

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	66 Walnut Ave., Takoma Park	Meeting Date:	2/22/2023
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	2/15/2023
Applicant:	Peter Hendrickson Eric Teran, Architect	Public Notice:	2/8/2023
Review:	HAWP	Tax Credit:	n/a
Permit No.:	997894 REVISION	Staff:	Dan Bruechert
Proposal:	Revision to previously approved HAWP for alterations to deck construction.		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: c.1923



Figure 1: The subject property is located west of the intersection of Walnut Ave. and Westmoreland Ave.

BACKGROUND

At the August 17, 2022, HPC meeting, the HPC approved a HAWP for several alterations to the existing building to convert it from multi-family to single-family.¹ The changes included a rear deck and a new side entrance.

PROPOSAL

The applicant proposes to extend the approved side entrance stairs and deck to connect to the approved rear deck.

APPLICABLE GUIDELINES

When reviewing applications for alterations within the Takoma Park Historic District, several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required,

Minor alterations to areas that do not directly front on a public right-of-way such as vents, metal stovepipes, air conditioners, fences, skylights, etc. – should be allowed as a matter of course; alterations to areas that do not directly front on a public way-of-way which involve the replacement of or damaged to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis,

Major additions should, where feasible, be placed to the rear of existing structures so that they are

¹ The Staff Report and HAWP application for the August 17, 2022 HAWP is available here: <https://montgomeryplanning.org/wp-content/uploads/2022/08/I.A-66-Walnut-Avenue-Takoma-Park-997894.pdf>.

less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing

Original size and shape of window and door openings should be maintained, where feasible

Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible to the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition

Alterations to features that are not visible from the public right-of-way should be allowed as a matter of course

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a front gable Craftsman bungalow with non-historic large, shed dormers, and additional entrances that likely date from the time the house was divided into a multi-unit residence. The house was covered in vinyl siding in the 1990s.² As an amendment to the previous HAWP, the applicant proposes to extend the rear deck to wrap around the rear corner.

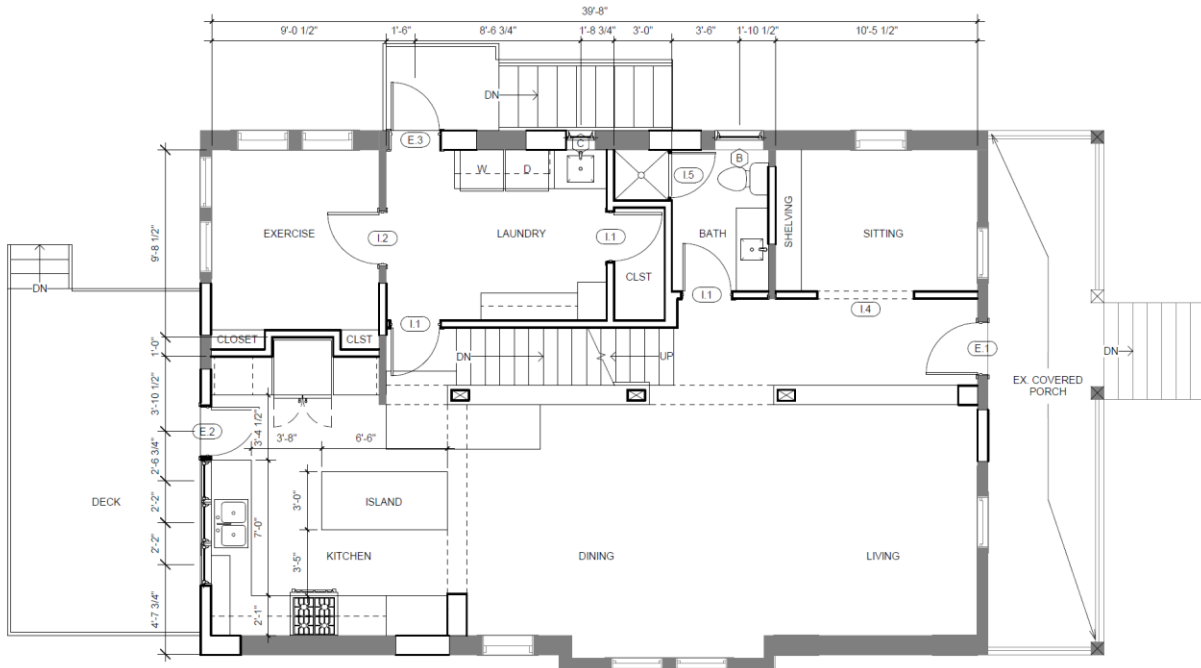


Figure 2: The approved 1st-floor plan from the 8/17/2022 HAWP.

The deck extension will match the height, materials (wood), and design of the approved deck. The expanded deck will be visible from a narrow view along the right side of the house; however, Staff does not find that the expanded deck will negatively impact the pattern of open spaces found in this section of the Takoma Park Historic District nor will it detract from the house’s architectural character. Staff recommends the HPC approve the amended HAWP under 24A-8(b)(2) and (d) and Standards 2, 9, and 10 and the *Design Guidelines*.

² The vinyl siding installation was denied by the HPC and overruled by the Board of Appeals. The decision is available here:

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640006/Box046/37-3-93W_Takoma%20Park%20Historic%20District_66%20Walnut%20Avenue_07-01-1993.pdf

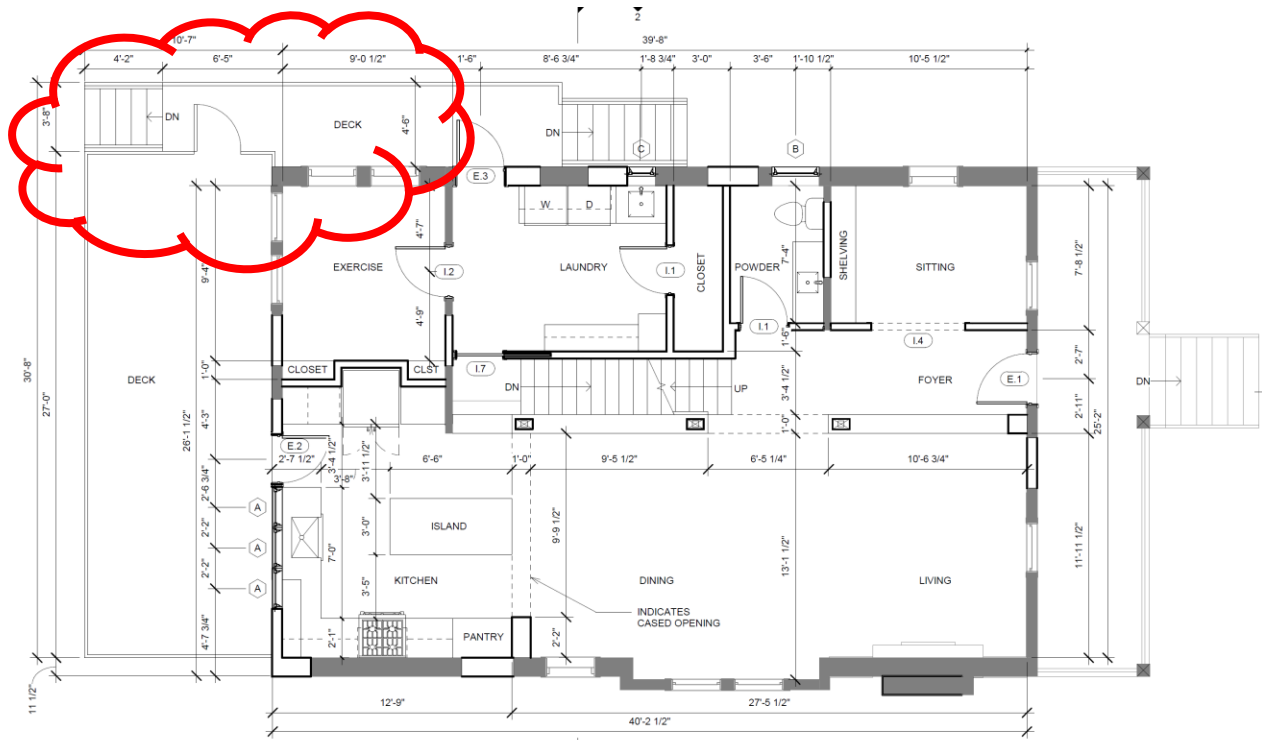


Figure 3: Revised proposal to extend the deck and wrap around the rear corner.



Figure 4: View along the right side of the house where the proposed deck will be located.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, #9, and #10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---------------------------------------------|----------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

EXISTING WINDOW
TO BE REMOVED



EXISTING WINDOW
TO BE REMOVED

EXISTING DOOR TO
BE REMOVED AND
INFILLED TO MATCH
EXISTING

EXISTING STAIRS
TO BE REMOVED

EXISTING WINDOWS
TO BE REMOVED

EXISTING DOOR
TO BE REMOVED
AND INFILLED TO
MATCH EXISTING



EXISTING STAIRS
TO BE REMOVED

EXISTING STAIRS
TO BE REMOVED

EXISTING DOOR TO
BE REMOVED AND
REPALCED WITH
WINDOWS

EXISTING STAIRS
TO BE REMOVED



EXISTING WINDOW
TO BE REMOVED

EXISTING WINDOW
TO BE REMOVED

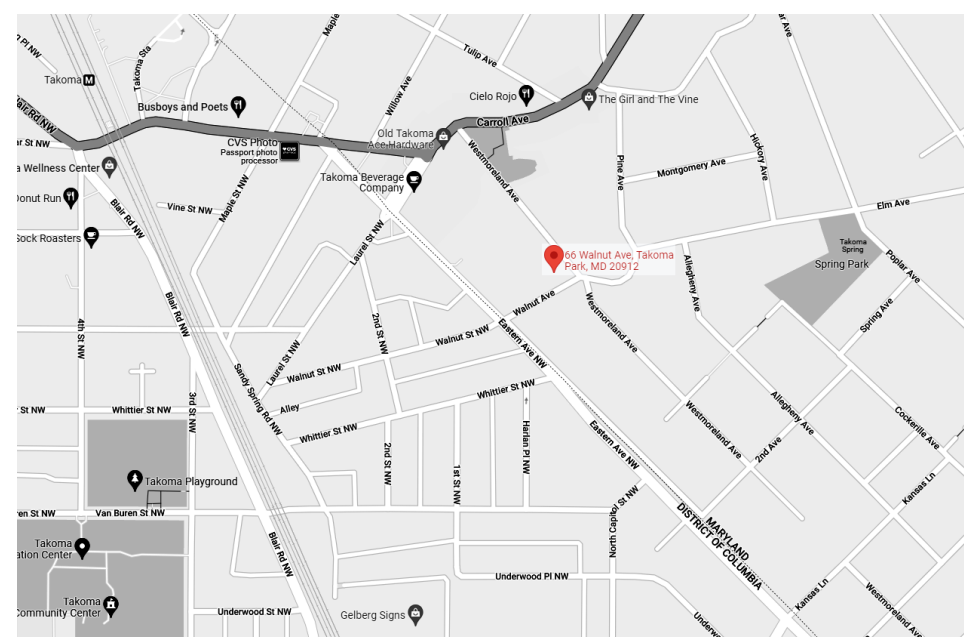
HENDRICKSON RESIDENCE

66 WALNUT AVE, TAKOMA PARK, MD 20912

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CODES OF THE GOVERNING AUTHORITY AND SPECIAL REQUIREMENTS OF THE BUILDING PERMIT.
2. VERIFY ALL LOCATIONS OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK AND VERIFY LOCATION WITH ARCHITECT.
 - 2.1. CONTACT MISS UTILITY OF MD PRIOR TO ANY EXCAVATION.
 - 2.2. DETERMINE LOCATION OF WATER METER, ELECTRIC AND GAS METER IN ACCORDANCE WITH SERVING UTILITY AND VERIFY LOCATION WITH ARCHITECT.
3. CONTRACTOR TO VERIFY ALL CONDITION AND DIMENSIONS IN THE FIELD. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO STARTING THE WORK AND CONTRACTOR SHALL MAKE AND ADD ALL CORRECTIONS NECESSARY DUE TO NEGLIGENT FIELD VERIFICATION AT HIS SOLE EXPENSE.
4. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISE CLEAR OF THE ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK AND AT THE COMPLETION OF THE WORK, SHALL REMOVE ALL RUBBUSH DEBRIS, EQUIPMENT, AND SURPLUS MATERIALS FROM IN AND AROUND THE BUILDING AND LEAVE THE WORK, "BROOM CLEAN."
5. ANY OMISSIONS AND CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH ANY OF THE WORK SO INVOLVED. ALL WORK IS TO BE COORDINATED SO THAT THE COOPERATION BETWEEN ALL TRADES, WHERE REQUIRED, IS ACCOMPLISHED.
6. PATCH AND REPAIR ALL SURFACES DISRUPTED OR DAMAGED DURING CONSTRUCTION TO EXACTLY MATCH EXISTING ADJACENT SURFACES.
7. ALL FIXTURE LOCATIONS TO BE VERIFIED WITH THE ARCHITECT AND/OR OWNER PRIOR TO FINISH OF FRAMING.
8. FIXTURE SUBSTITUTIONS TO BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO ORDERING.
9. VERIFY COMPATIBILITY OF MATERIALS CALLED OUT IN THESE DRAWINGS AND ALERT THE ARCHITECT TO ANY POTENTIAL CONFLICTS PRIOR TO INSTALLATION.
10. EUSTILUS ARCHITECTURE EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THE ATTACHED DRAWINGS LISTED. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED .

VICINITY MAP



PROJECT DATA

OWNER:	PETER DEVINE HENDRICKSON & NICHOLAS JORDAN ALLSOP
EXISTING:	SINGLE FAMILY DETACHED
PROPOSED:	SINGLE FAMILY DETACHED
PROJECT DESCRIPTION:	INTERIOR REMODEL OF A 2-STORY, DETACHED SINGLE-FAMILY RESIDENCE OVER A BASEMENT. PROPOSED REAR ADDITION AND DECK.
METHOD OF REMOVING CONSTRUCTION DEBRIS:	ROLL OUT DUMPSTER BIN

ZONING DATA

PARCEL / LOT / BLOCK:	0000 / 23 / A	
ZONE:	R-60	
USE GROUP:	R-3	
CONSTRUCTION TYPE:	VB	
STORIES:	EXISTING	PROPOSED
LOT SIZE:	2 + BASEMENT	NO CHANGE
GROSS SF:	5,308 SF	NO CHANGE
BASEMENT:	890 SF	890 SF
ABOVE GRADE:	1918 SF	1922 SF
ADDITION:	N/A	5 SF
ALTERATION:		
DECK:	N/A	207 SF
INTERIOR WORK:	N/A	1,200 SF

APPLICABLE CODES

INTERNATIONAL RESIDENTIAL CODE (IRC) 2018

FIRE RATING DATA

FIRE ALARM:	NO
SPRINKLER:	NO
FIRE DETECTION:	HARDWIRED, INTERCONNECTED SMOKE / CO2 DETECTORS W/ BATTERY BACK-UP
ACCESSIBILITY:	NO

PROJECT TEAM

ARCHITECT
 EUSTILUS LLC
 ERIC TERAN
 2800 N. ROSSER ST
 ALEXANDRIA, VA 22311
 202-569-9620
 ETERAN@EUSTILUS.COM

STRUCTURAL ENGINEER:
 ICI STRUCTURES, PLLC
 VALENTIN IORDACHE, PE
 4395 EMBASSY PARK DR
 WASHINGTON DC 20016
 202-459-3439
 VALENTIN@ICISTRUCURES.COM

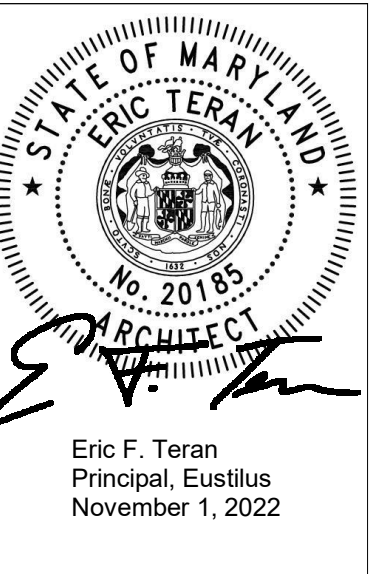
SHEET INDEX

SHEET #	SHEET NAME	REV. 01	REV. 02	REV. 03
001	COVER			
D001	EX. CONDITION & DEMO PLANS			
D002	EXISTING & DEMO ELEVATIONS			
A050	SITE PLAN			
A100	BASEMENT			
A101	FLOOR PLAN			
A102	FLOOR PLAN			
A103	ROOF PLAN			
A200	PROPOSED ELEVATIONS			
A201	PROPOSED ELEVATIONS			
A300	BUILDING SECTIONS			
A301	BUILDING SECTIONS			
A400	EXTERIOR DETAILS			
A401	EXTERIOR DETAILS			
A402	EXTERIOR DETAILS			
A403	INTERIOR DETAILS			
A500	DOOR & WIN SCHEDULE			
S000	GEN NOTES			
S100	FOUND PLAN			
S110	FIRST FLOOR FRMG PLAN			
S120	SECOND FLOOR FRMG PLAN			
S130	ROOF FRMG PLAN			
S200	FRMG DETAILS			
E001	COVER			
E100	ELECTRICAL PLAN			
E101	ELECTRICAL PLAN			

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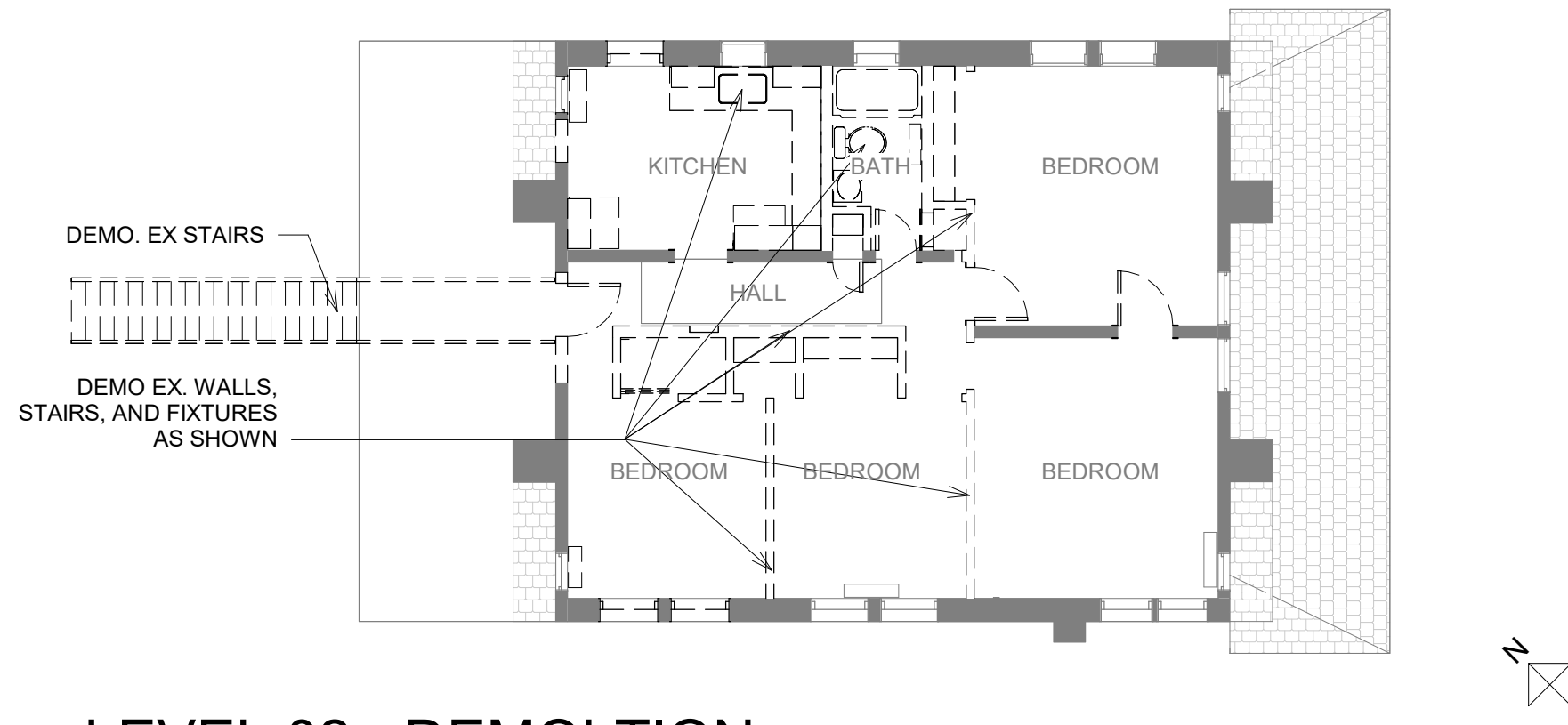


Eric F. Teran
 Principal, Eustilus
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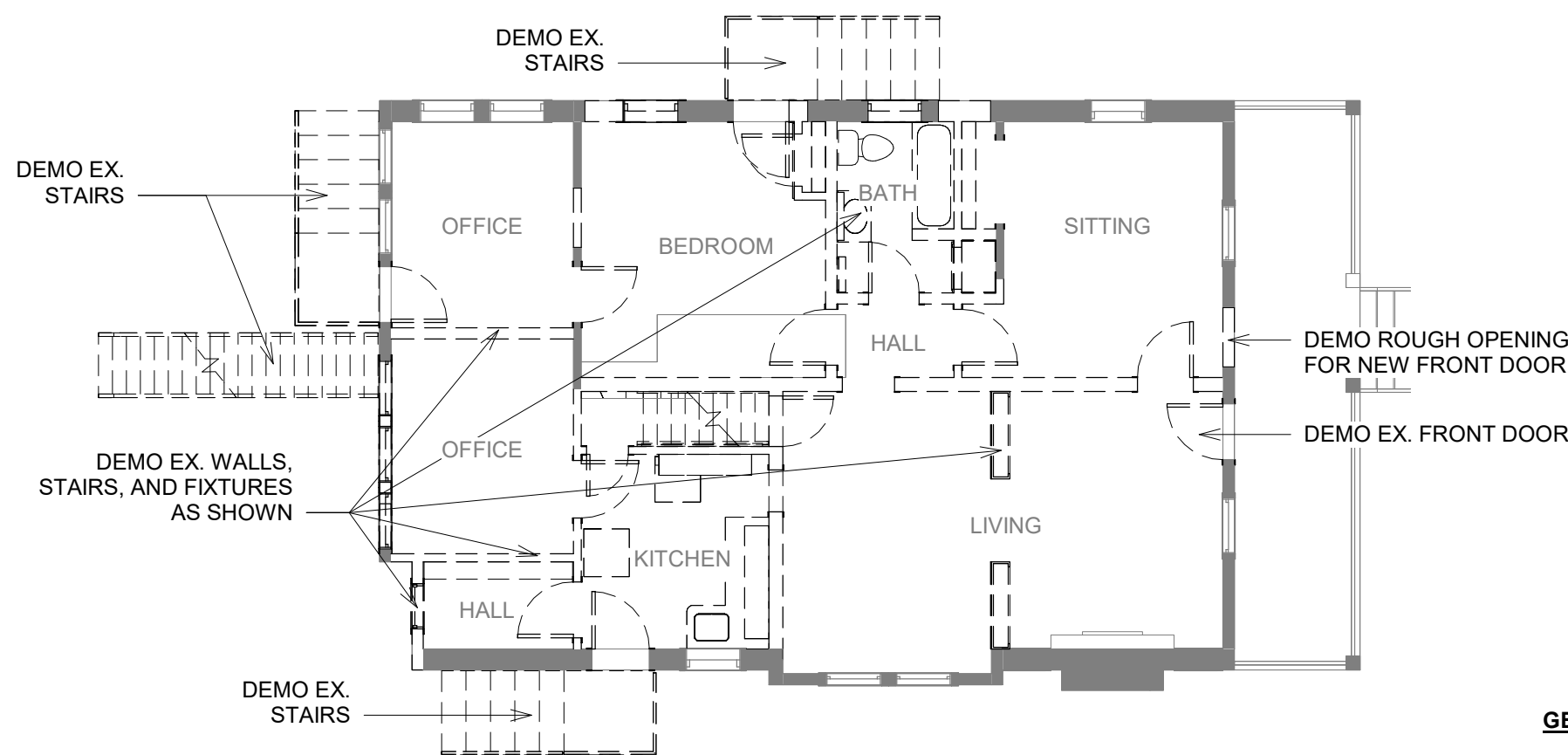
#	Description	Date
Project:	3.22.07	
Date:	1.12.2023	

001
COVER



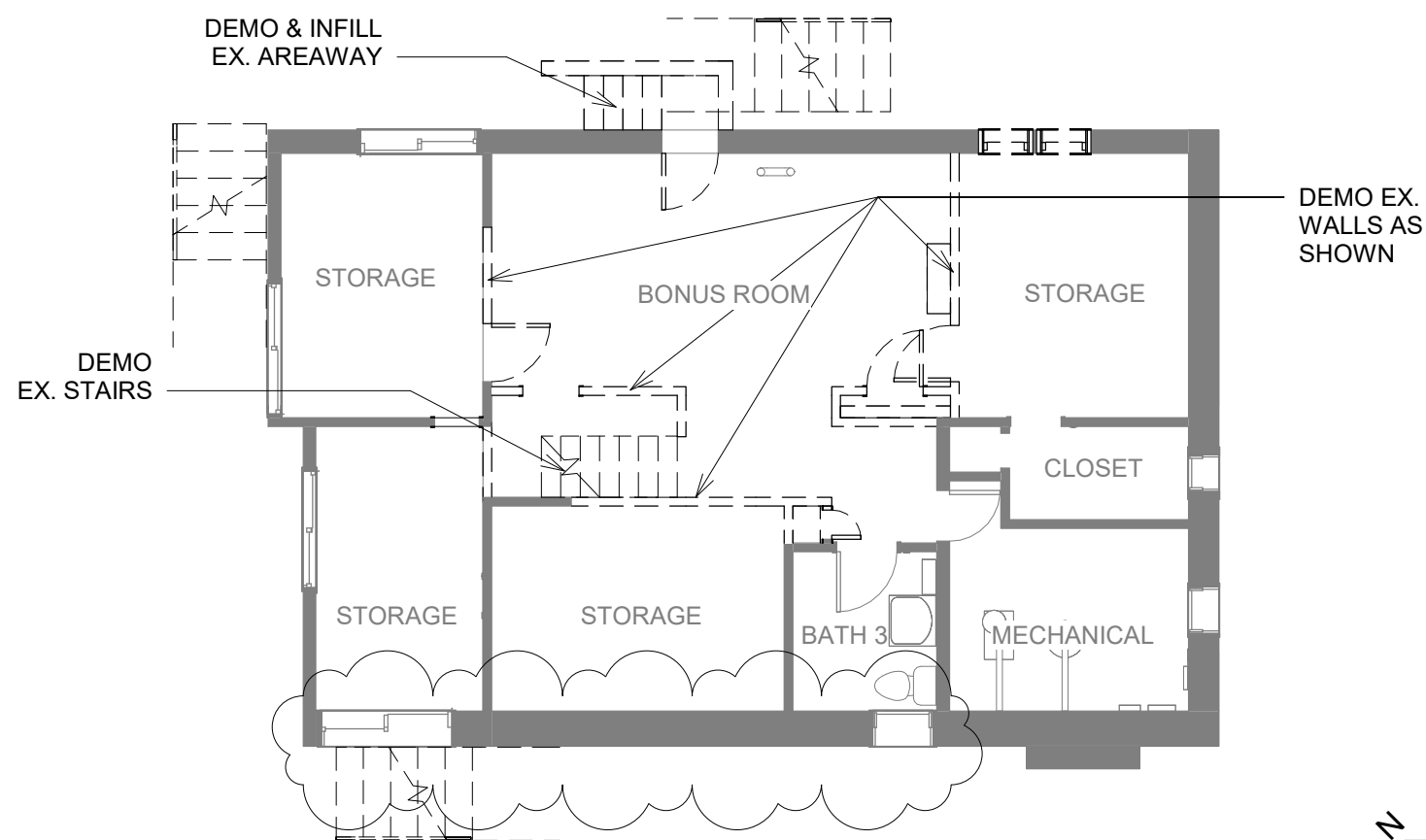
2 LEVEL 02 - DEMOLITION

1/8" = 1'-0"



1 LEVEL 01 - DEMOLITION

1/8" = 1'-0"



3 LEVEL B1 - DEMOLITION

1/8" = 1'-0"

GENERAL DEMO NOTES

1. FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.
2. ALL WALLS, DOORS, FRAMES, ETC. SHOWN DASHED SHALL BE REMOVED COMPLETELY, UNLESS NOTED OTHERWISE.
3. WALLS TO BE REMOVED SHALL BE REMOVED FROM FLOOR TO STRUCTURE ABOVE. REMOVAL SHALL INCLUDE ALL ARCHITECTURAL, MECHANICAL, & ELECTRICAL ACCESSORIES, EQUIPMENT, ETC.
4. WHERE AN EXISTING DOOR IS INDICATED FOR REMOVAL THE DOOR FRAME SHALL ALSO BE REMOVED UNLESS OTHERWISE NOTED. SALVAGE ALL DOORS AND TRIM.
5. DEMOLITION OF FINISHES INCLUDES REMOVAL OF ADHESIVES, GROUTING BEDS, ETC. AND REQUIRES REMAINING SURFACES TO BE PREPARED FOR NEW CONSTRUCTION. ALL PATCHING SHALL BE FLUSH WITH SURROUNDING SURFACES AND LEVEL WITHIN TOLERANCES SPECIFIED FOR THE SPECIFIC MATERIAL. IF MATERIAL IS NOT SPECIFIED, MAINTAIN EXISTING PLANES WITHIN 1/8" IN 10 FEET, NON-CUMULATIVE.
6. THE ITEMS IDENTIFIED TO BE REMOVED REPRESENT THE MAJOR ITEMS ONLY. MINOR ITEMS, THAT REQUIRE REMOVAL TO COMPLETE THE WORK, SHALL ALSO BE REMOVED

KEY:

- INDICATES WALL TO BE REMOVED
- INDICATES EXIST. WALL TO REMAIN

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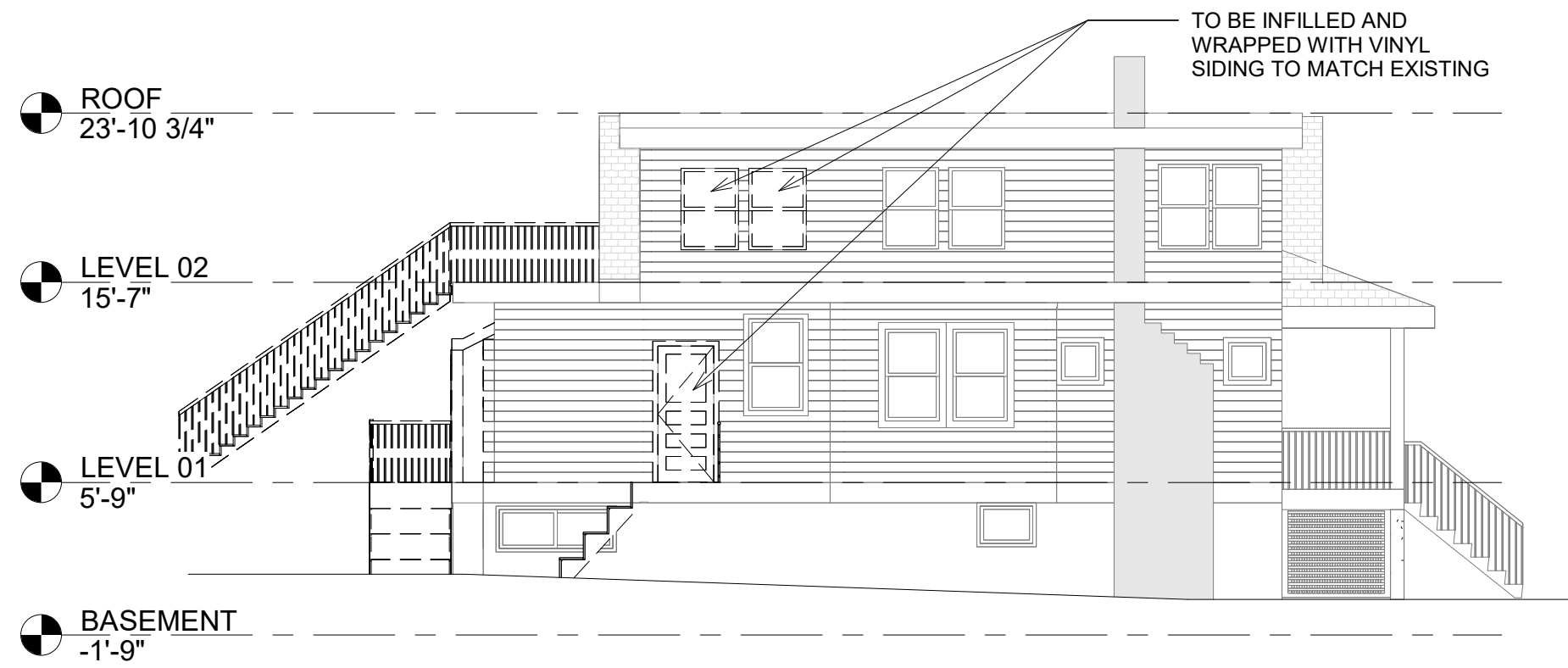
Eric F. Teran
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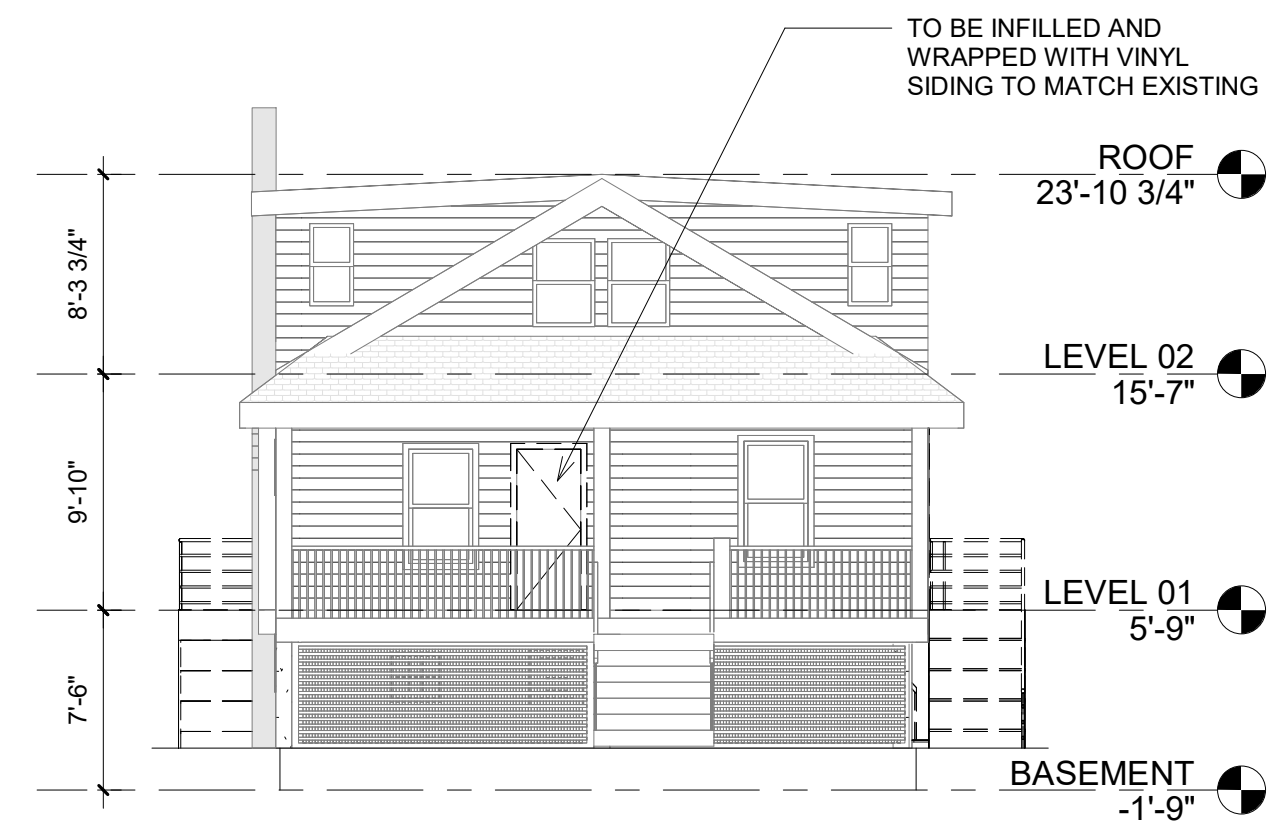
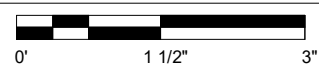
#	Description	Date
2		

Project: 3.22.07
Date: 1.12.2023

D001
EX.
CONDITION &
DEMO PLANS



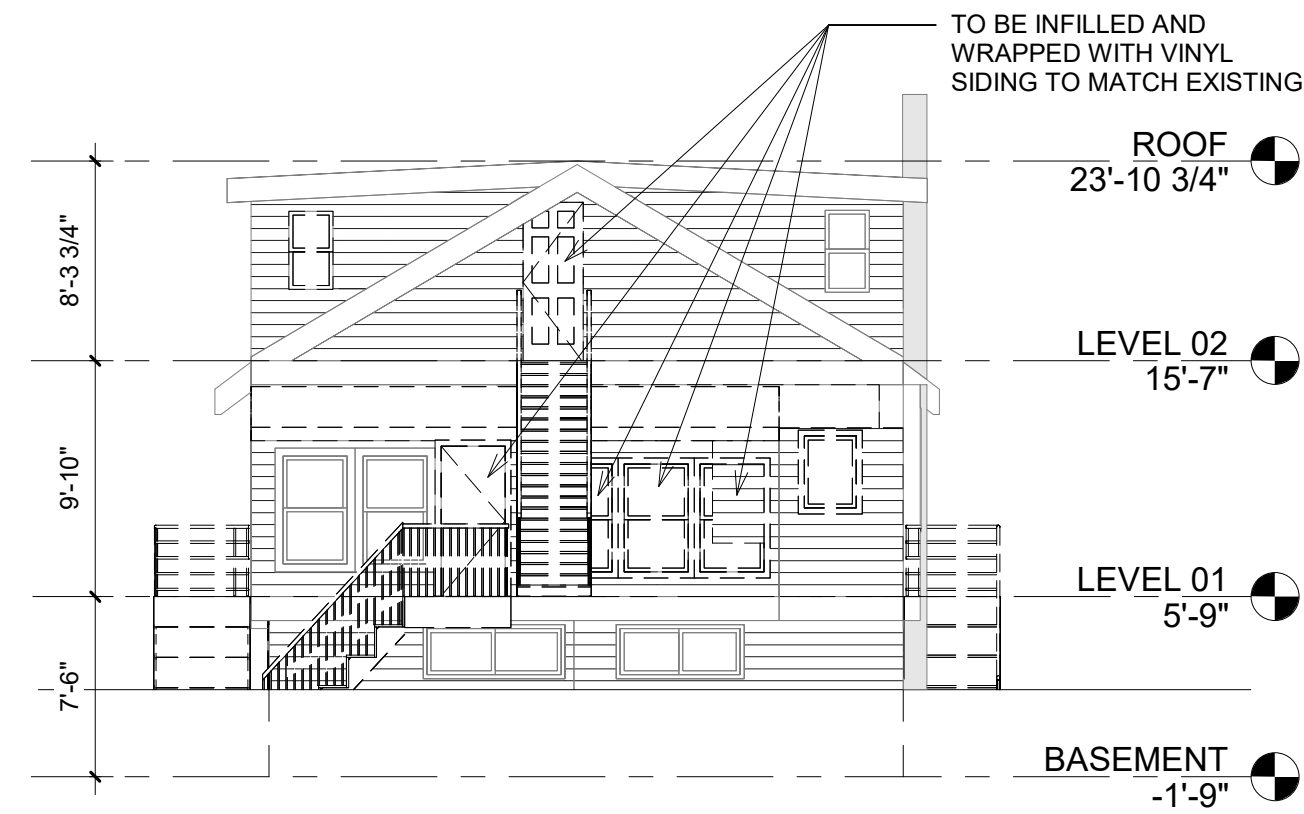
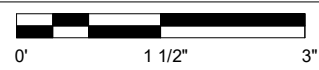
3 SOUTH ELEVATION - EXISTING
1/8" = 1'-0"



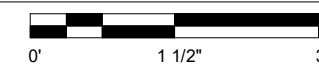
1 EAST ELEVATION - EXISTING
1/8" = 1'-0"



4 NORTH ELEVATION - EXISTING
1/8" = 1'-0"



2 WEST ELEVATION - EXISTING
1/8" = 1'-0"



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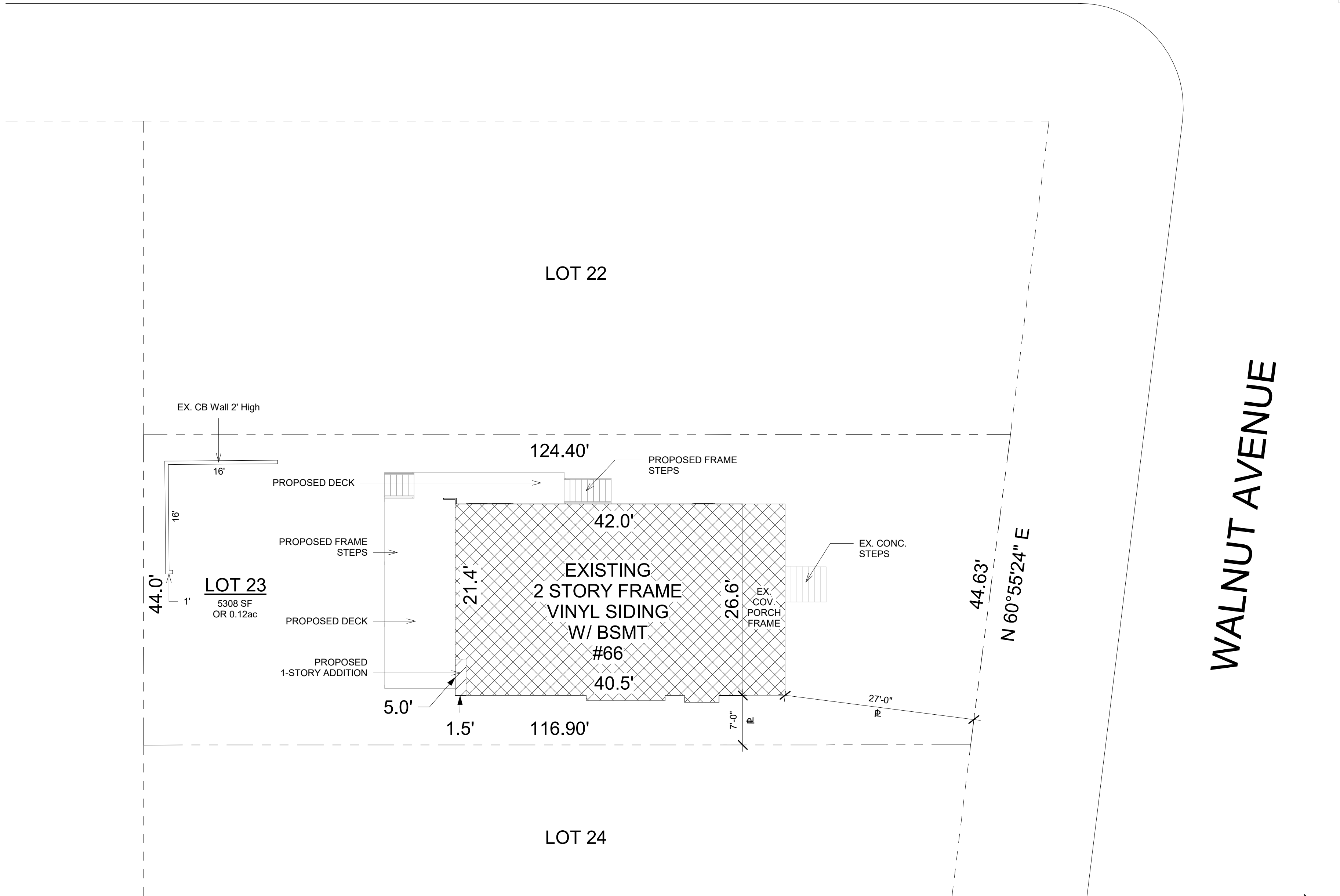
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#	Description	Date
Project:	3.22.07	
Date:	1.12.2023	

D002
**EXISTING &
DEMO
ELEVATIONS**

WESTMORELAND AVENUE

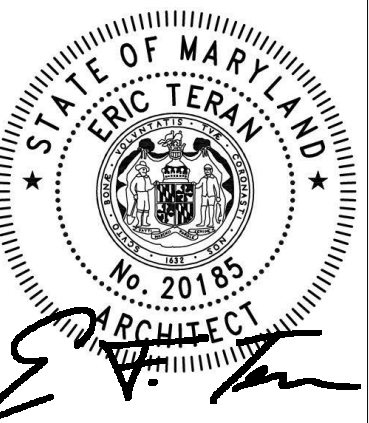


WALNUT AVENUE

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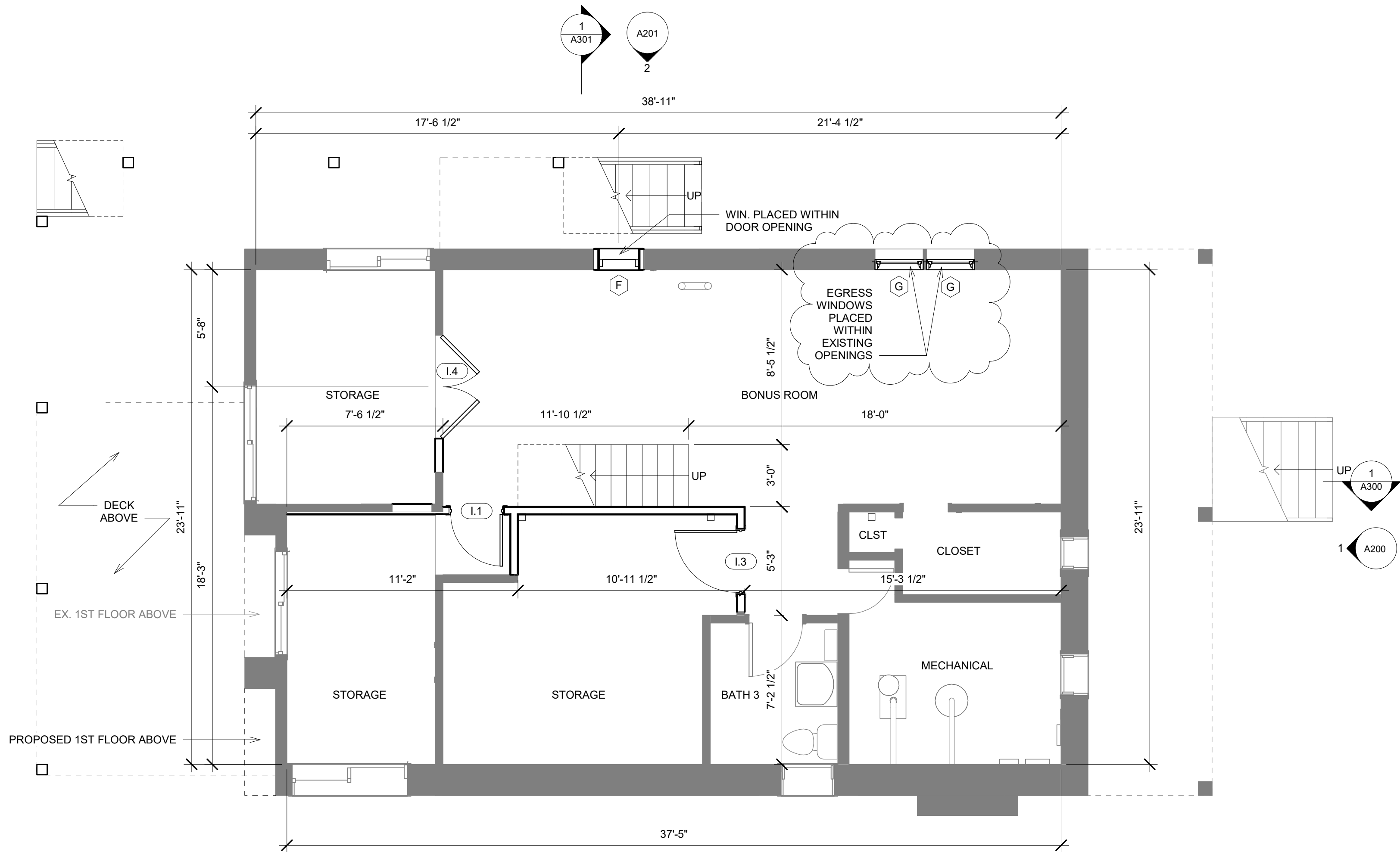
**HENDRICKSON
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 66 WALNUT AVE.
 TAKOMA PARK, MD 20912

#	Description	Date

Project: 3.22.07
 Date: 1.12.2023

**A050
 SITE PLAN**

1 SITE PLAN
 1" = 10'-0"
 0' 1 1/2" 3"



1 BASEMENT
 1/4" = 1'-0"
 0' 1 1/2' 3'

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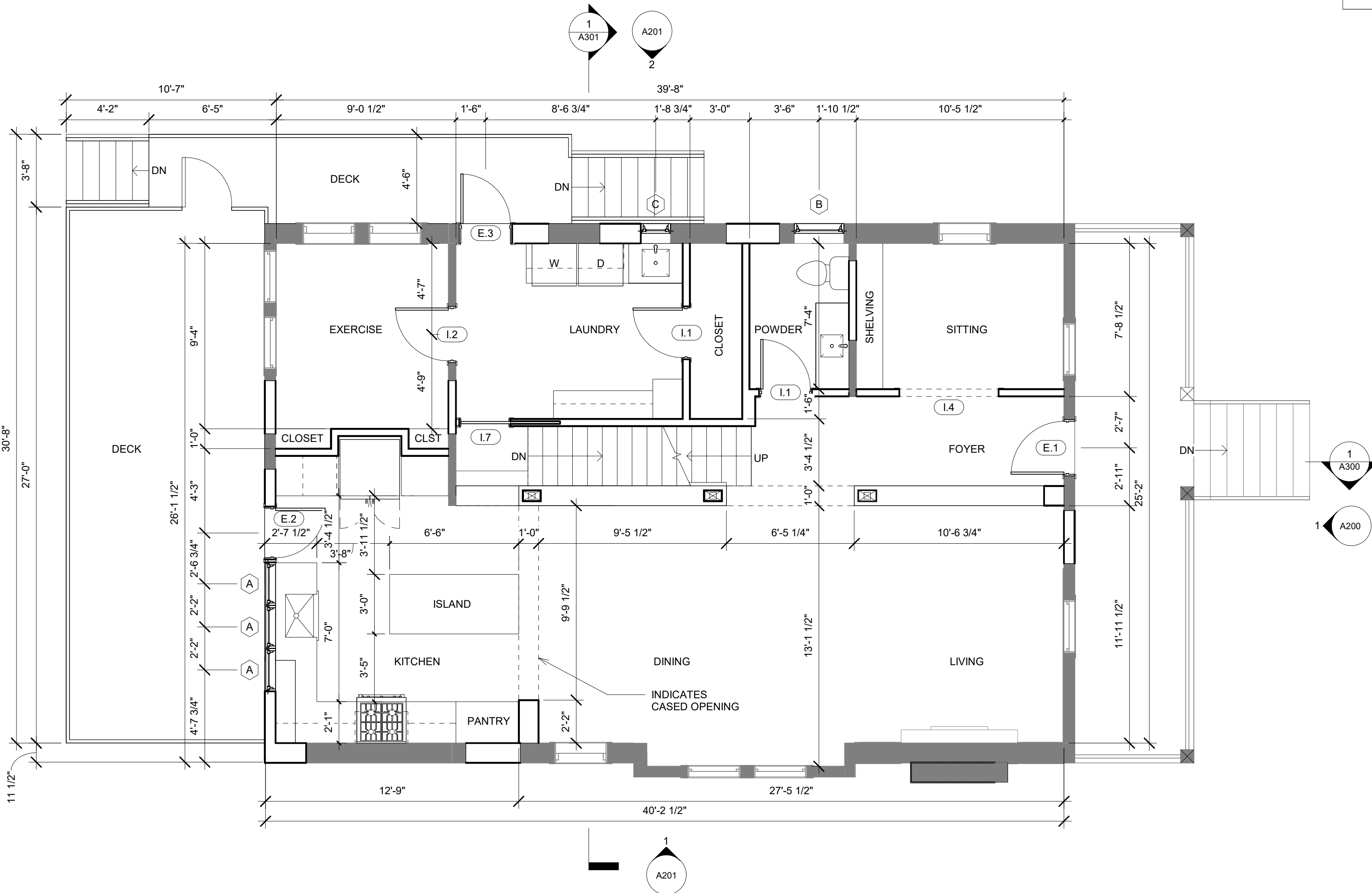


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 TAKOMA PARK, MD 20912

#	Description	Date
2		
Project:		3.22.07
Date:		1.12.2023

**A100
 BASEMENT**



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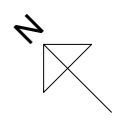
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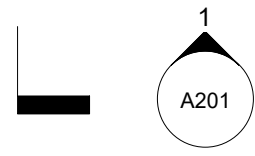
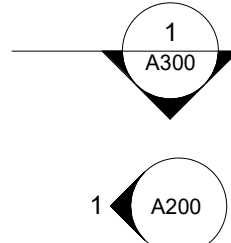
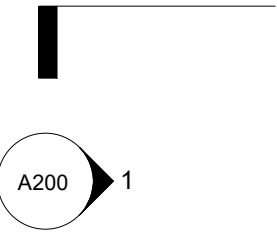
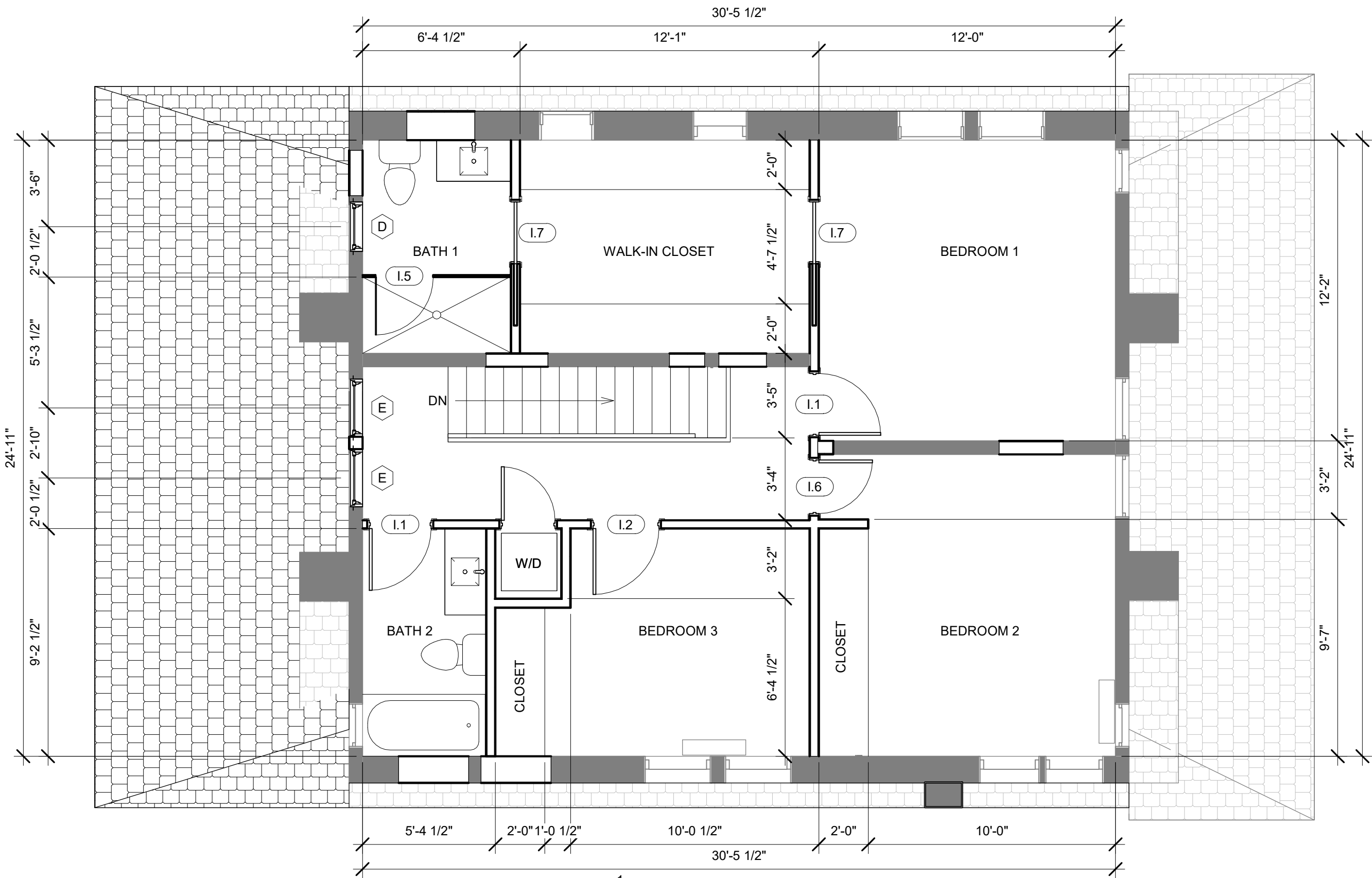
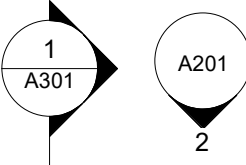
**HENDRICKSON
RESIDENCE**
66 WALNUT AVE.
TAKOMA PARK, MD 20912

#	Description	Date
Project:	3.22.07	
Date	1.12.2023	

**A101
FLOOR PLAN**

1 LEVEL 01
1/4" = 1'-0"
0' 1 1/2" 3'





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 November 1, 2022

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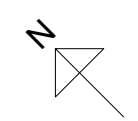
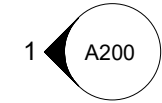
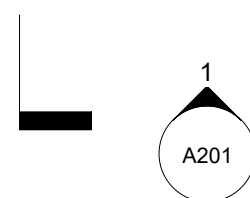
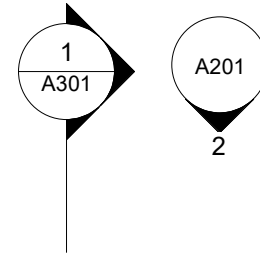
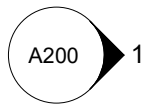
#	Description	Date
Project:	3.22.07	
Date	1.12.2023	

**A102
 FLOOR PLAN**

1 LEVEL 02
 1/4" = 1'-0"
 0' 1 1/2" 3'

1 ROOF

1/4" = 1'-0"



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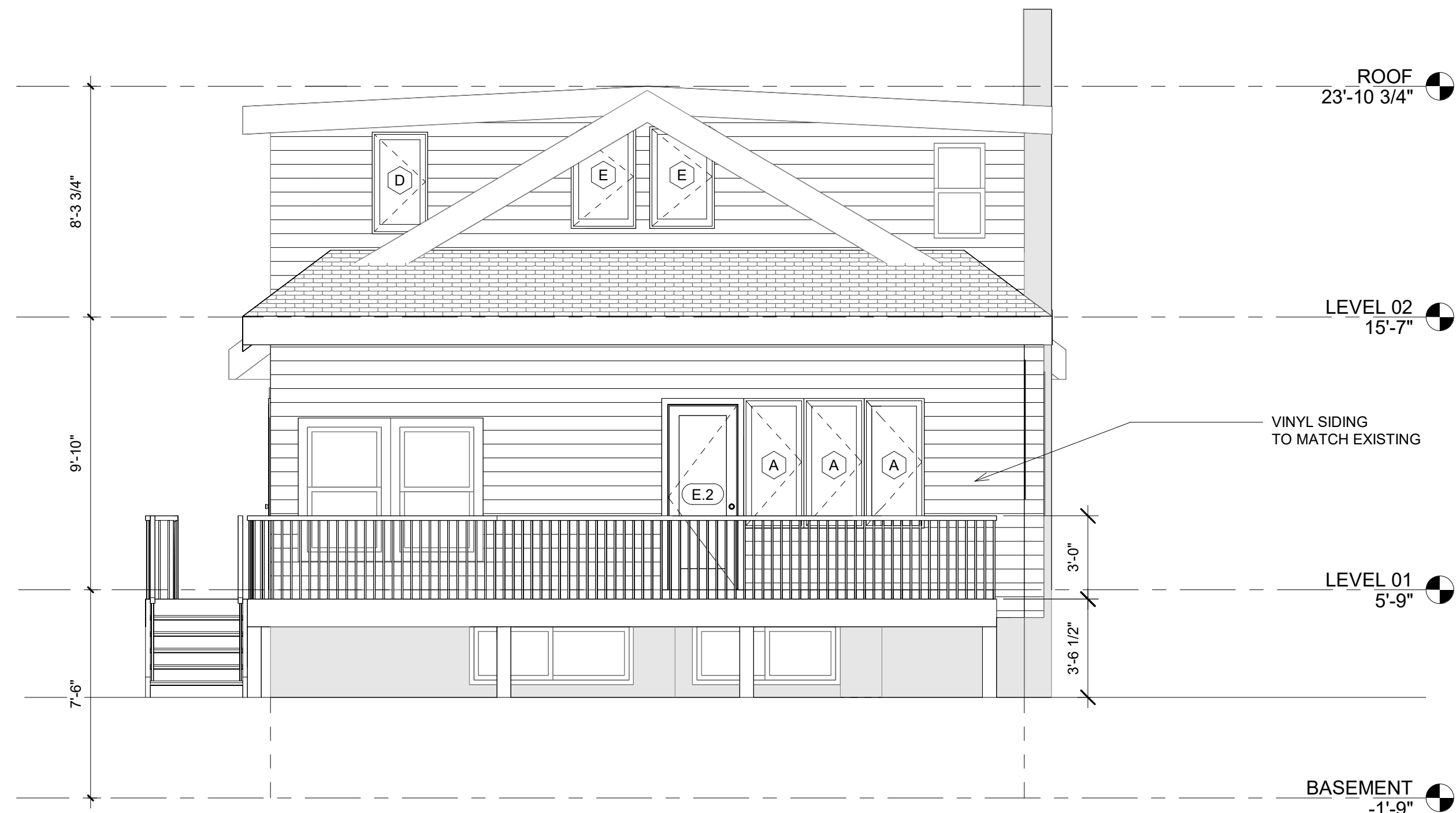
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 TAKOMA PARK, MD 20912

#	Description	Date
Project:		3.22.07
Date:		1.12.2023

**A103
 ROOF PLAN**



2 EAST ELEVATION - PROPOSED
 1/4" = 1'-0"



1 WEST ELEVATION - PROPOSED
 1/4" = 1'-0"

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 66 WALNUT AVE.
 TAKOMA PARK, MD 20912

#	Description	Date

Project: 3.22.07
 Date: 1.12.2023

A200
PROPOSED
ELEVATIONS

ROOF
23'-10 3/4"

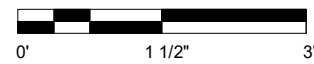
LEVEL 02
15'-7"

LEVEL 01
5'-9"

BASEMENT
-1'-9"

1 SOUTH ELEVATION - PROPOSED

1/4" = 1'-0"



ROOF
23'-10 3/4"

LEVEL 02
15'-7"

LEVEL 01
5'-9"

BASEMENT
-1'-9"

2 NORTH ELEVATION - PROPOSED

1/4" = 1'-0"



3'-0"
3'-6 1/2"

2'-1"
ADDITION

3'-0"
3'-6 1/2"

EGRESS
WINDOWS
3'-2"
WINDOW OPENING HEIGHT

G
G

B

C

E.3

F

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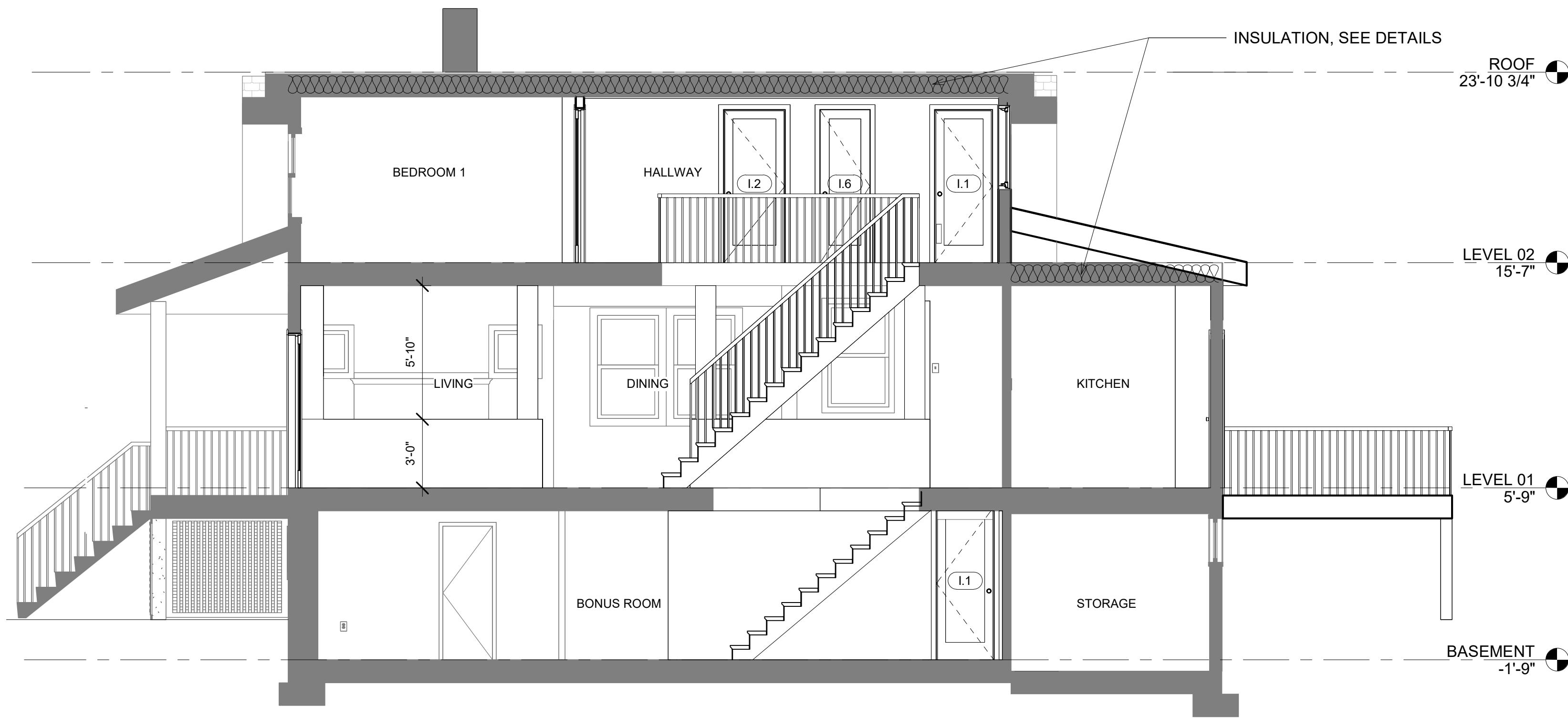


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TAKOMA PARK, MD 20912

#	Description	Date
2		
Project:		3.22.07
Date:		1.12.2023

**A201
PROPOSED
ELEVATIONS**



1 WEST - EAST SECTION
 1/4" = 1'-0"
 0' 1 1/2' 3'

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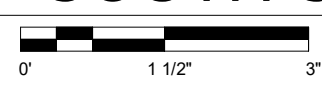
#	Description	Date

Project: 3.22.07
 Date: 1.12.2023

**A300
 BUILDING
 SECTIONS**



1 NORTH - SOUTH SECTION
 1/4" = 1'-0"



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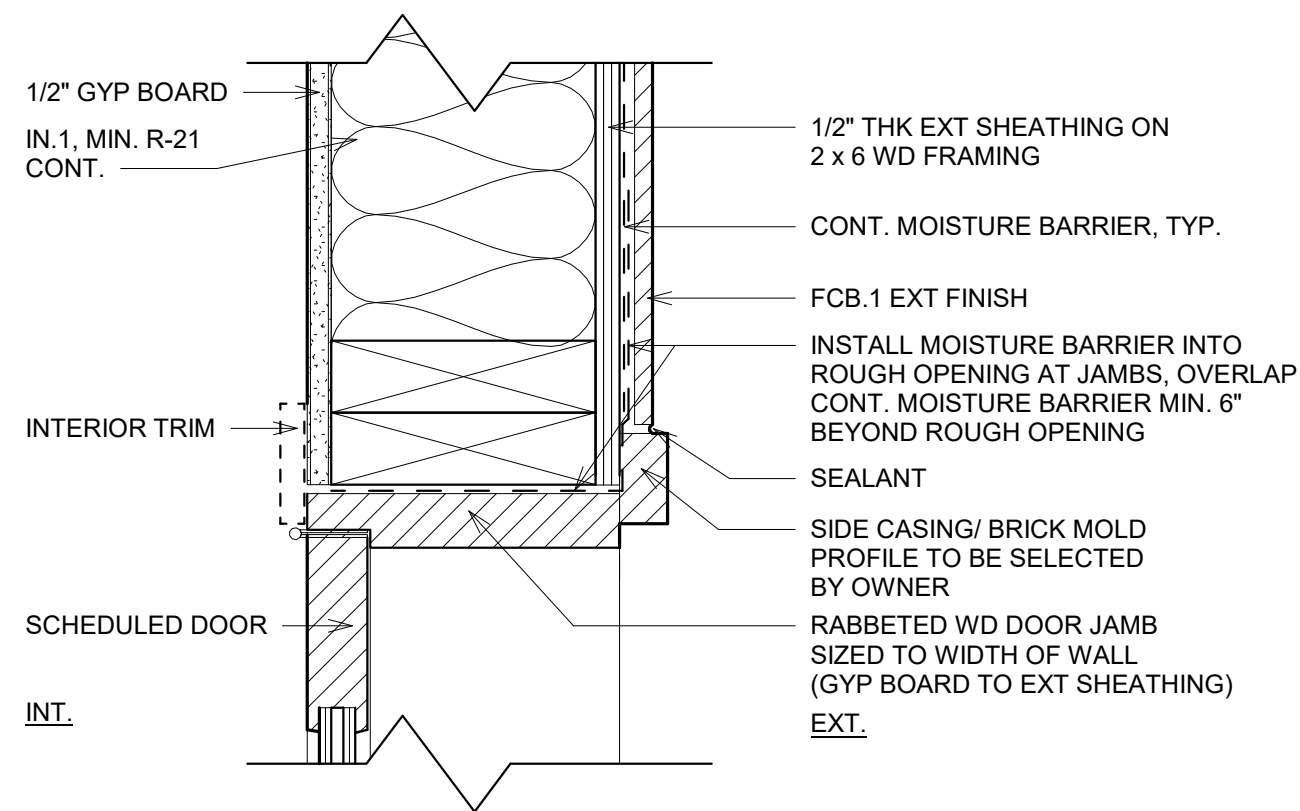


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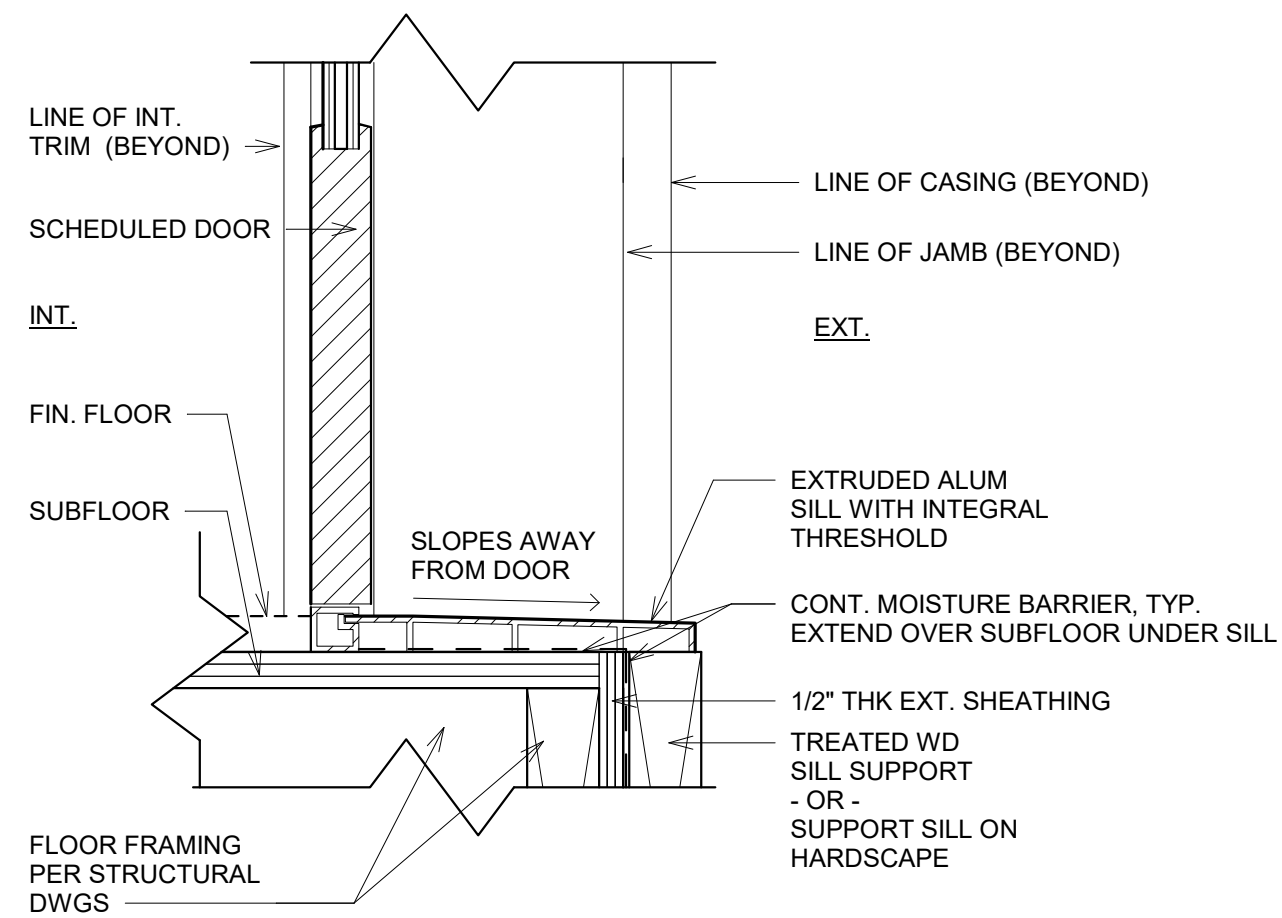
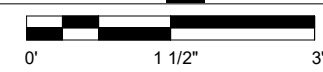
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#	Description	Date
Project:	3.22.07	
Date	1.12.2023	

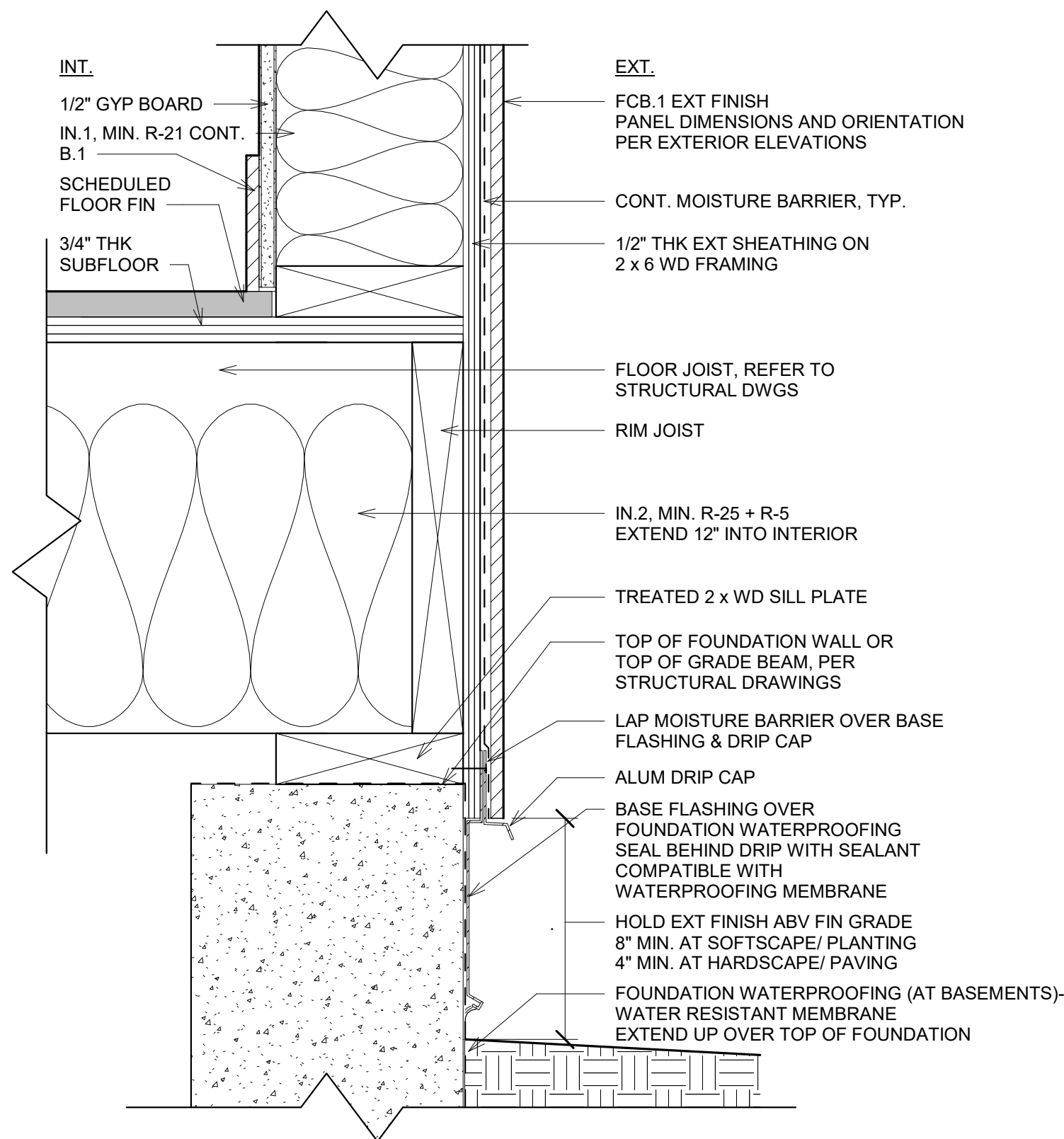
A301
BUILDING
SECTIONS



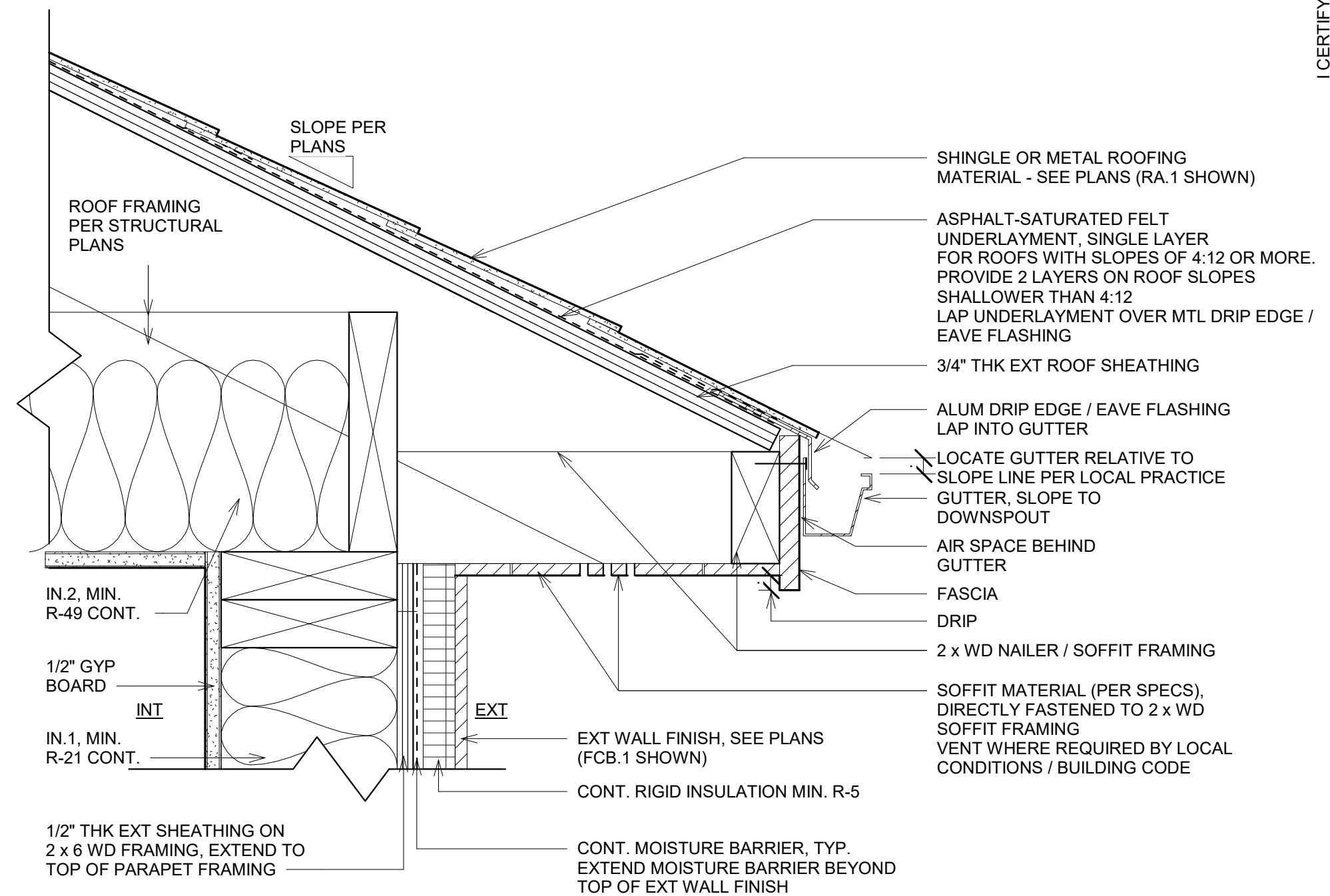
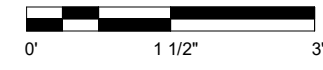
4 DOOR_JAMB_FCB
3" = 1'-0"



3 DOOR_SILL_TYP
3" = 1'-0"



2 WALL_GRADE_FCB
3" = 1'-0"



1 ROOF_OVERHANG_SHINGLE FLAT SOFFIT
3" = 1'-0"



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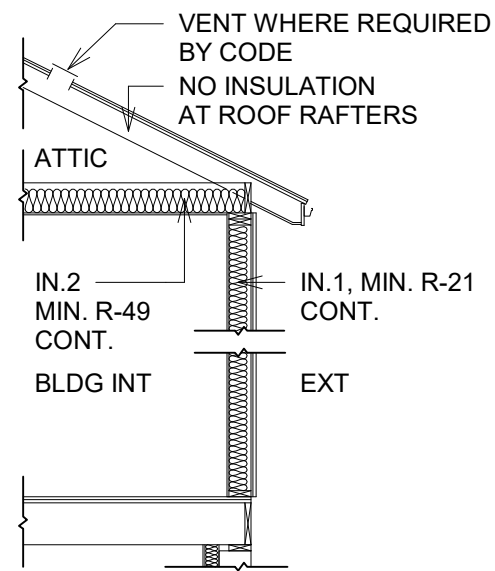
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#	Description	Date

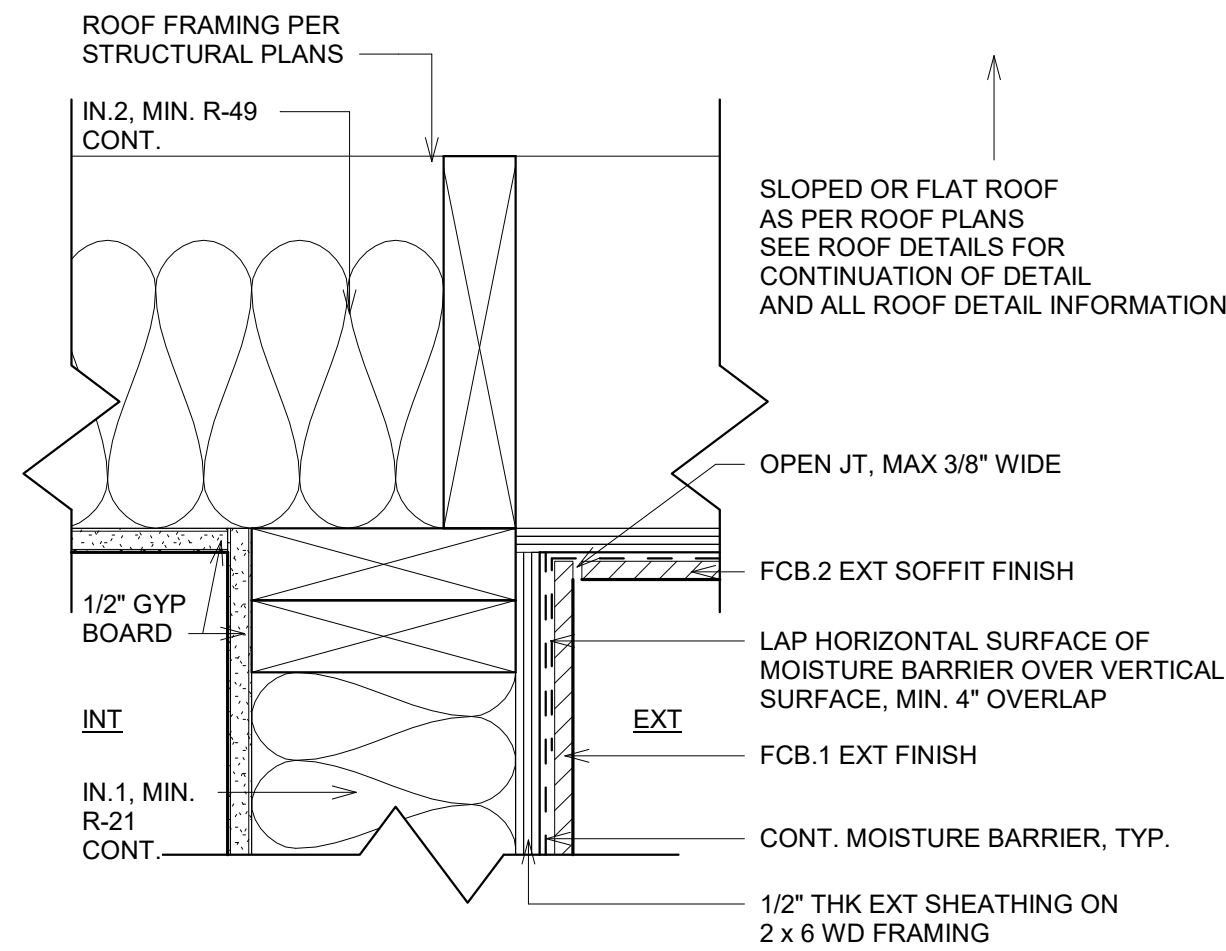
Project: 3.22.07
Date: 1.12.2023

**A400
EXTERIOR
DETAILS**



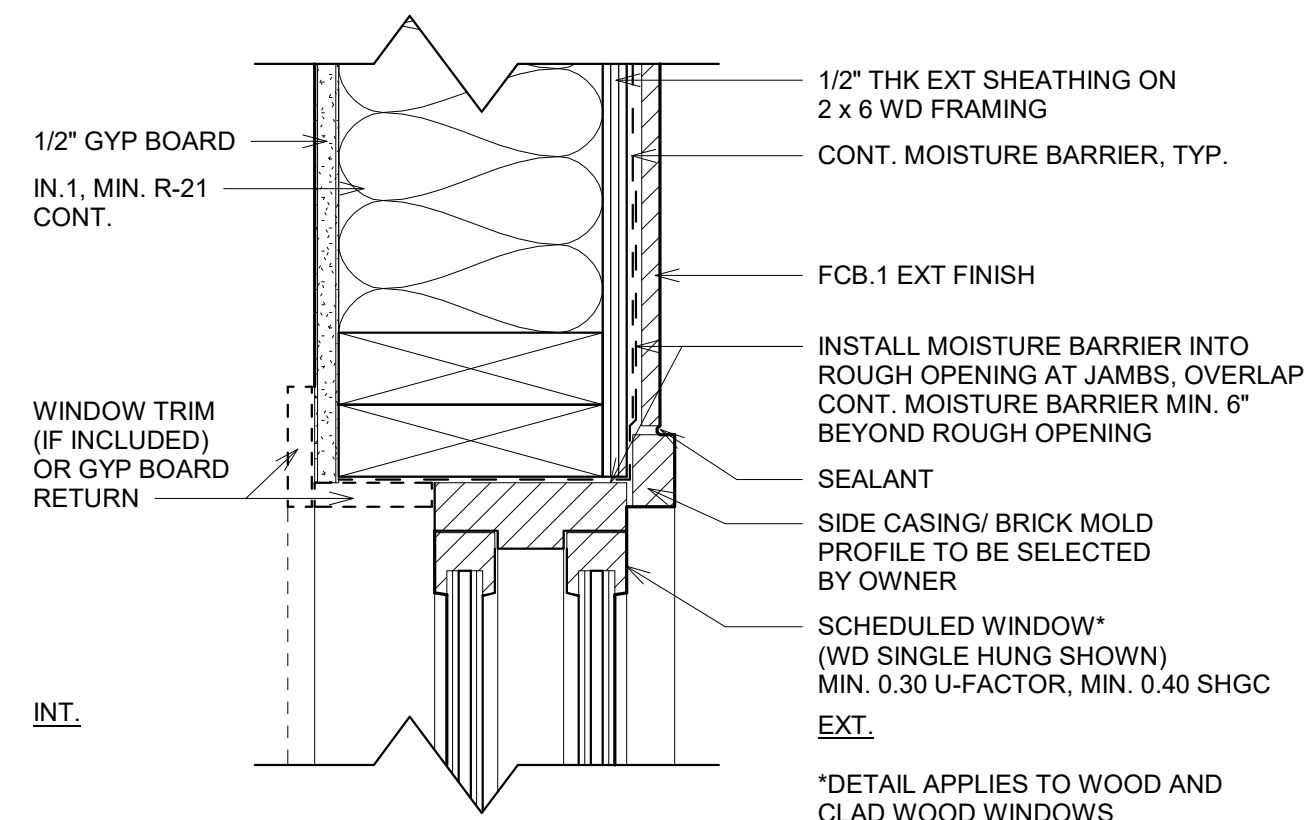
5 ROOF ATTIC INSULATION

1/4" = 1'-0"
0' 1 1/2" 3'



6 WALL HEAD TO SOFFIT FCB

3" = 1'-0"
0' 1 1/2" 3'

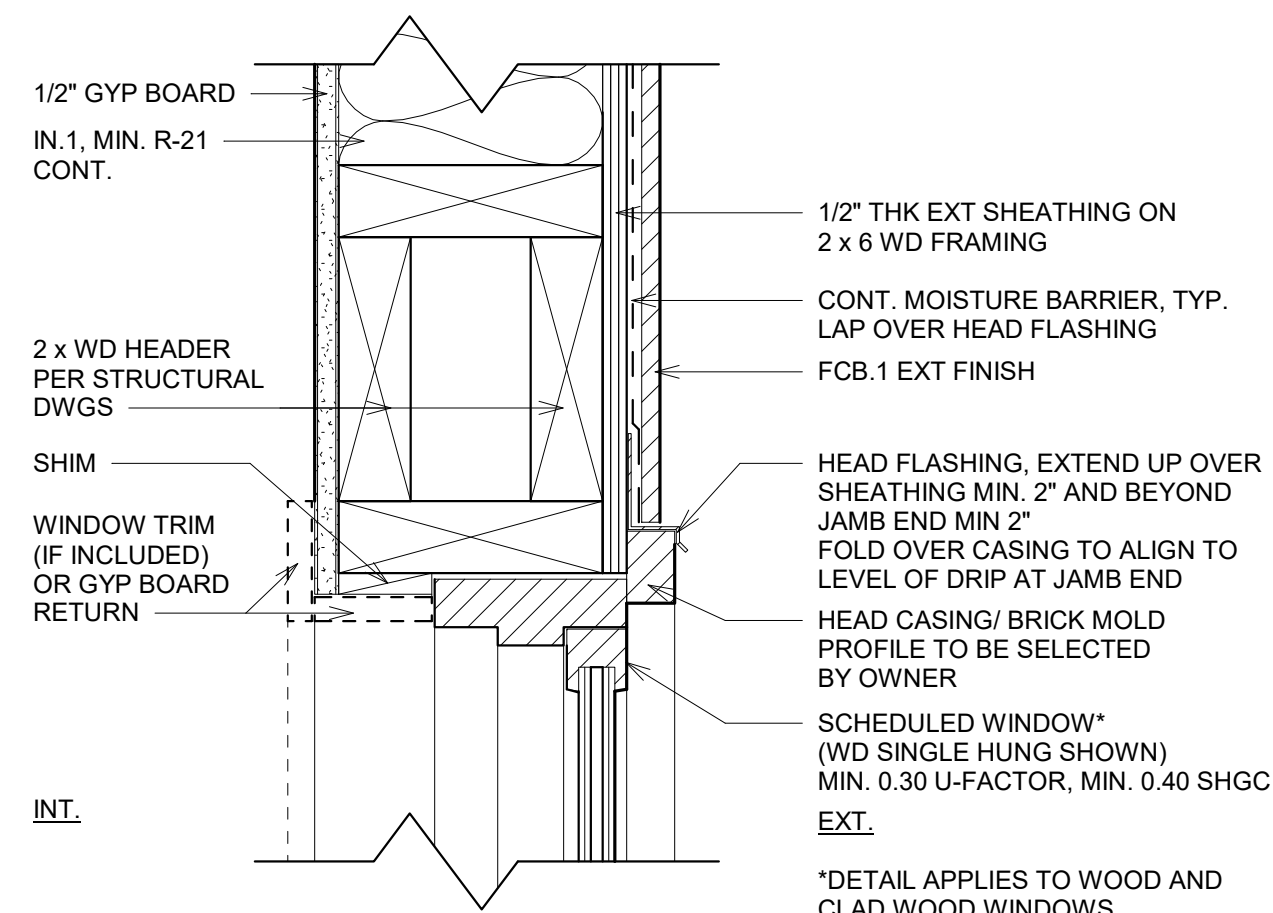


3 WINDOW-WD JAMB FCB

3" = 1'-0"
0' 1 1/2" 3'

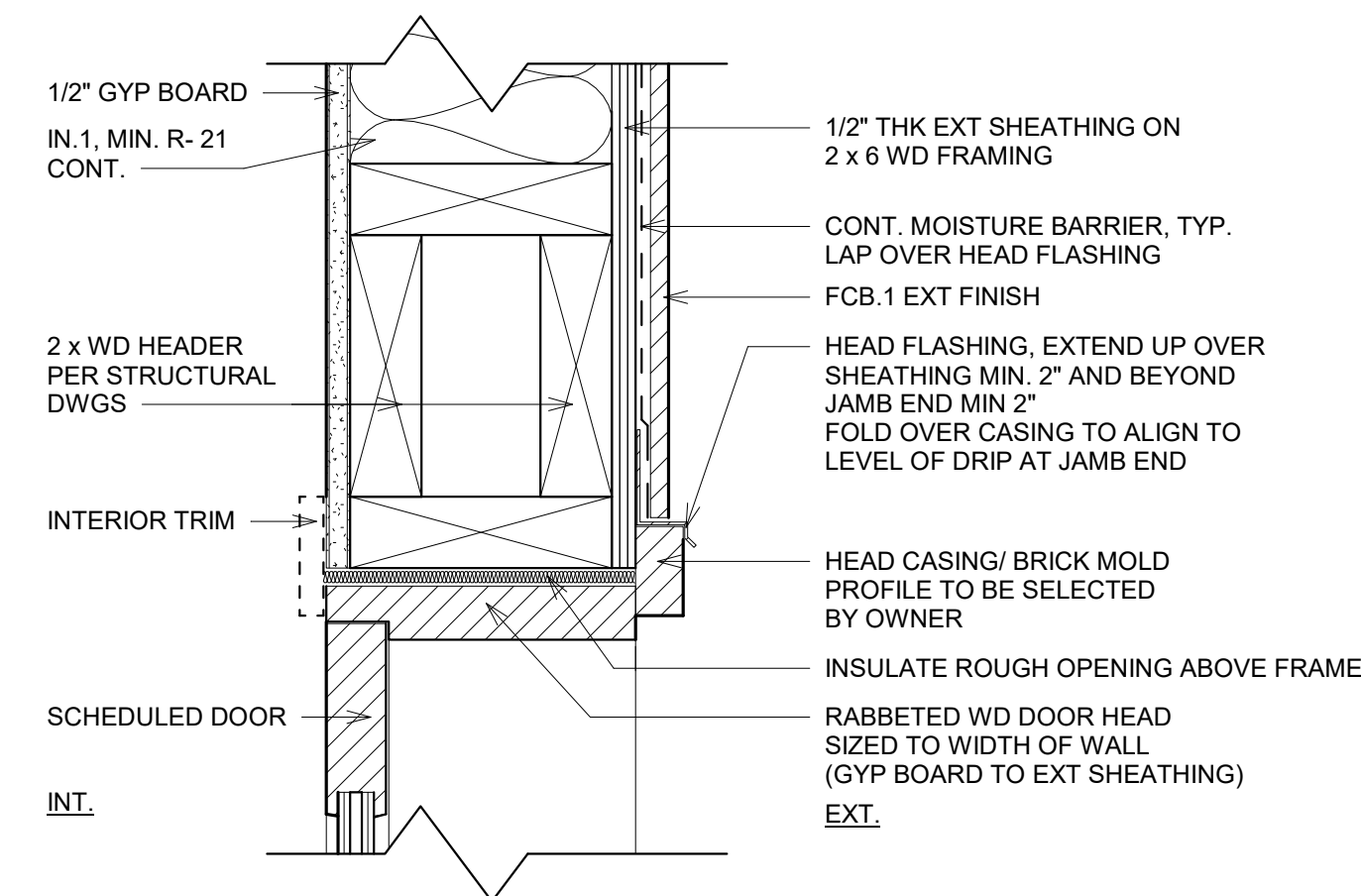
4 WINDOW-WD SILL FCB

3" = 1'-0"
0' 1 1/2" 3'



2 WINDOW-WD HEAD FCB

3" = 1'-0"
0' 1 1/2" 3'



1 DOOR HEAD FCB

3" = 1'-0"
0' 1 1/2" 3'

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November 1, 2022

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#	Description	Date
Project:		3.22.07
Date		1.12.2023

**A401
EXTERIOR
DETAILS**

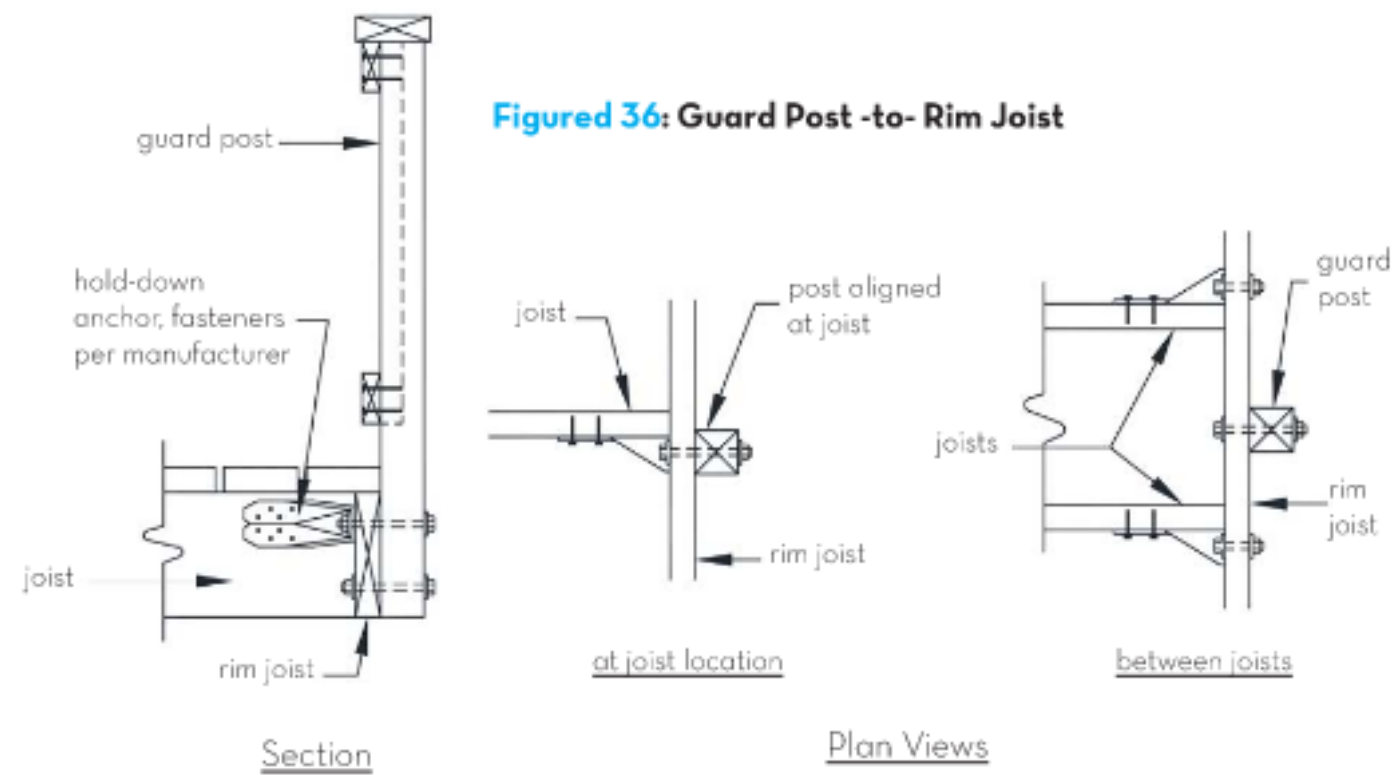


Figure 36: Guard Post -to- Rim Joist

¹Guards can be attached to either side of the rim

3 GUARD POST TO RIM JOIST

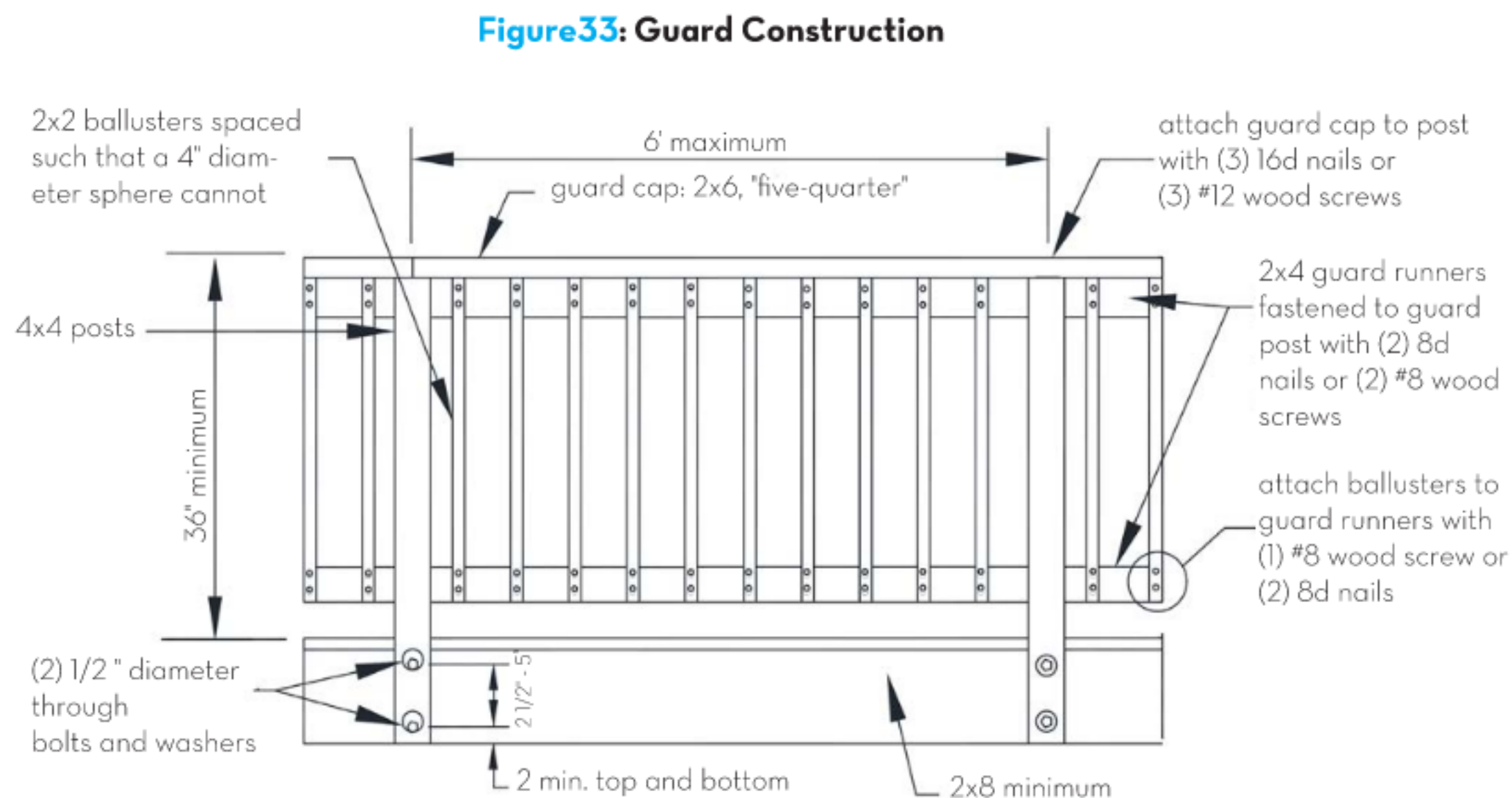


Figure 33: Guard Construction

2 GUARD RAIL CONSTRUCTION

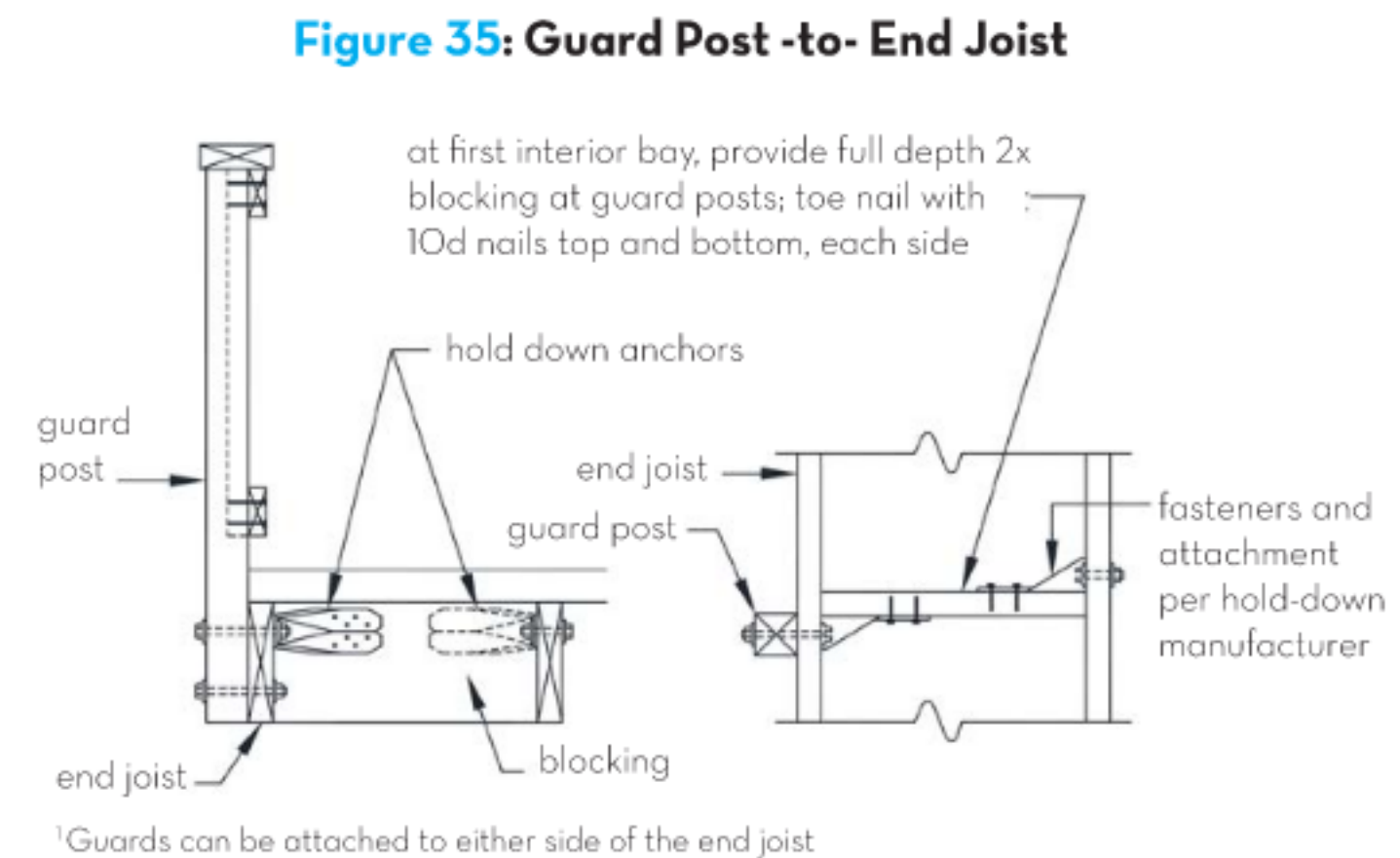


Figure 35: Guard Post -to- End Joist

¹Guards can be attached to either side of the end joist

1 GUARD POST TO END JOIST

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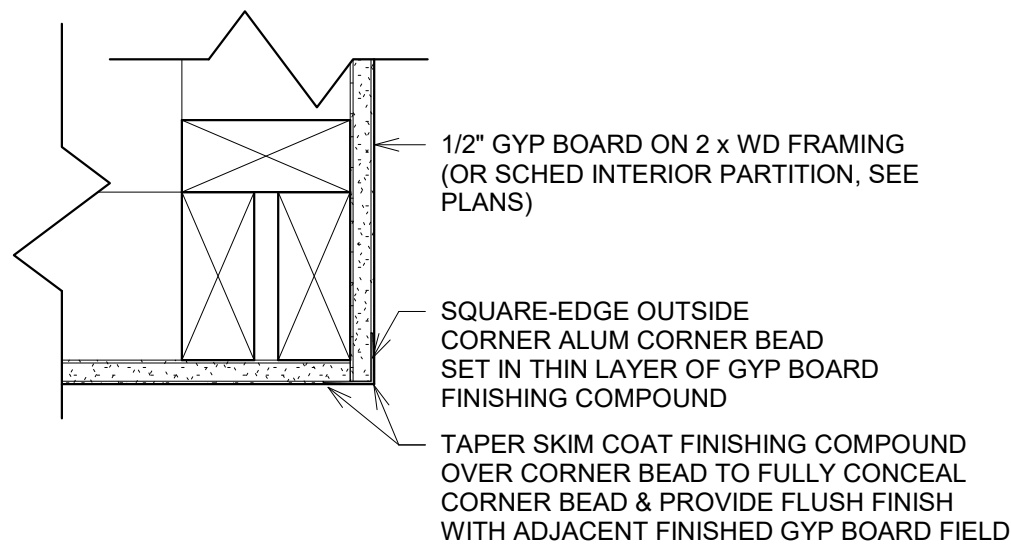


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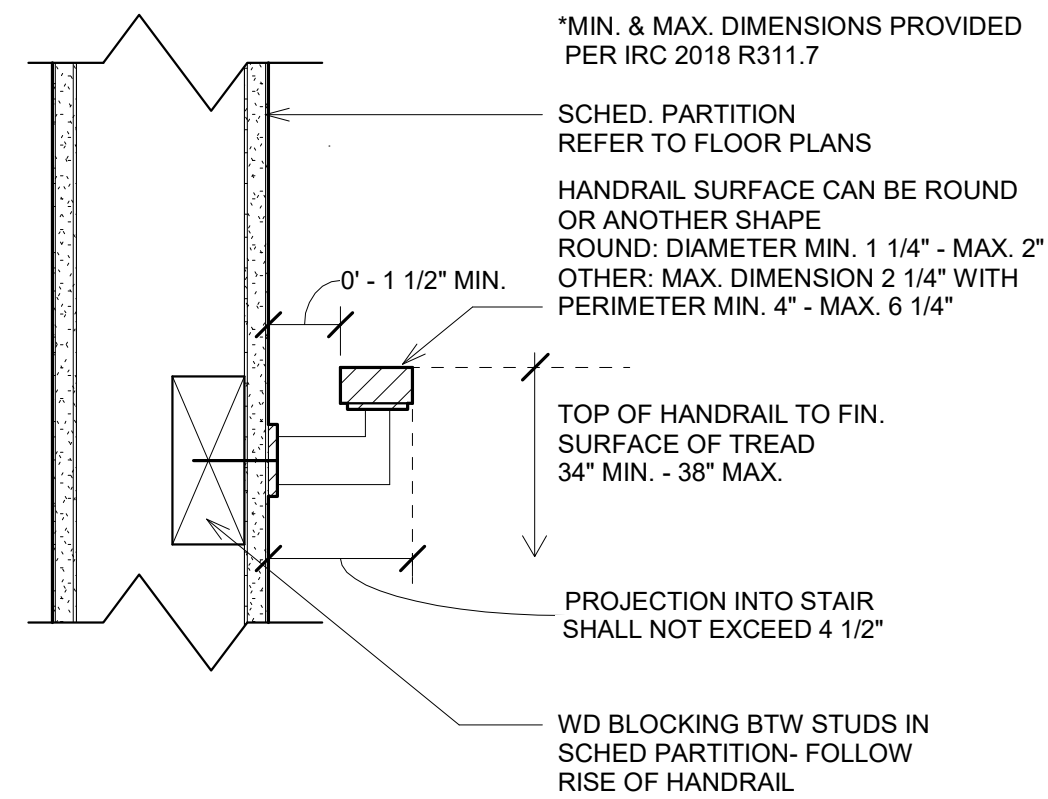
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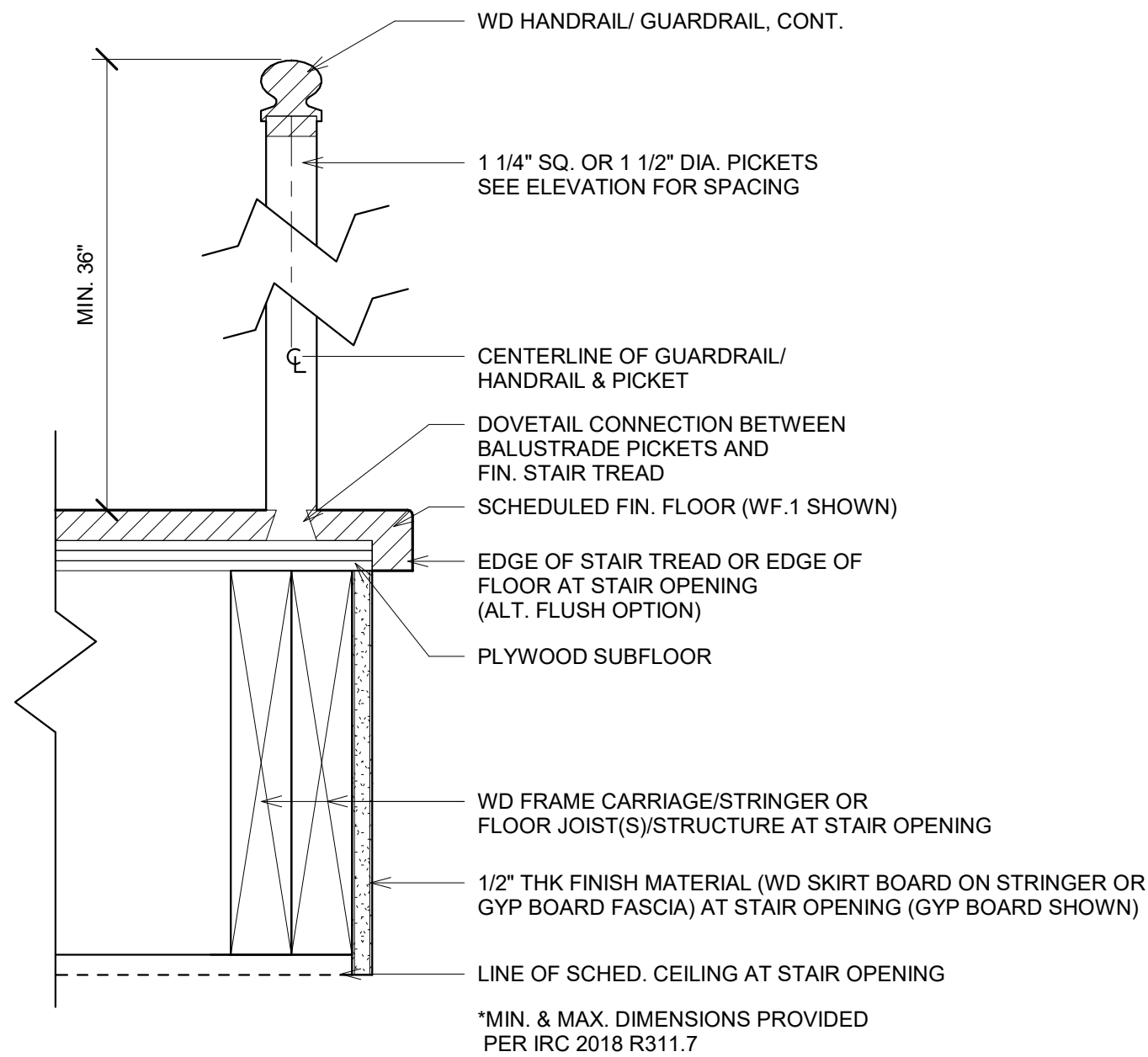
**A402
EXTERIOR
DETAILS**



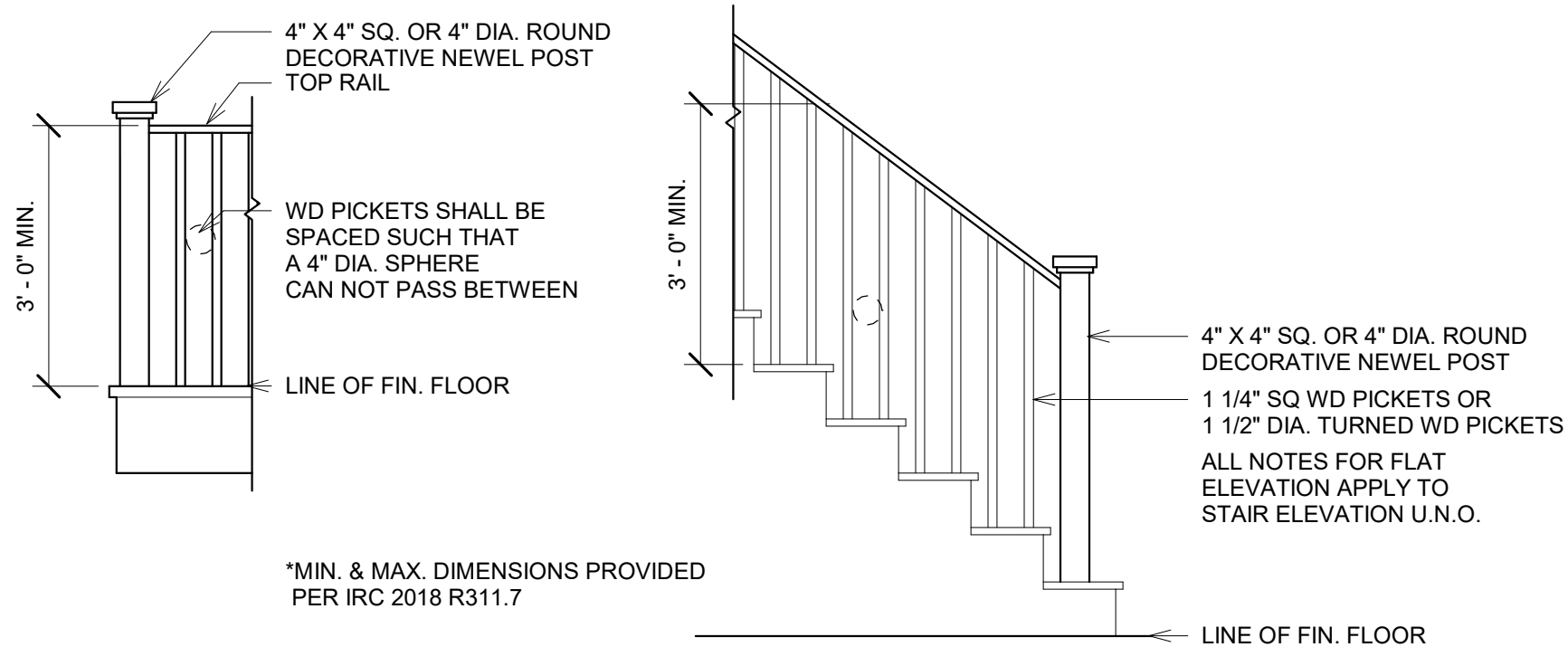
5 DRYWALL SQUARE CORNER PLAN DET
3" = 1'-0"



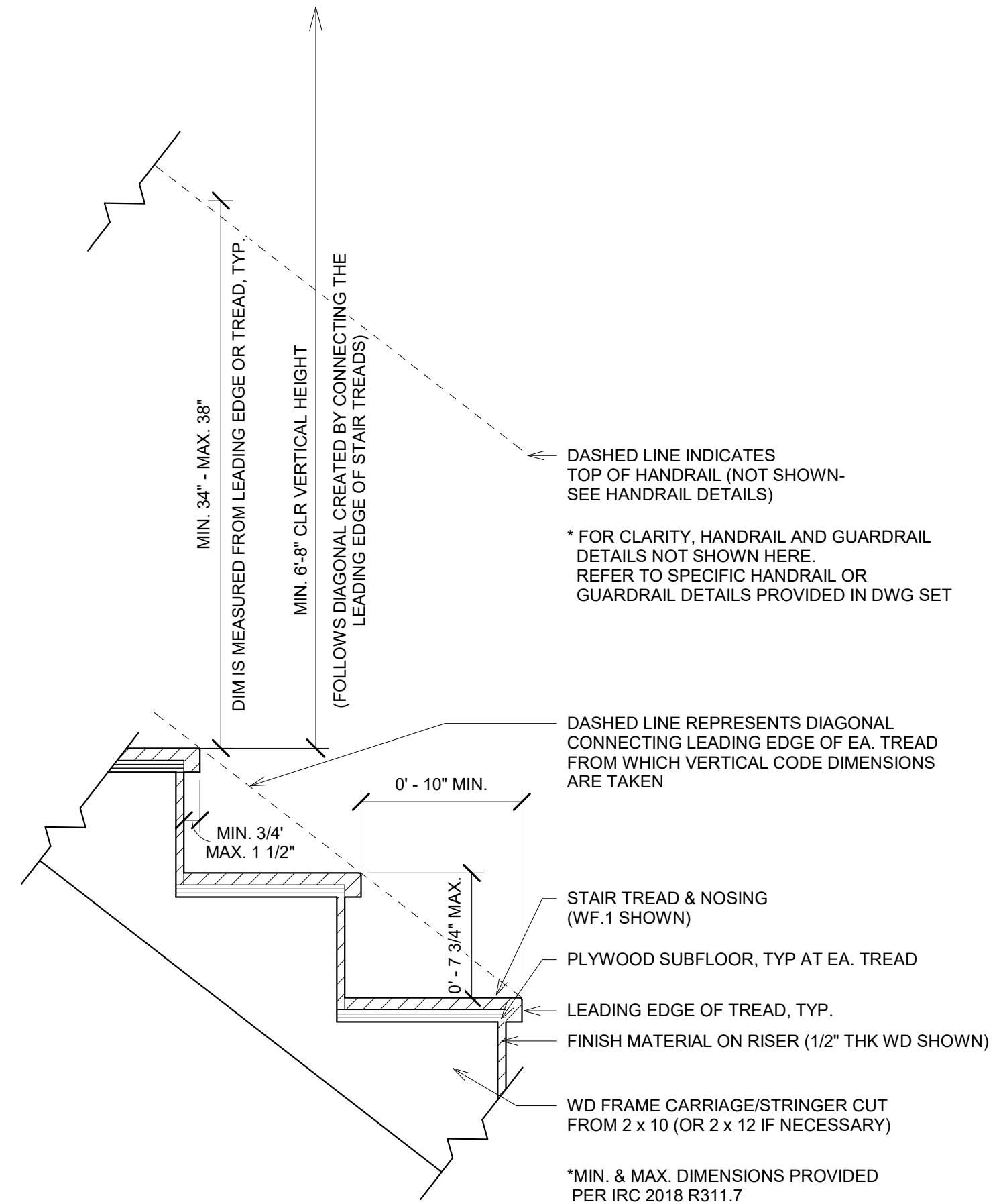
2 HANDRAIL WALL BRACKET WD
3" = 1'-0"



4 GUARDRAIL TRAD WD
3" = 1'-0"



3 GUARDRAIL ELEV WD TRAD
1/2" = 1'-0"



1 STAIR CLOSED STRING MID
1 1/2" = 1'-0"

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STATE OF MARYLAND
ERIC F. TERAN
No. 20185
ARCHITECT

Eric F. Teran
Principal, Eustilus
November 1, 2022

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#	Description	Date

Project: 3.22.07
Date: 1.12.2023

A403
INTERIOR
DETAILS



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WINDOW SCHEDULE						
MARK	DIMENSIONS			TYPE	COMMENTS	QUANTITY
	WIDTH	HEIGHT	HEAD HEIGHT			
A	2'-2"	4'-8"	6'-10 3/4"	CASEMENT	Pella® Architect Series® – Traditional Wood Casement Window OR EQUAL	3
B	2'-6"	4'-9"	7'-9"	CASEMENT	Pella® Architect Series® – Traditional Wood Casement Window OR EQUAL	1
C	1'-6"	4'-9"	7'-9"	CASEMENT	Pella® Architect Series® – Traditional Wood Casement Window OR EQUAL	1
D	2'-0"	3'-8"	6'-8"	CASEMENT	Pella® Architect Series® – Traditional Wood Casement Window OR EQUAL	1
E	2'-4"	3'-8"	6'-10 1/4"	CASEMENT	Pella® Architect Series® – Traditional Wood Casement Window OR EQUAL	2
F	2'-0"	3'-1"	6'-4"	DOUBLE-HUNG	Pella® Architect Series® – Traditional Wood Double-Hung Window OR EQUAL	1
G	2'-4"	3'-5"	6'-6"	CASEMENT	Pella® Architect Series® – Traditional Wood Casement Window OR EQUAL	2

NOTES:

- ALL WINDOWS TO BE PAINTED EXTERIOR, PRIMED INTERIOR, LOW-E UNLESS NOTED OTHERWISE.
- ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IRC §308.4 SHALL BE SAFETY GLAZING AND BE LABELED PER IRC §308.1
- ALL WINDOWS AND GLASS IN WET AREAS SUCH AS RESTROOMS WILL COMPLY WITH 2406.4.5 GLAZING AND WET SURFACES
- VERIFY IN FIELD OPENINGS PRIOR TO ORDERING.
- PROVIDE SAMPLES PRIOR TO ORDERING
- ALL NEW WINDOWS ARE REQUIRED TO BE TESTED AND LABELED AS HAVING MET NFRC REQUIREMENTS FOR U FACTOR AND SHGC RATINGS AND AIR LEAKAGE.

DOOR SCHEDULE						
MARK	DIMENSIONS			TYPE	COMMENTS	QUANTITY
	WIDTH	HEIGHT	THICKNESS			
E.1	2'-8"	6'-8"	1 3/8"	INSWING	Pella® 2 Panel Solid Wood Entry Door OR EQUAL	1
E.2	2'-6"	6'-8"	1 3/8"	INSWING	Pella® Full-Light Wood Entry Door OR EQUAL	1
E.3	2'-6"	6'-8"	1 3/8"	INSWING	Pella® 2 Panel Wood Entry Door with Half-Light Glass Panel OR EQUAL	1
I.1	2'-6"	6'-8"	1 3/8"	INSWING		5
I.2	2'-8"	6'-8"	1 3/8"	INSWING		2
I.3	3'-0"	6'-8"	1 3/8"	INSWING		1
I.4	5'-0"	6'-8"	2"	<varies>		2
I.5	2'-4"	6'-8"	1/2"	GLASS, INSWING	SHOWER DOOR	1
I.6	2'-2"	6'-8"	1 3/8"	INSWING		2
I.7	2'-6"	6'-8"	1 3/8"	POCKET DOOR		3

NOTES:

- ALL EXTERIOR DOORS TO BE PAINTED EXTERIOR, PRIMED INTERIOR, LOW-E UNLESS NOTED OTHERWISE.
- ALL INTERIOR DOORS TO BE ONE PANEL, SOLID CORE UNLESS NOTE OTHERWISE
- PROVIDE SAFETY GLAZING PER IRC SECTION R308.4.
- VERIFY IN FIELD OPENINGS PRIOR TO ORDERING.
- PROVIDE SAMPLES PRIOR TO ORDERING

**HENDRICKSON
 RESIDENCE**
 66 WALNUT AVE.
 TAKOMA PARK, MD 20912

#	Description	Date
2		

Project: 3.22.07
 Date: 1.12.2023

A500
DOOR & WIN
SCHEDULE

ELECTRICAL NOTES

1. ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED ELECTRICIAN AND ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL AND NATIONAL CODES. MINIMUM WIRE SIZE FOR ALL CIRCUITING IS #12 AWG. MIN. CONDUIT SIZE SHALL BE 1/2"
2. ALL WIRING DEVICES SHALL BE SPECIFICATION GRADE:
 - A. ALL OUTLETS LOCATED ON GWB WALL TO BE "LEVITON" DECORA 15A, 125V NEMA 5-15R RECTANGULAR WHITE MFG NO 5325-WSP.
 - B. ALL SWITCHES TO BE "LEVITON" DECORA 15A, 125V ROCKER SWITCH, RECTANGULAR, WHITE, MFG NO 5601-2W.
 - C. ALL DEVICES COVER PLATES LOCATED ON GWB TO BE "LEVITON" STANDARD WHITE PLASTIC.
 - D. ALL DIMMER SWITCHES TO BE "LEVITON" DECORA 15A, 120V 600W SLIDE DIMMER RECTANGULAR, WHITE, MFG NO 6631-W.
 - E. ALL JUNCTION BOXES LOCATED ON EXPOSED BRICK WALL OR EXPOSED CLNG TO BE 4" SQUARE, 1 1/2" DEEP METAL
 - F. ALL OUTLETS COVER PLATES ON EXPOSED BRICK WALL OR TO BE 4" RAISED METAL RECEPTACLE COVERS.
3. HOMERUN EACH TO A LOCATION TBD BY THE ARCHITECT/OWNER AND PROVIDE CONNECTION TO INCOMING SERVICE LINES AT REAR OF HOUSE.
4. ALL IC-RATED RECESSED LIGHTING FIXTURES SHALL BE SEALED AT HOUSING/INTERIOR FINISH AND HAVE <= 2.0CFM LEAKAGE AT 75PA (PER IECC 402.4.4).
5. 75% OF LAMP IN PERMANENT FIXTURES OR 75% OF PERMANENT FIXTURES MUST USE HIGH EFFICIENCY LAMPS.
6. THE SEALING MATERIAL METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE RECESSED LIGHTS INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, AND OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM, OR SOLID MATTER (PER IECC 402.4)
7. ALL TELEPHONE WIRING TO BE CAT-6, TYP.
8. PANEL TO HAVE MAIN CIRCUIT BREAKER AS PER NEC 240.24 (B). PROVIDE ACCESS.
9. THERMOSTATS - PROGRAMMABLE. HONEYWELL RTH6580WF OR EQUAL.
10. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO SCHEDULE ALL REQUIRED INSPECTIONS. INCLUDE ALL LOW VOLTAGE OUTLET WORK UNDER THIS CONTRACT.
11. A/C UNITS SHALL HAVE A DISCONNECTING MEANS WITHIN SIGHT OF THE APPLIANCES PER NEC (440.12 (D))

ELECTRICAL FIRE NOTES

1. ALL ELECTRICAL WIRING, BOXES, CONDUITS, RACEWAYS, CATV AND TELEPHONE WIRING PENETRATING FIRE RESISTANCE RATED MEMBRANCES MUST BE PROPERLY SEALED TO ASSURE THAT THE REQUIRED FIRE RATED RATING IS NOT REDUCE. UL 263 FIRE TESTS OF BUILDING CONSTRUCTION AND MATERIAL. SIMILAR TO ASTM E119
2. UL 1479 FIRE TESTS OF THROUGH-PENETRATION FIRESTOPS. COMPLEMENTARY TO UL 263. SIMILAR TO ASTM E 814
3. 714.3.2 MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION 714.3.1. WHERE WALLS OR PARTITIONS ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED THAT THE REQUIRED FIRE RESISTANCE WILL NOT BE REDUCED.
4. PENETRATIONS OF MEMBRANCES THAT ARE PART HO A HORIZONTAL ASSEMBLY SHALL COMPLY WITH SECTION 714.4.1.1 OR 714.4.1.2 WHERE FLOOR/CEILING ARE REQUIRED TO HAVE A FIRE RESISTANCE RATING.
5. MEMBRANE PENETRATION BY LISTED ELECTRICAL BOXES OF ANY MATERIAL, PROVIDED THAT SUCH BOXES HAVE BEEN TESTED FOR USE IN FIRE RESISTANCE RATED ASSEMBLIES AND ARE INSTALLED PER INSTRUCTIONS.

SMOKE DETECTOR/ CARBON MONOXIDE DETECTORS NOTES

1. ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INTERCONNECTED. SMOKE/CARBON MONOXIDE DETECTORS TO BE INCLUDED AT:
 2. ONE SMOKE DETECTOR/CARBON MONOXIDE IN EACH SLEEPING ROOM
 3. ONE SMOKE DETECTOR/CARBON MONOXIDE IN HALLWAY AT VECINITY OF SLEEPING ROOMS
 4. MINIMUM ONE SMOKE/CARBON MONOXIDE DETECTOR ON EACH LEVEL

LEGEND

- SUSPENDED PENDANT FIXTURE
- RECESSED DOWN LIGHT
- RECESSED DOWN LIGHT W/ SHOWER TRIM
- WALL SCONCE
- SURFACE MOUNTED
- UNDER CABINET LIGHT
- CHANDELIER
- CEILING FAN
- SWITCH
- 3-WAY SWITCH
- DIMMER SWITCH
- TELEPHONE JACK
- INTERNET, CAT6
- GARBAGE DISPOSAL
- BATHROOM VENT
- SMOKE & CARBON MONOXIDE DETECTOR
- DUPLEX OUTLET @ 18" AFF, UON. ALL OUTLETS TO BE AFCI, UON.
- DUPLEX OUTLET W/ GROUND FAULT INTERRUPT, GFI
- DUPLEX EXTERIOR OUTLET
- CABLE TV, HOMERUN ALL CABLE/INTERNET TO CENTRAL LOCATION, VIF W/ OWNER

(EXISTING) 200A MAIN BREAKER ELECTRICAL PANEL

1	15	1	1ST FLOOR BR KITCHEN LIGHTS	2	15	1	BASMENT KITCHEN
3	15	1	GEN. LIGHTING BASEMENT	4	20	1	1ST FLOOR AC
5	15	1	GEN. LIGHTING 1ST FLOOR	6	20	1	1ST FLOOR RECEPTICALS
7	15	1	OUTLETS FRONT WALL	8	20	1	REFRIGERATOR
9	15	1	BASMENT LIGHTS AND OUTLET	10	20	1	
11	15	1	BASMENT LIGHTS	12	20	1	KITCHEN STOVE OUTLET
13	20	1	SMALL APPLIANCES	14	15	1	AC/WINDOW
15	20	1	GEN. LIGHTING	16	20	1	AC/WINDOW
17	20	1	AC/KITCHEN/2ND FLOOR	18	20	1	AC/WINDOW
19	20	1	FRONT PORCH	20	20	1	MINI SPLIT
21	20	1		22	20	1	
23	20	1		24	40	1	

NOTE: LICENSED ELECTRICAL CONTRACTOR TO VERIFY ALL OUTLETS, FIXTURES AND APPLIANCES PRIOR TO PULLING WIRE. CONTRACTOR TO CALCULATE THE LOAD AND BALANCE BOX. ALL WORK SHALL BE IN COMPLIANCE W/ ALL LOCAL AND APPLICABLE CODES.

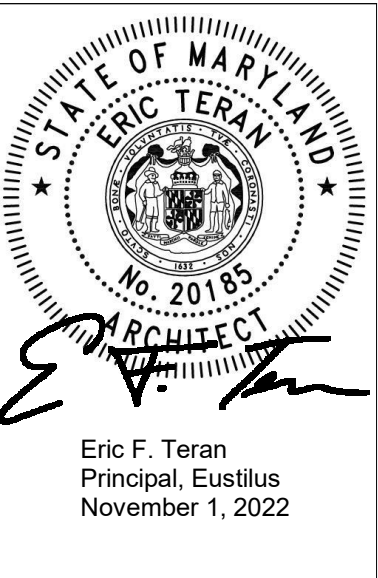
LIGHTING SCHEDULE

TYPE	DESCRIPTION	WATTS	LUMENS	MAIN
A	RECESS DOWN LIGHT (LED)	19	1,234	48
B	WALL SCONCE, INT. (LED)	12	1,500	3
C	SUSPENDED PENDANT FIXT. (LED)	12	1,500	1
D	WALL SCONCE, EXT. (LED)	38	1,220	5
E	RECESS DOWN, WET (LED)	19	1,234	2

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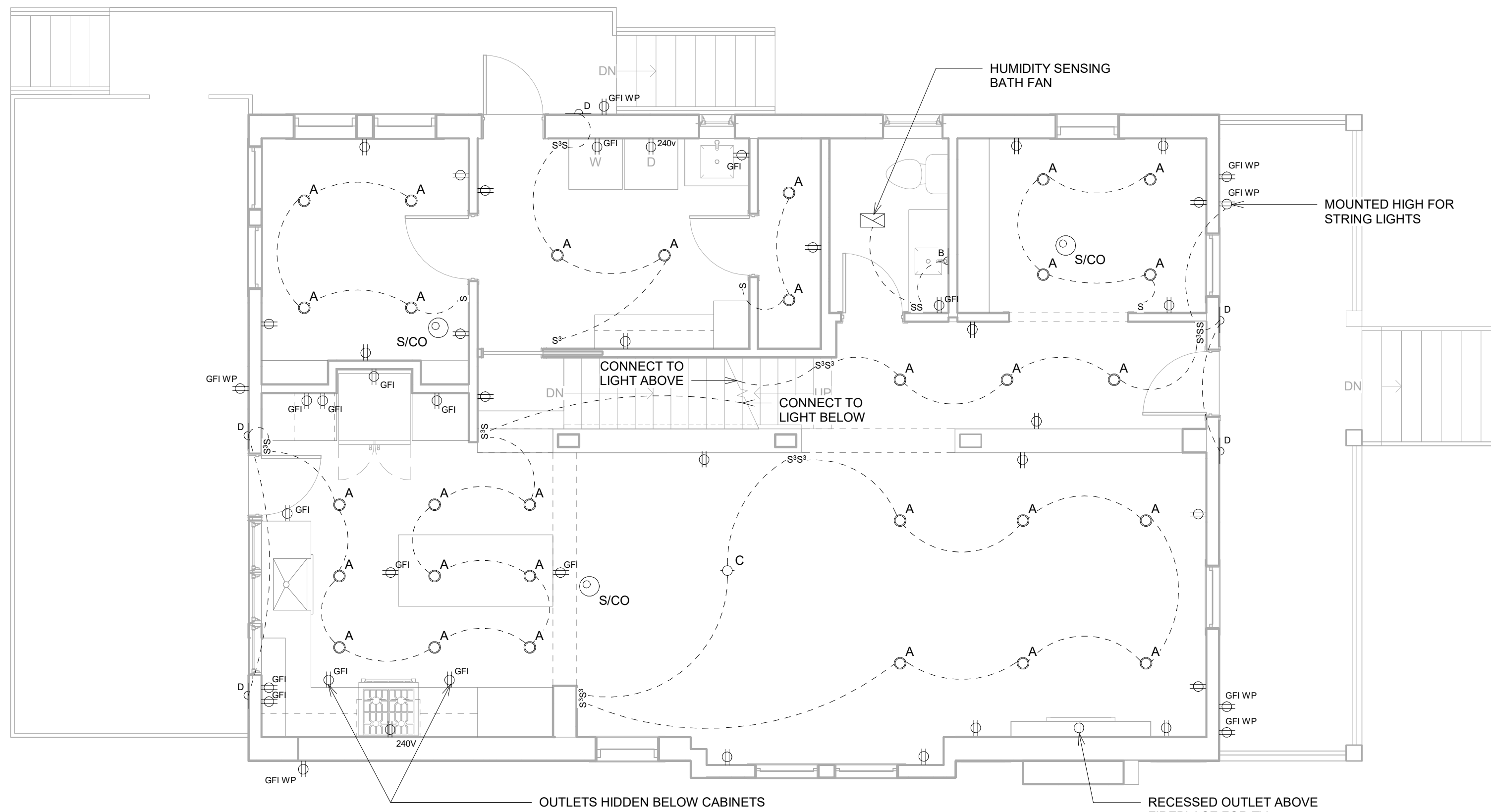


Eric F. Teran
 Principal, Eustilus
 November 1, 2022

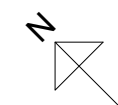
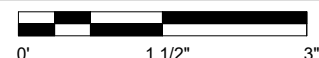
**HENDRICKSON
 RESIDENCE**
 66 WALNUT AVE.
 TAKOMA PARK, MD 20912

#	Description	Date
Project:	3.22.07	
Date	1.12.2023	

E001
COVER



1 LEVEL 01 - ELECTRICAL PLAN
 1/4" = 1'-0"



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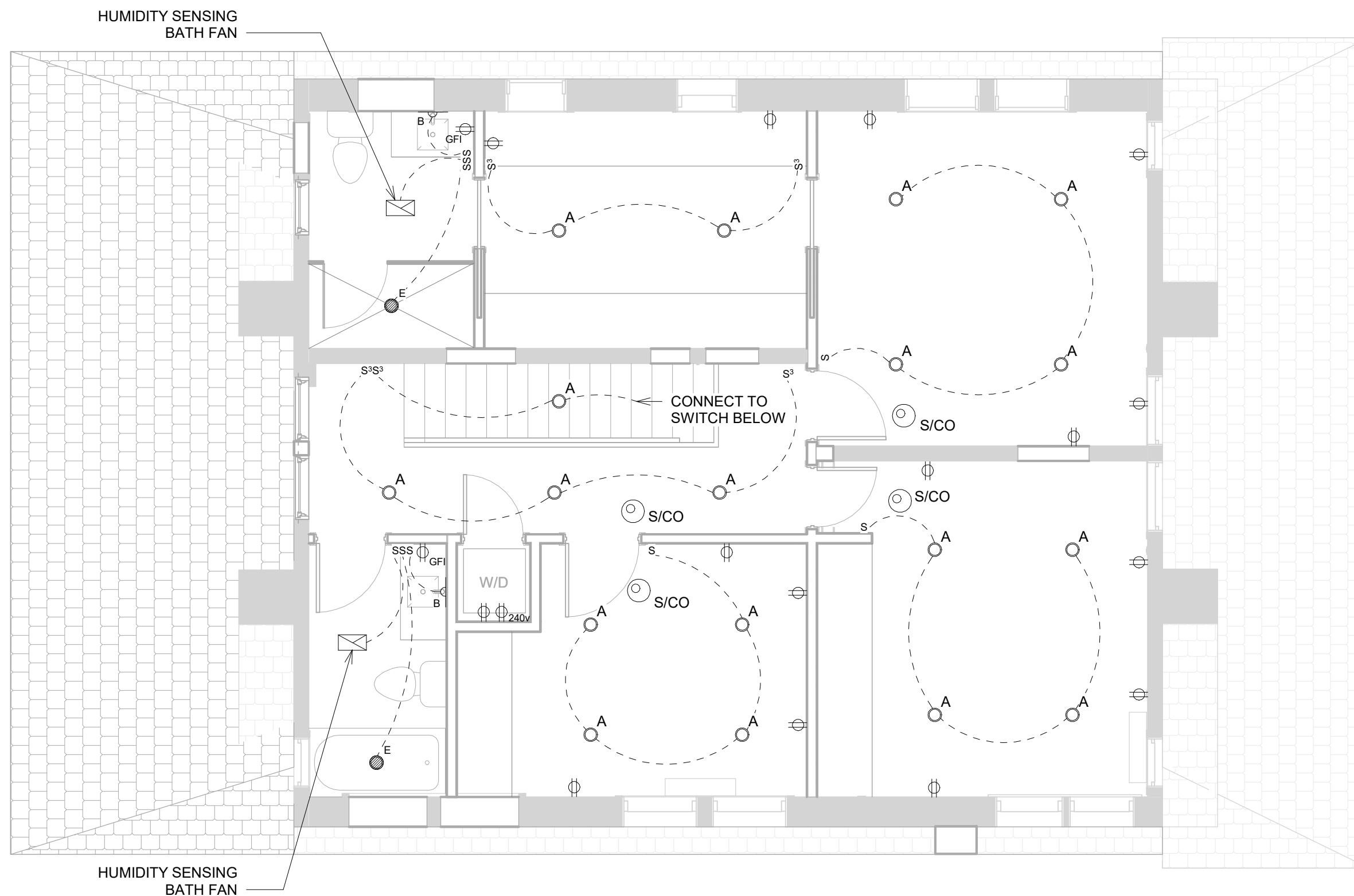


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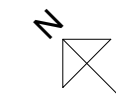
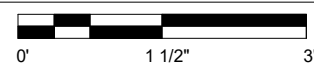
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 TAKOMA PARK, MD 20912

#	Description	Date
Project:	3.22.07	
Date	1.12.2023	

E100
ELECTRICAL
PLAN



1 LEVEL 02 - ELECTRICAL PLAN
 1/4" = 1'-0"



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Date	1.12.2023	

E101
ELECTRICAL
PLAN