

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	10310 Freeman Place, Kensington	<b>Meeting Date:</b>	12/21/2022
<b>Resource:</b>	Primary One Resource <b>Kensington Historic District</b>	<b>Report Date:</b>	12/14/2022
<b>Applicant:</b>	Daniel Martin	<b>Public Notice:</b>	12/7/2022
<b>Review:</b>	HAWP	<b>Staff:</b>	Dan Bruechert
<b>Case Number:</b>	<b>REV 998841</b>	<b>Tax Credit:</b>	n/a
<b>Proposal:</b>	Partial demolition, rear addition, new landing and stairs, and new shutters.		

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**RECOMMENDATION**

Staff recommends the HPC **approve with seven (7) conditions** the HAWP application:

1. The corner boards for the proposed addition need to be wood, Azek is not approved. Final permit drawings need to show wood as the identified material. Final approval authority to verify this condition has been satisfied is delegated to Staff.
2. The stairs and decking for the proposed side porch need to be wood. Permit drawings identifying the porch material need to show wood. Final approval authority to verify this condition has been satisfied is delegated to Staff.
3. The sun tunnel on the right, street-facing elevation is not approved and may not be constructed. Final permit drawings may not include this element. Final approval authority to verify this condition has been satisfied is delegated to Staff.
4. The first-floor sash window on the right elevation needs to be enlarged so that it matches the dimensions of the historic second-floor window. Final approval authority to verify this condition has been satisfied is delegated to Staff.
5. The wide fixed window on the second floor of the right elevation is incompatible with the character of the house and may not be installed. Final approval authority to verify this condition has been satisfied is delegated to Staff.
6. The final permit drawings need to show a vertical section through the rear addition to ensure an adequate reveal and overhang in the final construction.
7. The condition of the existing roof and windows on the left elevation is not documented and the approval of this HAWP does not extend to the roof or window replacement. A detailed report on the condition of the existing slate roof and sash windows can be submitted to this office for evaluation as a new HAWP.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Primary One Resource to the Kensington Historic District  
**STYLE:** Colonial Revival/Queen Anne  
**DATE:** c. 1895



*Figure 1: The property is at the corner of Warner St. and Freeman Pl.*

## **PROPOSAL**

The applicant proposes to construct a rear addition, install a new side door, side porch stairs and windows, install skylights, and install new shutters. The permit drawings note the replacement of the existing slate roof and the removal of two left-side windows; however, that portion of the proposal is incomplete and is not part of this HAWP application.

## **APPLICABLE GUIDELINES**

### ***Kensington Historic District Guidelines***

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6 (Amendment)*, *Vision of Kensington: A Long-Range Preservation Plan (Vision)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Vision of Kensington: A Long-Range Preservation Plan***

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

The *Vision* identifies the following, as those features that help define the character of Kensington's built environment:

- Building Setbacks: Residential and Commercial Patterns
- Rhythm of Spacing between Buildings
- Geographic and Landscape Features
- Scale and Building Height
- Directional Expression of Building
- Roof Forms and Material
- Porches
- Dominant Building Material
- Outbuildings
- Integrity of Form, Building Condition, and Threats
- Architectural Style

The *Amendment* notes that:

*The district is architecturally significant as a collection of late 19<sup>th</sup> and early 20<sup>th</sup> century houses exhibit a variety of architectural styles popular during the Victorian period including Queen Anne, Shingle, Eastlake, and Colonial Revival. The houses share a uniformity of scale, setbacks, and construction materials that contribute to the cohesiveness of the district's streetscapes. This uniformity, coupled with the dominant design inherent in Warner's original plan of subdivision, conveys a strong sense of both time and place, that of a Victorian garden suburb.*

***Montgomery County Code, Chapter 24A Historic Resources Preservation***

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

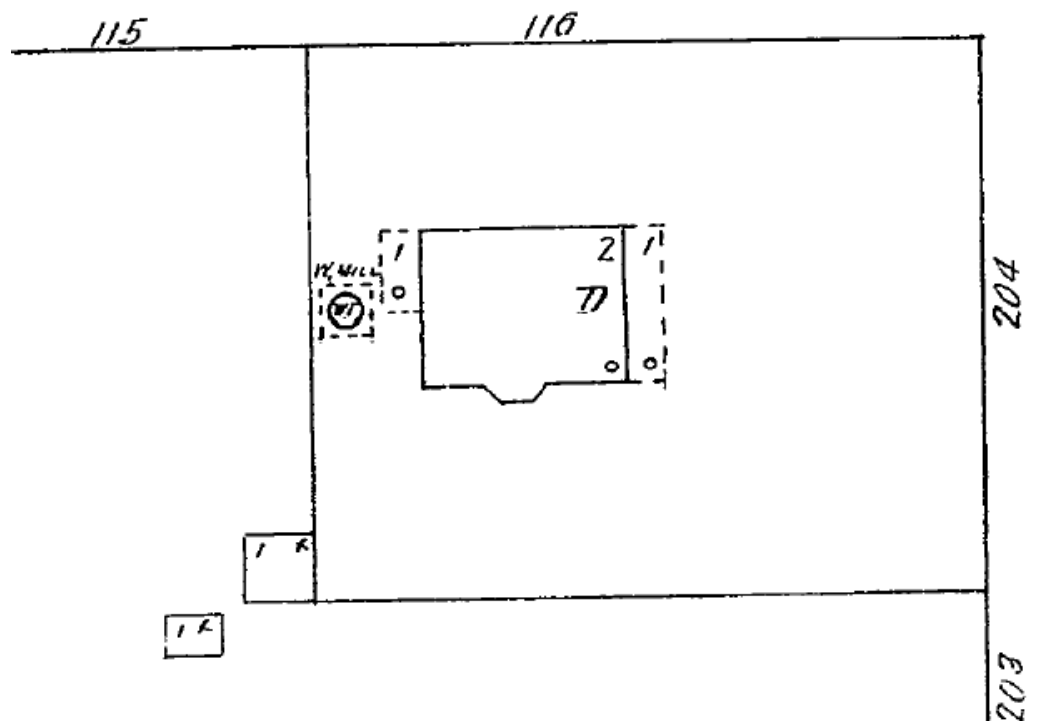
### **STAFF DISCUSSION**

The subject property is a two-story clapboard-sided house with a full-width front porch and a state-shingled hipped roof. At the rear, a screened-in porch covers approximately 2/3's of the rear elevation. Because this is a corner lot, (viewed in the absence of vegetation) all four elevations of the house are visible from the right-of-way. The applicant proposes to demolish the existing rear porch and construct a rear addition, convert an existing window into a door, install two sun tunnels, add new shutters, and remove and replace the existing roof. The proposal also seems to include two window replacements on the left elevation at the rear. Removing an existing historic window on the second floor and a pair of non-historic windows on the first floor. Adequate documentation for the roof and window replacement was not included in the application materials and these items cannot be reviewed or approved as part of this HAWP application.

#### **Building Addition**

The proposed addition will be two stories tall, with a stamped concrete foundation, and fiber cement siding in a reveal that matches the existing wood clapboards. The corner boards will be Azek to match the details of the existing house and the window and door trim will be PVC board. The low-sloped rear gable roof will be covered in architectural shingles. The addition is 6' 2" × 28' 8 1/2" (six feet two inches deep by twenty-eight feet, eight-and-one-half inches wide). The proposed addition is inset from the historic wall plane by 8" (eight inches) and also matches the dentil detail at the cornice. The applicant proposes to install single-lite Andersen 400 series aluminum-clad wood windows flanked by wood shutters throughout. One street-facing window will not have shutters, because the addition is too narrow to provide the adequate width to accommodate an appropriately sized shutter. A small hexagonal window is proposed on the left addition of the second floor. Because of its location and the addition's inset, this window will likely not be visible from the public right-of-way.

Staff finds the size and placement of the proposed addition are appropriate for the subject property and will not overwhelm the character of the house or the surrounding district. The house's placement on the lot means that the proposed addition will be closer to the rear property line than is typical, however, the property is somewhat constrained by its placement on the lot (see below). The addition is inset from the historic wall plane by 8" and the rear gable is several feet lower than the ridge of the hipped roof. Both of these elements will help to differentiate the addition from the historic construction, per Standard 10.



*Figure 2: 1904 Sanborn showing a porch at the rear and windmill.*

Staff finds the roof form, stamped concrete foundation, and fiber cement siding are all elements that clearly read as new construction and allow for the addition to be sufficiently differentiated from the historic, satisfying the requirements of Standard 9.

Staff further finds the majority of the proposed materials (i.e. fiber cement siding, architectural shingles, aluminum-clad wood windows, wood shutters, synthetic window and door trim, etc.) are all materials that the HPC has determined are appropriate for additions and new construction to resources in the Kensington Historic District. However, Staff finds that the proposed Azek corner boards, even though they are paintable, should be wood to be compatible with the character of the historic house.

Staff recommends the HPC approve the rear addition under Standards 2, 9, and 10 and 24A-8(b)(2) with the condition that the new corner boards be constructed using wood.

### **Fenestration Alteration**

The applicant proposes four changes to the historic house on the right elevation. First, the applicant proposes to convert a window on the right elevation to a door, with a new entrance. Second, the applicant proposes to add two sun tunnel skylights above a second-floor bathroom. Staff finds that this work can satisfy the requisite guidance with minor modifications, identified below. Third, the applicant proposes to add two windows to the left of the proposed door on the first floor. Fourth, the applicant proposes to add a wide fixed window on the second floor.

The existing window is a one-over-one sash window with shutters near the rear corner of the historic house. It is in the existing kitchen and is much smaller than the grand windows in the front of the house. Staff finds removing this window will not have a significant impact on the character of the house and the surrounding district.



*Figure 3: Window proposed for removal.*

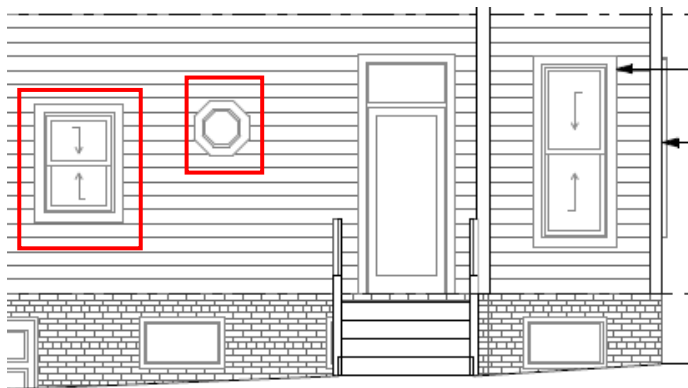


*Figure 4: Proposed side entrance. New window outlined in Red.*

The applicant proposes to install a new full-lite steel door with a simply detailed porch with an iron handrail with pickets. Material specifications for the porch stairs and landing were not included with the HAWP application materials. Staff finds that a steel door in the historic c.1895 construction is an incompatible material and any new door needs to be wood. Steel does not develop a patina and lacks the material characteristics of wood. Staff finds a full-lite door is an acceptable design, but would accept a half-lite door as being compatible with the character of the house and surrounding district. Staff recommends the HPC include a condition for approval to the HAWP that the new door be wood. Staff would ordinarily consider the porch proposal incomplete because no material was specified in the submitted application. However, because this new porch is attached to the historic fabric in a location that fronts the public right-of-way, Staff finds the only acceptable material is wood. Staff additionally recommends the HPC include a condition for approval that the new stairs and landing be wood, with final verification approval delegated to Staff.

On the right elevation (facing Warner St.) the applicant proposes to install two Velux Sun Tunnels, one on the side (street-facing) roof slope and the other on the rear roof slope. Staff finds that the proposal for the rear roof slope will not have a significant impact on the character of the house. However, Staff recommends not extending that approval to the street-facing sun tunnel for reasons similar to ones previously articulated by the HPC in not allowing street-facing skylights, namely: the materials are incompatible with the roofing material, they change the roof profile, and interrupt the flat plane of the roof surface. Staff recommends the HPC only approve the rear roof slope sun tunnel and delegate verification that this condition has been satisfied to Staff.

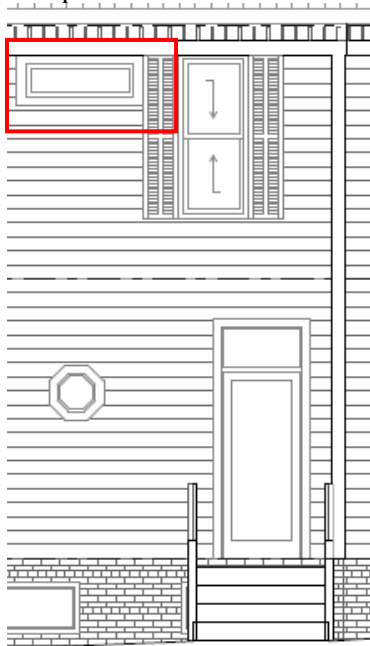
To the left of the proposed door, the applicant proposes to install a fixed hexagonal window and a new sash window. Staff finds this small window would not have a substantial impact on the character of the elevation and finds the fixed window preferable to the small sash windows installed opposite the main staircase on the right elevation. Staff recommends the HPC approve this small window. To the left of the hexagonal window, the applicant proposes to install an aluminum-clad sash window. Staff finds a window in this location is acceptable, because the walk plane is a large expanse of uninterrupted clapboards. However, Staff does not support introducing a fourth different size of sash window on this elevation. Staff recommends the HPC approve this new sash window but include a condition that the window needs to match the size of the second-floor window directly above the proposed door. This would create an appearance that is more visually compatible with the historic character of the house and avoid creating an elevation where virtually every opening is a different size.



*Figure 5: New window openings outlined in red.*

The final change proposed for the right elevation is the installation of a wide fixed aluminum-clad window above the hexagonal window discussed above. The window is opposite a proposed interior bathtub. Staff finds the configuration and proportions of the window are incompatible with the historic character of the house and recommends the HPC not approve the new window, finding the proposal contravenes Standard 2 and 24A-8(b)(2).

The applicant could increase light into the bathroom by altering the room layout or installing a transom around the enclosed toilet area. The sun tunnel, discussed above should bring additional natural light into the space.



*Figure 6: New window opening outlined in red.*

### **Roof Replacement**

The existing roof is hipped, shingled in gray slate, with dormers on the front and both side roof slopes. The applicant proposes to remove the existing roof and install a new gray architectural shingle roof. The condition of the existing roof is not documented beyond a note on the elevation that the new roof will replace the “Ex damaged slate roofing.” Staff finds the documentation required to evaluate this work

incomplete and recommends the HPC's determination for this HAWP not extend to this work.

Ordinarily, Staff would not include an incomplete application on an HPC agenda and would defer consideration of the HAWP until the documentation could be thoroughly evaluated. In this instance, Staff finds that the roof replacement is a discrete portion of the project that is independent of the other work proposed in this application.

Before the roof replacement proposal can be brought before the HPC the applicant needs to submit a detailed report documenting the roof's existing condition to Staff to evaluate before a recommendation can be presented to the HPC. This information should be submitted as a new HAWP. It should be noted that replacing original slate roofs with architectural asphalt shingles is generally disallowed as it contravenes *Standards #5 and #6 of the SOI*.

### **Window Replacement**

On the rear of the left elevation, the applicant proposes removing and replacing the windows in the rearmost opening on both the first and second floors. On the first floor, there is a pair of sash windows without shutters. On the second floor, there is a sash window with shutters. No information about the condition of the existing windows was included in the application. The applicant proposes to install new aluminum-clad windows with wood shutters in their place.

Staff finds the paired first-floor windows are not historic. Paired window configurations were developed later than the late 19<sup>th</sup>-century house construction date. Additionally, this is the only location where windows are paired. The window on the second story, however, appears to be historic. Staff finds the documentation required to evaluate these windows is incomplete and any decision the HPC renders on this HAWP cannot extend to the window replacement.

For the HPC to consider the window replacement, the following details need to be included in a future HAWP application:

- Photographs detailing the existing interior and exterior window condition;
- Drawings comparing the existing window profile to the proposed window.
- Dimension drawings comparing the existing windows to the proposed; and
- A written description detailing the condition of the proposed windows.

### **STAFF RECOMMENDATIONS**

Staff recommends that the Commission **approve with seven (7) conditions** the HAWP application:

1. The corner boards for the proposed addition need to be wood, Azek is not approved. Final permit drawings need to show wood as the identified material. Final approval authority to verify this condition has been satisfied is delegated to Staff.
2. The stairs and decking for the proposed side porch need to be wood. Permit drawings identifying the porch material need to show wood. Final approval authority to verify this condition has been satisfied is delegated to Staff.
3. The sun tunnel on the right, street-facing elevation is not approved and may not be constructed. Final permit drawings may not include this element. Final approval authority to verify this condition has been satisfied is delegated to Staff.
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5. The wide fixed window on the second floor of the right elevation is incompatible with the



character of the house and may not be installed. Final approval authority to verify this condition has been satisfied is delegated to Staff.

6. The final permit drawings need to show a vertical section through the rear addition to ensure an adequate reveal and overhang in the final construction.
7. The condition of the existing roof and windows on the left elevation is not documented and the approval of this HAWP does not extend to the roof or window replacement. A detailed report on the condition of the existing slate roof and sash windows can be submitted to this office for evaluation as a new HAWP.

under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district, is consistent with the *Vision of Kensington*, and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



APPLICATION FOR  
HISTORIC AREA WORK PERMIT  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# \_\_\_\_\_

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? ☐ Yes/District Name \_\_\_\_\_

☐ No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                     |
|   |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent

\_\_\_\_\_  
Date

Adjacent and Confronting Properties:

Kensington, MD 20895

10314 Freeman Place

3906 Warner Street

3915 Warner Street

3913 Warner Street

3911 Warner Street

3824 Warner Street

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

The Martin Residence  
10310 Freeman Place  
Kensington MD 20895

Architectural Site Plan

Written dimensions on these drawings shall have precedence over scale dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions.

Drawing Scale

Drawn by  
LB

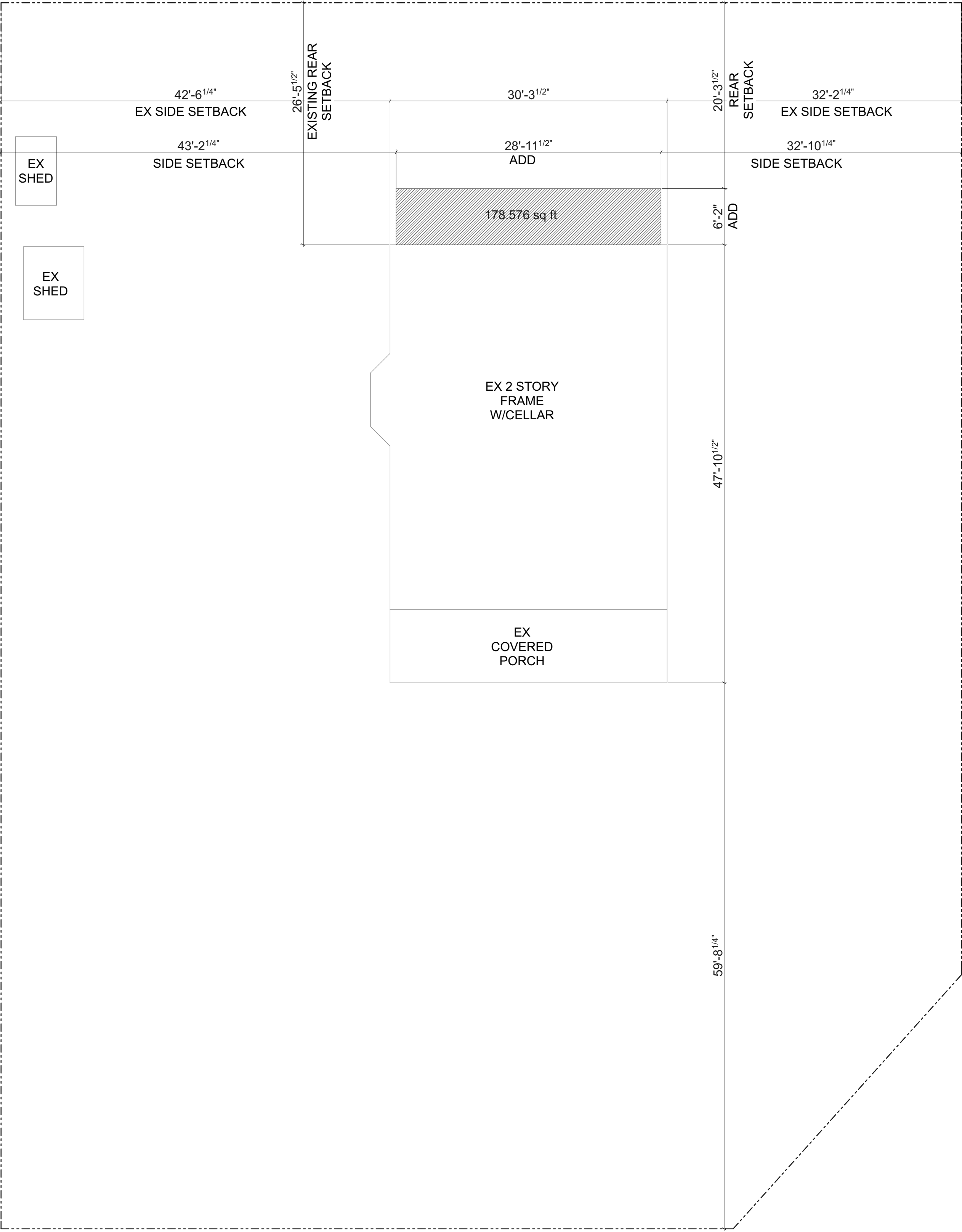
Date  
8.9.22

Checked by  
.

Date

© COPYRIGHT

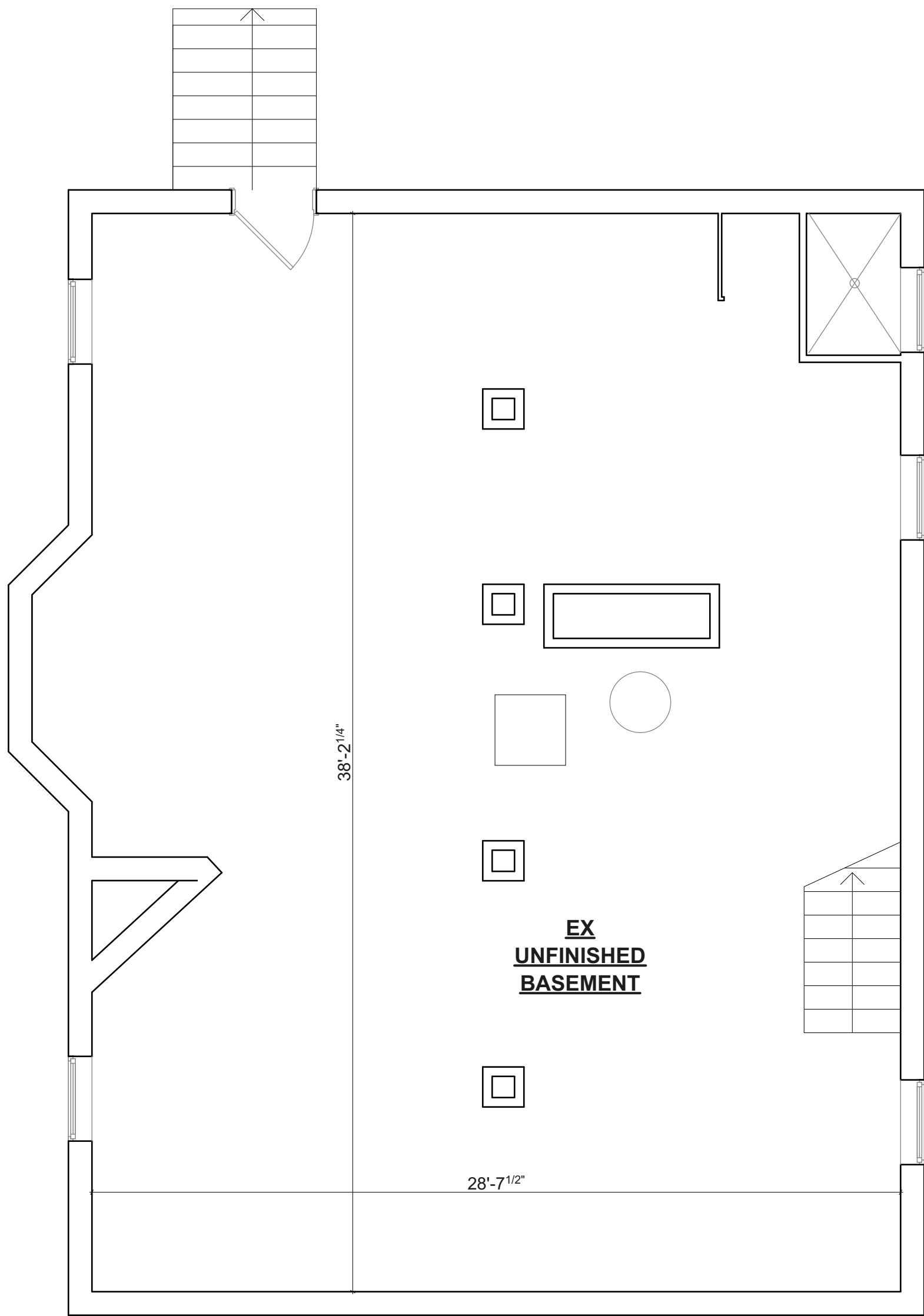
T3



Architectural Site Plan

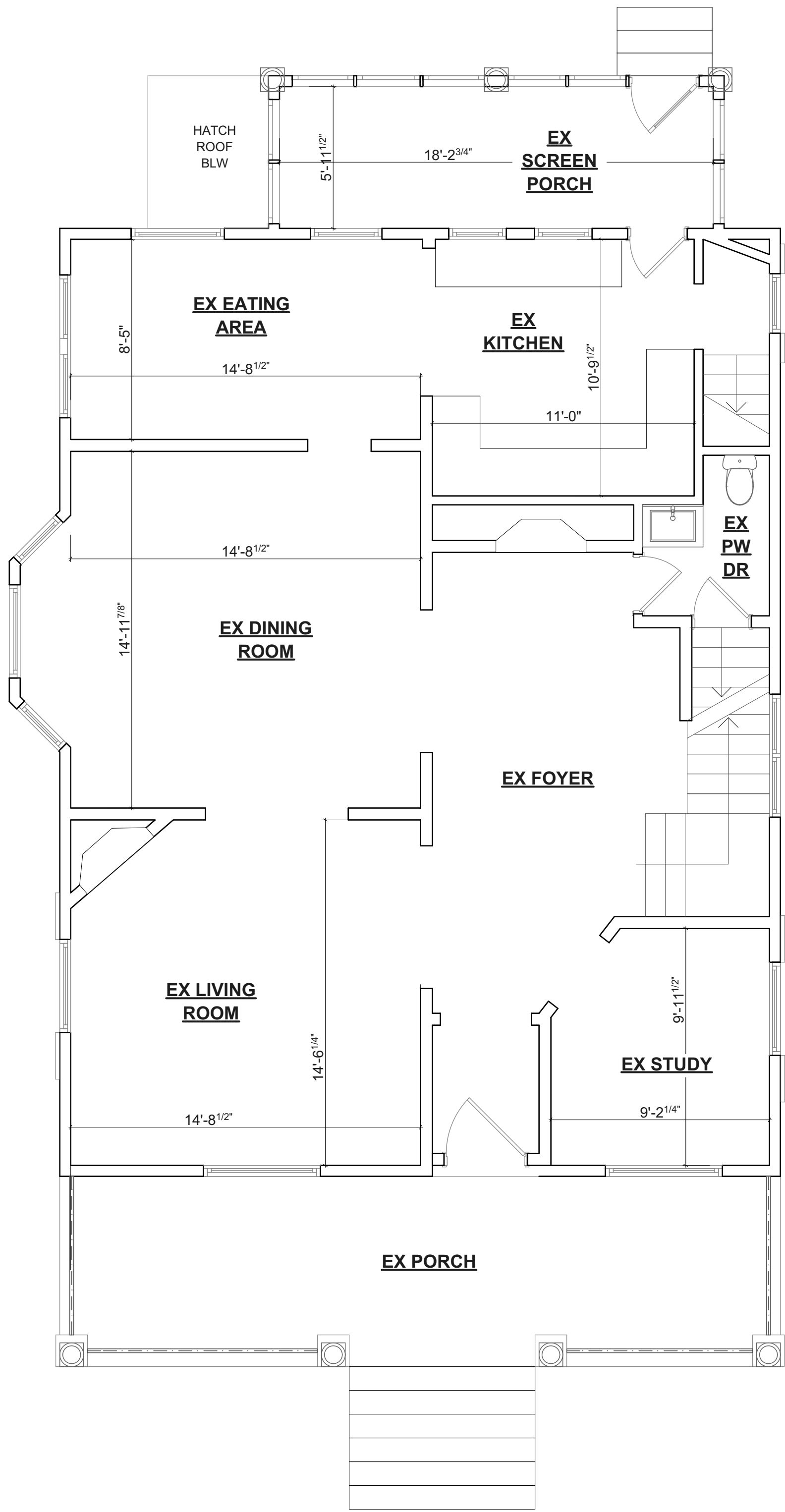
1/8" = 1'-0"

1.  
T3



Existing Basement Plan  
1/4" = 1'-0"

1.  
D1.1



Existing First Floor Plan  
1/4" = 1'-0"

2.  
D1.1



CREATIVE IDEAS FOR YOUR LIVING SPACES  
10739 Tucker St #260  
Beltsville MD 20705  
301.579.4563

**The Martin Residence**  
10310 Freeman Place  
Kensington MD 20895

Existing and Demolition Plans

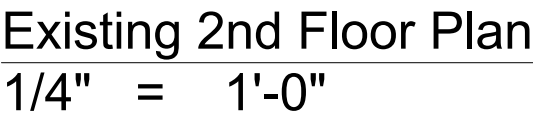
Written dimensions on these drawings shall have precedence over scale dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions.

Drawn by LB	Date 12.15.21
Checked by .	Date

© COPYRIGHT

D1.1

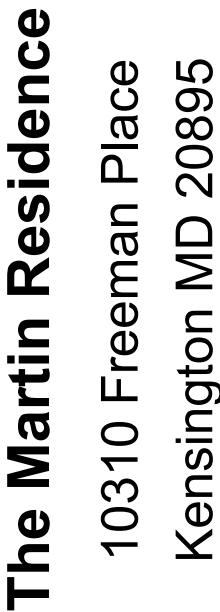
14



Existing Attic Plan

$\frac{1}{4}" = 1'-0"$

2.
D1.2



## Existing and Demolition Plans

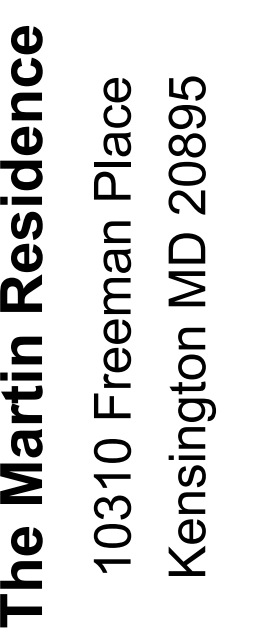
Written dimensions on these drawings shall have precedence over scale dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions.

Drawn by **LB** Date **12.15.21**

Checked by \_\_\_\_\_ Date \_\_\_\_\_

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## D1.2



**Existing Front Elevation, Existing Rear Elevation, Existing Left Elevation, Existing Right Elevation**

COPYRIGHT

### 01.3



GENERAL NOTES:

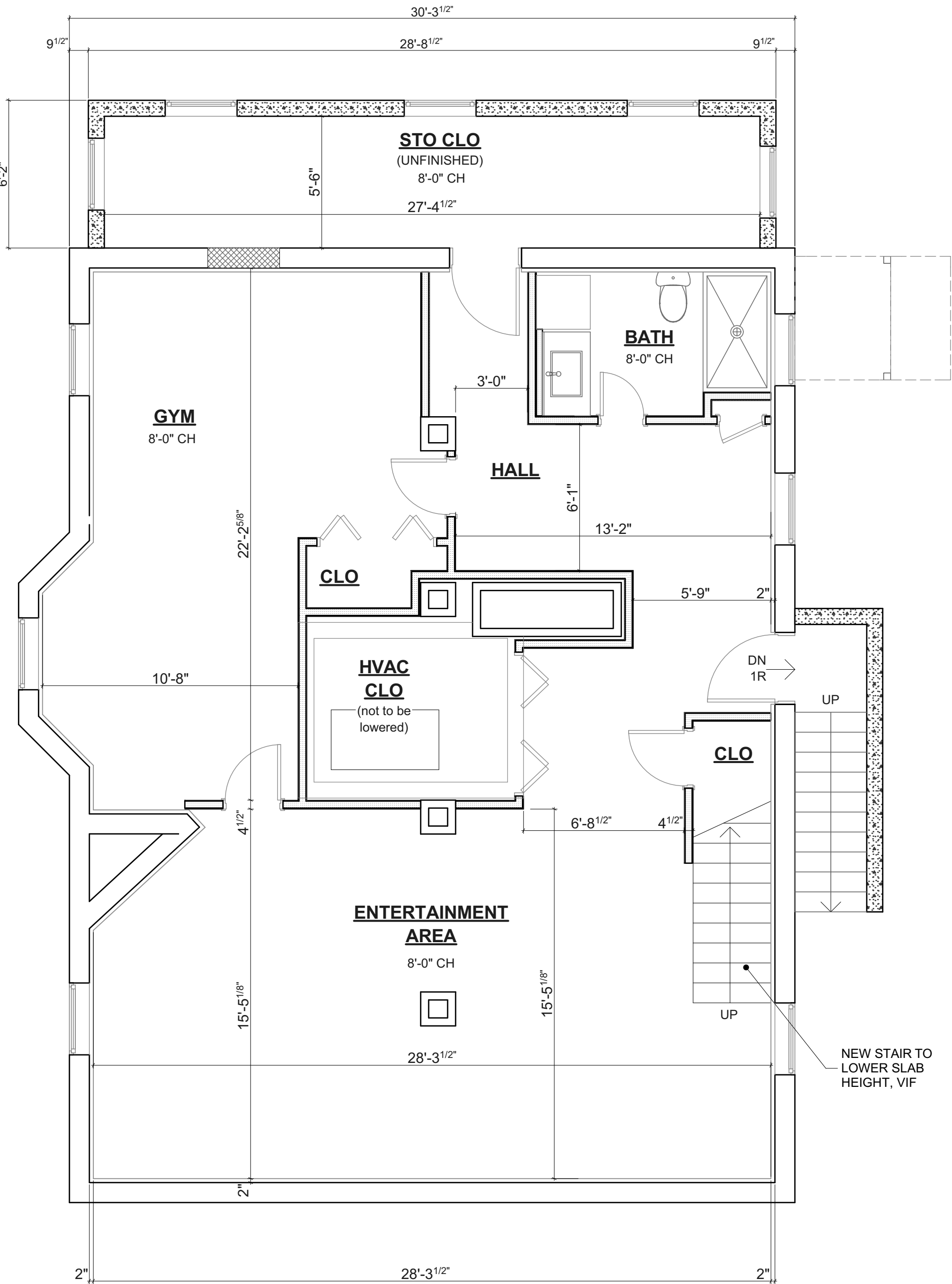
1. STUD MEASUREMENTS ARE FROM UNFINISHED MATERIAL TO UNFINISHED MATERIAL.
2. COORDINATE ALL FINISH MATERIALS AND ALL FINAL PRODUCTS WITH OWNER.
3. ALL MEASUREMENTS NEED TO BE VERIFIED IN FIELD.
4. UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE
5. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK INVOLVED
6. THE CONTRACTOR SHALL VERIFY ALL JOB SITE CONDITIONS AND RELATED DIMENSIONS PRIOR TO CONSTRUCTION
7. COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR
8. MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF MATERIALS SHALL BE FOLLOWED
9. NO WORK OR ORDERING OF MATERIAL MAY BE STARTED UNTIL ALL DIMENSIONS AND MEASUREMENTS WHICH MAY BE FOUND INDICATED ON DRAWINGS HAVE BEEN VERIFIED.

10. NO PLANS SHALL BE SCALED; DIMENSIONS SHALL BE USED
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES AND STANDARDS
12. THE CONTRACTOR SHALL REPAIR AND RESTORE TO ITS ORIGINAL CONDITION ALL WORK AND ITEMS DAMAGED AS A RESULT OF BUILDING OPERATIONS AND SHALL LEAVE THE WORK COMPLETED TO THE TRUE INTENT OF THE DRAWINGS AND SPECIFICATIONS AND THE SATISFACTION OF THE DESIGNER AND OWNER.
13. ANY DISTURBANCE OR DAMAGE TO THE EXISTING BUILDING OR UTILITIES RESULTING EITHER DIRECTLY OR INDIRECTLY FROM THE OPERATION OF THESE DRAWINGS SHALL BE PROMPTLY REPAIRED, RESTORED OR REPLACED TO THE SATISFACTION OF THE DESIGNER AT NO ADDITIONAL COST TO THE OWNER
14. ALL TRANSITIONS OF NEW WORK TO EXISTING (WALLS, FLOORS AND CEILINGS) WORK SHALL BE CAREFULLY EXECUTED. EXISTING CONSTRUCTION SHALL BE REPAIRED AS NEEDED AND PATCHED TO MATCH FINISHES OF ADJACENT SURFACES

15. THE CONTRACTOR SHALL COORDINATE THE WORK WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ALL NECESSARY OPENINGS AND PENETRATIONS THROUGH WALLS, CEILINGS AND FLOORS
16. ALL EXPOSED PIPES, CONDUITS OR DUCTS IN FINISHED AREAS, WHETHER SHOWN ON DRAWINGS OR NOT, SHALL BE FURRED OUT WITH GYP BD
17. ALL PLUMBING, ELECTRICAL AND MECHANICAL WORK WHICH SHALL BE ABANDONED FOR PROPOSED CONSTRUCTION WORK SHALL BE CUT BACK, REROUTED, CAPPED AND SAFED OFF
18. ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE AND SHALL CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (A.C.I., A.I.S.C., ETC)

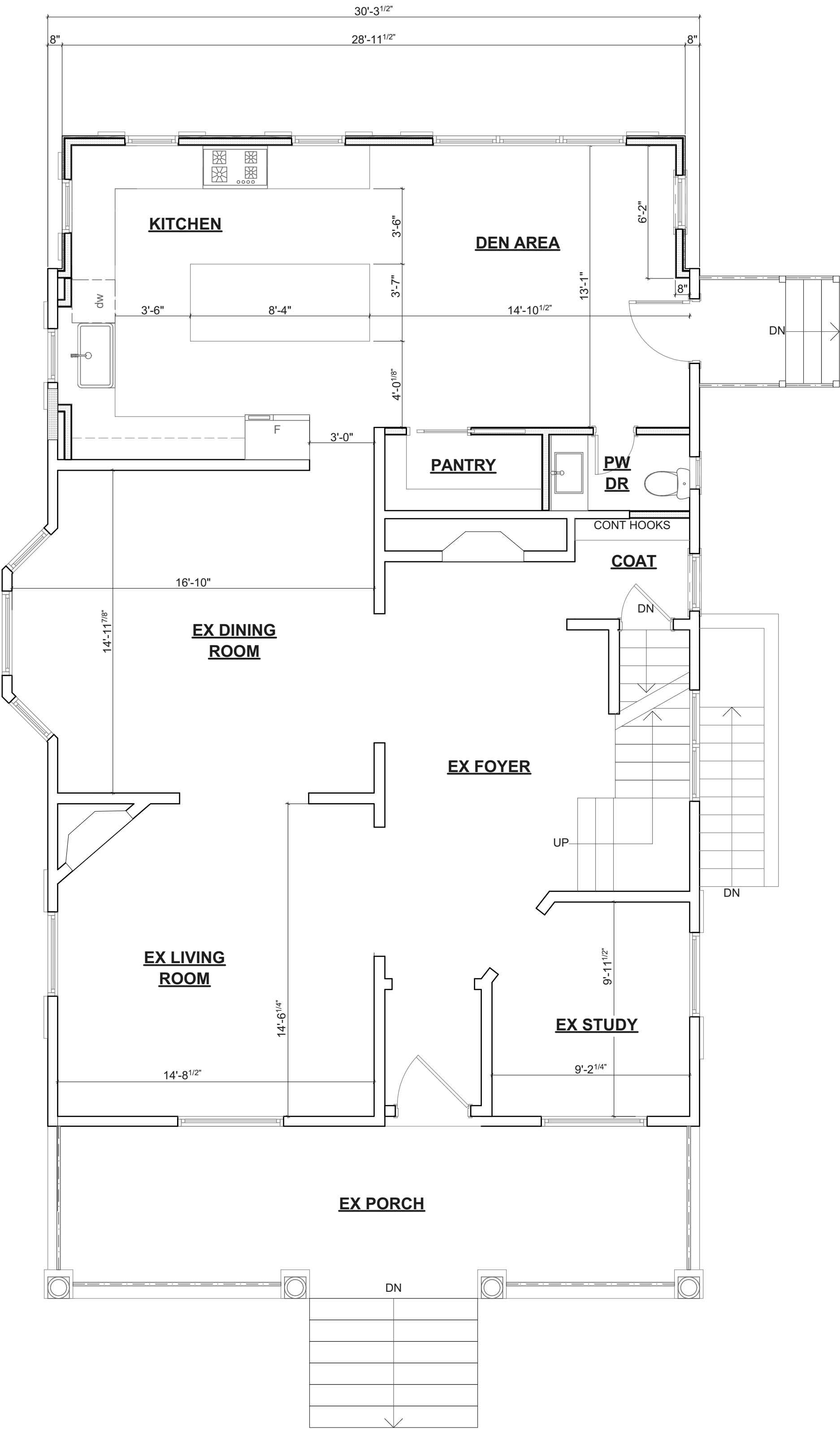
WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW PARTION WALL



Proposed  
Existing Basement Plan  
1/4" = 1'-0"

1.  
A1.1



Proposed  
Existing First Floor Plan  
1/4" = 1'-0"

2.  
A1.1

MEMBER

A

B

D

AMERICAN INSTITUTE OF

BUILDING DESIGN

The Martin Residence

10310 Freeman Place

Kensington MD 20895

Existing Basement Plan, Existing First Floor

Plan

Written dimensions on these drawings shall have precedence over scale dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions.

Drawing Scale

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A1.1

17

GENERAL NOTES:

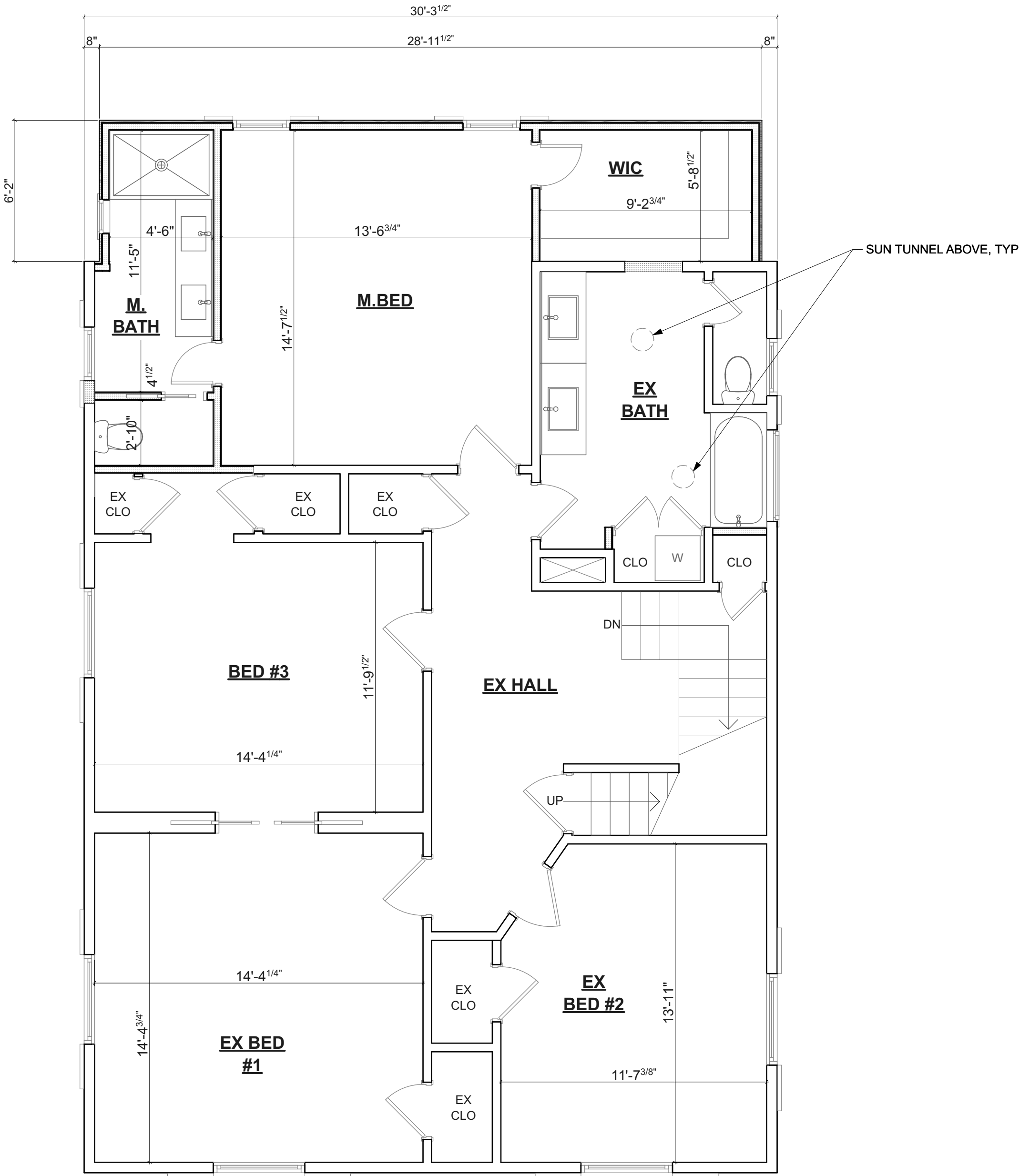
1. STUD MEASUREMENTS ARE FROM UNFINISHED MATERIAL TO UNFINISHED MATERIAL.
2. COORDINATE ALL FINISH MATERIALS AND ALL FINAL PRODUCTS WITH OWNER.
3. ALL MEASUREMENTS NEED TO BE VERIFIED IN FIELD.
4. UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE
5. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE DRAWINGS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER BEFORE PROCEEDING WITH ANY WORK INVOLVED
6. THE CONTRACTOR SHALL VERIFY ALL JOB SITE CONDITIONS AND RELATED DIMENSIONS PRIOR TO CONSTRUCTION
7. COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR
8. MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF MATERIALS SHALL BE FOLLOWED
9. NO WORK OR ORDERING OF MATERIAL MAY BE STARTED UNTIL ALL DIMENSIONS AND MEASUREMENTS WHICH MAY BE FOUND INDICATED ON DRAWINGS HAVE BEEN VERIFIED.

10. NO PLANS SHALL BE SCALED; DIMENSIONS SHALL BE USED
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES AND STANDARDS
12. THE CONTRACTOR SHALL REPAIR AND RESTORE TO ITS ORIGINAL CONDITION ALL WORK AND ITEMS DAMAGED AS A RESULT OF BUILDING OPERATIONS AND SHALL LEAVE THE WORK COMPLETED TO THE TRUE INTENT OF THE DRAWINGS AND SPECIFICATIONS AND THE SATISFACTION OF THE DESIGNER AND OWNER.
13. ANY DISTURBANCE OR DAMAGE TO THE EXISTING BUILDING OR UTILITIES RESULTING EITHER DIRECTLY OR INDIRECTLY FROM THE OPERATION OF THESE DRAWINGS SHALL BE PROMPTLY REPAIRED, RESTORED OR REPLACED TO THE SATISFACTION OF THE DESIGNER AT NO ADDITIONAL COST TO THE OWNER
14. ALL TRANSITIONS OF NEW WORK TO EXISTING (WALLS, FLOORS AND CEILINGS) WORK SHALL BE CAREFULLY EXECUTED. EXISTING CONSTRUCTION SHALL BE REPAIRED AS NEEDED AND PATCHED TO MATCH FINISHES OF ADJACENT SURFACES

15. THE CONTRACTOR SHALL COORDINATE THE WORK WITH MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ALL NECESSARY OPENINGS AND PENETRATIONS THROUGH WALLS, CEILINGS AND FLOORS
16. ALL EXPOSED PIPES, CONDUITS OR DUCTS IN FINISHED AREAS, WHETHER SHOWN ON DRAWINGS OR NOT, SHALL BE FURRED OUT WITH GYP BD
17. ALL PLUMBING, ELECTRICAL AND MECHANICAL WORK WHICH SHALL BE ABANDONED FOR PROPOSED CONSTRUCTION WORK SHALL BE CUT BACK, REROUTED, CAPPED AND SAFED OFF
18. ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED IN THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF THE ASTM SPECIFICATIONS APPLICABLE AND SHALL CONFORM TO THE STANDARDS AND RECOMMENDATIONS OF THE VARIOUS TRADE INSTITUTES (A.C.I., A.I.S.C., ETC)

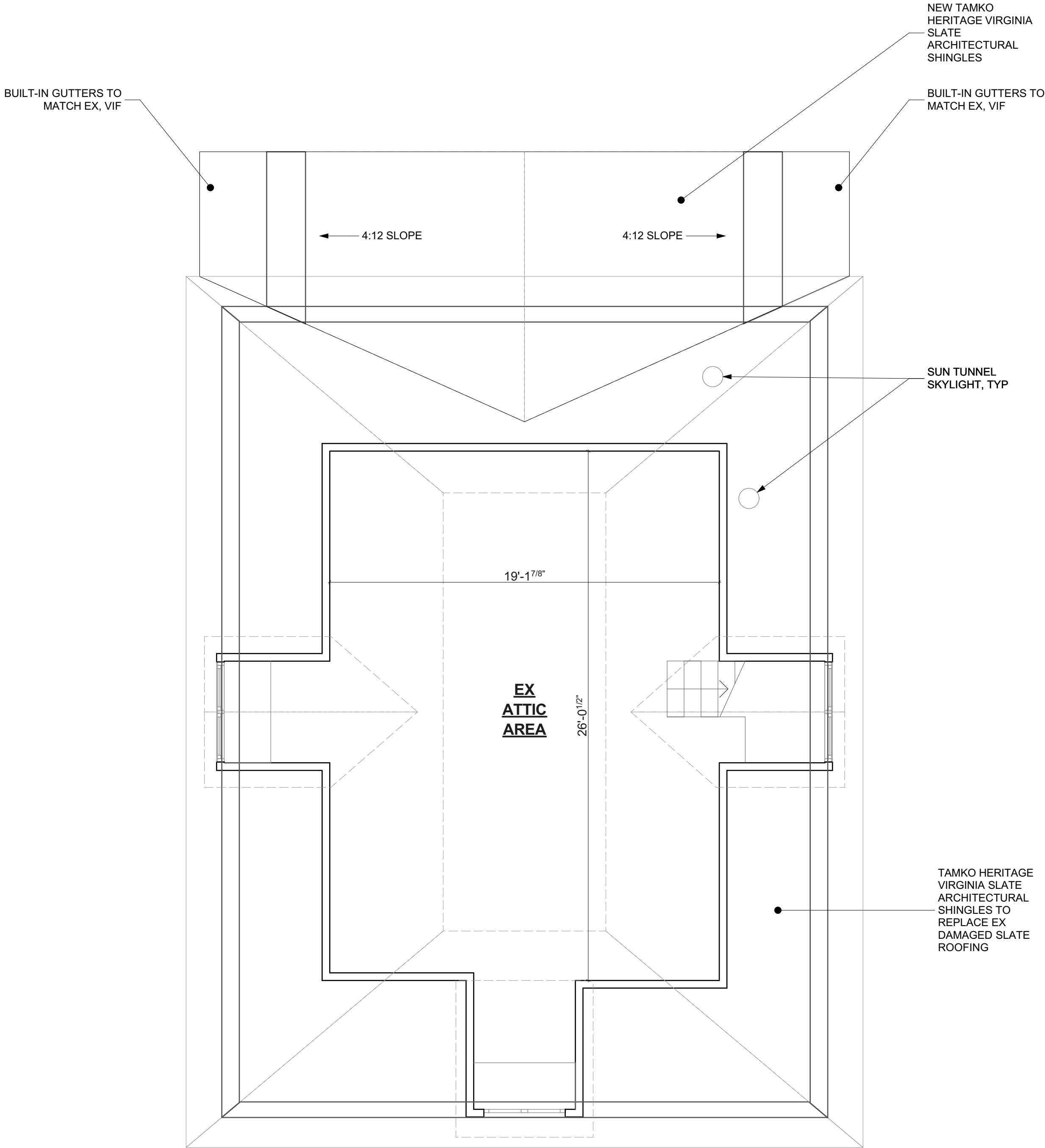
WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW PARTION WALL



Existing 2nd Floor Plan  
1/4" = 1'-0"

1.  
A1.2



Existing Attic Plan  
1/4" = 1'-0"

2.  
A1.2

3

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AMERICAN INSTITUTE OF

BUILDING DESIGN

The Martin Residence

10310 Freeman Place

Kensington MD 20895

Existing 2nd Floor Plan, Existing Attic Plan

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MATERIAL LIST/SPECIFICATIONS

**SIDING**  
NEW HARDIPLANK HZ5 5/16 X 8.25 FIBER CEMENT PRIMED CEDARMILL LAP SIDING. AZEK 5/4 TRIM. PAINT COLOR TO MATCH EXISTING

**ROOFING**  
TAMKO HERITAGE VIRGINIA SLATE ARCHITECTURAL SHINGLES TO REPLACE EX DAMAGED SLATE ROOFING

**SHUTTERS**  
9"W X 15"H AMERICRAFT PINE TWO EQUAL LOUVER SHUTTERS, UNFINISHED. PAINT TO MATCH EXISTING (TWO SIDE BY SIDE TO MATCH EX)

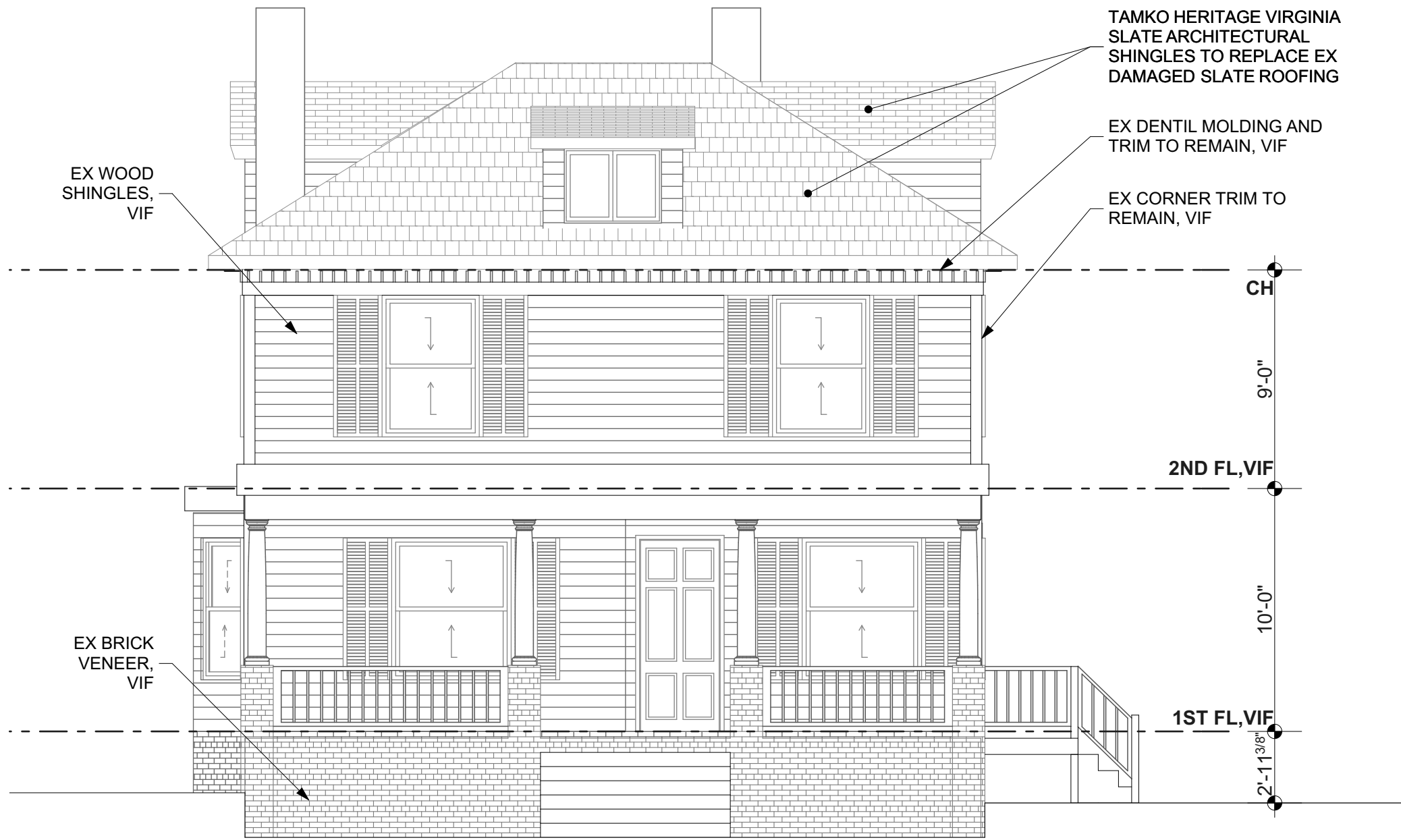
**RAILINGS**  
VEVOR 4 ft. Stair Railing Fits 4-5 Steps Black Handrail Picket

**SKYLIGHTS**  
**VELUX**  
10 in. Sun Tunnel Tubular Skylight with Rigid Tunnel and Pitched High Density Flashing

**WINDOWS**  
ANDERSEN 400 SERIES, ALUM, LOW "E" COATING W/ARGON GAS

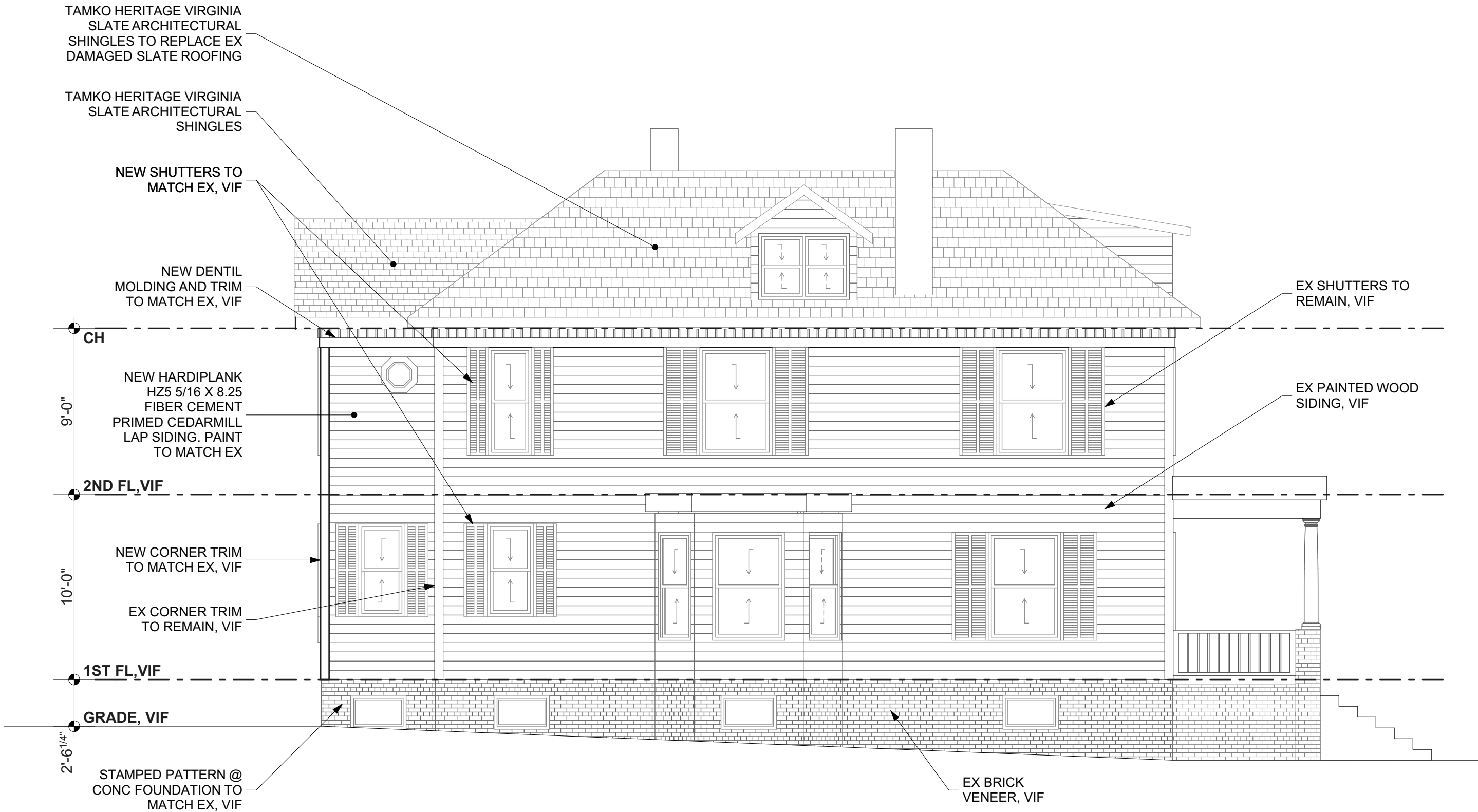
**WINDOW/DOOR TRIM**  
5/4 in. x 4 in. x 18 ft. White Reversible PVC Trim Board

**DOORS**  
Masonite  
32 in. x 80 in. Premium Full Lite Right-Hand Inswing Primed Steel Prehung Front Exterior Door



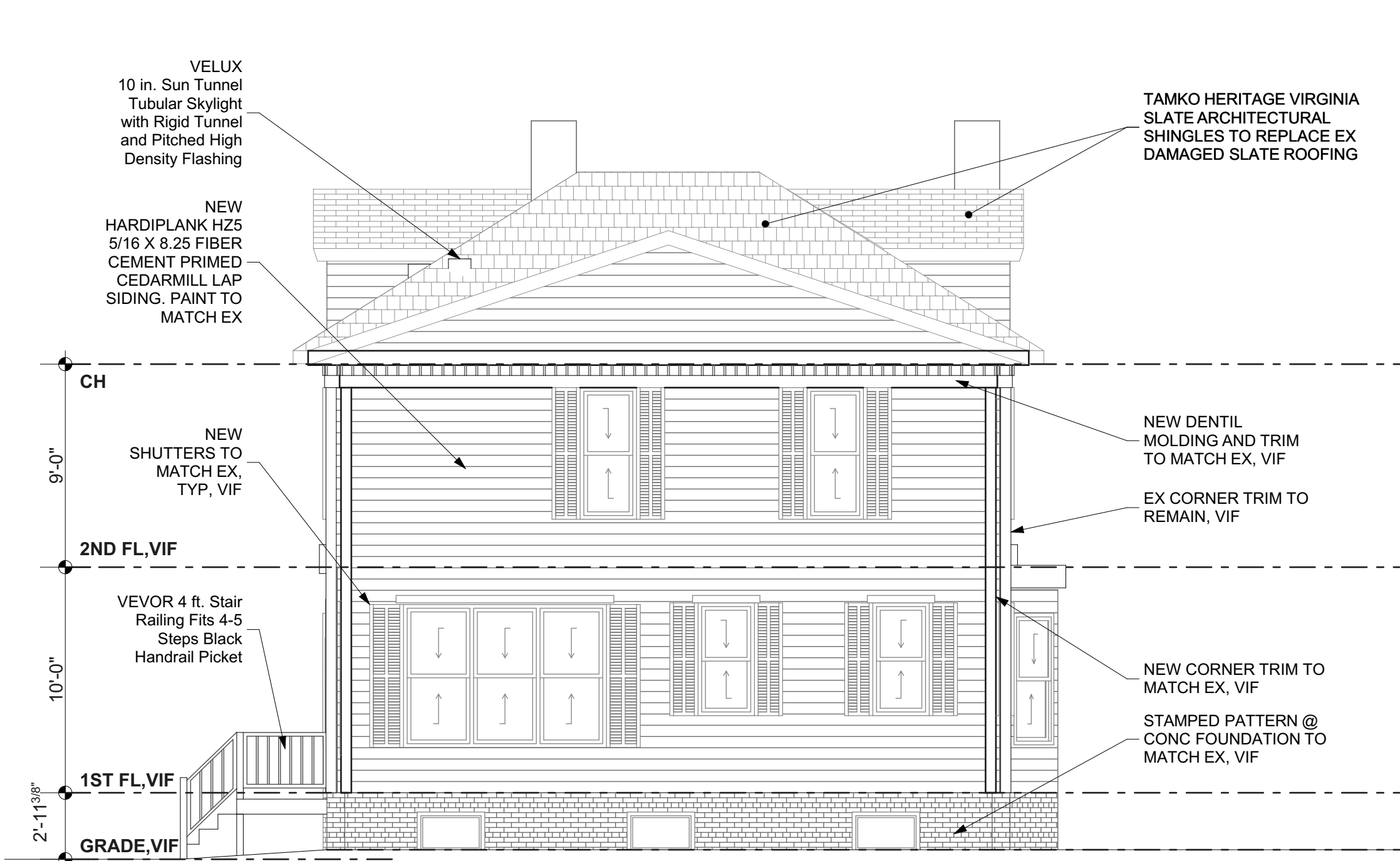
Existing Front Elevation  
3/16" = 1'-0"

1.  
A2.1



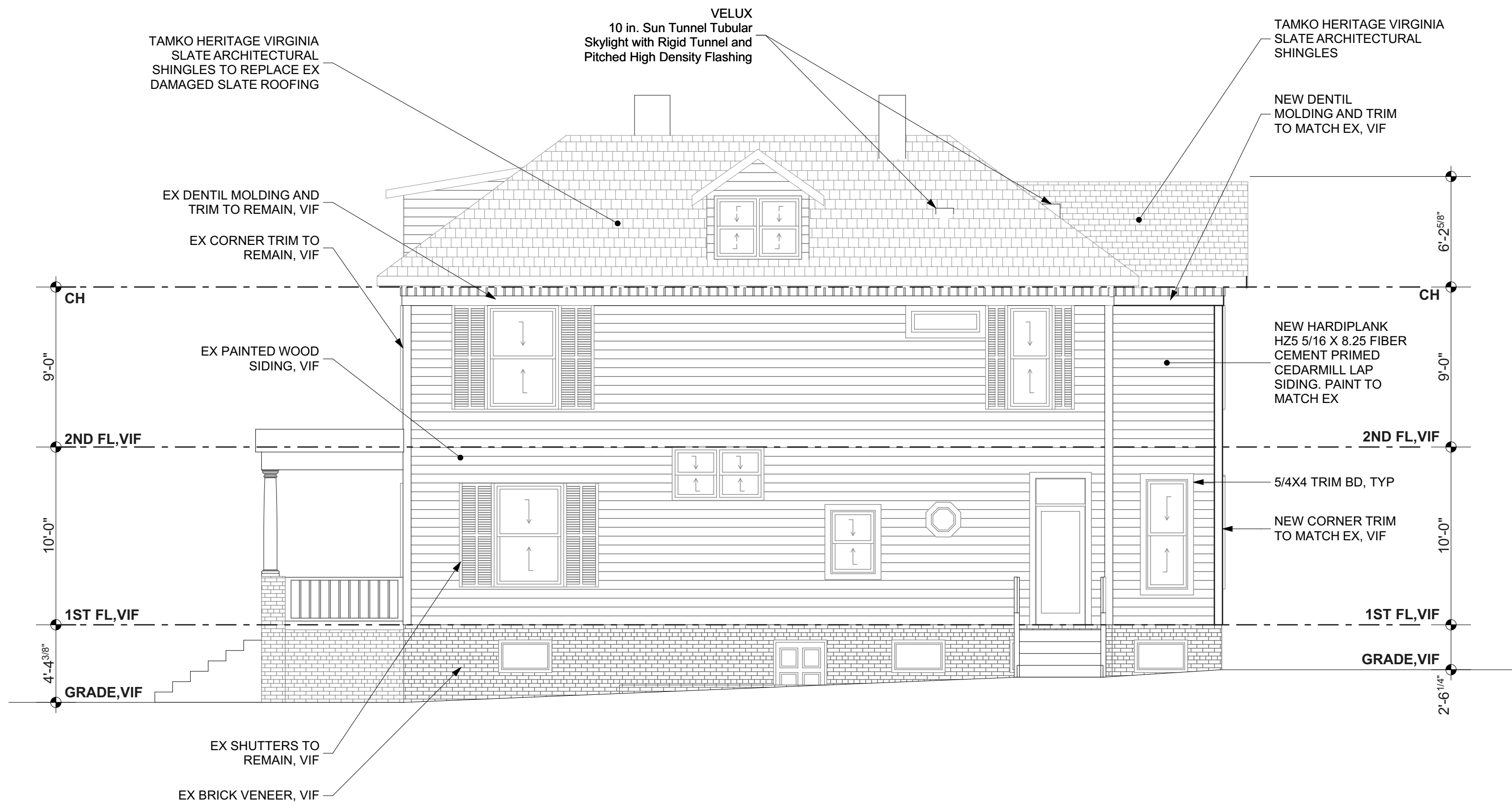
Proposed Left Elevation  
3/16" = 1'-0"

3.  
A2.1



Proposed Rear Elevation  
3/16" = 1'-0"

2.  
A2.1



Proposed Right Elevation  
3/16" = 1'-0"

4.  
A2.1

**The Martin Residence**  
10310 Freeman Place  
Kensington MD 20895

**Existing Front Elevation, Proposed Rear  
Elevation, Proposed Left Elevation,  
Proposed Right Elevation**

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