

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6950 Carroll Ave., Takoma Park	Meeting Date:	12/7/2022
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	11/30/2022
Applicant:	Bank of America	Public Notice:	11/23/2022
Review:	Prelim	Staff:	Dan Bruechert
Proposal:	Fenestration Alteration, HVAC Installation and Associated Screening, and Building Addition		

RECOMMENDATION

Staff recommends the applicant make any changes recommended by the HPC and return for a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Beaux Arts
DATE: 1927



Figure 1: The subject property is located at the corner of Carroll and Willow Ave.

BACKGROUND

The HPC last saw this project in early 2022 as a Preliminary Consultation to convert the building from an unoccupied bank to a restaurant.¹ The proposed changes discussed included altering the fenestration to create two new entrances and installing new lighting. The HPC was generally receptive to the changes, however, the proposal didn't come to fruition.

PROPOSAL

The applicant proposes to rehabilitate the building for use as a distillery. Required changes include fenestration alterations, relocating the HVAC system to the roof, and constructing a building addition.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*), and the Secretary of the Interior's Standards for Rehabilitation (*Standards*). As this project is also in one of the two commercial districts in Takoma Park review of the project shall be guided by the *Design Guidelines for Commercial Buildings in the City of Takoma Park, Maryland*.

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Outstanding Resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes, and additions. The guiding principles to be utilized by the Historic Preservation Commission are the *Secretary of the Interior's Standards for Rehabilitation*

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources:

Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setback, and materials

Emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way

While additions should be compatible, they are not required to be replicative of earlier

¹ The Staff Report for the previous Preliminary Consultation is available here: <https://montgomeryplanning.org/wp-content/uploads/2021/12/II.A-6950-Carroll-Avenue-Takoma-Park.pdf> and the recording of the meeting is available here: http://mncppc.granicus.com/MediaPlayer.php?publish_id=a12cbaac-7027-11ec-85e3-0050569183fa.

architectural styles

Preservation of original and distinctive architectural features, such as porches, dormers, decorative details, shutters, etc..is encouraged

Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged

Preservation of original building materials and use of appropriate, compatible new materials is encouraged

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Takoma Park Bank Building has a single entrance along Carroll Avenue. As a bank, limiting ingress and egress is an integral part of business operation, however, that single entrance will not satisfy code requirements for other commercial uses. The building will be under new ownership in early 2023 and the applicant, as the contract purchaser, proposes to convert the building's use from a bank to a distillery and tasting room. The subject property is the county's lone designated Beaux Arts commercial building and is an Outstanding Resource to the Takoma Park Historic District. The two street-facing elevations have

stone siding, dentils, and a decorative entablature. The parking lot facing elevations are architecturally reserved with brick faced-elevations and no cornice and entablature.

To accommodate the building's proposed use, the applicant proposes to create a new entrance, relocate the HVAC units from the parking lot to the roof, and construct an addition to the rear. The applicant also proposes to restore the window opening on the Willow Ave. elevation that was blocked to install the ATM. While the description of this work is in-kind, detailed specifications need to be submitted with the HAWP application to ensure it does not require a HAWP. Restoring this window is an eligible expense for the County Historic Preservation Tax Credit.

New Building Entrance

The applicant proposes to maintain the existing, ADA-compatible, front entrance. However, a single entrance is not sufficient for the needs of the building program or to satisfy current building codes. The applicant proposes to install a new entrance from the parking lot on the north elevation in a location not visible from the public right-of-way. The proposed door will be a solid, painted steel door.

Staff finds the proposed door will only be visible from the parking lot and not visible from the public right-of-way as recommended by the *Design Guidelines*. Additionally, the entrance is proposed for a section of blank wall, so no historic openings will be impacted by the new door. Staff notes the applicants reviewed the HPC's comments from the January 2022 Preliminary Consultation (linked above) and purposefully avoided installing the door in a location that would require removing a historic window. Staff finds the proposed door will be visible as a utilitarian feature that does not detract from the architectural significance of the historic building.

Staff requests feedback from the HPC regarding the appropriateness of the proposed door location, material, and design.

Relocating HVAC System

The current HVAC units are installed along the rear elevation adjacent to the parking lot. The proposed building program requires an expanded HVAC system. Instead of adding more units adjacent to the parking lot, the applicant proposes to relocate the HVAC system to the roof and install a perforated metal screen on the roof to cover a new egress stair and obscure the view of the mechanical system.

Staff finds relocating the HVAC system to the roof is appropriate and in fact, should be encouraged as it will reveal more of the historic building and reduce the noise created by the HVAC system. The application notes that the proposed screening is illustrative, as the final HVAC has not been selected, but the maximum size of the screens will be 8' (eight feet tall) and setback 16' (sixteen feet) from the wall plane. The applicant provided a perspective rendering in the application showing the building from street grade. Staff encourages the applicant to keep any rooftop screening as low as possible to limit its visibility from the right-of-way. However, adding a visual element to the roof is problematic as it can compete with the hierarchy and highly decorative nature of the Beaux-Arts style building. The screening should be lowered to the maximum extent so that it is not visible from the public right of way. If this is not possible to lower and consolidate the screening so that it is not visible, the HPC should discuss whether it is less obtrusive for the mechanical units to be screened at grade.

Staff is concerned about the compatibility of the proposed perforated mechanical screen. The highly reflective metal surface will likely detract from the dull masonry building material. A metal screen with a matte finish may be more compatible. Staff requests feedback from the HPC regarding the appropriateness of the proposed mechanical screening material, height, and location. Additionally, Staff also requests feedback regarding the placement of the mechanical system on the roof.

Building Addition

In the northwest corner of the historic building, the applicant proposes to construct a 975 ft² (nine hundred seventy-five square foot) building addition. The proposed addition includes a loading dock, mechanical systems for manufacturing, and storage space. The addition will access the historic bank building by removing the lower half of one of the historic steel windows. There is a half-window assembly in the westernmost opening on the north elevation. The lower brick section of that window is opposite the historic bank vault which will be retained.

The addition is inset from the historic side wall plane by approximately 1' (one foot) with a 3' (three foot) hyphen-inset and will be partially visible from a very narrow perspective along Carroll Ave. but will be highly visible from Willow Ave. The addition is 12' 9" (twelve feet, nine inches) tall and will have a concrete base and sided in profiled vertical metal panels (representative image attached to the application). An additional 10' (ten feet) of perforated screening will be installed above the addition, surrounding the distillery mechanicals above. The perforated screening is the same material proposed for the roof, discussed above. Because the parking lot grade does not align with the interior floor slab, a lift will be installed in the bank interior.

Staff finds the addition's proposed location is the preferred location for any addition to this building. It is placed on the less architecturally significant rear elevation, in a location that minimizes its visibility from the right-of-way, and enlarges an existing opening to provide access. While it may be preferable to utilize the lower section of the window to the right (west), the interior bank vault prevents expanding that opening. By utilizing the existing opening and not installing additional wall penetrations, the addition is a reversible construction that is consistent with Standard 10.

Staff finds the 33' 6" × 29' 6" (thirty-three feet, six inches by twenty-nine feet, six inches) size will not overwhelm the historic building, nor will its 22' 9" (twenty-two feet, nine inch) height.

As with the proposed mechanical screening, Staff remains uncertain if the vertical metal panels are an appropriate material for an addition to the subject property. The shiny metal finishes highly contrast with the masonry building. However, Staff also finds that the metal paneling is consistent with the industrial character and function of the proposed addition and recognizes that this material and its visual contrast are sufficiently differentiated under Standard 9. Staff finds that a finish that is either consistent with a baked enamel finish or a masonry exterior would be appropriate. For example, the neighboring property to the west constructed a mechanical addition to the rear and covered it in brick to match the rest of the building exterior (this addition is the approximate size of the one proposed). Staff finds that the neighboring building addition blends into the original construction and does not draw visual attention. Staff requests HPC feedback on:

- The appropriateness of the proposed addition;
- The addition's placement;
- The addition's dimensions; and
- The proposed exterior materials.

STAFF RECOMMENDATION

Staff requests HPC feedback on:

- The proposed placement and style of the new egress door;
- The appropriateness of the new HVAC screening; including
 - Its placement on the roof and its height; and,
 - Material appropriateness;
- Feedback on the new addition:

- Its placement;
 - Its size; and
 - The proposed materials; and
- Any recommended design revisions.

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP.



FOR STAFF ONLY:
HAWP# _____
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Jeff Harner
Address: 7203 Garland Ave.
Daytime Phone: 610-207-9097

E-mail: info@sangfroiddistilling.co
City: Takoma Park Zip: 20912
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: Christopher Peli
Address: 1010 wisconsin ave nw suite 405
Daytime Phone: 202-464-7475

E-mail: cjp@coredc.com
City: Washington, DC Zip: 20007
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? X Yes/District Name Takoma Park Historic District
____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 6950 Street: Carroll Ave.
Town/City: Takoma Park Nearest Cross Street: Willow Ave.
Lot: 1 Block: 5 Subdivision: 025 Parcel: 01078220

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Jeff D. Harner
Signature of owner or authorized agent

11/10/2022

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Bruce Levin (current) 5616 Namakagan Road Bethesda, MD 20816 Jeff Harner (future) 7203 Garland Ave. Takoma Park, MD 20912	Owner's Agent's mailing address Christopher Peli CORE DC 1010 Wisconsin Ave NW Suite 405 Washington, DC 20007
Adjacent and confronting Property Owners mailing addresses	
KD Properties Inc. 6940 Carroll Ave. Takoma Park, MD 20912-4432	Susan Glimcher 7114 Willow Ave. Takoma Park, MD 20912
Potomac Conference Corp/Seventh Day Adventists 6951 Carroll Ave. Takoma Park, MD 20912 Mailing Address: 6810 Eastern Ave., NW Washington, DC 20012	KC Associates LLC 7000 Carroll Ave. Takoma Park, MD 20912 Mailing Address: c/o The Barac Co 6901 4th Street, NW Washington, DC 20012
Takoma Business Center LLC 7110 Willow Ave. Takoma Park, MD 20912 Mailing Address: c/o Avison Young 11921 Rockville Pike, Suite 200 Rockville, MD 20852	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

6950 Carroll Ave. was formerly occupied by Bank of America and was purchased at auction by Bruce Levin in 2021. The building stands at the corner of Carroll Ave. and Willow Ave. with two-story traditional arched windows. At the main (and only) entry, with large double doors and a vestibule, there are four small stair treads and an ADA ramp leading in. There is a trim detail around the top of the exterior.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The building has two prominent, street-facing facades. The primary façade on Carroll Avenue shall remain unchanged. The façade on Willow Avenue has had a two-story window altered that eliminated the lower portion. Sangfroid Distilling, an artisan distillery currently based in Hyattsville, is under contract to purchase the property, and proposes to restore this facade to its original design by swapping the window with an identical, double-height window from the rear, parking lot-facing façade. We also propose an addition on the rear of the building to accommodate loading/unloading and to minimize altering the interior of the building to the greatest extent possible. We propose removing inadequate HVAC units on the rear of the building and replacing them with a rooftop unit.

There is an existing graded ramp to the Carroll Ave primary entrance enabling ADA access. This is, however, the only entrance to the building. A second means of egress is required. Additionally, the internal stairs of the building are not to current code (in width, riser height or tread depth), and do not provide adequate or safe access to the roof. Both existing stairs are open, with the mezzanine stair open to over three stories (which is non-compliant). Our proposal includes a new open stair connecting the Ground, Basement, and Addition splitlevel, and an enclosed stair to connect all three stories and the roof. The new enclosed stair egresses via a discrete door on the inside elevation of 'L' in the building plan and is not seen from any street façade. Emergency stair access to the roof is required for roof top equipment and for First Responder access.

Work Item 1: Restore Willow window and facade

Description of Current Condition:

The original window on Willow Ave. was removed to install ATMs, and the facade was bricked-in once the ATMs were removed.

Proposed Work:

A previous proposal seen by the Historic Preservation Commission (from the current owner) to replace the bottom of the disturbed window (previously used as an ATM) with a new door and sidelight design is useless for distilling purposes. Sangfroid requires a loading capacity that can accommodate a driven fork-lift and hand carts. Loading from the side-door on Willow is both a logistical and aesthetic non-starter, as also pointed out by members of the HPC. Our proposal to move the current half-height window to the rear solves several issues. The owners wish to return the Willow Ave facade to its original grand design and eliminate the bricked-in scar on the most prominent corner of the lot. By installing the half-height window on the rear facade, we are proposing to use the masonry opening below that window for a connection 'link' into the building from a small addition.

Work Item 2: Addition to rear of building

Description of Current Condition:

The NW rear of the building has one half-size arched window and a row of small HVAC units above grade over a window well.

Proposed Work:

Our proposed addition for Loading and Distilling equipment keeps the heavy lifting activities of the process outside of the historic building itself and out of view of neighboring properties. A high-bay loading door with adequate width for forklift operation allows Sangfroid to bring raw materials in and finished product out of the building via the 975 SF addition. FAR and Parking calculations are shown on sheet HP.01 demonstrating compliance of the added building bulk.

Work Item 3: Rooftop HVAC

Description of Current Condition:

The building's HVAC is daisy-chained along the rear of the building facing the parking lot.

Proposed Work:

The building HVAC is inadequate for modern energy code and the proposed use. We propose to replace the existing row of unsightly HVAC condenser units located at grade along the rear/parking facade of the building with an efficient Roof-Top Unit (RTU) capable of providing adequate conditioning to the building. We propose set-backs of a mechanical screen around the RTU (yet to be sized by Mechanical Engineer), of a minimum of 2:1 on the street facades, and 1:1 setback on the non-street facades. The area shown on the Roof Plan is the maximum extents based on those setback criteria, assuming a screen 8'-0" high. Our proposal includes a rooftop area for outdoor distilling equipment on the Addition roof, and ONLY equipment serving the building on the primary roof. This is to not burden the historic structure with equipment specific to the distilling use, only for the purpose of conditioning the structure itself. This will also keep the amount of higher roof mechanical to a minimum.

SITE DATA:
6950 CARROLL AVENUE, TAKOMA PARK, MD

LOT AREA : 16,822 SF
MAX F.A.R. : 0.75

EXISTING GFA : 5,200 SF (INCL. MEZZANINE)
EXISTING F.A.R. : 0.309

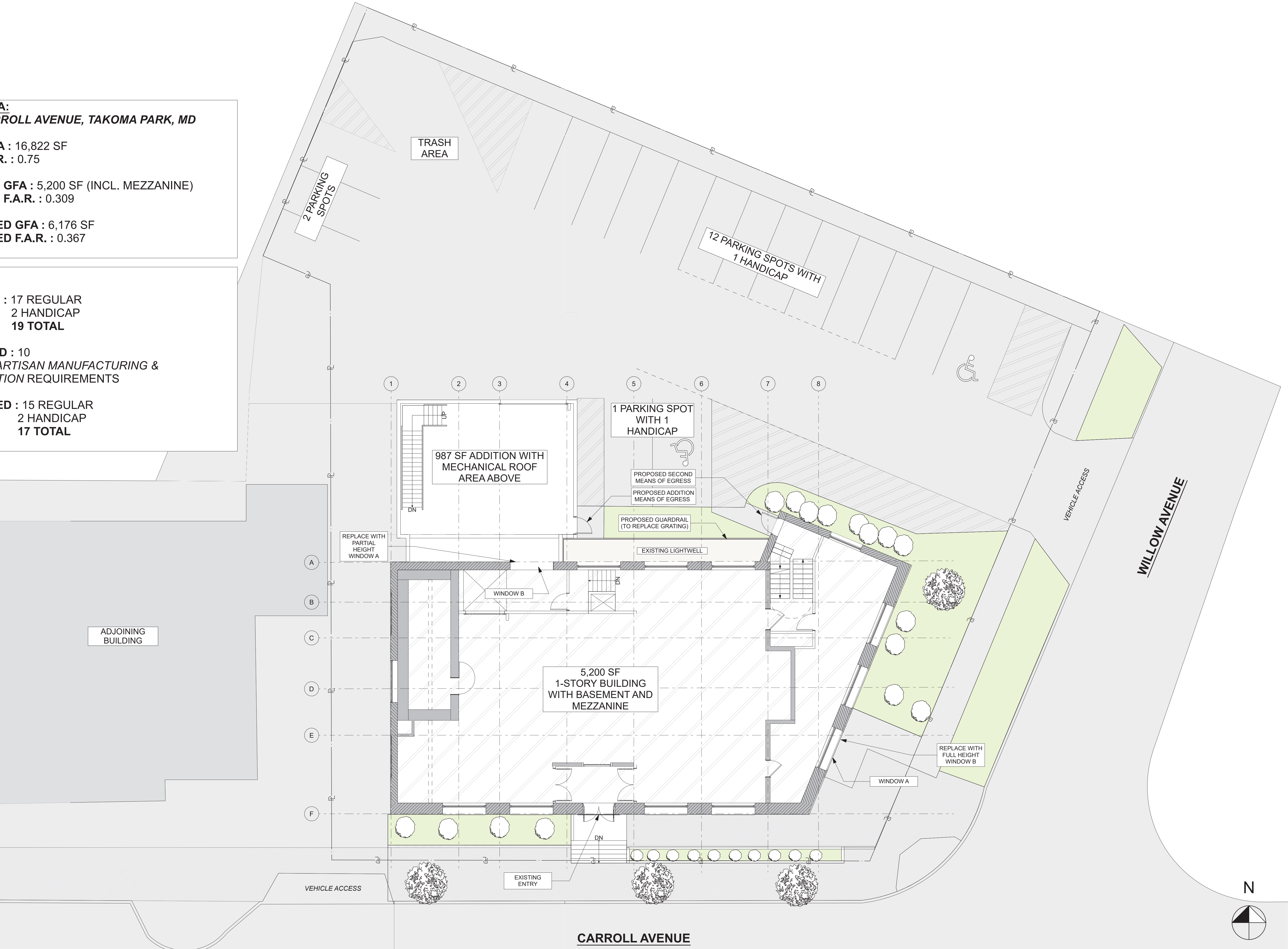
PROPOSED GFA : 6,176 SF
PROPOSED F.A.R. : 0.367

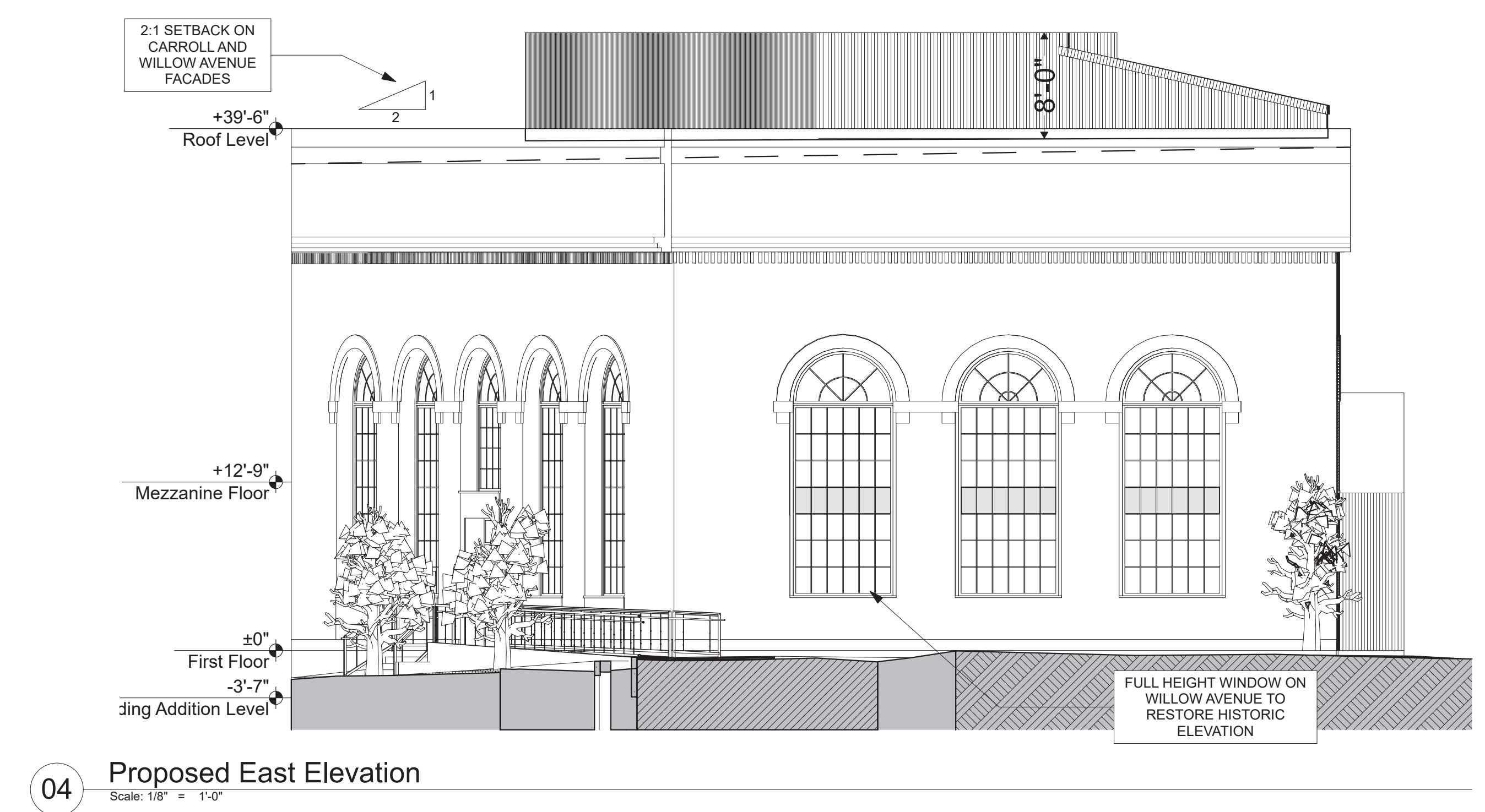
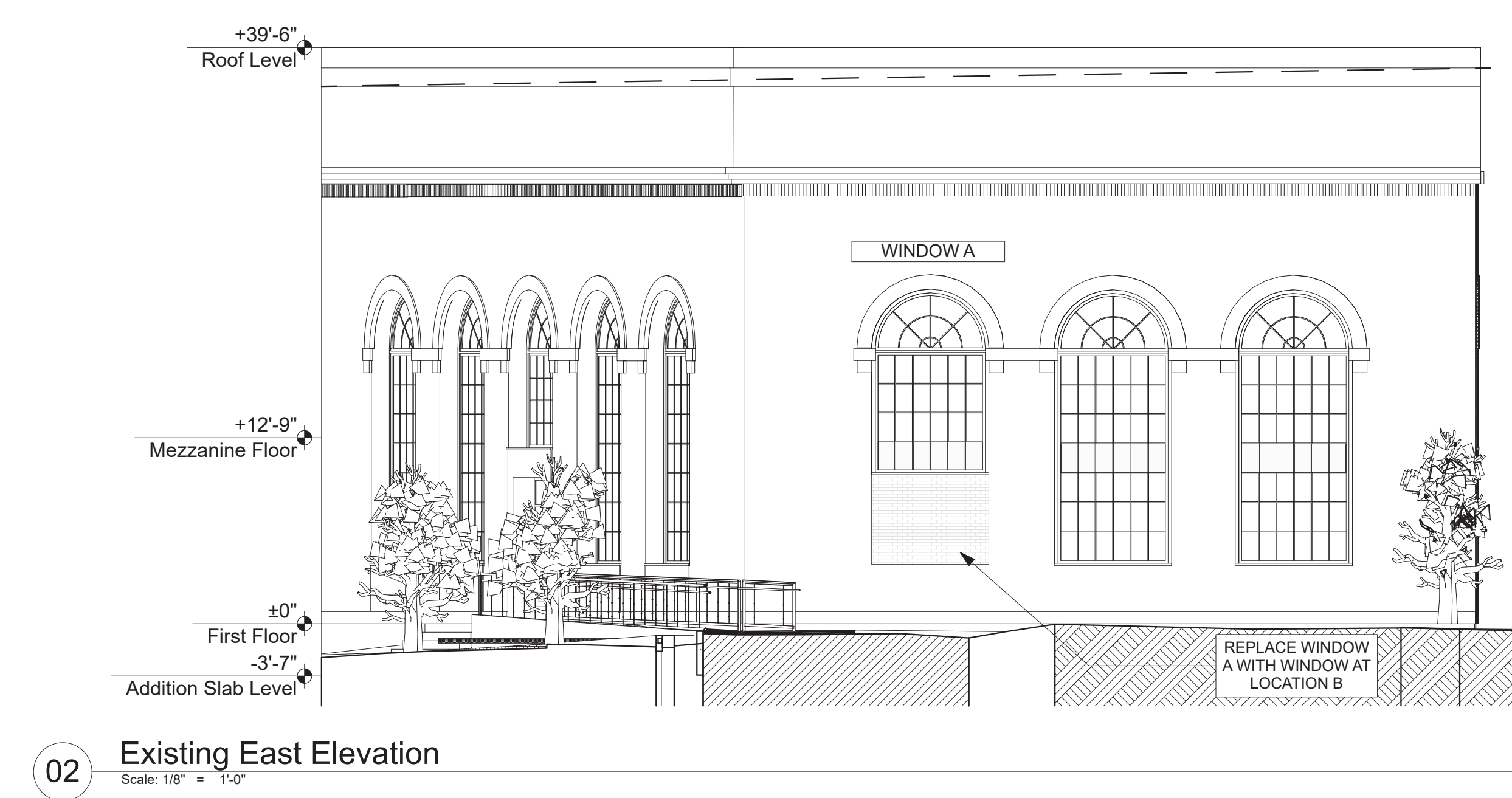
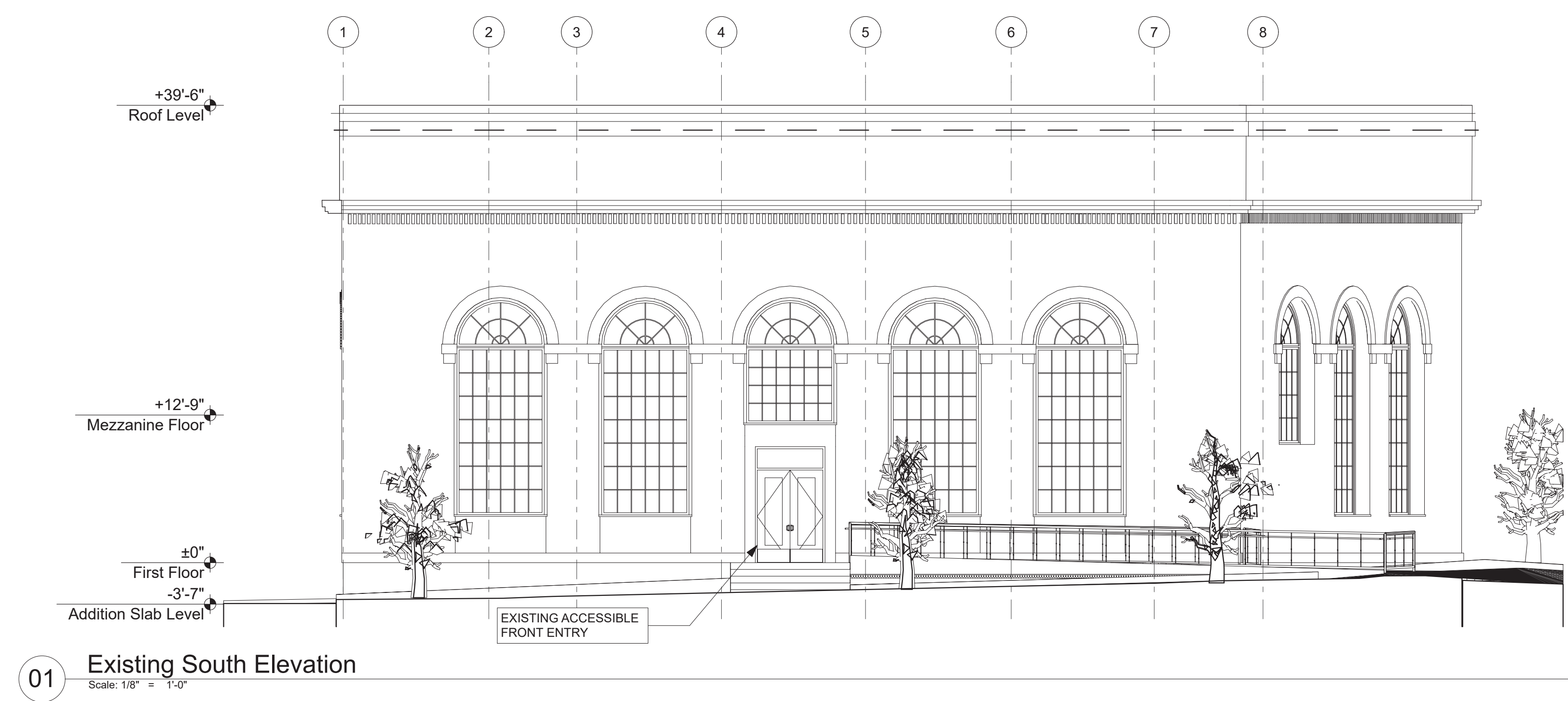
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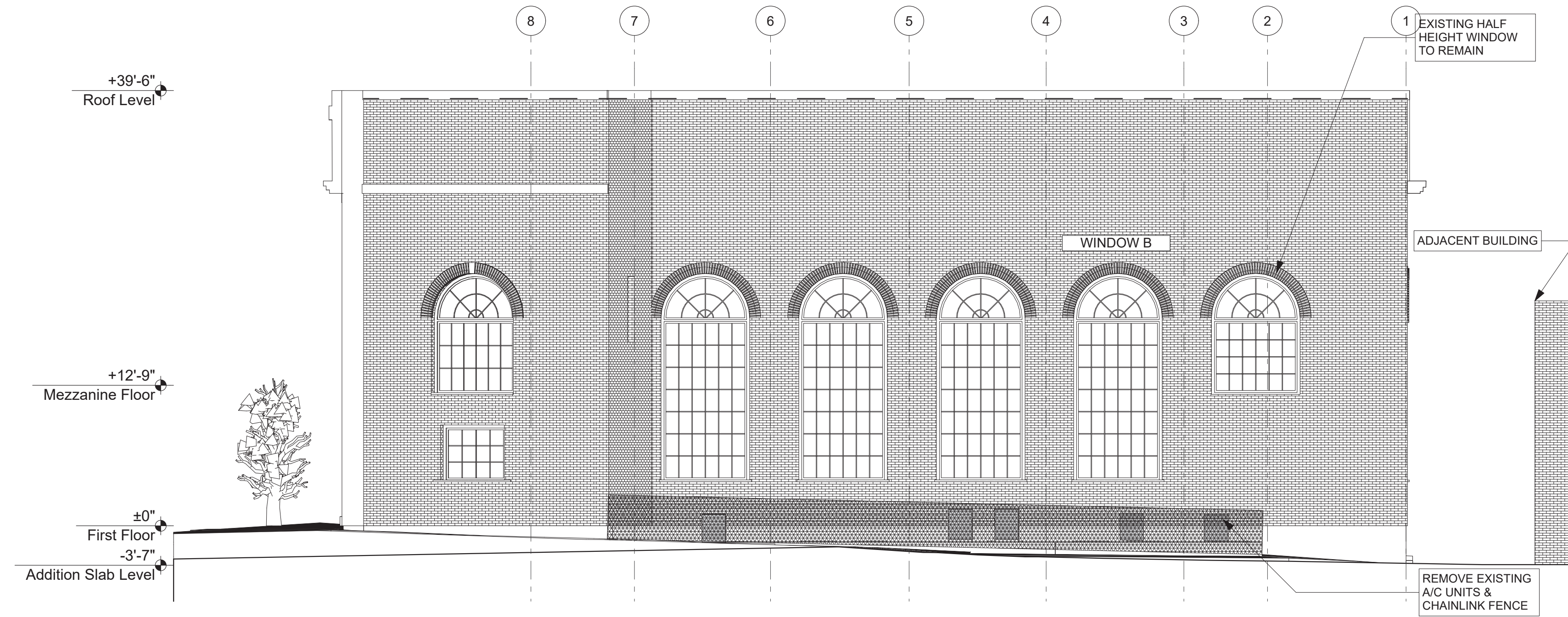
EXISTING : 17 REGULAR
2 HANDICAP
19 TOTAL

REQUIRED : 10
PER ARTISAN MANUFACTURING &
PRODUCTION REQUIREMENTS

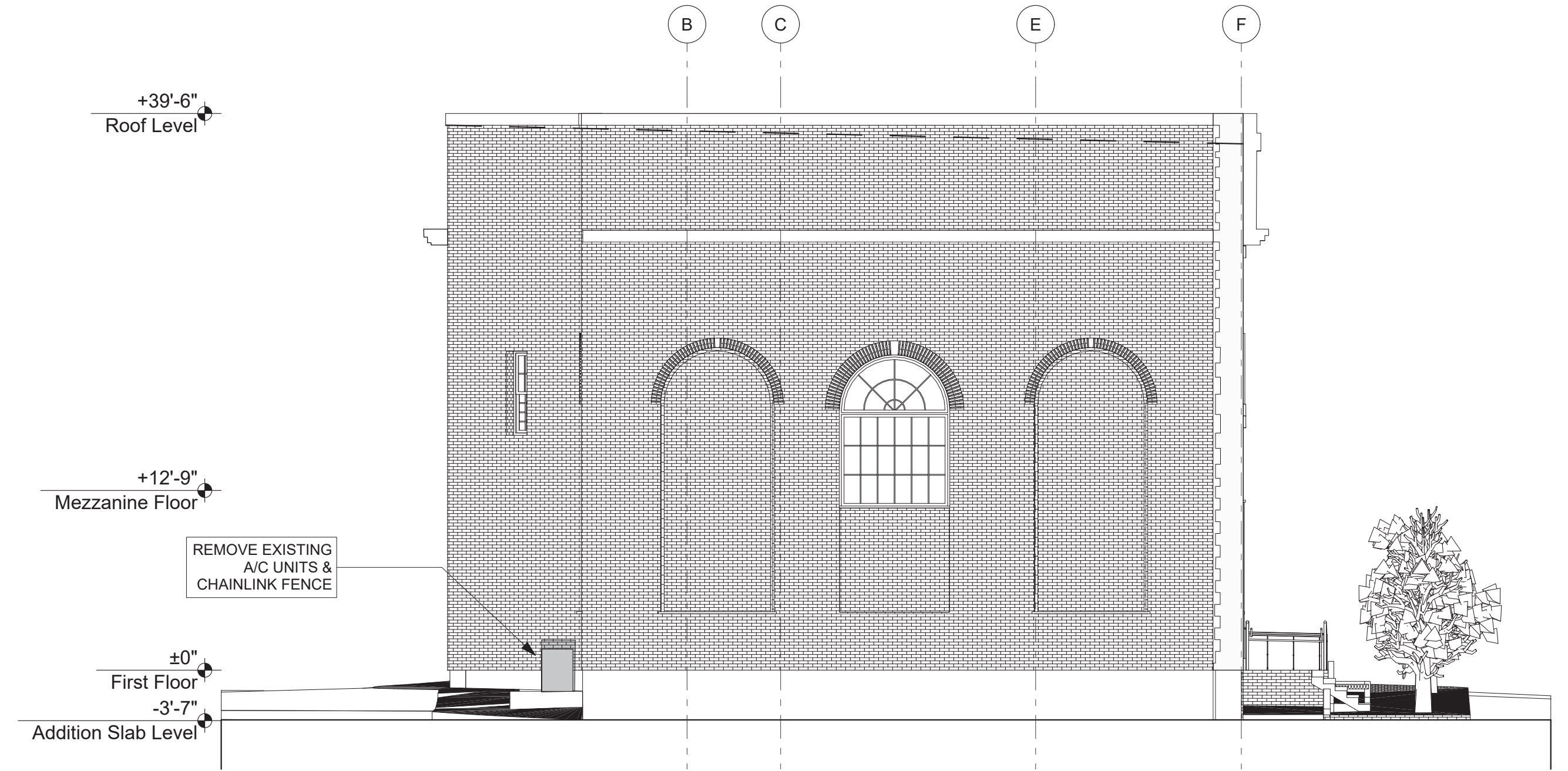
PROPOSED : 15 REGULAR
2 HANDICAP
17 TOTAL



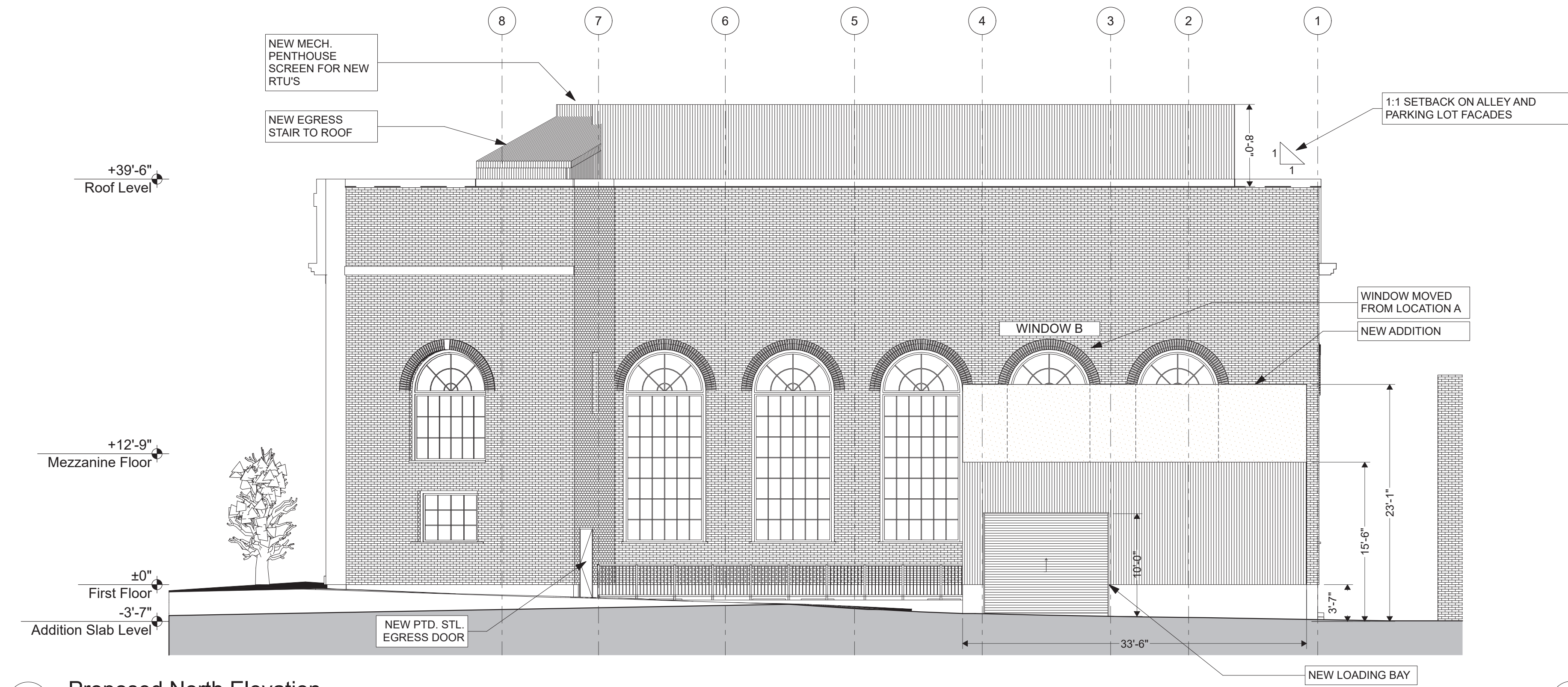




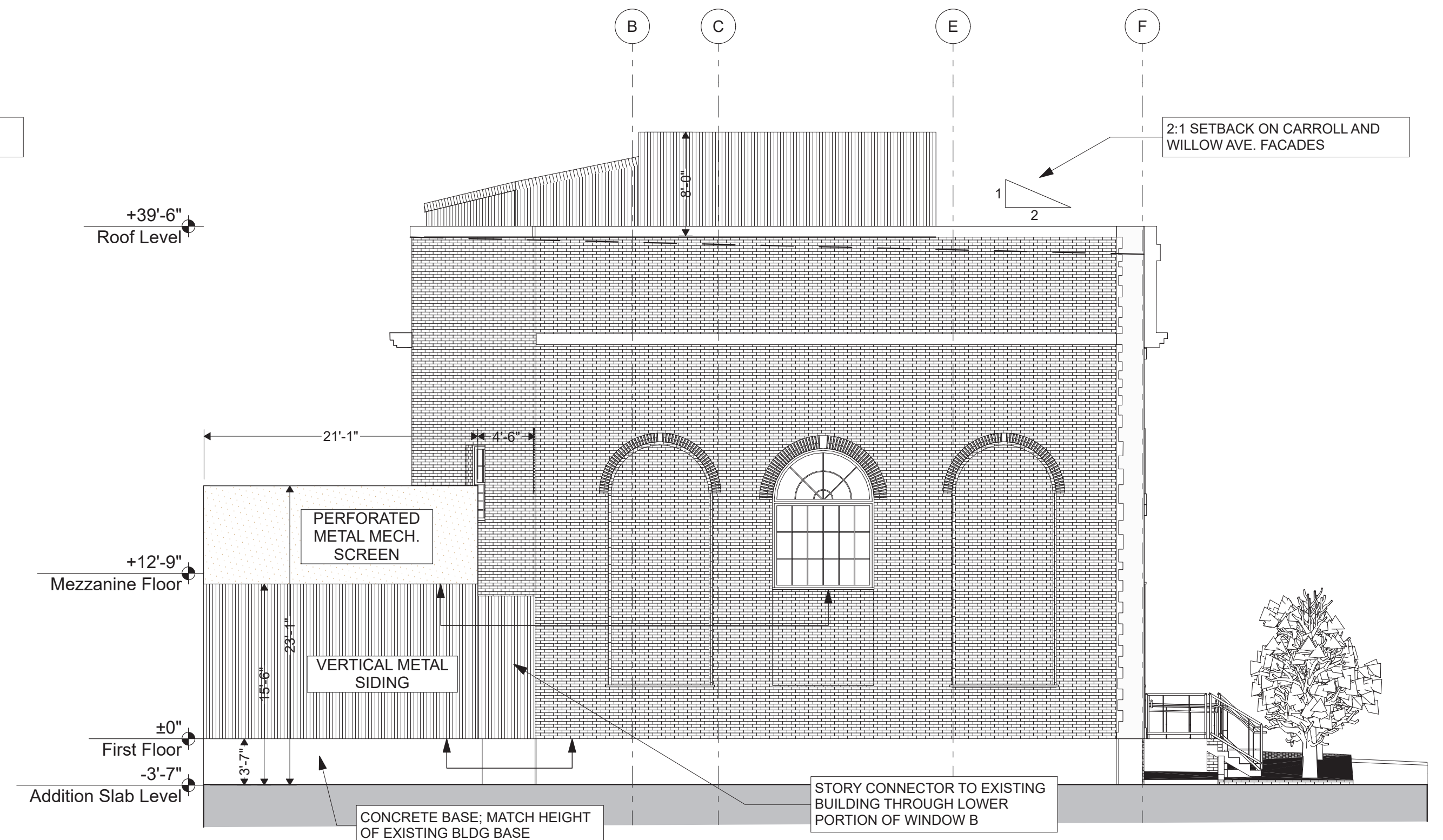
01 Existing North Elevation
Scale: 1/8" = 1'-0"



02 Existing West Elevation
Scale: 1/8" = 1'-0"



03 Proposed North Elevation
Scale: 1/8" = 1'-0"



04 Proposed West Elevation
Scale: 1/8" = 1'-0"



SE CORNER 3D VIEW

New egress stair to roof & mechanical equipment screening

Restore Willow Ave facade



EXISTING EAST FACADE

Replace existing window with parking lot facade window. See North Elevation.



WINDOW DETAIL



New mech. penthouse screen for new RTU's

SE CORNER STREET VIEW



NORTH FACADE

New Egress door

New mech. penthouse
screen for new RTU's

New entry point for equipment loading.



WINDOW DETAIL

Replace with window
from Willow Avenue
facade and remove sill
for addition connector

New egress stair to roof

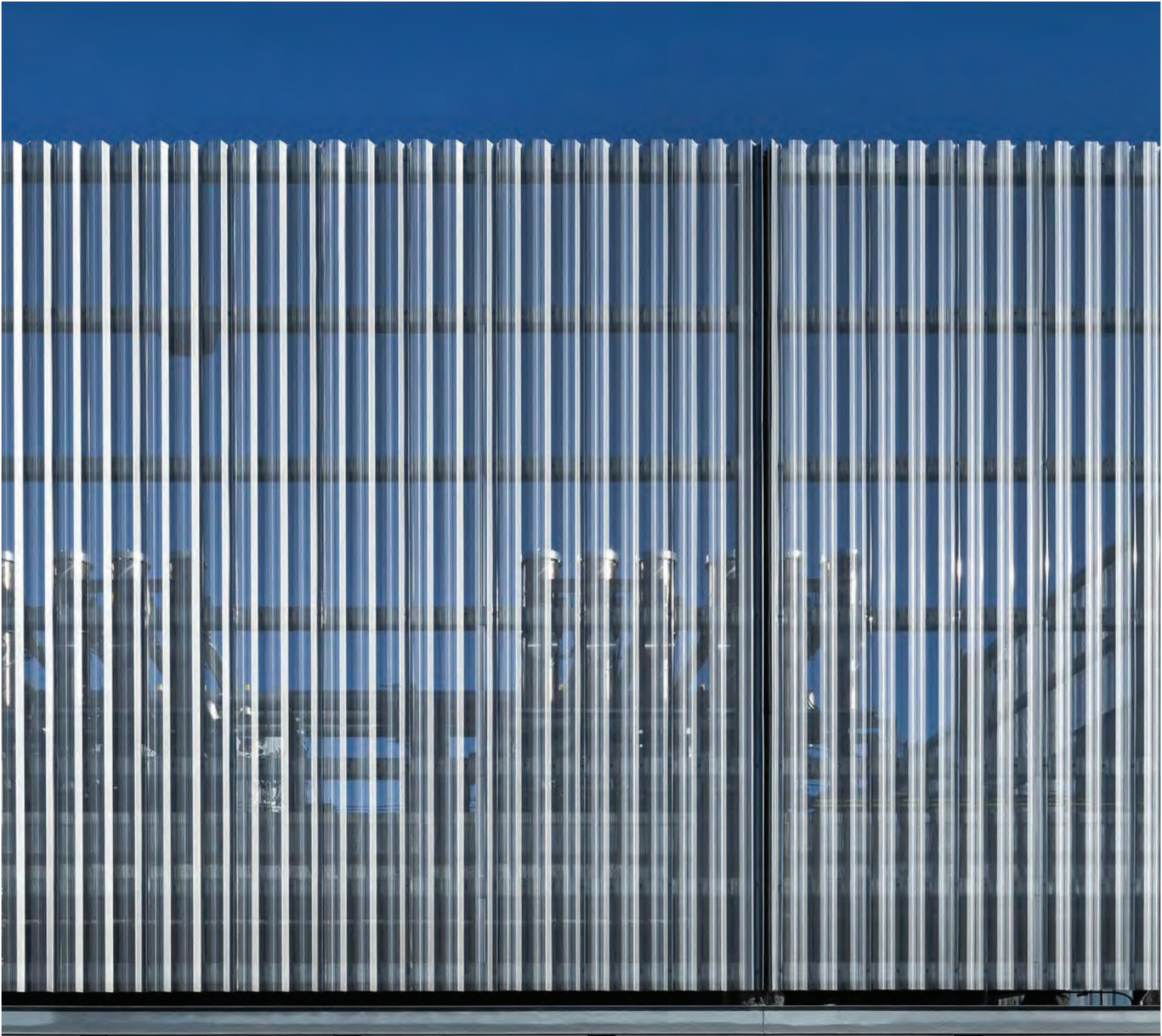
New 976 SF addition with
mechanical roof above



SW CORNER STREET VIEW



NE CORNER STREET VIEW



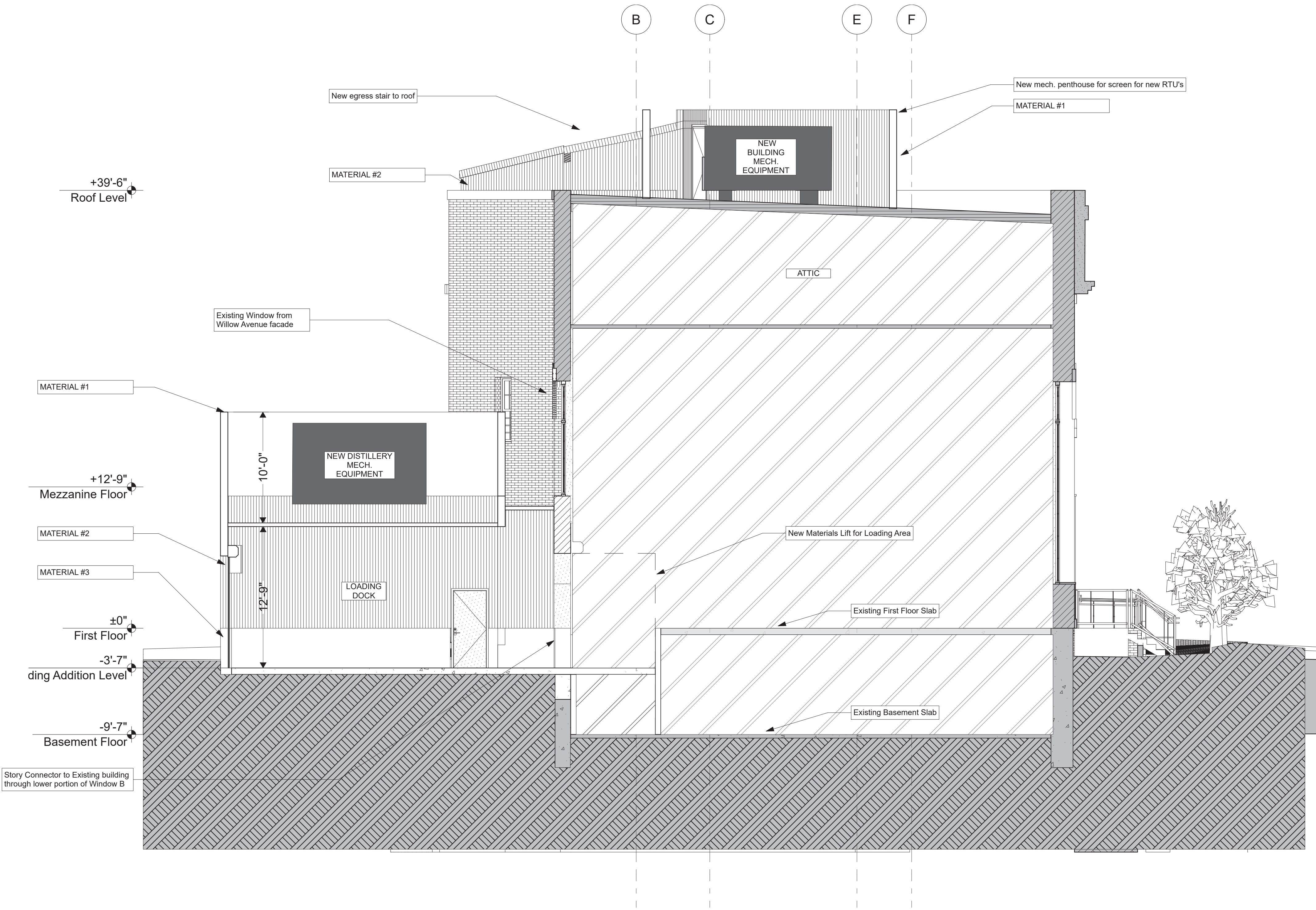
1. PERFORATED MECHANICAL SCREENS



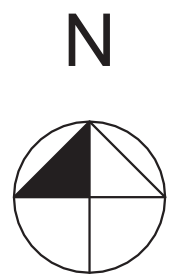
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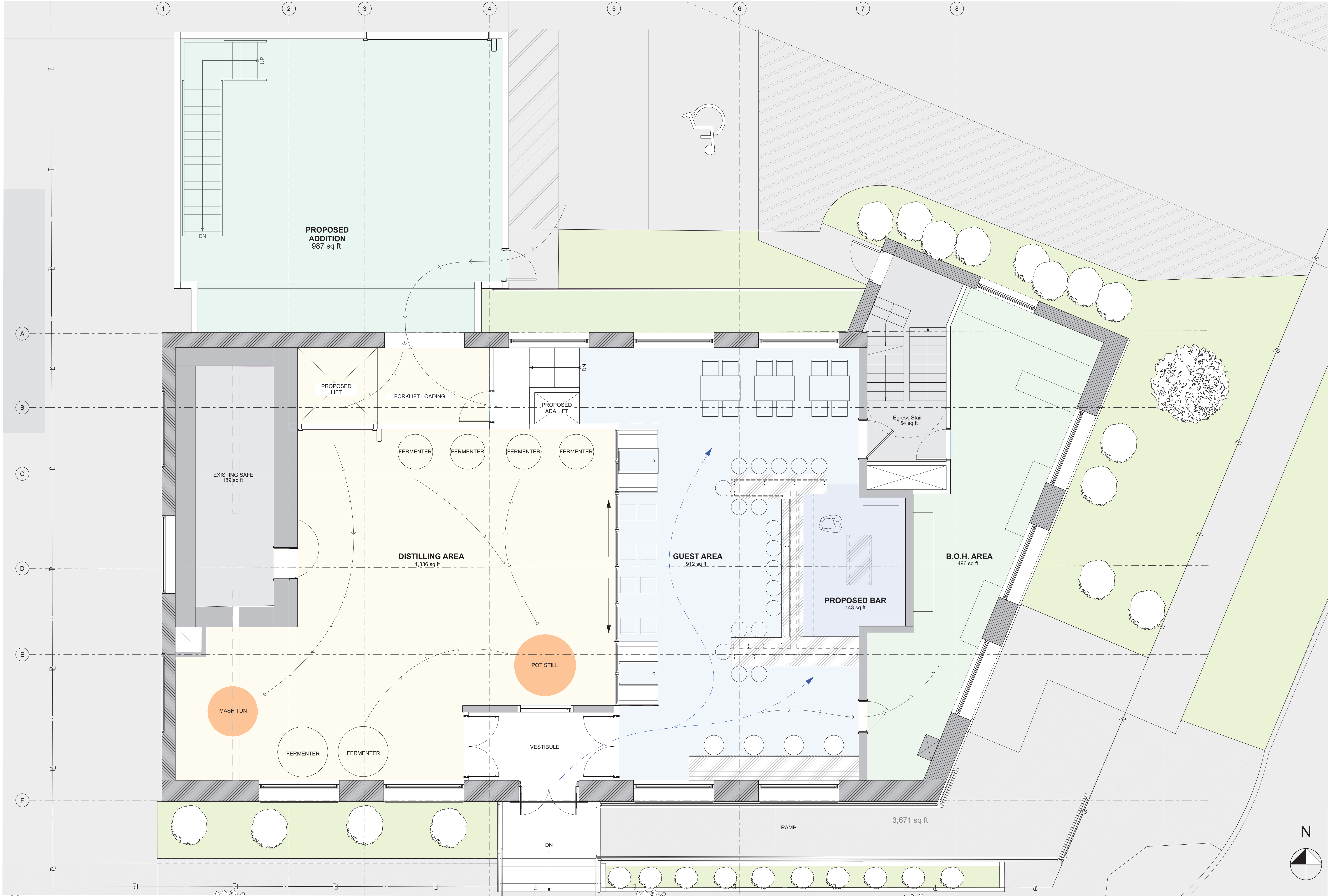


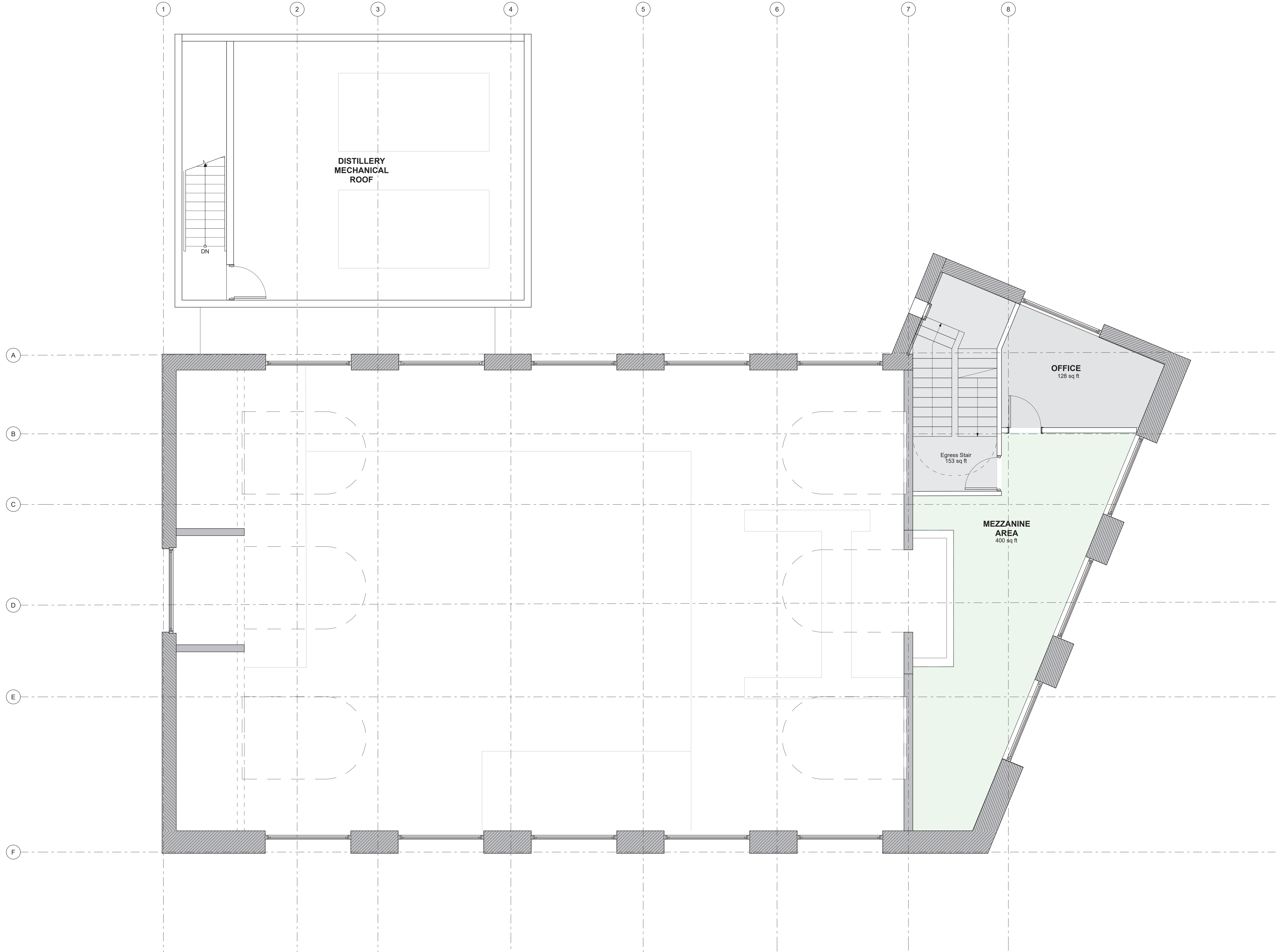
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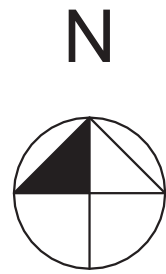
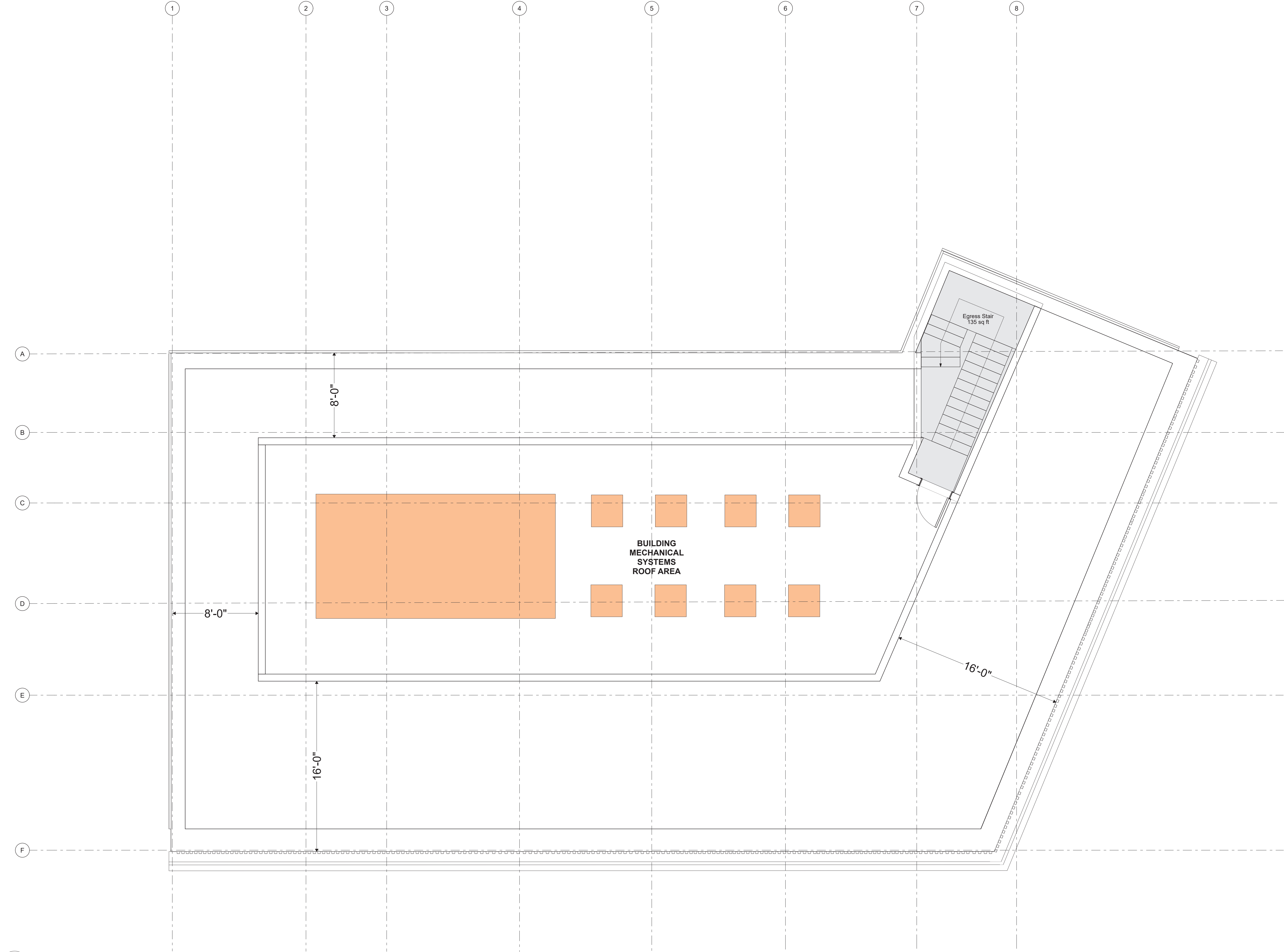


HP Building Section
Scale: 3/16" = 1'-0"









MEMO TITLE

Date: 10/31/2022
To: Dan Bruechert (MoCo Planning)
From: Christopher Peli (CORE architecture + design)
Project: Sangfroid Distilling - 6950 Carroll Ave, Takoma Park, MD
Copies: JEFF HARNER, NATE GROENENDYK (SANGFROID DISTILLING)

Dear Mr. Bruechert;

This letter is at your request to summarize our proposed alterations to the property at 6950 Carroll Ave, Takoma Park, Maryland. CORE architecture + design is working on behalf of Sangfroid Distilling, who is currently under contract to purchase the property. CORE has extensively surveyed the property—a historic purpose-built bank building at a prominent corner in the Takoma/Takoma Park neighborhood—and have worked with future owners Jeff Harner (a Takoma Park resident) and Nate Groenendyk to understand how their unique distilling operation can impart itself lightly on the nearly century-old structure.

Below is a summary of alterations as illustrated in our October 18, 2022 drawing package, and reasoning for their proposal.

- The building has two prominent, street-facing facades. The primary façade on Carroll Avenue shall remain unchanged. The façade on Willow Avenue has had a two-story window altered that eliminated the lower portion. We propose to restore this facade to its original design by swapping the window with an identical, double-height window from the rear, parking lot-facing façade.

A previous proposal seen by the Historic Review board (from a different owner) to replace the bottom of the disturbed window (previously used as an ATM) with a new door and sidelight design is useless for the distilling purpose. Sangfroid requires a loading capacity that can accommodate a driven fork-lift and hand carts. Loading from the side-door on Willow is both a logistical and aesthetic non-starter. Our proposal to move the current half-height window to the rear solves several issues. The owners wish to return the Willow Ave façade to its original grand design and eliminate the bricked-in scar on the most prominent corner of the lot. By installing the half-height window on the rear façade, we are proposing to use the masonry opening below that window for a connection 'link' into the building from a small addition.

- Our proposed addition for Loading and Distilling equipment keeps the heavy lifting activities of the process outside of the historic building itself. A high-bay loading door with adequate width for forklift operation allows Sangfroid to bring raw materials in and finished product out of the building via the 975 SF addition. FAR and Parking calculations are shown on sheet HP.01 demonstrating compliance of the added building bulk.

- The building HVAC is inadequate for modern energy code and the proposed use. We proposed to replace the existing row of unsightly HVAC condenser units located at grade along the rear/parking façade of the building with an efficient Roof-Top Unit (RTU) capable of providing adequate conditioning to the building. We propose set-backs of a mechanical screen around the RTU (yet to be sized by Mechanical Engineer), of a minimum of 2:1 on the street facades, and 1:1 setback on the non-street facades. The area shown on the Roof Plan is the maximum extents based on those setback criteria, assuming a screen 8'-0" high. Our

proposal includes a rooftop area for outdoor distilling equipment on the Addition roof, and ONLY equipment serving the building on the primary roof. This is to not burden the historic structure with equipment specific to the distilling use, only for the purpose of conditioning the structure itself. This will also keep the amount of higher roof mechanical to a minimum.

- There is an existing graded ramp to the Carroll Ave primary entrance enabling ADA access. This is, however, the only entrance to the building. A second means of egress is required. Additionally, the internal stairs of the building are not to current code (in width, riser height or tread depth), and do not provide adequate or safe access to the roof. Both existing stairs are open, with the mezzanine stair open to over three stories (which is non-compliant). Our proposal includes a new open stair connecting the Ground, Basement, and Addition split-level, and an enclosed stair to connect all three stories and the roof. The new enclosed stair egresses via a discrete door on the inside elevation of 'L' in the building plan and is not seen from any street façade. Emergency stair access to the roof is required for roof top equipment and for First Responder access.

We hope that this memo—along with our Testfit Plans illustrating the interior spatial configuration—provides some additional insight into the reasoning for our design moves, and the considerations for the historic structure that we have made. We look forward to working with you and other members of Takoma Park and Montgomery County for a successful project at this landmark property.

With warm regards

Christopher Peli
Project Manager
CORE architecture + design