

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	9 West Kirke Street, Chevy Chase	<b>Meeting Date:</b>	2/8/2023
<b>Resource:</b>	Non-Contributing Resource (Chevy Chase Village Historic District)	<b>Report Date:</b>	2/1/2023
		<b>Public Notice:</b>	1/25/2023
<b>Applicant:</b>	Josh Harrison and Jamillia Ferris (Phillip Long, Agent)	<b>Tax Credit:</b>	N/A
<b>Review:</b>	HAWP	<b>Staff:</b>	Michael Kyne

**Permit Number:** 1018710

**PROPOSAL:** Hardscape alteration, fence installation, and driveway alteration

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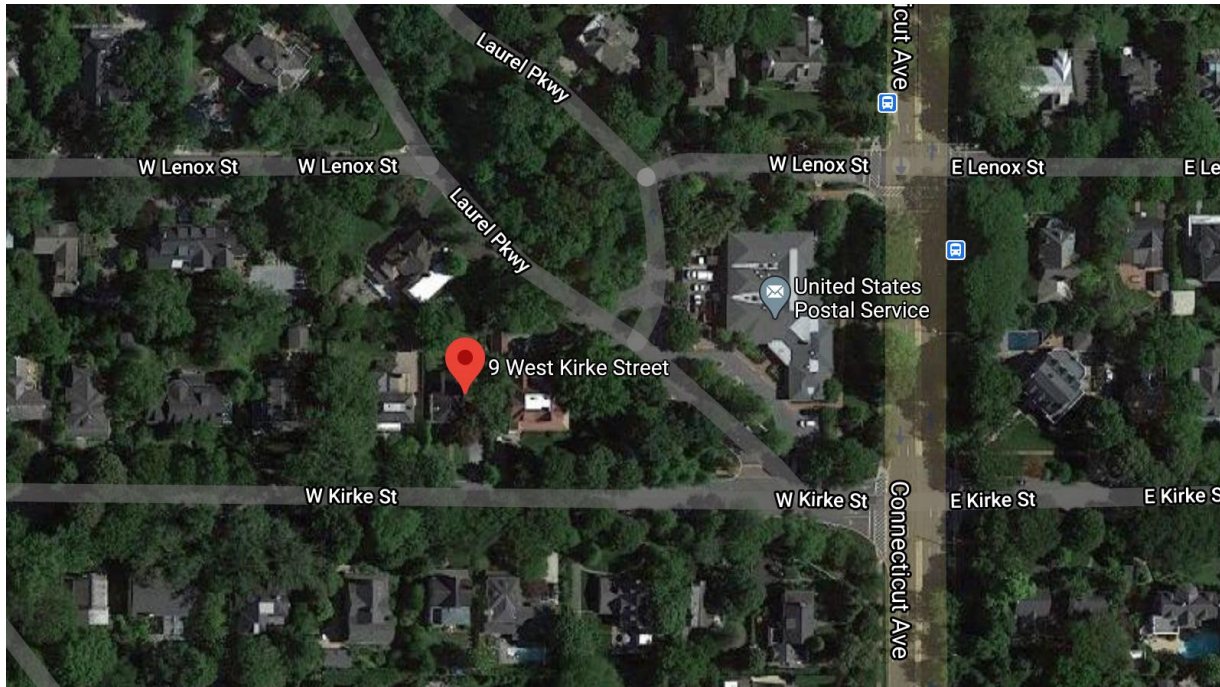
**STAFF RECOMMENDATION:**

Staff recommends that the HPC **approve with one condition** the HAWP application.

- 1. The proposed fencing along the right side of the property will transition from 6' privacy fencing to 4' picket fencing at the approximate rear of the house, with final review and approval delegated to staff.**

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Non-Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Colonial Revival  
**DATE:** c. 1892-1916



*Fig. 1: Subject property, north side of West Kirke Street.*

### **PROPOSAL:**

The applicants propose hardscape alteration, fence installation, and driveway alteration at the subject property.

### **APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

#### ***Montgomery County Code; Chapter 24A-8***

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a

- manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

### ***Chevy Chase Village Historic District Guidelines***

The *Guidelines* state that the following five basic policies should be adhered to:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
2. Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

#### ***Non-Contributing/Out-of-Period Resources***

Non-contributing/out-of-period resources are either buildings that are of little or no architectural and historical significance to the historic district or newer buildings constructed outside the district's primary period of historical importance. HAWP applications for exterior alterations, changes, and/or additions to these types of resources should receive the most lenient level of design review.

Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

### ***Secretary of the Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

### **STAFF DISCUSSION:**

The subject property is designated as a c. 1892-1916, Colonial Revival-style, Non-Contributing Resource within the Chevy Chase Village Historic District. At the February 24, 2021 HPC meeting, the Commission approved a HAWP for demolition of the historic house and construction of a new single-family house at the subject property, finding the proposal consistent with the *Guidelines* for Non-Contributing/Out-of-Period Resources and New Construction.<sup>1</sup>

The current proposal calls for hardscape alteration, fence installation, and driveway alteration at the subject property. Specifically: a 3' high brick retaining wall is proposed at the rear/left side of the new house; the previously proposed driveway is to be expanded between the rear porch and garage; a new brick-paved walkway, which will serve as a trash enclosure area, is proposed at the right side of the garage; the previously proposed front walkway has been revised, going from straight to curved; and new fencing is proposed at the rear/left, rear, right side, and front of the property.

Staff notes that, except for a section of existing retaining wall at the rear/right side of the property, both the existing and previously proposed right-side retaining walls have been removed from the plan. The feature called out as “Prop. Curb/Wall” at the right side of the driveway on the revised site plan will be a minimal rolled curb.

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<sup>1</sup> Link to February 24, 2021 staff report: <https://montgomeryplanning.org/wp-content/uploads/2021/02/I.C-9-West-Kirke-Street-Chevy-Chase-939482.pdf>

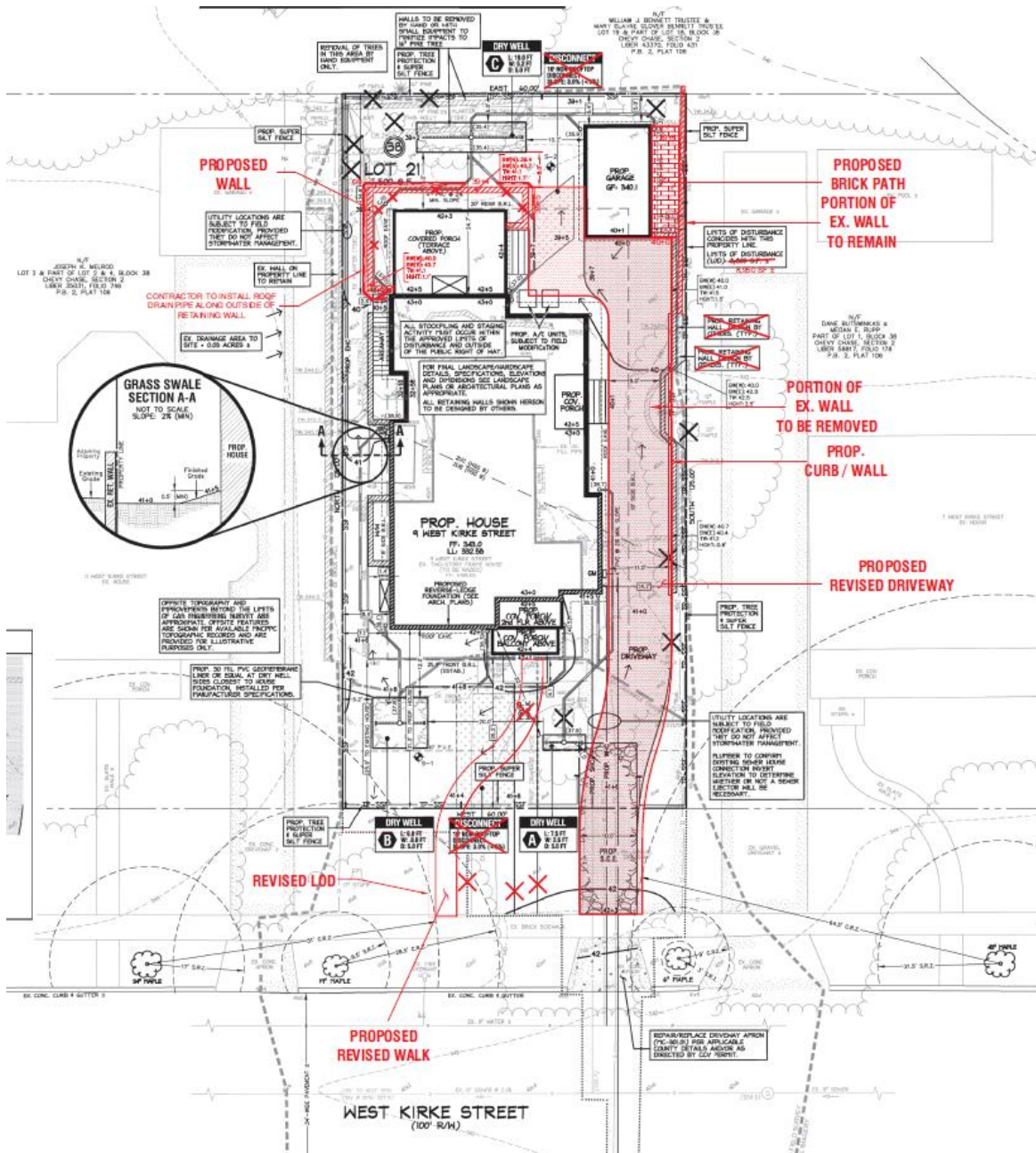


Fig. 2: Revised site plan.

The proposed new fencing includes a 6' high board-on-board wooden privacy fence at the rear/left, rear, and right side of the property. On the right side, the proposed 6' fence will transition to a 4' high wooden picket fence near the front of the property. Additionally, a 4' section of board-on-board fencing with gate is proposed between the right-side fence and garage for a trash enclosure, and 4' high wooden picket fencing with a pedestrian and vehicular gate is proposed at the front of the property.



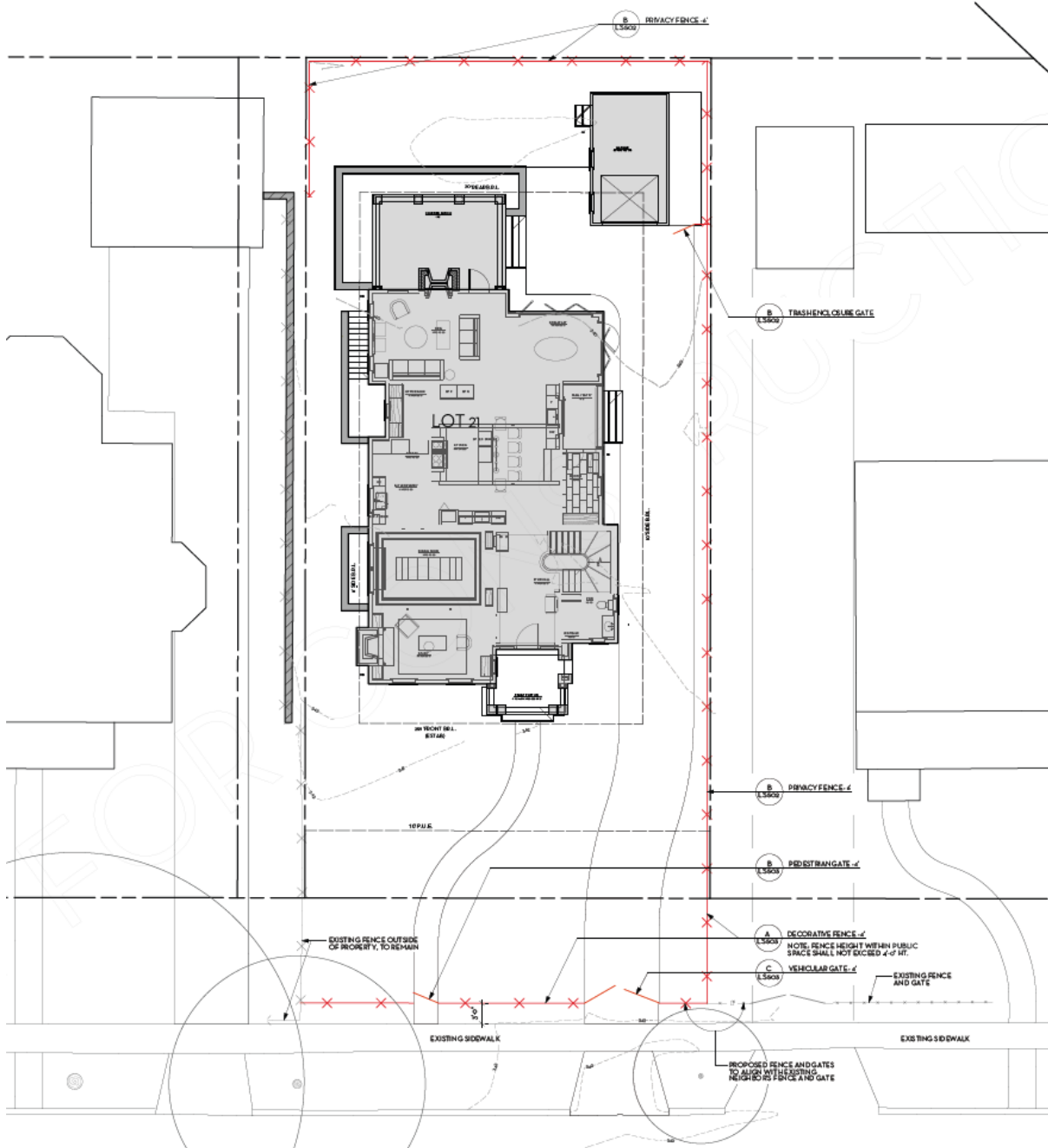


Fig. 3: Proposed fence plan.

Staff is generally supportive of the applicants’ proposal, finding it compatible with the subject property and *Guidelines* for Non-Contributing/Out-of-Period Resources. However, in order to ensure compatibility with the surrounding streetscape and preserve the open park-like character of the district, staff finds that the proposed 6’ high privacy fencing at the right side of the property should not extend forward of the rear wall plane of the house. Any additional fencing in front of the rear wall plane should be no higher 4’ and open picket style.

After full and fair consideration of the applicant’s submission staff finds the proposal, as modified by the recommended condition on Page 1, as being consistent with the Criteria for Issuance in Chapter 24A-(b)(1), and (2), and (d), having found the proposal is consistent with the *Secretary of the Interior’s Standards for Rehabilitation #2 and #9*, and the *Chevy Chase Village Historic District Guidelines*

outlined above.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve with the one condition specified on Page 1** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b) (1), (2), and (d), having found that the proposal, as modified by the condition, is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



FOR STAFF ONLY:  
HAWP# 1018710  
DATE ASSIGNED \_\_\_\_\_

# APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION  
301.563.3400

**APPLICANT:**

Name: Joshua Harrison and Jamillia Ferris  
Address: 6916 33rd Street, NW  
Daytime Phone: \_\_\_\_\_

E-mail: \_\_\_\_\_  
City: Washington Zip: 20015  
Tax Account No.: 07-00457438

**AGENT/CONTACT (if applicable):**

Name: Phillip Long  
Address: 10 S Bentz Street  
Daytime Phone: 240-418-3204

E-mail: phil@cas-dc.com  
City: Frederick Zip: 21701  
Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property 9 West Kirke Street

Is the Property Located within an Historic District? Yes/District Name Chevy Chase Village  
No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 9 Street: West Kirke Street  
Town/City: Chevy Chase Nearest Cross Street: Laurel Parkway  
Lot: 21 Block: 38 Subdivision: Chevy Chase Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch                     | <input type="checkbox"/> Shed/Garage/Accessory Structure         |
| <input type="checkbox"/> Addition           | <input checked="" type="checkbox"/> Fence               | <input type="checkbox"/> Solar                                   |
| <input type="checkbox"/> Demolition         | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting                   |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                           | <input type="checkbox"/> Window/Door                             |
|   |   | <input checked="" type="checkbox"/> Other: <u>wall, walkway,</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent  
01/17/2022  
Date



**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

New home built in 2022, approved under HAWP # 939482.

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Proposed retaining and curb walls, expansion of driveway between rear porch and garage, brick path, reconfiguration front walk, and fencing.

Adjacent and Confronting Properties:

Chevy Chase, MD 20815

14 West Kirke Street

12 West Kirke Street

11 West Kirke Street

10 West Kirke Street

7 West Kirke Street

4 Laurel Parkway

- ### GENERAL NOTES
- Review information and include notes on all sheets on every drawing.
  - Property located on Lot 21 7.500 sq. ft. (0.172 acres).
  - Property located on The Maryland Home Improvement Services (MHIS) 2007 Showroom.
  - Property located on State Emergency Management 27, Soil Type: SUC, Geology: Urban and Coastal, HSG: B.
  - Flood zone "X" per FEMA Firm Maps, Community Plan Number 240230405D.
  - Property located in the Lower Potomac District Watershed.
  - Water Category - 1, Sewer Category - 1.
  - Local Agency - Washington Suburban Suburban Commission.
  - Local Agency - Washington Gas.
  - Property is located in the incorporated municipality of Chevy Chase Village.
  - Property is not located in a Special Flood Hazard Area.
  - Property is located in the Chevy Chase Village Historic District.

### ZONING DATA - MONTGOMERY COUNTY AND CHEVY CHASE VILLAGE

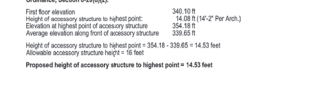
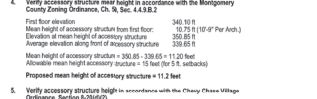
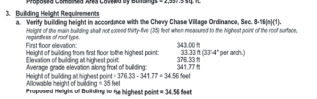
1. Zoning: R-40  
Front B.L. - 33.0 ft. (Established)  
Minimum Lot Width at B.L. - 100 ft. Row B.L. - 23 ft.  
Minimum Lot Area at B.L. - 10,000 sq. ft. (2.284 acres). Min. side 18 ft. rear 18 ft.

- The Montgomery County Code Section 4-4.1.A.6.1. the applicant may use the lot area of the subject property for the proposed use, provided the applicant obtains approval of the Board of Zoning Adjustments.
- Refer to the Chevy Chase Village Code of Ordinances for additional restrictions, rules and regulations pertaining to proposed use.

### 2. Lot Coverage Requirements (Full DV)

Verify lot coverage in accordance with the Montgomery County Zoning Ordinance, Ch. 5, Sec. 4-4.1.B.2. Lot area equal to or greater than 60,000 square feet less than 18,000 square feet.

- Verify lot coverage in accordance with the Montgomery County Zoning Ordinance, Ch. 5, Sec. 4-4.1.B.2. Lot area equal to or greater than 60,000 square feet less than 18,000 square feet.
- Verify lot coverage in accordance with the Chevy Chase Village Ordinance, Sec. 8-19(4)(b).
- Verify building height in accordance with the Montgomery County Zoning Ordinance, Ch. 5, Sec. 4-4.1.B.3 and the Chevy Chase Village Ordinance, Sec. 8-19(4)(b).
- Verify accessory structure height in accordance with the Montgomery County Zoning Ordinance, Ch. 5, Sec. 4-4.1.B.3 and the Chevy Chase Village Ordinance, Sec. 8-19(4)(b).
- Verify accessory structure height in accordance with the Montgomery County Zoning Ordinance, Ch. 5, Sec. 4-4.1.B.3 and the Chevy Chase Village Ordinance, Sec. 8-19(4)(b).



### RELATED REQUIRED PERMITS

TO BE COMPLETED BY THE CONSULTANT AND PLACED ON THE FIRST SHEET OF THE PERMIT DRAWING.

TYPE OF PERMIT	REQ'D	NOT REQ'D	PERMIT NUMBER	EXPIRATION DATE	WORK RESTRICTIONS
MDCPS Floodplain District	X				
MDCPS Floodplain District	X				
MD State of Environment	X				
MD State of Environment	X				
MD State of Environment	X				
MD State of Environment	X				
MD State of Environment	X				
MD State of Environment	X				
MD State of Environment	X				
MD State of Environment	X				

### CONSTRUCTION INSPECTION CHECK-OFF LIST FOR DRILL/RECHARGE CHAMBER

MANDATORY REQUIREMENT	DESCRIPTION	COMPLETED
1	Construction of chamber in accordance with approved plans.	X
2	Installation of chamber in accordance with approved plans.	X
3	Placement of grout and filter fabric in accordance with approved plans.	X
4	Construction of chamber in accordance with approved plans.	X
5	Final grading and permanent restoration in accordance with approved plans.	X

### RECORD DRAWING CERTIFICATION

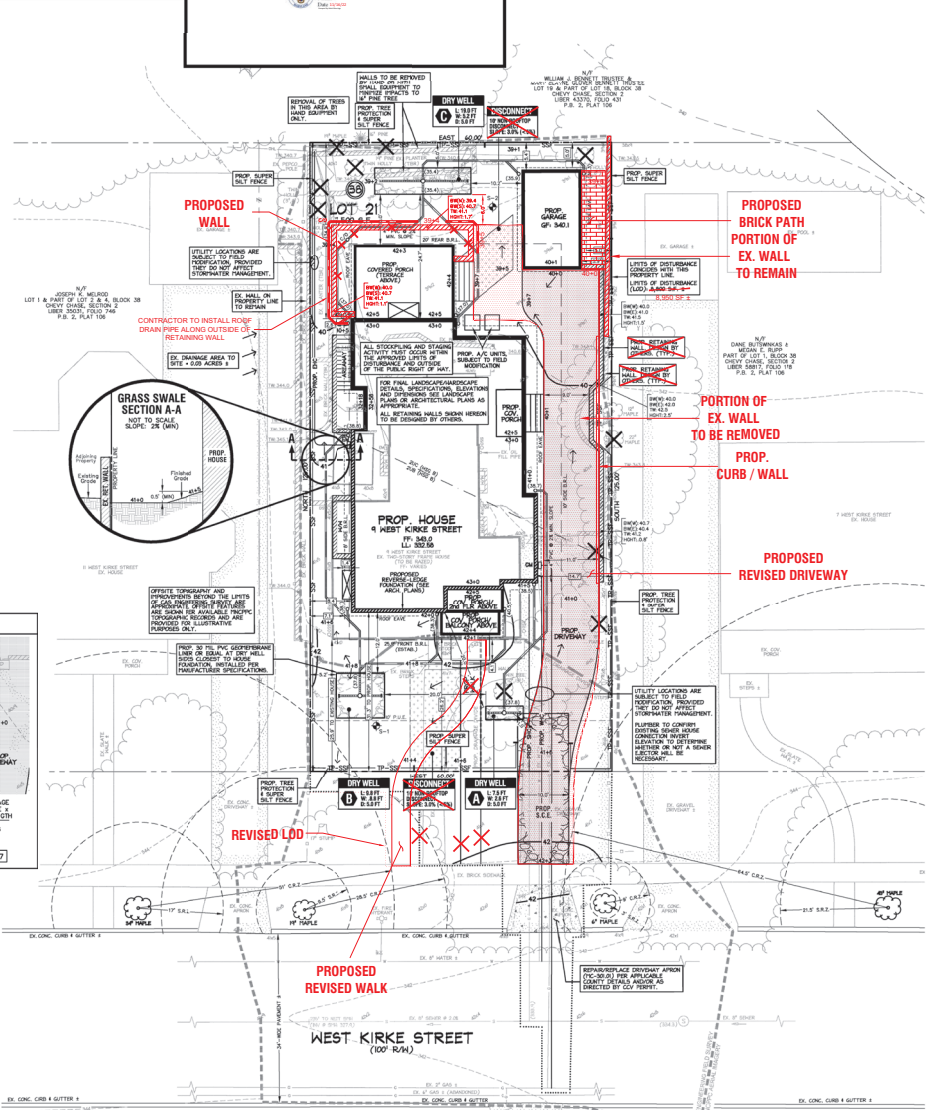
A record set of approved Construction Management Plans must be maintained on-site at all times. In addition to a stormwater management plan, the applicant must submit a record set of approved plans for the project to the Montgomery County Department of Public Works. The record set of approved plans shall include the approved Construction Management Plan, the approved Record of Construction, and the approved Record of Construction. The record set of approved plans shall be maintained on-site at all times.

### SEQUENCE OF CONSTRUCTION

- Review of plans, including wetland survey, construction, or grading, a pre-construction meeting must be conducted with the Montgomery County Department of Public Works (MDCPS) Sediment Control Inspector (442) 777-3311 (8 hours notice), the owner's representative, and the site engineer.
- In order for the meeting to occur, the applicant must submit the MDCPS Sediment Control Inspector with one approved plan copy of the approved Sediment Control Plan and one approved plan copy of the approved Record of Construction. The meeting shall not occur until all required information is submitted to the MDCPS Sediment Control Inspector.
- The limits of disturbance (L.O.D.) must be field marked prior to clearing or trees, installation of sediment control measures, construction, or other field disturbing activities.
- Staking, access, and staging activities may not occur in the public right-of-way or beyond the approved limits of disturbance (L.O.D.) defined by the plan.
- Clear and grade for installation of sediment control devices.
- Install sediment control devices.
- Once the sediment control devices are installed, the permittee must obtain approval from the MDCPS Sediment Control Inspector before proceeding with any additional clearing, grading, or grading.
- Final grading/shoring.
- The Stabilized Construction Entrance (SCE) is an erosion and sediment control practice and must remain in place until permanent stabilization is achieved for the project.
- Install base courses for driveway and concrete floors, etc.
- Install stormwater management devices and associated piping but do not connect to downspouts at this time.
- Place driveway permanently stabilizes all surrounding areas.
- Connect downspouts to roof drain piping and stormwater management devices.
- Provide signed record set of plans to the sediment control inspector.
- Obtain written approval from Sediment Control Inspector prior to the removal of any sediment control device.

### LEGEND

- #### EXISTING FEATURES
- Ex. Sewer Mainline and Invert
  - Ex. Water Line with Valve
  - Ex. Gas Line with Valve
  - Ex. Overhead Utility with Pole
  - Ex. Overhead Utility without Pole
  - Ex. Downspout/Pipe/Drain
  - Ex. Underpass/Utility Line
  - Ex. Two-And-A-Half Foot Contours
  - Ex. Spot Elevation
  - Ex. Wood or Shrubbery Fence
  - Ex. Retaining Wall
  - Ex. Change Drainage
  - Ex. Set-Back Line with Sign
  - Ex. Tree (24" DBH)
  - Ex. Tree (6" DBH - 24" DBH)
  - Ex. Tree (2" DBH and greater)
- #### PROPOSED FEATURES
- Prop. W.C.
  - Prop. S.C.
  - Prop. G.C.
  - Prop. P.C.
  - Prop. C.C.
  - Prop. R.C.
  - Prop. P.C.D.
  - Prop. S.C.D.
  - Prop. S.C.P.
  - Prop. S.C.E.



### REVISION A

#### REVISION A

NO.	DESCRIPTION
1	REVISION A

### FRONT YARD PARKING AREA COVERAGE

FRONT YARD PARKING AREA	NO. OF SPACES	NO. OF SPACES REQUIRED
FRONT YARD PARKING AREA	1	1

### UTILITY INFORMATION

UTILITY	TYPE	DEPTH (FEET)	LOCATION
Water	12" PVC	18"	Along West Kirke Street
Sewer	12" PVC	18"	Along West Kirke Street
Gas	12" PVC	18"	Along West Kirke Street
Electric	4" PVC	18"	Along West Kirke Street

### ROADSIDE TREE REQUIREMENTS

TREE SPECIES	NO. OF TREES	NO. OF TREES REQUIRED
Large Tree	1	1

### TOPSOIL NOTE

TOPSOIL MUST BE APPLIED TO ALL AREAS WHERE DISTURBANCE HAS OCCURRED. TOPSOIL SHALL BE APPLIED TO ALL AREAS WHERE DISTURBANCE HAS OCCURRED. TOPSOIL SHALL BE APPLIED TO ALL AREAS WHERE DISTURBANCE HAS OCCURRED.

### ROADSIDE TREE REQUIREMENTS

TREE SPECIES	NO. OF TREES	NO. OF TREES REQUIRED
Large Tree	1	1

THIS PLAN IS FOR ZONING, SEDIMENT CONTROL AND STORMWATER MANAGEMENT APPROVAL ONLY. SEE THE FOREST PRESERVATION EXEMPTION PLAN FOR ANY NECESSARY TREE PROTECTION MEASURES AND DETAILS.

OWNER/APPLICANT	BUILDER	ARCHITECT
John A. Schaffer 9999 33rd Street, NW Washington, DC 20015 (202) 655-5400 john@schaffers.com	John A. Schaffer LLC 5015 MacArthur Drive Bethesda, MD 20816 (301) 655-5400 john@schaffers.com	Thomas S. Cooke Architects 1515 MacArthur Boulevard, NW Washington, DC 20016 (202) 474-6234 tom@schaffers.com

9 West Kirke Street  
Lot 21, Block 38,  
Chevy Chase Village --  
Building Permit Site Plan,  
Stormwater Management Plan,  
and Sediment Control Plan  
Sediment Control Permit # 287049

TECHNICAL REVIEW OF SEDIMENT CONTROL	ADMINISTRATIVE REVIEW	TECHNICAL REVIEW OF STORMWATER MANAGEMENT	SMALL LOT DRAINAGE APPROVAL
John Kuznetsov 6/4/2021	John Kuznetsov 6/4/2021	John Kuznetsov 6/4/2021	N/A 6/4/2021

CAS JOB NO.: 20-769  
DATE: 06/2021  
PROJECT: Building Permit Site Plan, Stormwater Management Plan, and Sediment Control Plan  
OWNER: John A. Schaffer  
ARCHITECT: Thomas S. Cooke Architects  
BUILDER: John A. Schaffer LLC

VICINITY MAP  
ACC MAP 6417, GRID # 8, SCALE: 1" = 200'

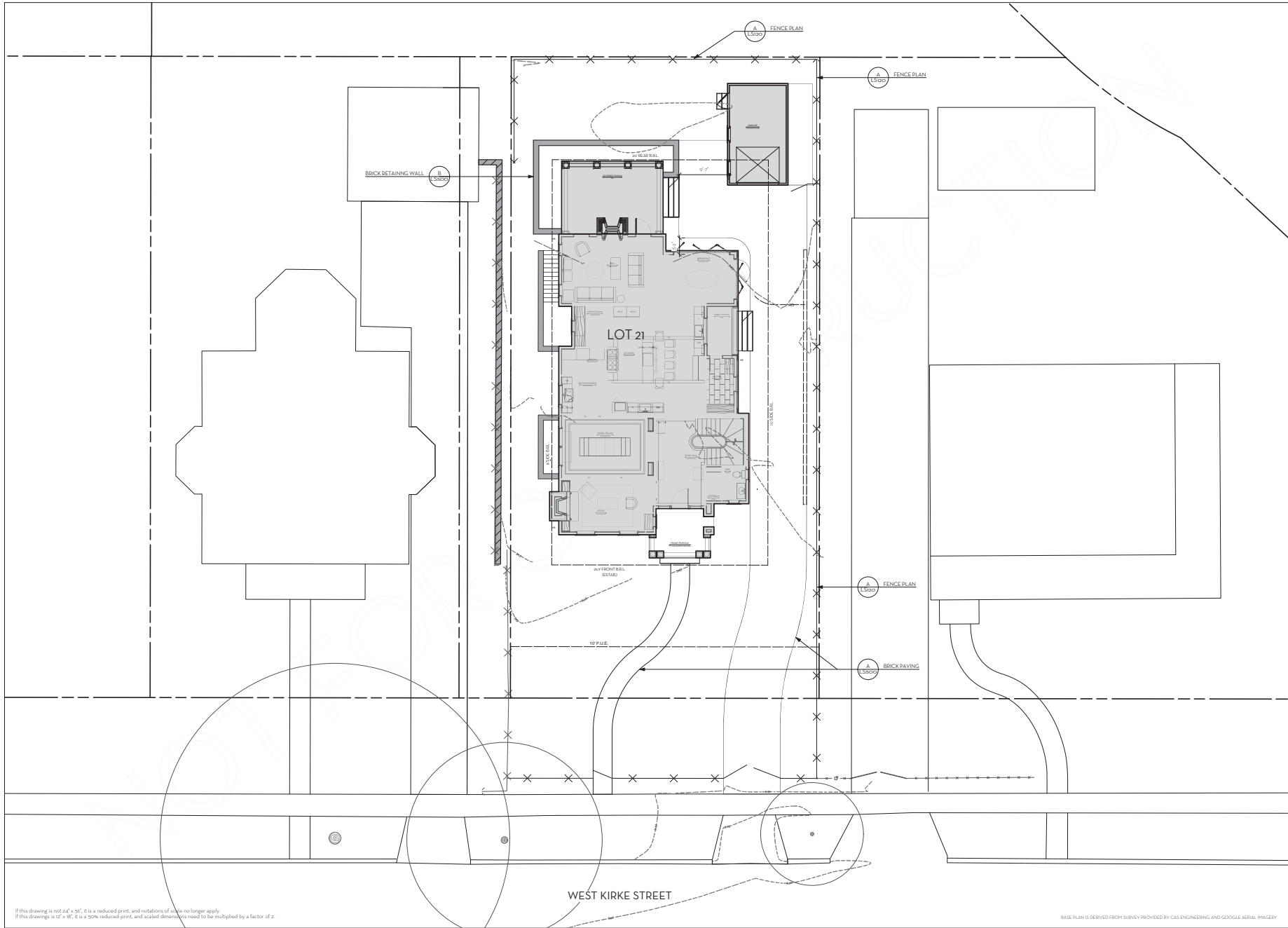
PROFESSIONAL ENGINEER CERTIFICATION  
I hereby certify that I am a duly licensed Professional Engineer in the State of Maryland, License No. 15588, expiration date 06/30/2022, and that the plan meets MDCPS criteria for building and sediment control permit applications.

Curt A. Schaffer  
CURT A. SCHAEFFER, PE  
Professional Engineer  
15588  
15588  
15588

Lot 21, Block 38, Chevy Chase, Section 2  
Plat No. (pending) Recorded 2021  
Bethesda (7th) Election District, Montgomery County, MD  
9 West Kirke Street  
Chevy Chase, Maryland 20815

CAS ENGINEERING  
CAS ENGINEERING-MD  
3535 Rockville Pike  
Frederick, Maryland 21701  
301.451.4515 Phone  
info@cas-engineering.com  
www.cas-engineering.com

CAS ENGINEERING-DC, LLC  
1001 Connecticut Avenue, Suite 601  
Washington, DC 20036  
301.709.7000 Phone  
info@cas-engineering.com  
www.cas-engineering.com



If this drawing is not 3/4" x 36", it is a reduced print, and notations of scale no longer apply.  
 If this drawing is 12" x 36", it is a 50% reduced print, and scaled dimensions need to be multiplied by a factor of 2.

BASE PLAN IS DERIVED FROM SURVEY PROVIDED BY CAS ENGINEERING AND GOOGLE AERIAL IMAGERY

Consultants

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Project # 22204  
**FERRIS HARRISON**  
 9 West Kirke Street  
 Chevy Chase, MD 20815  
 10 JANUARY 2023  
 PERMIT DOCUMENT

No.	Date	Description

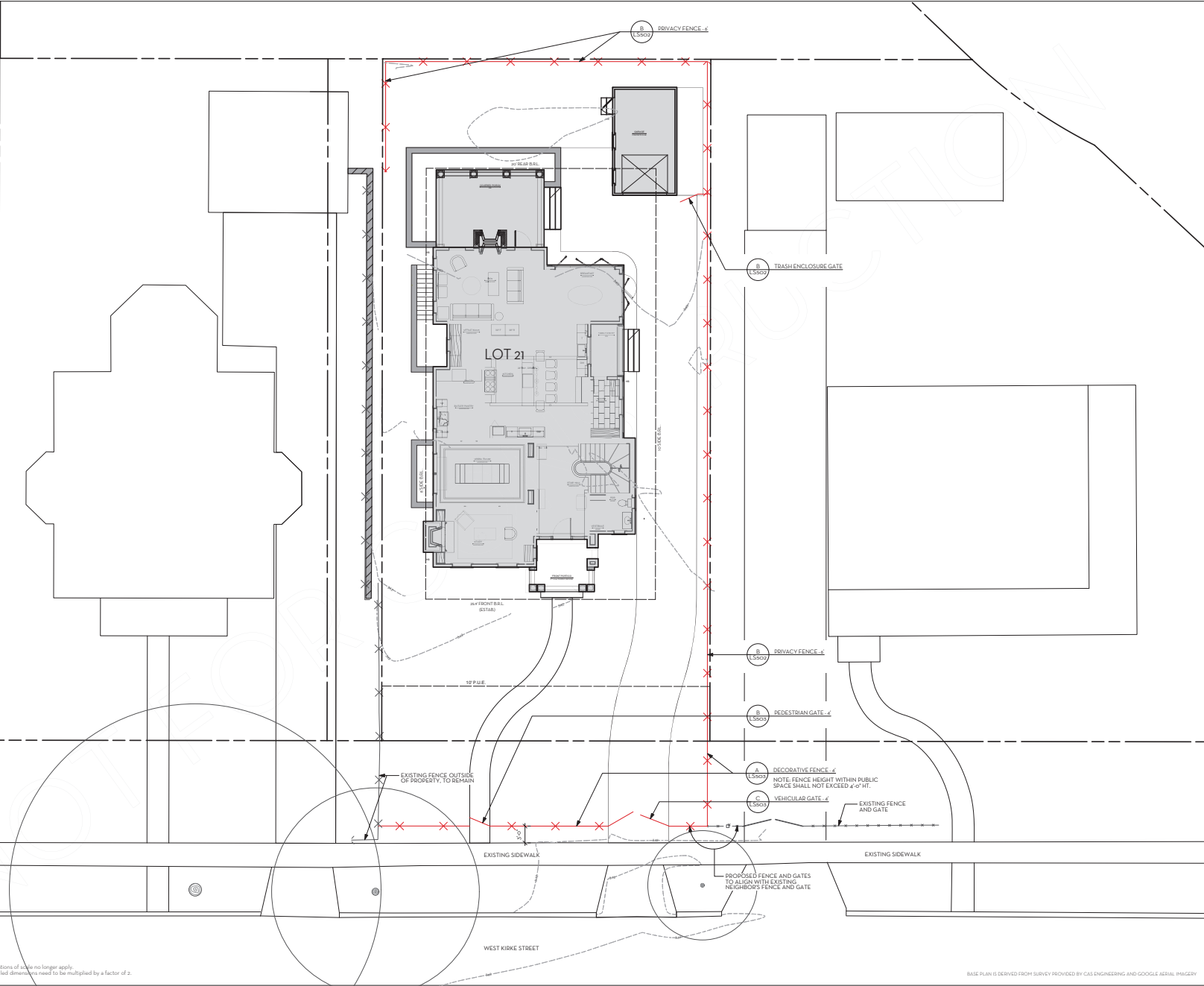
Drawn By: BK    Prog. Manager: LP  
 Approved By: KC

N  
 Scale: 1/8" = 1'-0"

**HARDSCAPE PLAN**

**LS100**

**LEGEND:**  
 - Existing Fence to Remain  
 - Proposed Fence and Gate



If this drawing is not 34" x 36", it is a reduced print, and notations of scale no longer apply.  
 If this drawing is 12" x 18", it is a 50% reduced print, and scaled dimensions need to be multiplied by a factor of 2.

BASE PLAN IS DERIVED FROM SURVEY PROVIDED BY CAS ENGINEERING AND GOOGLE AERIAL IMAGERY

**CHLA**  
 CAMPION/HRUBY  
 111 Cathedral Street, Suite 100 | Annapolis, MD 21401  
 O: 410.280.8850  
 campionhruby.com

Consultants

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Project #: 22204

**FERRIS HARRISON**  
 9 West Kirke Street  
 Chevy Chase, MD 20815

10 JANUARY 2023

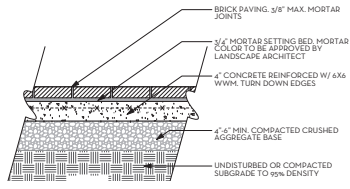
PERMIT DOCUMENT

No.	Date	Description

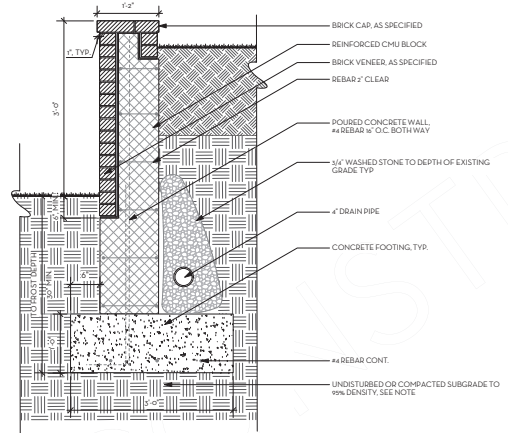
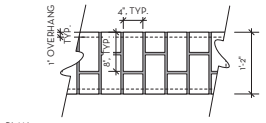
Drawn By: BK    Prog. Manager: LP  
 Approved By: KC

N  
 Scale: 1/8" = 1'-0"

FENCE PLAN  
 LS120



A BRICK PAVING  
 Scale: 1" = 1'-0"



B BRICK RETAINING WALL  
 Scale: 1" = 1'-0"

If this drawing is not 3/4" x 36", it is a reduced print, and notations of scale no longer apply.  
 If this drawing is 12" x 96", it is a 50% reduced print, and scaled dimensions need to be multiplied by a factor of 2.

Consultants

This drawing and the design shown herein are the property of Campion/HRuby Landscape Architects. The reproduction, copying, or use of this drawing without written consent is prohibited and any violation will be subject to legal action.

Project #: 22204

**FERRIS HARRISON**  
 9 West Kirke Street  
 Chevy Chase, MD 20815

10 JANUARY 2023

PERMIT DOCUMENT

No.	Date	Description

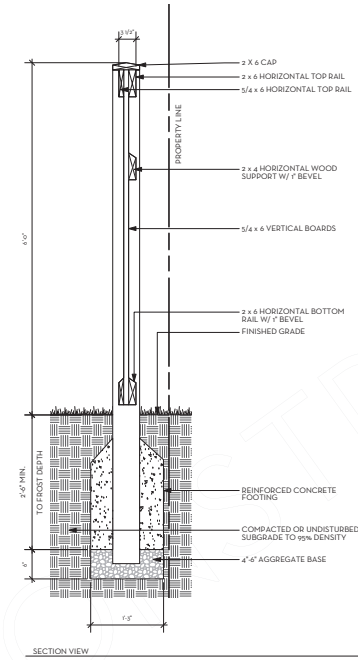
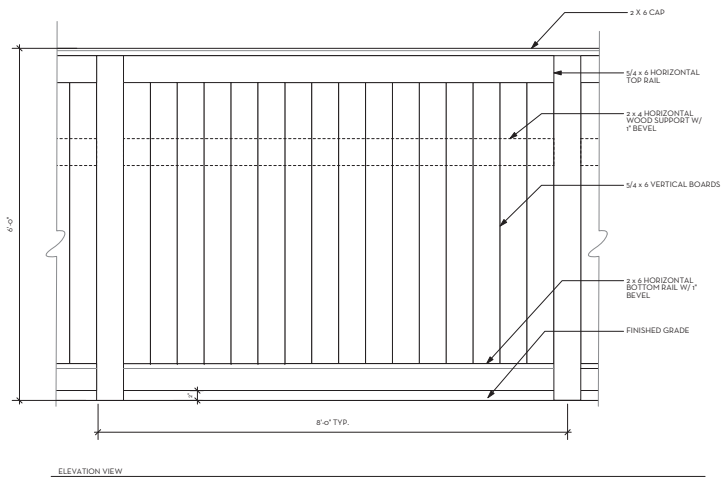
Drawn By: BK Prog. Manager: LP  
 Approved By: KC

Scale: AS SHOWN

**HARDSCAPE  
 DETAILS - PAVING**

**LS500**

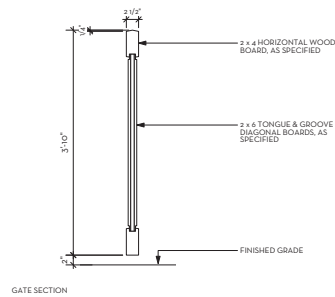
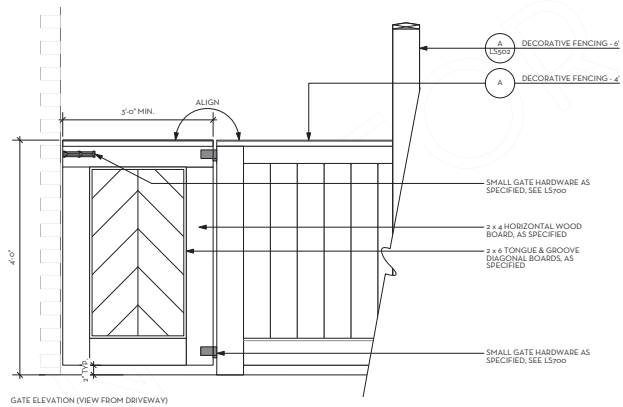




**WOOD CONSTRUCTION NOTES**

- Lumber sizes indicated on details are both nominal and dimensional. Dimensional sizes are indicated in inches.
- All softwood lumber shall comply with guidelines established by the American Lumber Standards Committee - [www.alsc.org](http://www.alsc.org). Lumber shall be of the best quality for the intended use, with no knots, checks, splits, cupping or other defects.
- All exposed lumber shall be Western Red Cedar, Grade D and Better Clear, S&S, unless otherwise noted. All clad posts and structural members not exposed to view shall be Southern Yellow Pine, S&S, select structural grade, kiln dried or air dried with maximum 19% moisture content or approved equal. Structural lumber shall be treated in accordance with American Wood Preservers Association Standard UC3B for above ground use, and UC4A for ground contact use. [www.awpa.com](http://www.awpa.com)
- All wood screws and other fasteners shall be stainless steel type 304 or 316 unless otherwise noted. All carriage bolts and brackets shall be galvanized. Provide washers for all bolted connections; countersink and plug all bolted connections. Contractor shall submit samples of fasteners and hardware for approval by Landscape Architect.
- Contractor shall provide shop drawings of wood construction for review and approval by Landscape Architect.
- Contractor shall construct sample panels of railings and other wood construction for approval by Owner and Landscape Architect. All sample panels shall be preserved and protected so that they can be used for reference during construction. Do not remove or destroy panels until construction is complete.
- Deadbolt, latches and hinges are to be determined.
- Finish all exposed wood with a dark gray or brown stain.

**A** PRIVACY FENCE - 6' HT.  
Scale: 1" = 1'-0"



**B** TRASH ENCLOSURE GATE - 4' HT.  
Scale: 1" = 1'-0"

If this drawing is not 24" x 36", it is a reduced print, and notations of scale no longer apply.  
If this drawing is 12" x 18", it is a 50% reduced print, and scaled dimensions need to be multiplied by a factor of 2.

**CHLA**

**CAMPION/HRUBY**

111 Cathedral Street, Suite 100 | Annapolis, MD 21401  
O: 410.280.8850 [campionhruby.com](http://campionhruby.com)

Consultants

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Project #: 22204

**FERRIS HARRISON**  
9 West Kirke Street  
Chevy Chase, MD 20815

10 JANUARY 2023

PERMIT DOCUMENT

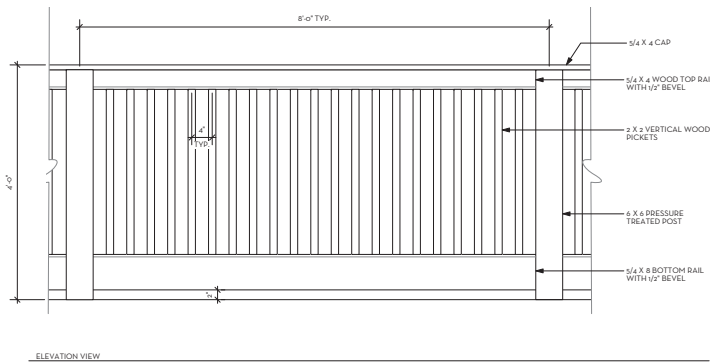
No.	Date	Description

Drawn By: BK Prog. Manager: LP  
Approved By: KC

Scale: AS SHOWN

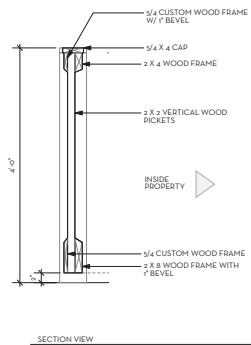
**HARDSCAPE  
DETAILS -  
CARPENTRY**

**LS502**

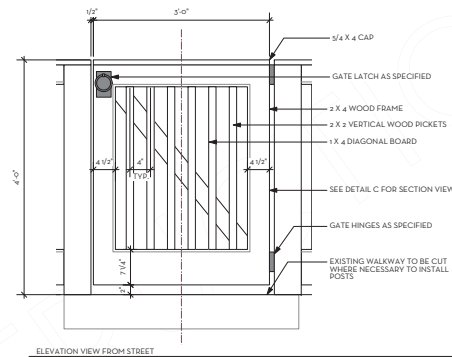


ELEVATION VIEW

A DECORATIVE FENCE - 4 HT.  
Scale: 1" = 1'-0"

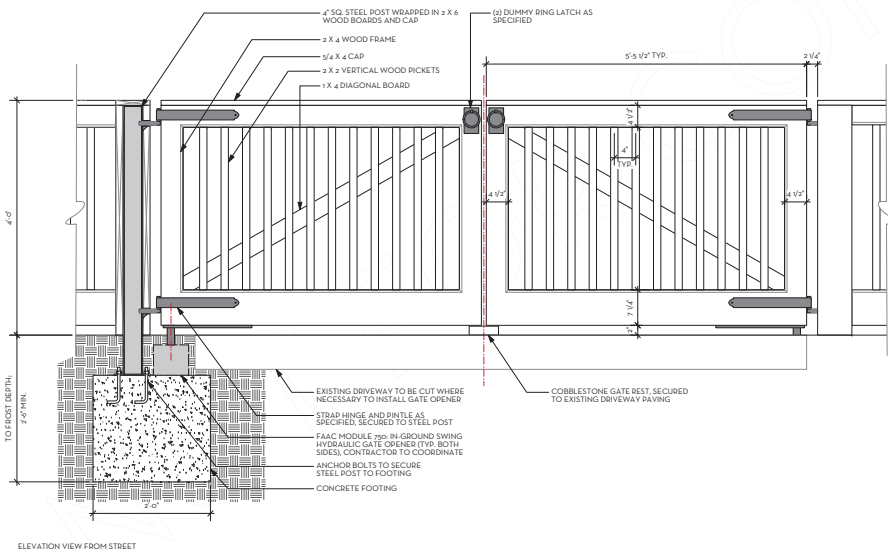


SECTION VIEW



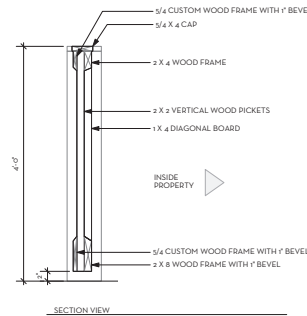
ELEVATION VIEW FROM STREET

B PEDESTRIAN GATE - 4 HT.  
Scale: 1" = 1'-0"



ELEVATION VIEW FROM STREET

C VEHICLE GATE - 4 HT.  
Scale: 1" = 1'-0"



SECTION VIEW

- WOOD CONSTRUCTION NOTES**
- Lumber sizes indicated on details are both nominal and dimensional. Dimensional sizes are indicated in inches.
  - All softwood lumber shall comply with guidelines established by the American Lumber Standards Committee - www.alc.org. Lumber shall be of the best quality for the intended use, with no knots, checks, splits, cupping or other defects.
  - All exposed lumber shall be Western Red Cedar, Grade D and Better Clear, S4S, unless otherwise noted. All clad posts and structural members not exposed to view shall be Southern Yellow Pine, S4S, select structural grade, kiln dried or air dried with maximum 19% moisture content or approved equal. Structural lumber shall be treated in accordance with American Wood Preservers Association Standard UC3B for above ground use, and UCA for ground contact use. www.awpa.com
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Consultants:

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Project #: 22204

**FERRIS HARRISON**  
9 West Kirke Street  
Chevy Chase, MD 20815

10 JANUARY 2023

PERMIT DOCUMENT

No.	Date	Description
1	08/30/22	REVISION
2	1/6/23	REVISION

Drawn By: BK Prog. Manager: LP  
Approved By: KC

Scale: AS SHOWN

**HARDSCAPE  
DETAILS -  
CARPENTRY**

**LS503**



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
*County Executive*

Ehsan Motazed  
*Acting Director*

# HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 1/17/2023

Application No: 1018710  
AP Type: HISTORIC  
Customer No: 1455387

## Affidavit Acknowledgement

The Homeowner is the Primary applicant  
This application does not violate any covenants and deed restrictions

## Primary Applicant Information

Address 9 W KIRKE ST  
CHEVY CHASE, MD 20815  
Homeowner Joshua Harrison (Primary)  
Othercontact CAS Engineering

## Historic Area Work Permit Details

Work Type ALTER  
Scope of Work Proposed retaining and curb walls, expansion of driveway between rear porch and garage, brick path, reconfiguration front walk, and fencing