff also notes that the proposed shed roof could be removed in the future without significantly impacting the fabric of the accessory structure.

The HPC has typically found that Hardie brand shake siding is an incompatible substitute material for wood shake because it is too narrow and too regular. However, the siding proposed for replacement appears to be asbestos shingle. Even though the proposed material is replacing a thin-profiled shingle siding, Staff recommends an alternative be considered and suggests either something like Hardie's panel vertical siding that resembles board and batten or the fiber cement shingles that replicate the appearance of the asbestos shingles.

### **Right and Left Elevations**

Both the right and left elevations of the existing garage have two steel casement windows. The applicant proposes to remove those windows and install three-over-one vinyl-clad sash windows in the openings. The drawings do not include measurements of the existing and proposed windows, however, they appear to be similar in size. On the right elevation, the applicant proposes to remove the existing door, patch the wall, and paint to match.

Staff finds removing the door on the right side will not impact the character of the structure and would recommend the HPC approves that change as a HAWP. As with the windows on the front elevation, even though this is an accessory structure, Staff finds that a vinyl-clad window is typically inappropriate and recommends either a wood or aluminum-clad window as a replacement. Staff recognizes that the sash window configuration was selected to match the design of the house. Staff would find a casement window with a similar configuration appropriate in these elevations. Finally, Staff requests measurements of the existing and the proposed windows with the HAWP application to compare the window sizes.

### **Rear Elevation**

At the rear, the applicant proposes to retain the existing exterior wood stairs and upper floor door, while replacing the existing steel windows with vinyl-clad sash windows and replacing the existing shake with Hardie shingles.

As discussed above, Staff recommends an alternative treatment for the siding in the gable and encourages the HPC to identify any other appropriate materials.

### **Questions for the HPC**

- Is it appropriate to remove the existing non-historic garage door and fill in the opening with windows and doors that are not consistent with the appearance of a garage door (either carriage style or roll-up)?
- Are the proposed vinyl-clad windows acceptable in this application or should the new windows be wood or wood clad?
- Does the HPC concur with Staff's position that Hardie shingles are too narrow to be an acceptable substitute material for the existing shingle siding?
  - Staff recommends replacing the existing material with either a matching appearance or a fiber cement panel that has an appearance consistent with board and batten construction.

### **STAFF RECOMMENDATION**

Staff Recommends the applicant make revisions based on feedback from the HPC and return for a HAWP.

FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_



# APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION  
301.563.3400

**APPLICANT:**

Name: PAT HANZAHAN  
Address: 7421 CEDAR AVE  
Daytime Phone: 301-237-8537

E-mail: pat@paltharahan.com  
City: TAKOMA PARK Zip: 20912  
Tax Account No.: DIST 13 ACCT # 01067124

**AGENT/CONTACT (if applicable):**

Name: DANA HADEN  
Address: 1312 CRESTHAVEN DR  
Daytime Phone: 301-237-8537

E-mail: danahaden@gmail.com  
City: SILVER SPRING Zip: 20903  
Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District?  Yes/District Name TAKOMA PARK  
 No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application. NO

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information. WE WERE APPROVED BY A ZONING VARIANCE - 12/14/22

Building Number: 7421 Street: 7421 CEDAR  
Town/City: TAKOMA PARK Nearest Cross Street: PHILADELPHIA  
Lot: 6 Block: 86 Subdivision: 0025 Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |  |  |   |
|--|--|---|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure  |
| <input type="checkbox"/> Addition                    | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                            |
| <input checked="" type="checkbox"/> Demolition       | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting            |
| <input type="checkbox"/> Grading/Excavation          | <input checked="" type="checkbox"/> Roof     | <input checked="" type="checkbox"/> Window/Door           |
|  |  | <input type="checkbox"/> Other: <u>paint &amp; repair</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Dana Haden \_\_\_\_\_ 1/7/23 \_\_\_\_\_  
Signature of owner or authorized agent Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
7421 Cedar Ave Takoma Park, MD. 20912	1312 Cresthaven Drive Silver Spring, MD. 20903
Adjacent and confronting Property Owners mailing addresses	
Judy Hagobian 7420 Cedar Ave Takoma Park, MD. 20912	Adriana Kogornik 106 Philadelphia Ave. Takoma Park, MD. 20912
Nicole Turgean-Williams 7418 Cedar Ave Takoma Park, MD. 20912	
Elisabeth Blackburn 7419 Cedar Ave Takoma Park, MD. 20912	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

This property is located at the corner of Cedar Ave & Philadelphia ave. This property is in the Historic district and is listed as a contributing resource. It is a one & 1/2 story Frame "Sears" home w/ basement. At the rear of the property there is a ~~1 1/2 story~~ 1 1/2 story CMU/frame garage. The garage door faces Old Philadelphia ave.

Description of Work Proposed: Please give an overview of the work to be undertaken:

This project is to convert exst. structure (garage) into an ADU unit.  
On the inside we will build out a 1 Bedroom unit. The metal windows will be replaced. The exst. garage door will be removed & a new front door & three windows will fill that opening. Also on the attic space above the garage door is an opening w/ wood doors. Fill in opening & install new window.  
On the side facing the house a door there will be removed & the wall patched & painted.



Work Item 1: Exterior.

Description of Current Condition:

~~shingle~~ shingle roof.

Painted CMU

Fish Scale

Metal windows

Proposed Work:

replace w/ Asphalt Shingles

repaint as need.

reside w/ hardiplank.

replace w/ ~~of~~ clad sim. to main house.

Work Item 2: garage door

Description of Current Condition:

garage door

Proposed Work:

remove garage door & replace w/ front door & three new windows.

Work Item 3: front. entry roof

Description of Current Condition:

NO ~~front~~ entrance roof

Proposed Work:

new entrance roof extending 3' w/ wood brackets

Surveyor's Certificate

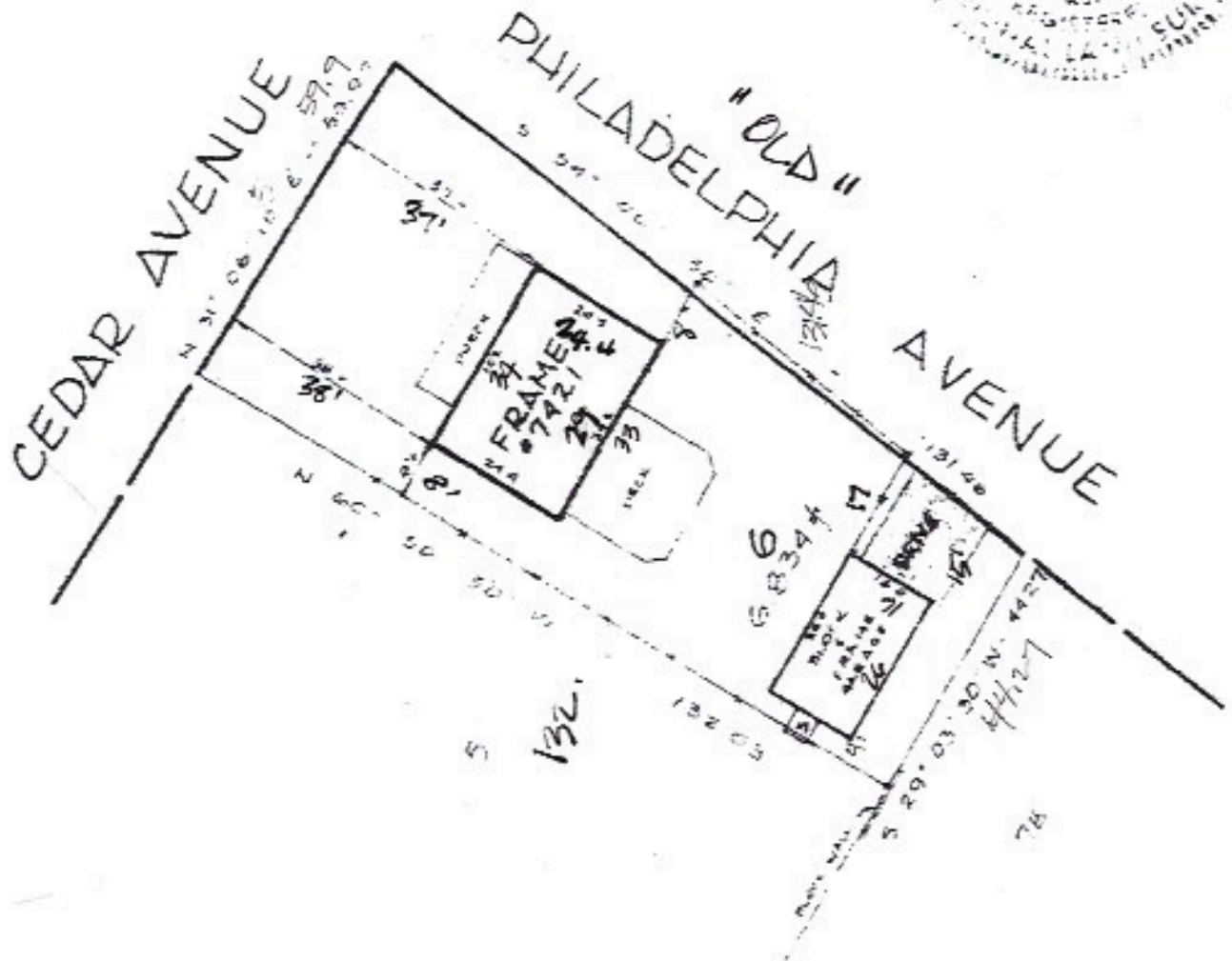
We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown. This is not a ALTA/ACSM Survey.

Date: June 5, 1993

Frey, Sheehan, Stoker & Assoc., Inc.  
Land Planning Consultants  
Phone 588-3110

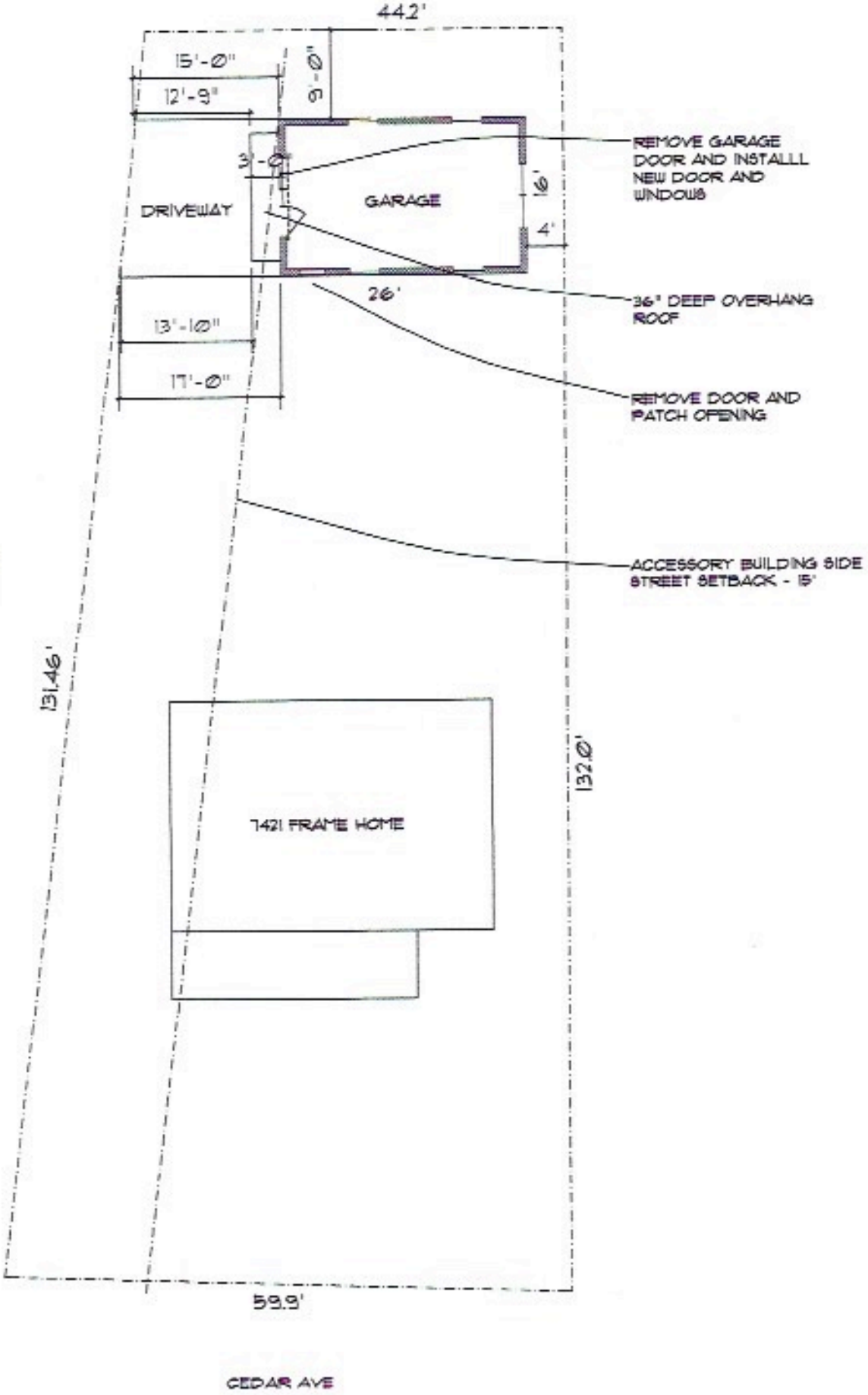
Plat Book 4  
Plat No 391

By: [Signature]  
James F. Sheehan  
Professional Land Surveyor  
Md. No. 3984

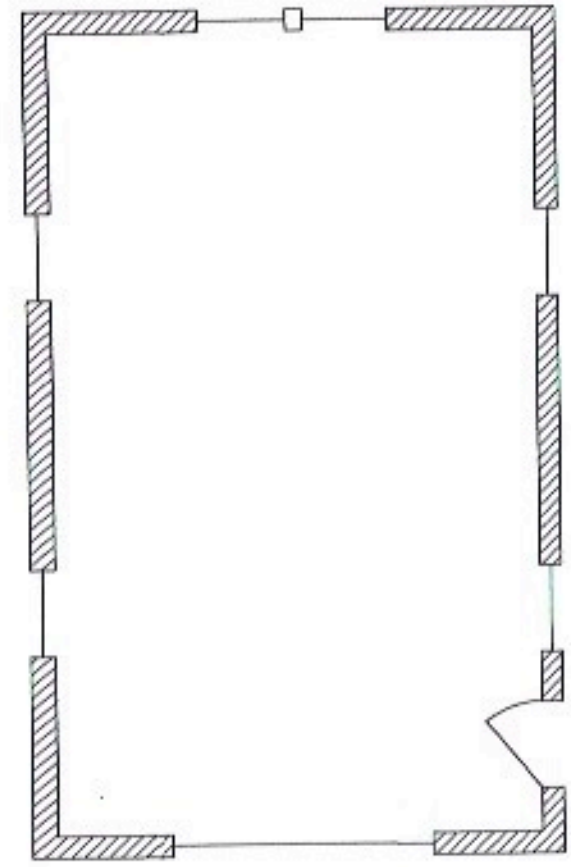


The building hereon does not lie within flood hazard Zone A or Zone B as determined by Department of Housing and Urban Development and Federal Insurance Administration

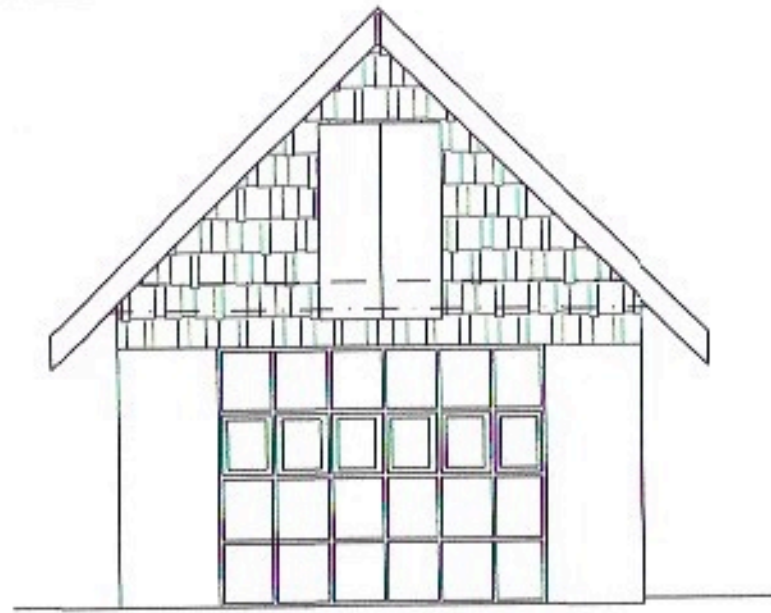
OLD PHILADELPHIA AVE



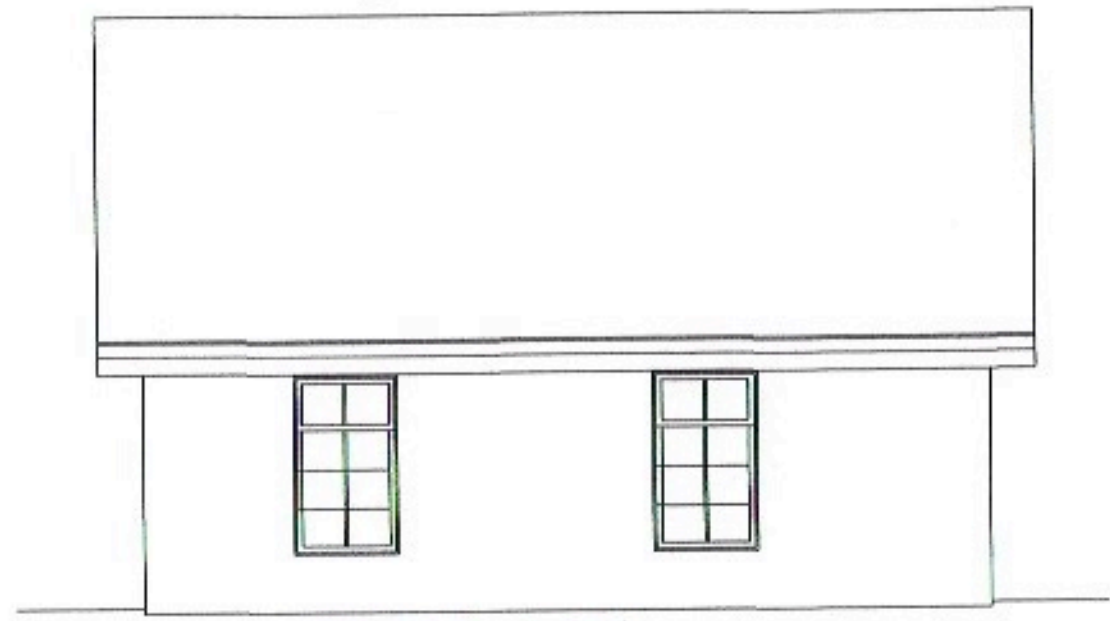
SITE PLAN



1  
EX-1  
EXTG. FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2  
EX-2  
EXTG. FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



3  
EX-3  
EXTG. LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

Addition to  
7421 CEDAR AVE  
TAKOMA PARK, MD

STUDIO D  
100 members of  
inter-aging act  
360-371-0001

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JOHN ROSSINI HANSEN, AIA architect

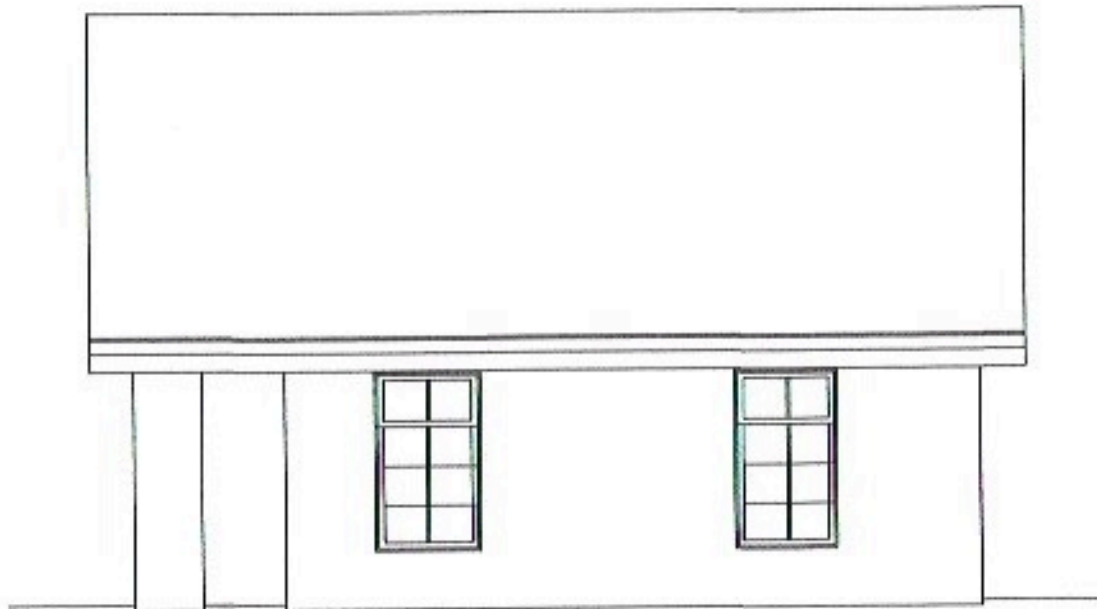
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100 N. 10th St. W. 100

100  
PLAN NO. 100

EX-1



1 EXTG. REAR ELEVATION  
SCALE 1/4" = 1'-0"



2 EXTG. RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

Addition to  
7421 CEDAR AVE  
TAKOMA PARK, MD

STUDIO D  
DESIGNER OF  
OTHER PROJECTS  
541-231-0037

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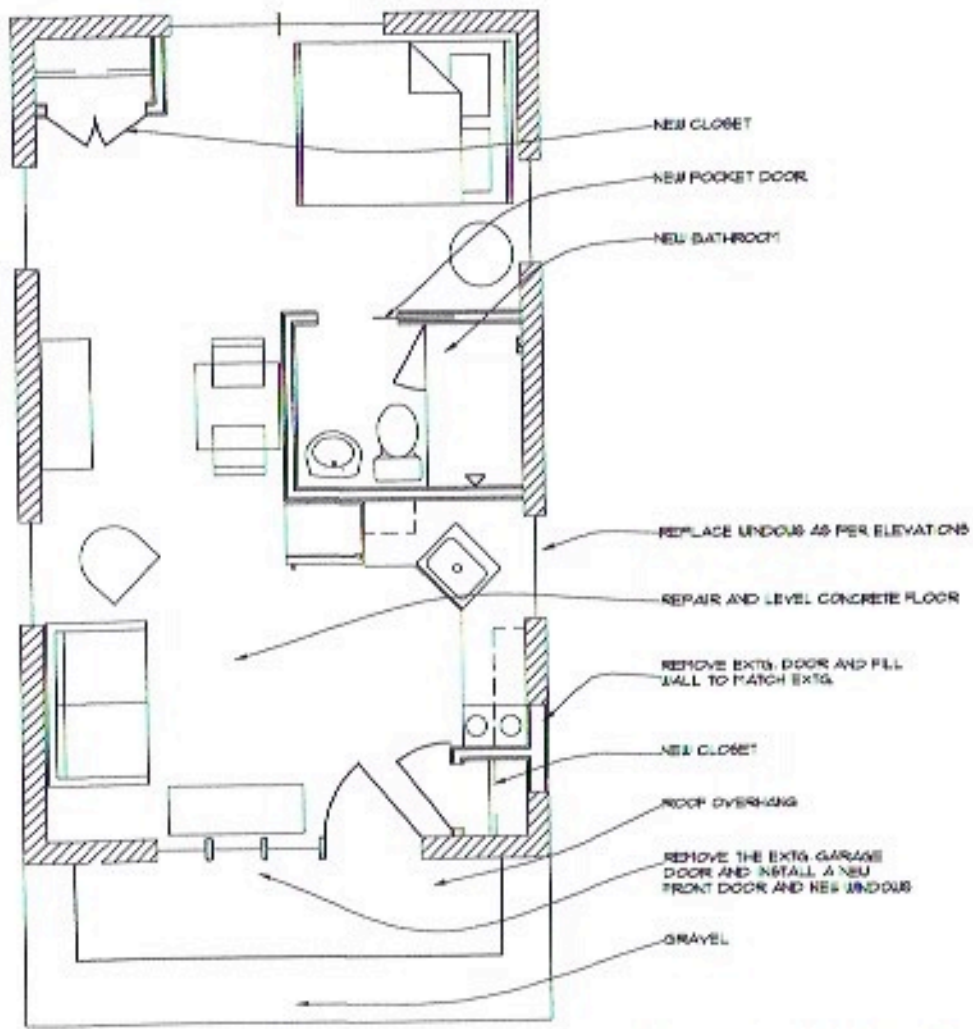
2000 KANSAS HOUSE, ADA ARCHITECT

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NO. 100

NO. 1

NO. 2

EX-2



① FIRST FLOOR PLAN  
SCALE: 3/4" = 1'-0"

USE SPRAY FOAM INSULATION AROUND ALL THE PERIMETER WALLS AND IN THE CEILING. AT THE SLAB LAY 2" RIGID FOAM AROUND THE PERIMETER

	NEW 2 X 4 SOOD STUD WALL
	EXTS WALL TO BE REMOVED
	EXTS WALLS TO REMAIN

NOTE: IT IS LIKELY THAT THE FOOTINGS FOR THIS GARAGE MAY NEED TO BE MODIFIED BY UNDERPINNING.

Addition to  
7421 CEDAR AVE  
TAYLORVILLE, MD

STUDIO D  
an architect of  
interior design, inc  
361-157-8837

d

DANA BOZOSI HANCOCK, AIA ARCHITECT

DATE: 05/20/2013  
PROJECT NO: 13-01-0013

13-01-0013  
NEW PLAN

A-1



- REMOVE EXTS. SIDING AND INSTALL NEW HARDPLANK SHINGLES
- REMOVE SHUTTERS AND INSTALL NEW VINYL CLAD BOOD AND/OR UNDOUS TO MATCH STYLE OF UNDOUS IN EXTS. HOME
- INSTALL NEW ASPHALT SHINGLES
- NEW WOOD BRACKETS
- NEW DOOR AND 3 UNDOUS IN EXTS. OPENING
- PAINT EXTS. CMU BLOCKS

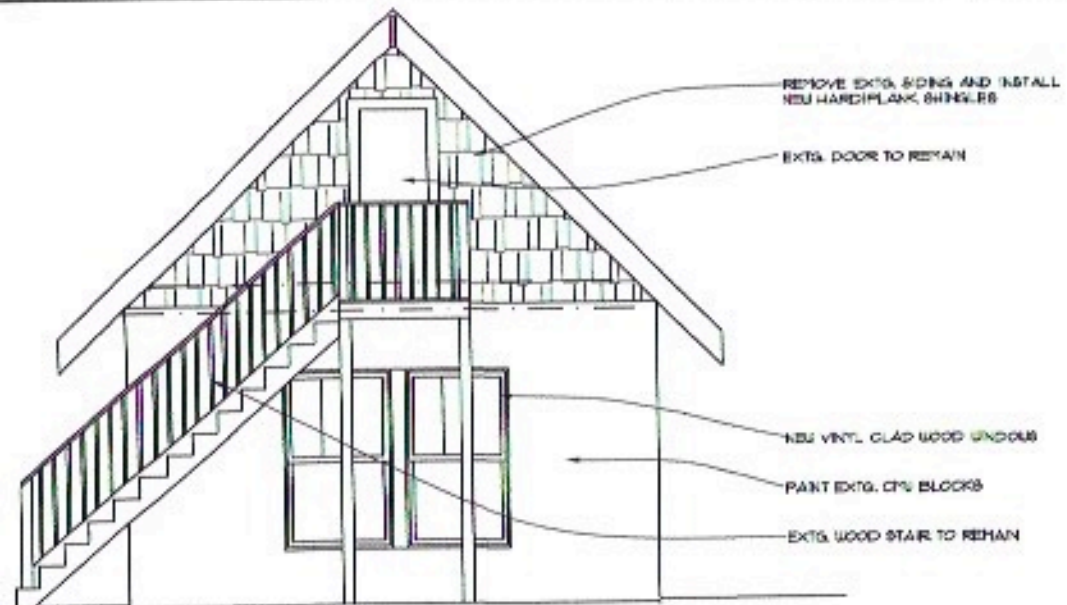
1 NEW FRONT ELEVATION  
SCALE 1/4" = 1'-0"



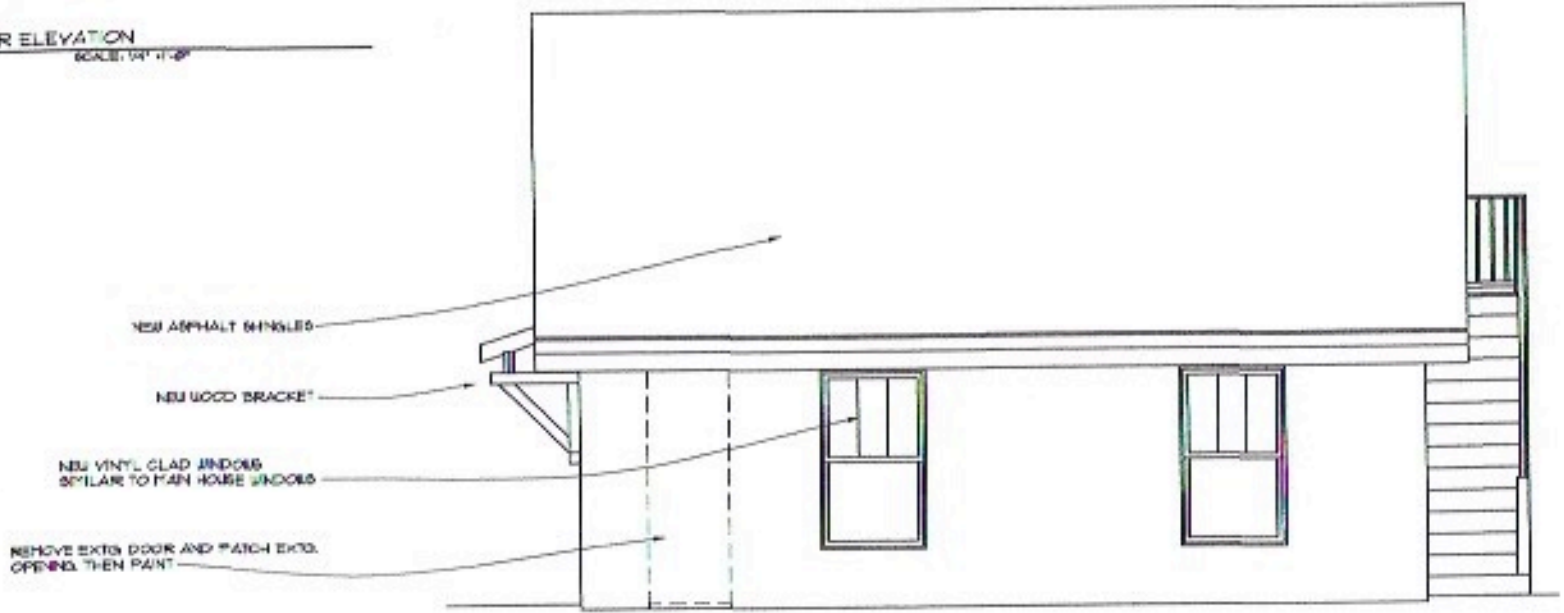
- NEW ASPHALT SHINGLES
- NEW VINYL CLAD UNDOUS SIMILAR TO MAIN HOUSE UNDOUS
- NEW WOOD BRACKET

2 NEW LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

Addition to <b>7421 CEDAR AVE</b> TAKOMA PARK, MD
STUDIO D <small>DESIGNER OF</small> <small>NEW BRICK AND</small> <small>30-37-0001</small>
<b>d</b> <small>DAVID HARRIS WOOD, AIA ARCHITECT</small>
<small>DATE</small> <small>FEB. 11, 2014</small>
<small>SCALE</small> <small>AS SHOWN</small>
<b>A-2</b>



1 NEW REAR ELEVATION  
SCALE: 1/4" = 1'-0"



2 NEW RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

Addition to <b>7421 CEDAR AVE</b> TAKOMA PARK, MD
<b>STUDIO D</b> <small>DESIGNERS OF          Silver Spring, MD          301-327-8837</small>
<b>d</b> <small>TARA HODGINS HODGINS, AIA ARCHITECT</small>
<small>PHOTO          TARA HODGINS HODGINS</small>
<small>PHOTO          TARA HODGINS HODGINS</small>
<b>A-3</b>



**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*		*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



