

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	15911 Redland Road, Derwood	Meeting Date:	11/16/2022
Resource:	Master Plan Site #22/03-003A <i>Derwood Store and Post Office</i>	Report Date:	11/9/2022
Applicant:	CLW Real Estate Group (Lawrence Smith, Agent)	Public Notice:	11/02/2022
Review:	Preliminary Consultation	Tax Credit:	N/A
Proposal:	Comprehensive rehabilitation, construction of new three-story addition, hardscape alterations, and regrading.		
Staff:	Rebecca Ballo		

STAFF RECOMMENDATION:

Staff recommends the applicant make the revisions recommended by the HPC, submit any requested documentation, and return for a HAWP.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #22/03-003A; *Derwood Store and Post Office*
DATE: c.1904

Excerpt from the historic site designation report is below:

Clarence and Elizabeth Hoskinson built the Derwood Store ca. 1904 as a general merchandise store to serve their small manufacturing town and incorporated a post office in the building in 1905.

The Derwood Store and Post Office reflects the county's heritage and development over time. It is associated with the growth of railroad communities along the Metropolitan Subdivision of the Baltimore & Ohio Railroad; the inclusion of post offices within general merchandise stores; the commercial and social importance of general merchandise stores in rural communities; and Derwood's early twentieth-century manufacturing history. The Store and Post Office also reflects the significant legacy of Derwood's three female postmasters, who served for a total of 17 years and whose contributions to the community are not reflected in other sites.

The store is architecturally significant as a representative example of a typical turn of the twentieth-century general store: the two-story, front-gable form and porch are character-defining features of rural general stores. The original wood siding remains intact, though covered by a layer of asbestos shingles, and the store is embellished with a stamped tin shingle roof. The Derwood Store and Post Office is the oldest remaining commercial building within historic Derwood, where other commercial buildings associated with the area's manufacturing history were destroyed by a fire in the mid-twentieth century.

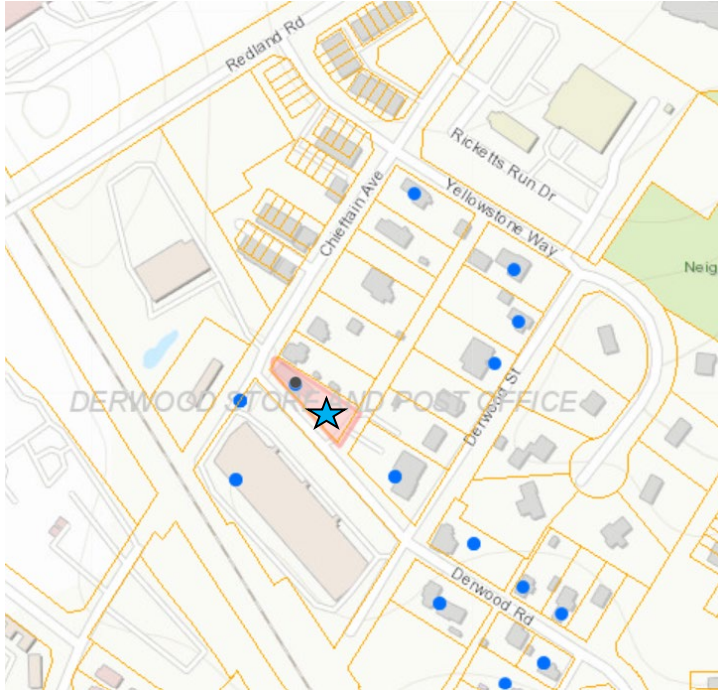


Fig. 1: Subject property as marked by the blue star in the Old Derwood neighborhood. The property is located at the corner of Derwood Road and Chieftain Avenue with an address of 15911 Redland Road.

PROPOSAL:

The applicant is proposing a comprehensive rehabilitation, construction of a new three-story addition, hardscape alterations, and regrading.

APPLICABLE GUIDELINES:

In accordance with section 1.5 of the Historic Preservation Commission Rules, Guidelines, and Procedures (Regulation No. 27-97) ("Regulations"), in developing its decision when reviewing a Historic Area Work Permit application for an undertaking at a Master Plan site the Commission uses section 24A-8 of the Montgomery County Code ("Chapter 24A"), *the Secretary of the Interior's Standards for Rehabilitation (Standards)*, and pertinent guidance in applicable master plans. The pertinent information in these documents, incorporated in their entirety by reference herein, is outlined below.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Because the property is a Master Plan Site, the Commission’s focus in reviewing the proposal should be the *Secretary of the Interior's Standards for Rehabilitation*. The *Standards* are as follows:

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
- 4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- 6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

Background: Master Plan Recommendations, Rezoning, Historic Site Designation

In 1976, the Derwood Historic District (encompassing the entire community) was listed on the Locational Atlas and Index of Historic Sites. The Historic Preservation Commission (HPC) evaluated the historic district and recommended that it be designated in the Master Plan for Historic Preservation in 1984. The HPC found that it retained historic and architectural significance as a turn-of-the-century railroad community. Six years later, however, the County Council determined that Derwood did not merit designation in the *Master Plan for Historic Preservation* and removed the district from the *Locational Atlas*. At that time, the County Council added one individual site, the Crabb Family Cemetery, to the *Master Plan for Historic Preservation*.

During these evaluations, the building was vacant and fell into a delapidated state. The date that tenants vacated the building is unknown, but this likely occurred by the 1980s. The Millonig Corporation conveyed the property to Joao Morgado in 2001. Morgado stored construction supplies in the building before the Montgomery County Department of Housing and Community Affairs (DHCA) issued a condemnation notice in 2003. He sold the property to the present-day owner in 2005 and it has remained vacant.

In the 2000s, residents of Derwood reinforced the community's value for its history and character. Community members requested that individual sites within Derwood (previously denied designation in the *Master Plan for Historic Preservation* and removed from the *Locational Atlas and Index of Historic Sites*) be reconsidered for historic designation. The Planning Board relisted the Derwood Store and Post Office in the *Locational Atlas* in 2004. Two years later, the Shady Grove Sector Plan (2006) recommended evaluation of the Derwood Store and Post Office for designation in the *Master Plan for Historic Preservation*. That plan also recommended a rezoning of the property to the PD-22 zone to occur concurrently with the historic designation. By the time the latest Shady Grove Minor Master Plan amendment kicked off in 2019, the PD-22 zone had been removed from the zoning ordinance. Staff engaged with the applicant to determine an appropriate new zone that would allow for multi-family redevelopment of the property that would also preserve and protect the historic site and also be compatible with the adjacent Derwood residential neighborhood.

With the County Council's adoption of the Shady Grove Minor Master Plan Amendment (2021) and the amendment to the zoning map that rezoned this property CRT-1.0 C-0.25 R-1.0 H-50 (Sectional Map Amendment/SMA adopted 2022), and the designation of the property as an historic site on the *Master Plan for Historic Preservation*, the applicant is now in active consultation with the Planning Department

and the HPC to seek approval of a conceptual approach to the massing and design of the proposed apartment building.

Previous Permit Approvals

Per the applicant's attached narrative, there were several alterations to the building approved by the Historic Preservation Office while the property was listed to the *Locational Atlas and Index of Historic Sites*, but before it was designated to the *Master Plan for Historic Preservation*. The applicant worked closely with historic preservation staff to ensure that the items met the *Secretary of the Interior's Standards* and that no character defining features of the historic building were demolished or altered. Much of this work was required to satisfy active Department of Housing and Community Affairs (DHCA) property maintenance code citations that had been active since 2003. (The designation report details several phases of use and previous alterations to this building that occurred between its initial construction date of 1904 and the 1996 Shady Grove Sector Plan.¹)

The Historic Preservation Office reviewed and approved the following work, determining that these items did not constitute a "substantial alteration" under Section 24A-10: hazardous and dead tree removal; demolition of the c. 1950s rear addition; installation of new metal roof; removal of non-original asbestos siding (new wood siding installation pending with this HAWP); basement stabilization; well and underground tank removal; boarding up and securing all window and door openings.

Current Proposal

This Preliminary Consultation is for consideration of the following items:

- Comprehensive building rehabilitation including porch rehabilitation, fenestration alteration, new siding and fenestration as needed.
- Construction of new 3-story apartment block addition.
- Hardscape and regrading to accommodate parking, stormwater management, trash enclosure, and other site elements.

Comprehensive Building Rehabilitation

The applicant is proposing to rehabilitate the front porch, install new wood German-lap siding on all exterior walls, install new windows in historic window openings, add limited new window openings where the old exterior stairs used to be located on the north elevation, and other minor modifications. This preliminary consultation does not contain additional information regarding the historic building rehabilitation, as the focus is on the compatibility of the new apartment building to the rear. All detailed specification information for rehabilitating the historic building will be provided with the final HAWP. The applicant has worked closely with staff on all rehab items to date, and there have been good discussions regarding appropriate detailing for the rehabbed front porch, new windows, and other items. All rehab items will comply with the *SOI* and Chapter 24A.

New Construction of 3-story rear addition

The applicant is proposing construction of a new 3-story apartment building to the rear of the historic store, within the environmental setting. The new building will be connected to the Derwood store via an exterior stairwell between the two buildings. The total project is proposed to yield twelve (12) units in both buildings combined. Three (3) units will be in the historic building and nine (9) are proposed for the new building. When discussing the appropriate placement of the new building, staff and the applicant

¹ Historic Preservation Report from the designation hearing, May 2019: <https://montgomeryplanning.org/wp-content/uploads/2019/04/I.A-Derwood-Store-and-Post-Office.Staff-Report.pdf>
MIHP Form and Full Site Report: <https://montgomeryplanning.org/wp-content/uploads/2020/04/Derwood-Store-and-Post-Office-Designation-Report.pdf>

considered a variety of hyphens or direct connections. The proposal to add an open stairwell, simply detailed with unobtrusive railings seemed to be the least visually intrusive to the historic building. The stairwell is shown in the elevations, but has been removed from the renderings in order to give the HPC a better sense of the design of the new apartment block from all four (4) elevations.

Site Plan/Massing

The site plan for the new building features an off-center multi-stepped elevation on Chieftain Avenue, and then two flat/straight elevations—one for the rear, and the second for the interior (north) elevation. The units will be accessed from exterior doors facing either Chieftain or exterior doors in the stairwell. The new building is proposed to be the same height or slightly taller as compared to the historic building. All plans feature a stone and brick base similar to the historic building, a continuous bandboard between the first and second floors, punched openings of single or ganged windows, and shed-roof porches covering the front stoops along Chieftain.

In general, staff finds the size and massing of the new building to be appropriate. It was discussed for several years that a substantial addition would be proposed once the new zoning was in place to provide for more housing and make the rehabilitation financially viable.

The applicant has taken three (3) different approaches to the design of the new apartment building labeled Options A, B, and C.

Option A takes the basic massing and form of the historic general store and post office, and turns it perpendicular to face Chieftain Avenue, repeating the same basic massing block three times and then pulling half of each block back an additional 2' (approximately) down the elevation. The result is a sawtoothed/repetitive pattern that pushes and pulls the elevation to create multiple bays within the basic 3-block massing of the addition. Color-blocking further accentuates this effect. Option A further stretches alternating portions of the roof above the central ridgeline of each main bay, creating a shed-roofed appearance, fracturing the massing further and accentuating the overhangs and shadowlines of the eaves. The affect takes cues from the historic building and then pulls the shape apart in elevation, in plan, and at the roof. The rear (east) elevation repeats the punched window openings and flat aspect of the side elevation of the historic building.

Option B uses the same sawtoothed approach to the wall plane at the Chieftain elevation, but utilizes a flat roof with cornice board instead of a gable end roof. This option more closely resembles a late 19th-century building block in the District of Columbia with the repeating bays and continuous cornice line.

Option C utilizes the same approach as Option A, except that the three bays are held together with one color for each main massing, resulting in a more regular stacking of the mass as it moves down the elevation.

Staff finds that each of these three options could be appropriate. While staff does recommend lowering the ridgeline so it is consistently lower than the ridgeline of the historic building, the height is generally appropriate. The exterior stairwell and sawtoothed aspect of the most visible elevation along Chieftain help to break up the overall bulk of this new building. The three design approaches provide visual interest, but are unified in design vocabulary. Staff recommended to the applicant that they present options that were not overly ornate or did not compete with the historic building visually. However, the Derwood Store and Post Office is almost an aggressively austere building, constructed near to the railroad tracks in an industrial part of Old Derwood, with a use that was community serving and multi-faceted (post office, general store, single residence, and then apartments). Its form is similar to the more rural county-designated general stores such as the Red Door Store or the Poole Store, but it has accommodated multiple and heavier uses since its initial construction. The questions for the HPC to consider are: which design approach is most compatible with the historic building, which holds together as the most complete

traditionally designed structure, and what is the appropriate balance between modern and historic aspects of the proposed design? For example, does the use of color on multiple bays compliment or complicate the design? Should there be more modern design touches to differentiate the new building, such as corner windows instead of punched windows? Is it more successful to have a flat roof or is that too far a departure from the historic building and are the fractured ridgeline and gable-end roofs more appropriate?

Materials

For materials, the applicant is proposing a mix of vinyl and hardiplank siding for the new building with a brick base and PVC bandboard. The HPC has taken a more lenient approach to new additions to historic buildings and has allowed the use of non-traditional building materials. That said, the vinyl siding is not an appropriate choice for an addition to a historic building. Staff recommends the use of smooth-finish hardiplank siding, and either hardi-trim or millable, paintable PVC in select areas that are subject to moisture damage. The use of all wood and brick is also highly recommended.

Hardscape Alterations and Regrading

The applicant is proposing to construct a new parking area to the rear of the addition. The parking will be accessed off the existing alley to the rear. Stormwater BMPs will be located below grade in this area as well. The applicant is proposing porous pavers for a majority of the parking. Final material specifications will be submitted with the HAWP. The applicant is also proposing construction of a small sitting area and access pathway in the rear of the building. Per County requirements, the applicant is constructing a new 6' wide sidewalk between the building and Derwood Road, and a new 4' wide sidewalk in front of the building along Chieftain Avenue. The sidewalk should conform to the County's standard design and will be subject to final review and approval with the HAWP. The existing street frontages are mostly concrete pads and the rear yard facing the alley is open lawn. These alterations will not disturb any character defining features of the site and will provide necessary access and utilities for the residents. They are also entirely in keeping with the character of the public alley and this visible portion of the streetscape along Derwood Road.

Pending Entitlements and Reviews

The applicant will be applying for preliminary and site plan approval in the coming weeks. The HPC's recommendations and feedback will inform their subsequent submissions to the Planning Department and Planning Board. If there is the need for a second preliminary consultation prior to the Planning Board's hearing, staff will schedule it with ample time for HPC review. Once entitlements are received from the Planning Board, the applicant will incorporate any changes and return to the HPC for the HAWP before applying for building permits.

STAFF RECOMMENDATION:

Staff recommends the applicant make the revisions recommended by the HPC, submit any requested documentation, and return for a HAWP.



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICANT:

Name: CLW Real Estate Group/Lawrence Smith

E-mail: lawrencecsmith@rcn.com

Address: 405 Cork Tree Lane

City: Rockville Zip: 20850

Daytime Phone: 240-498-4502

Tax Account No.: Property 04-00045257

AGENT/CONTACT (if applicable):

Name: Same as above

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 15911 Redland Road, Rockville, MD 20855

Is the Property Located within an Historic District? Yes/District Name _____
X No/Individual Site Name Derwood Store/Post Office

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 15911 Street: Redland Road

Town/City: Derwood Nearest Cross Street: Chieftain Avenue

Lot: P1 Block: 4 Subdivision: 0502 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input checked="" type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Lawrence Smith
Signature of owner or authorized agent

10/26/2022
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

EXHIBIT A

15911 Redland Road, Rockville, MD 20855 (Old Derwood Post Office)

The Derwood Store and Post Office is a building that dates back to the early 1900s. Originally built as the General Store for the town of Derwood, the structure had been converted in the 1950's with an additional structure on the south elevation for use as a 6-unit apartment complex. The front part of the building which consisted of the Derwood Post Office was in use up through the 1970's. The building was eventually abandoned and became a storage yard for construction contractors till approximately the mid 1990's. CLW Real Estate Group LLC purchased the property in 2005 for \$305,000. The initial plan was to build 6 town houses on the lot. It was advised by County Staff to wait until the new "updated Shady Grove Master Plan" would be approved. Current zoning at the time was R-200. 2006 Shady Grove Master Plan was created giving the property a PD – 24 zoning. 6 Units for the property.

When the real estate economy crashed soon after the new zoning, all developmental funding had dried up for this type of project and the property remained vacant for many years. Like most real estate investors of the era, priorities change and the original partners of CLW moved on. The "L" of CLW bought out "C" and a new partner Dudley Wong bought out "W". Current partners: Lawrence Smith owns 75% and Dudley Wong owns 25% of the project.

Over the years' various complaints to Montgomery County code enforcement resulted in several violations. Court appearances and potential fines for these "violations" required intermediate repairs. CLW was required to fix the property, cut trees and make the building look "livable" with new siding, windows and roof. Evaluating various options for further development at that time made it challenging to continue progress with the property from a financial perspective. Other options that were considered was to build in a new single-family home. In general finding investors or potential partners was challenging due to hurdles dealing with the possible "historical" designation and zoning restrictions.

As interest rates ticked lower and the economy started to recover, a renewed interest to move forward with development. Further review of the budget and the anticipated ROI of the project highlighted the need to increase the density of the development. Over the year's other developments had come to life directly next to this project. 50 new 4 level garage townhomes and 100-unit apartment building had been built across the street. About one mile away, Shady Grove Westside is being built with 1,521 residential dwelling units which includes 211 Moderately Priced Dwelling Units (MPDUs), 116 Workforce Housing (WF) units; 41,828 square feet of retail; and a public library. These density concerns were discussed with Montgomery County Park and Planning staff late 2019 while seeking higher limitations than the zoning planned at that time. Concurrently, the Montgomery County Historical Commission expressed interest in designating the property as "historical". An agreement was made to pursue the "historical" designation in hopes the county would support increasing the zoning limitations on the land. In May 2021 the county had increased the zoning on the property as part of the Shady Grove Master Plan Update and the property was officially designated Historical. Final and official was realized in July 2022 when the Shady Grove Minor Master plan was approved for the property's CRT-1.0 C-0.25 R-1.0 H-50. The new zoning will accommodate up to 12 units for this property.

After the updated Shady Grove Master Plan was approved and the true "Historical" designation was applied to the building, the project gained traction on renewed momentum. Over the past few years, updates to the site include the clearing and removal of about 10 large over grown trees from the property. The addition on the south/back side of the building (built in the 1950's) was also demolished and removed. The roof has also been replaced with the Historical Commission's guidance using period correct metal shingles over new roof joists. The asbestos siding over the original wood siding was

EXHIBIT A

removed and new insulated ZIP board was applied to the exterior. The interior had been completed gutted, providing the opportunity to rebuild the stone foundation walls and piers where necessary. Installation of all new floor joist, sub floor, and framed/sister 2 x 6's (on the original "real" 2 x 4 walls) on all exterior walls completed the skeleton of the original structure. The original fresh water well was professionally closed off/caped and the underground tanks were removed. The site is now cleared of any obstructions and the grading had been leveled. Minimal site work will be needed going forward.

Current activities include working with Montgomery Park & Planning, the Historical Commission and engineers/architects on plans for the site that accommodates all those involved. Early in November 2021, CLW met with our architect, Montgomery Park & Planning and staff members to discuss the final concept site plan. During this meeting an agreement on the concept plan was made based on the county's recommendation and feedback. It was later discovered that that parking was not what the county anticipated. So, the concept site plan was changed to satisfy the alley egress and ingress parking concerns. The other major item with this site is the Historical building north corner (front porch) which is located about 2' from the corner of Derwood Road and Chieftain Avenue. This made for a very unsafe condition with cars, trucks and pedestrians at that corner. After months back and forth, discussions, it was finally decided to "pull" the street corner away from the building 8', reducing the turning radius at the corner and to giving more room for a 6' sidewalk and additional "green space".

Today, we have the "envelope" of the concept site and building worked out. What is need now are tangible direction for the elevations of the "addition" to the Derwood Store and Post office. We plan to have the front porch of the Post Office be brought back to life to look like it once was with the addition of code compliant railings on the sides and steps. When the Post Office was converted into the apartments, access to the front porch was not feasible due to variations in floor heights. To solve this dilemma and to retain the historic significance of the front porch, the front door and two side windows will be non-working, dummies. However, if one would like, they could still sit on the porch but only accessible from the outside front stairs.

On the east elevation of the Post Office, where the once existed exterior stairs to access the 3rd floor we received approval (from historical staff) to add some additional windows. These windows were needed due to the shortage of windows on some floors and excess on other floors along the west elevation. This west elevation also has 3 exterior doors that make it difficult for space planning with residential units. The west and north elevations will be retain the 100% historical look. The new windows on the east side were needed for residential space planning and life safety in bedrooms.

The Montgomery County Planning staff verbally accepted the concept site plan is attached to this document. See attachment (Exhibit B). This plan addresses the earlier concerns over parking access from the back alley and on to Derwood Road.

This plan will address earlier concerns over parking access from the back alley and on to the street. The site plan is shown on the following pages of this report. The architect is currently working on additional drawings for both the historical building and the new addition.

The new plans will allow for a new 3-story building to be attached to the "original" historic structure thereby yielding a total of 12 units. Three units will be located in the original Historical building and nine units will be part of the new addition. The anticipated configuration will include (12) two-bedroom units with some having a den. All units will be configured with 2 full bathrooms. Parking will

EXHIBIT A

be available both on site and on the street. A 2-car EV capable charger will be pre wired for the parking lot should there be a future need by the residences. Solar is being evaluated to supply electricity for the common spaces of the building. Depending the elevations chosen, space will be built into the rooftop layout to accommodate the solar panels.

We have tried to give some options for the Committe to look at. All these elevations come from feedback from county staff over the past few months. We would like this Committee to evaluate the options and provide input on the various design options. Everyone in the community is eagerly waiting for this project to continue to move forward and become a valuable asset. Please help us.

I. Location of Project

15911 Redland Rd is located in Derwood, MD as depicted by the red arrow in the following picture. This address is not physically correct and has not been updated to reflect the new street mappings. When the Shady Grove Metro station was originally built and Redland Road was realigned, the vacant property's address was not changed to reflect new street names. This project is located on the corner of Chieftain Avenue and Derwood Roads. For GPS purposes the house next door is 15909 Chieftain Avenue. It is within walking distance to the Shady Grove Metro Station and is part of the major redevelopment of the areas surrounding the metro.

Within the past few years a 100 unit, five story apartment building as well as 50 four level, two car garage town homes had been built directly across the street (Momentum at Shady Grove). Additionally, there has been a few tear downs of the old housing stock and replaced with large contemporary colonial houses. This shows the strength of the area and desirability to live near the Metro Station and Rockville.

Another large development next to the Metro is along the West Side at Shady Grove Metro. This will include 1,521 new residential dwelling units, 41,828 square feet of retail, soccer field and a public library. Once completed, Redland home owners can enjoy various new amenities including retail, library, soccer field, and parks.

The ariel view below shows this project falling within many new and major developments happening around the Shady Grove Metro.

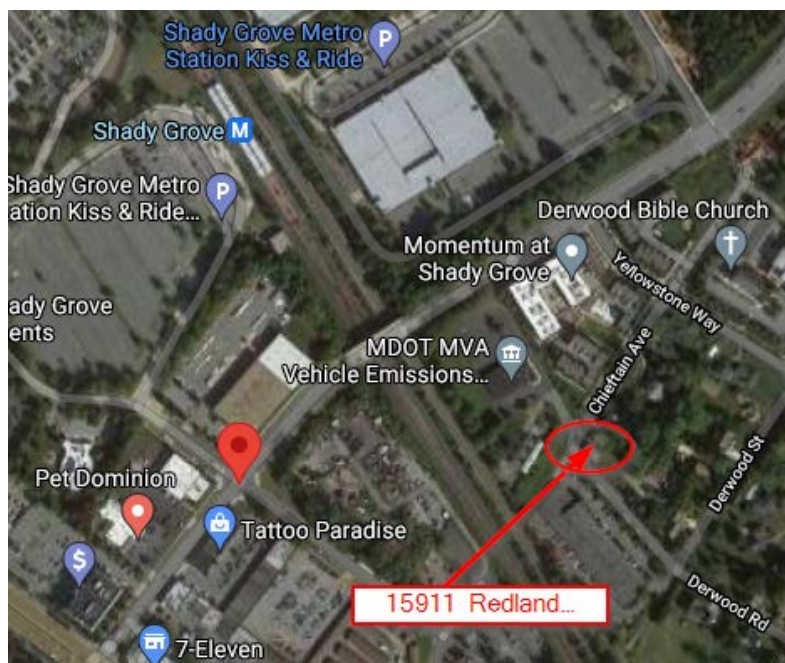


EXHIBIT A



Concept Site Plan:

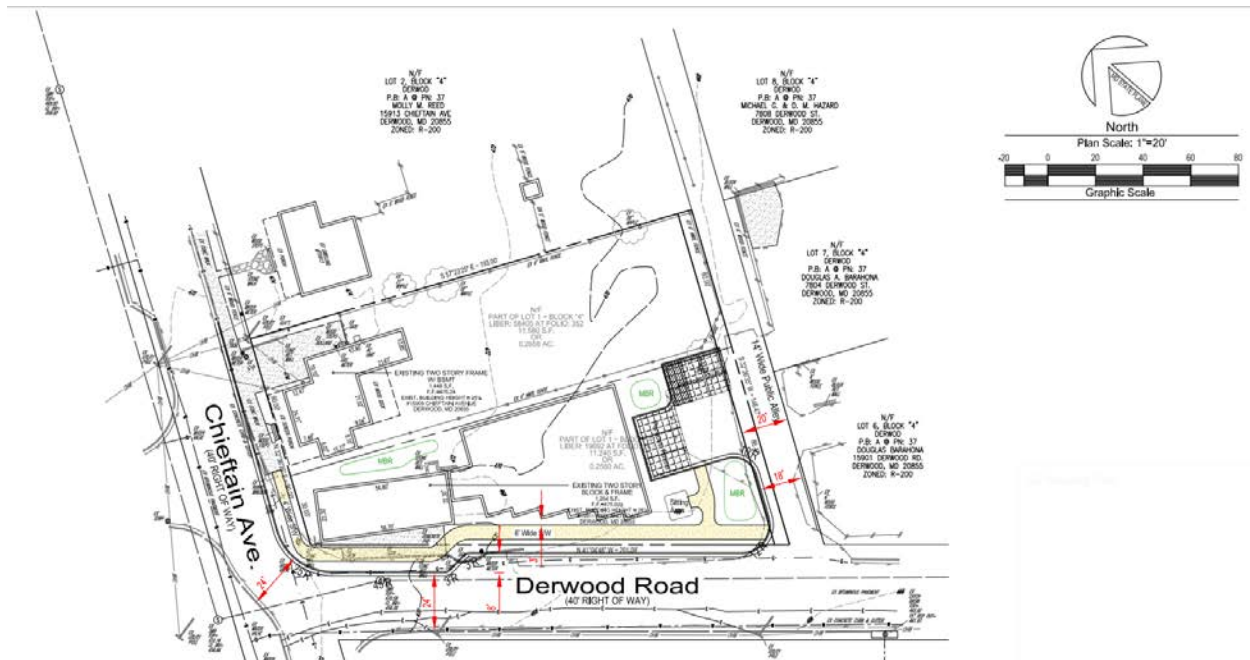


EXHIBIT A

I. Pictures during Various Stages.

Property dating back to the 1970's



Property before any major work started



Removing tree roots after all trees have been cut down

EXHIBIT A



Demo of 1950's addition at the rear



Original building with new roof, ZIP insulated sheathing, and inside exterior framing.

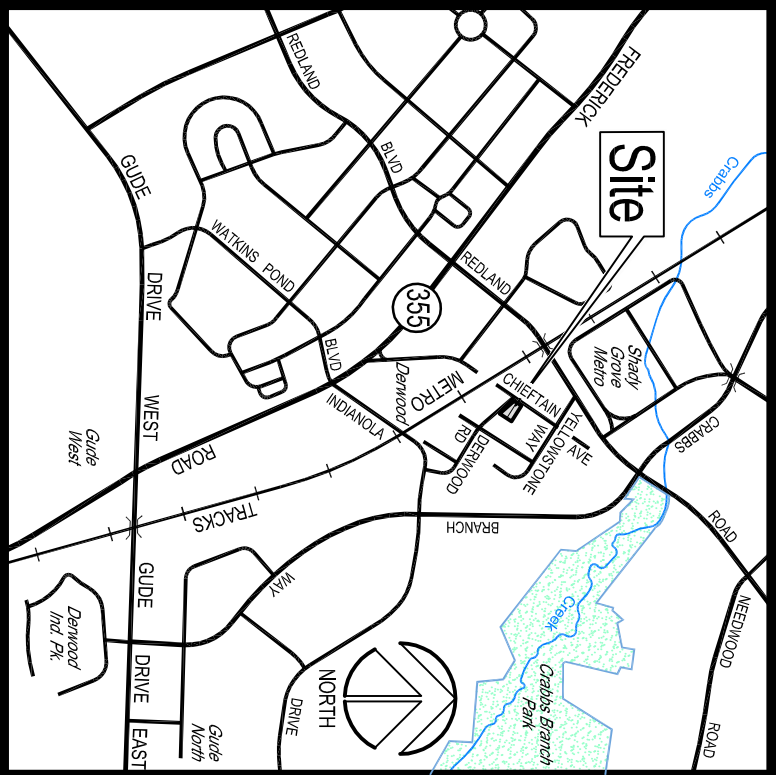
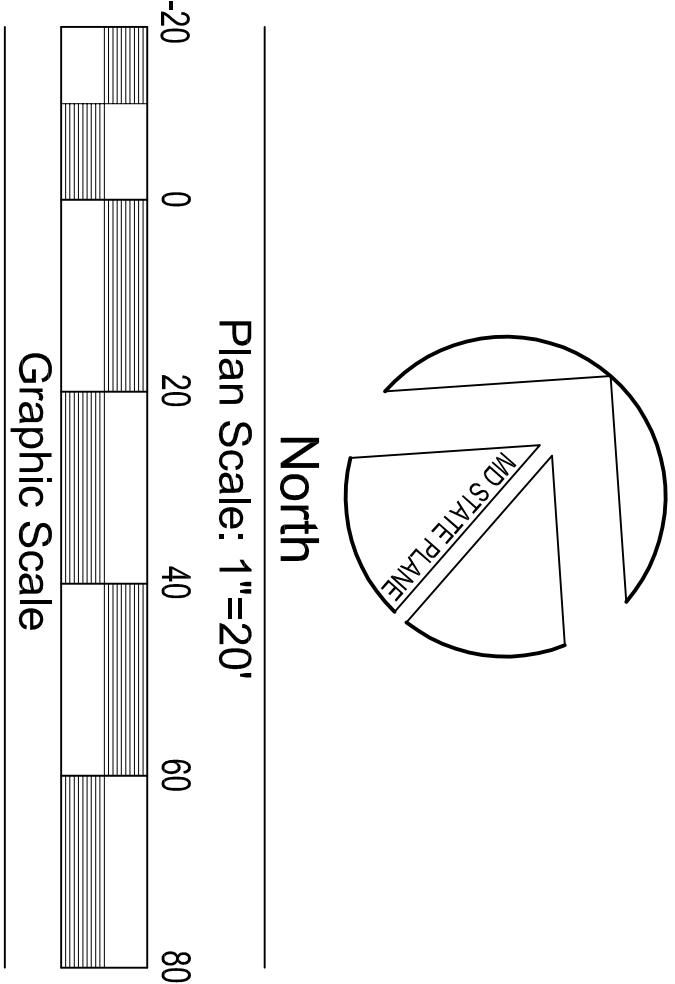
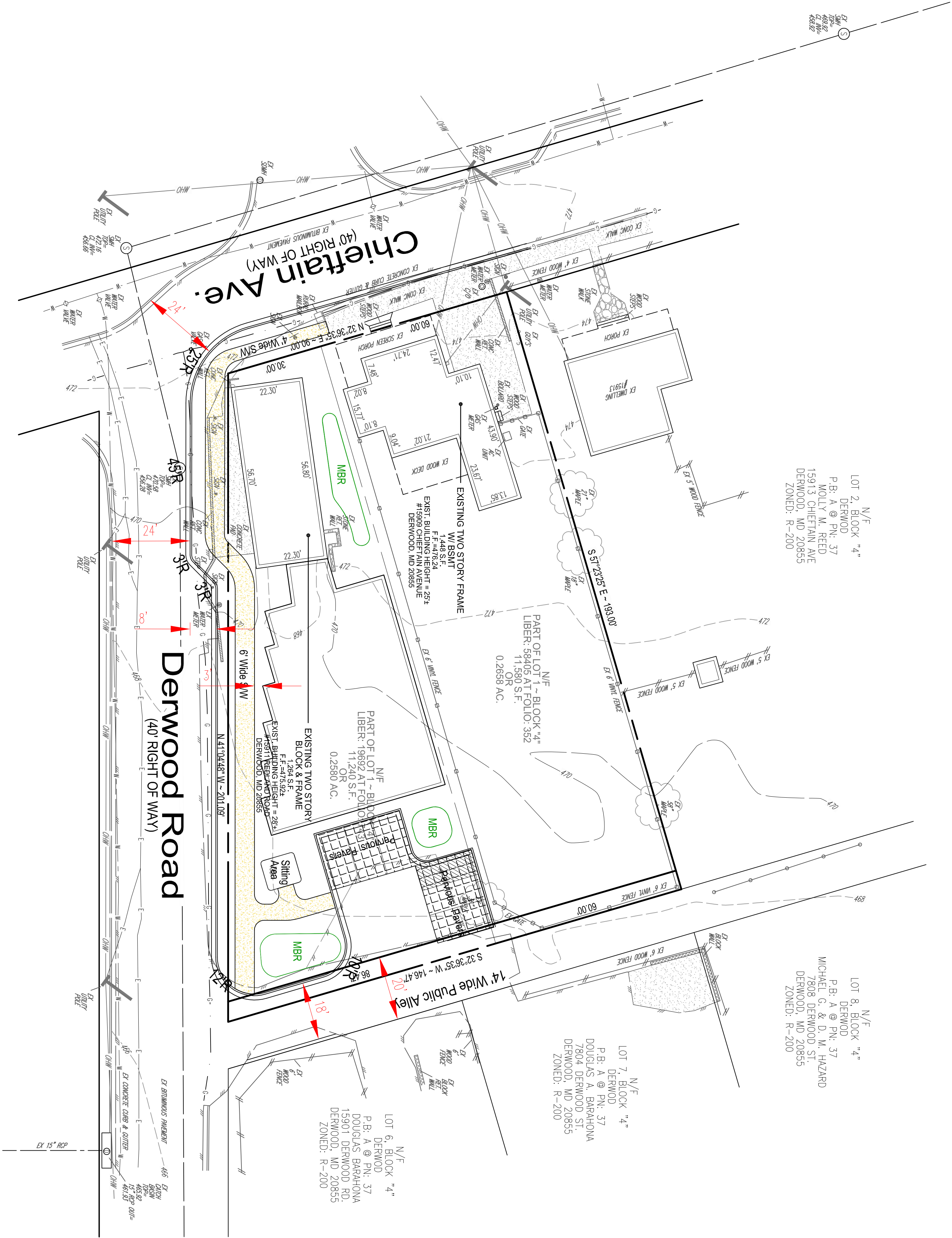
EXHIBIT A



Inside shell, 2nd floor



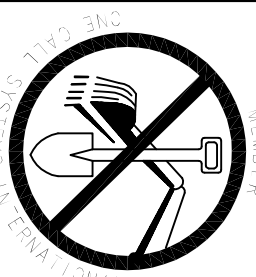
Exhibit B: Site Plan



VICINITY MAP
SCALE: 1"=2000'
MO. CO. ADC MAP #5164 GRID: E-2
W.S.C. 200 SHEET 221 NW 08

Attention:
THIS PLAN SHALL BE USED ONLY FOR ITS INTENDED PURPOSE AS NOTED IN THE TITLE BLOCK

Before You Dig
Call
"MISS UTILITY"
Service Protection Center



CALL TOLL FREE
1-800-257-7777
www.missutility.com

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Notes:

Property lines and Property information is based upon record data, and a full and complete title report is required to further finalize the subject property boundary

Developer/Applicant:
Attn: Lawrence Smith

Phone:
Email: lawrencesmith@cr.com

Existing Conditions Plan

Lot 1, Block 4
Derwood
Plat Book: A @ Plat No: 37
15909 Chieftain Avenue
Liber: 58405 At Folio: 352
15911 Redland Road
Liber: 00000 At Folio: 000
Rockville Election District Number 4
Montgomery County, Maryland

I hereby certify that these documents were prepared or approved by me, and that I am duly licensed professional engineer under the laws of the State of Maryland.

Signature
License No.

REVISIONS:

DESIGN: WJL	DATE: August 2021	JOB NO.: 021019	TCP No.: N/A
DRAWN: HAL	COMPI: CW	SCALE: 1"=20'	SCD No.: N/A
CHECK: JEC	SUVER: JRLC	SHEET: 10F-1	SDCP No.: N/A



EC-1

Exhibit C: Additional Pictures (15911 Redland)



View from the front of building.
Existing porch will be restored with
Dummy doors and windows.







View of the corner show how close the property is to the street. The following group of pictures depict the configuration of the street surrounding the building.









Rear of property where the proposed 9 unit addition will be sited.

UNIT 1 (Top Left):

- MASTER BEDROOM: 15' x 10'-6"
- BEDROOM: 10' x 10'-6"
- BATH
- KITCHEN
- LIVING ROOM: 12'-6" x 15'
- UTILITY

UNIT 2 (Top Right):

- BEDROOM: 10'-6" x 10'
- BATH
- DEN
- LIVING ROOM: 10'-6" x 22'-6"
- KITCHEN
- UTILITY CLOSET

UNIT 3 (Bottom Left):

- MASTER BEDROOM: 10'-6" x 15'
- BEDROOM: 10'-6" x 10'
- BATH
- DEN
- LIVING ROOM: 10'-6" x 16'
- KITCHEN
- UTILITY CLOSET

UNIT 4 (Bottom Right):

- MASTER BEDROOM: 10'-6" x 15'
- BEDROOM: 10'-6" x 10'
- BATH
- DEN
- LIVING ROOM: 10'-6" x 16'
- KITCHEN
- UTILITY CLOSET

Common Areas:

- SPRINKLER RM (outside, left of Unit 1)
- Central Hallway with 'UP' staircase
- Property Line (dashed line on the left)

The floor plan illustrates a symmetrical four-story building. Each floor is divided into several rooms: a Master Bedroom, a Bedroom, a Kitchen, a Living Room, a Utility Closet, and a Storage area. The layout is consistent across all four levels. Staircases are positioned in the central and right-hand sections of the building, providing access to each floor. The building's footprint is rectangular, with a central corridor or common area area.

The image displays three floor plans for a three-story house, arranged vertically. Each plan shows a different level of the house, with a central staircase connecting them.

- Top Floor (First Floor):** Features a Master Bedroom, a Bedroom, a Kitchen, a Living Room, a Utility Closet, and a Storage area. The Living Room has a fireplace and a large window. The Kitchen has a sink and a stove. The Utility Closet has a sink and a toilet. The Storage area is located near the Living Room.
- Middle Floor (Second Floor):** Features a Bedroom, a Master Bedroom, a Kitchen, a Living Room, a Utility Closet, and a Storage area. The Living Room has a fireplace and a large window. The Kitchen has a sink and a stove. The Utility Closet has a sink and a toilet. The Storage area is located near the Living Room.
- Bottom Floor (Third Floor):** Features a Master Bedroom, a Kitchen, and a large open area. The Master Bedroom has a fireplace and a large window. The Kitchen has a sink and a stove. The large open area is located near the Master Bedroom.

A100



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SUITE 506
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3GARCHITECTS.COM

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laws of the State of Maryland.
Licence number 12387.
Expiration date: 3-30-2024.

Consultants

Client

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ESATET
GROUP

15909 CHIEFTAIN AVE
ROCKVILLE, MD 20855

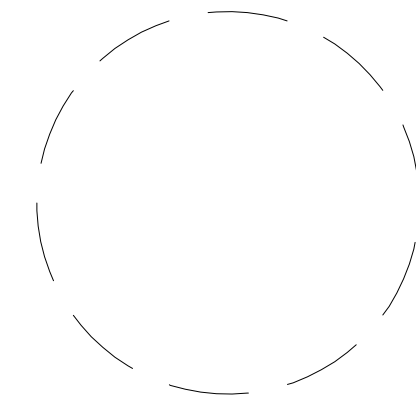
CLW REAL
ESTATE GROUP

Drawings

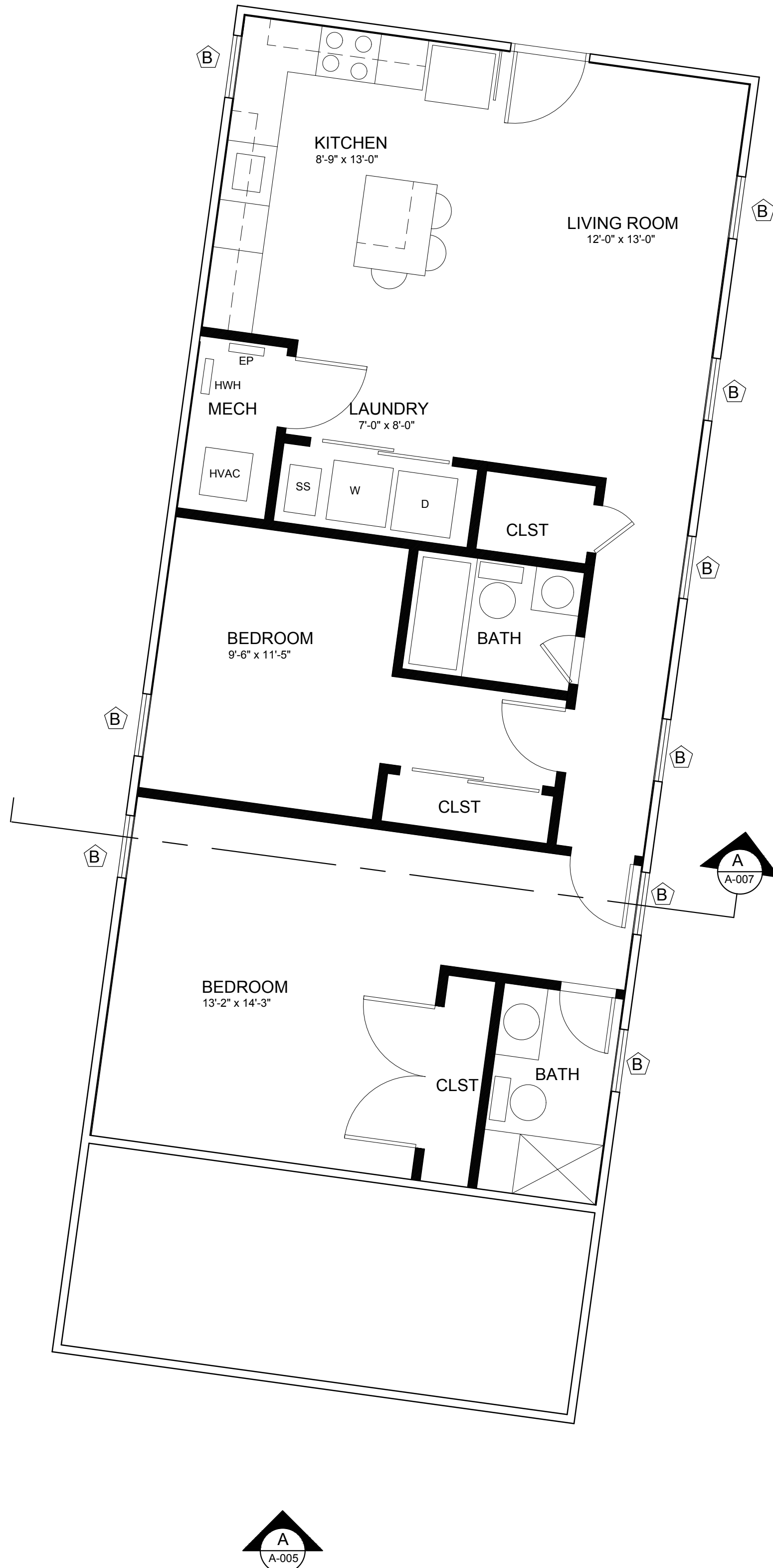
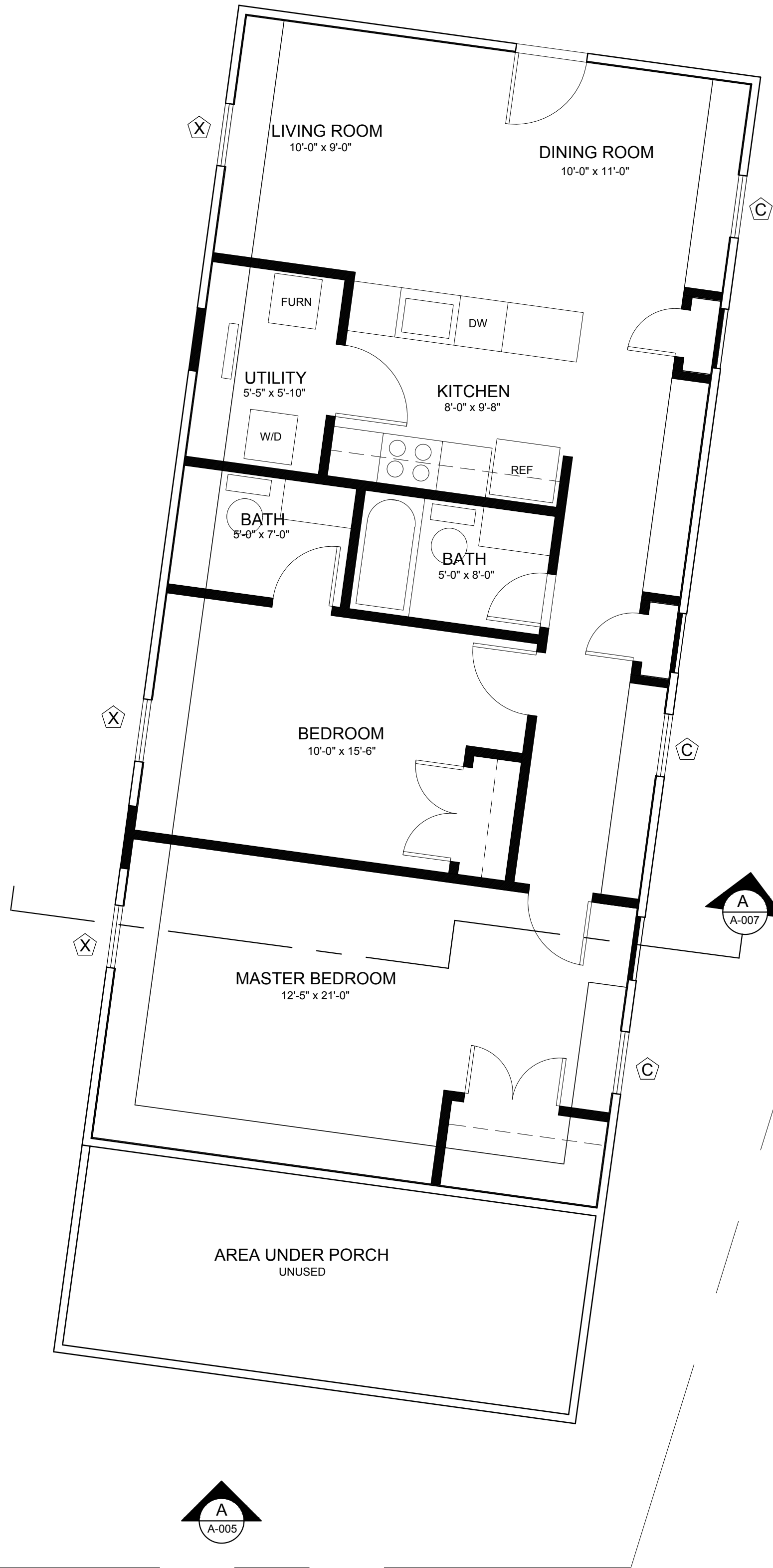
1ST AND 2ND
FLOOR PLAN

DATE	ISSUE
10/26/22	REVIEW SET

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A101





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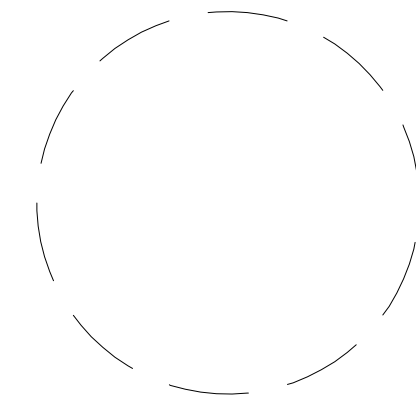
CLW REAL
ESTATE GROUP

Drawings

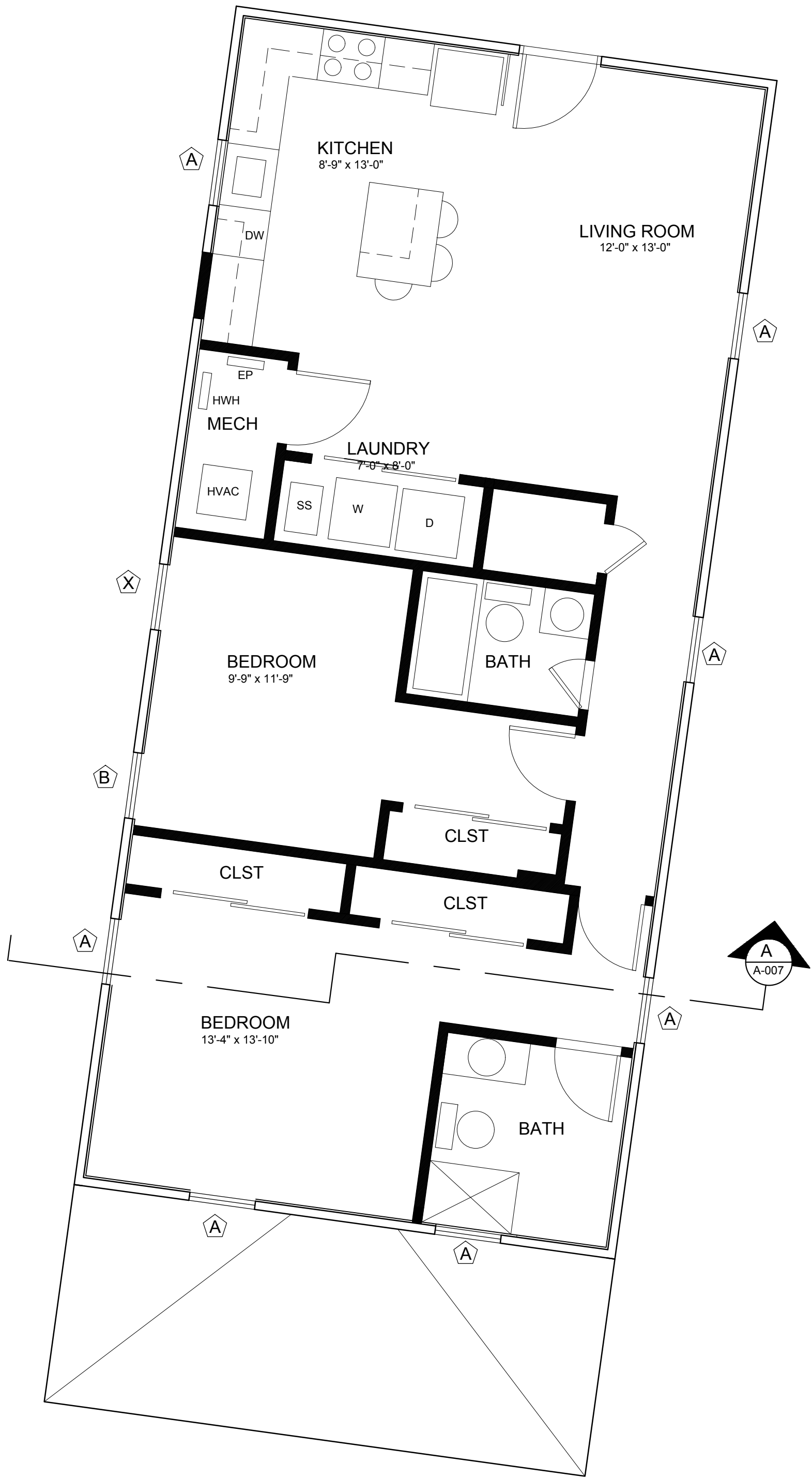
3RD FLOOR
PLAN

DATE	ISSUE
10/26/22	REVIEW SET

E-SIG



A102



1 THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"



A1 OPTION A NTS



A2 OPTION A NTS



A3 OPTION A NTS



A4 OPTION A NTS



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ROCKVILLE, MD 20855

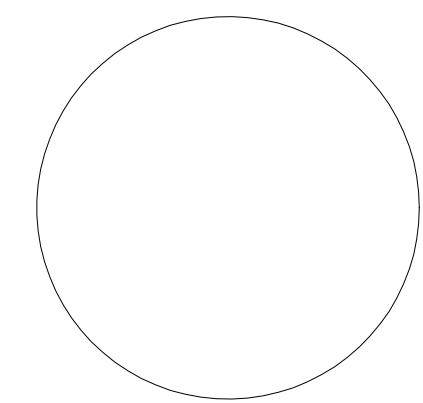
CLW REAL
ESTATE GROUP

Drawings

ELEVATIONS
OPTION A

DATE	ISSUE
10/26/22	REVIEW SET

E-SIG



A200



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CLW REAL
ESATET
GROUP

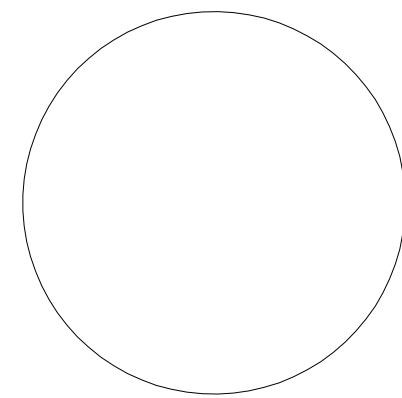
15909 CHIEFTAIN AVE
ROCKVILLE, MD 20855

CLW REAL
ESTATE GROUP

Drawings
ELEVATIONS
OPTION B

DATE	ISSUE
10/26/22	REVIEW SET

E-SIG



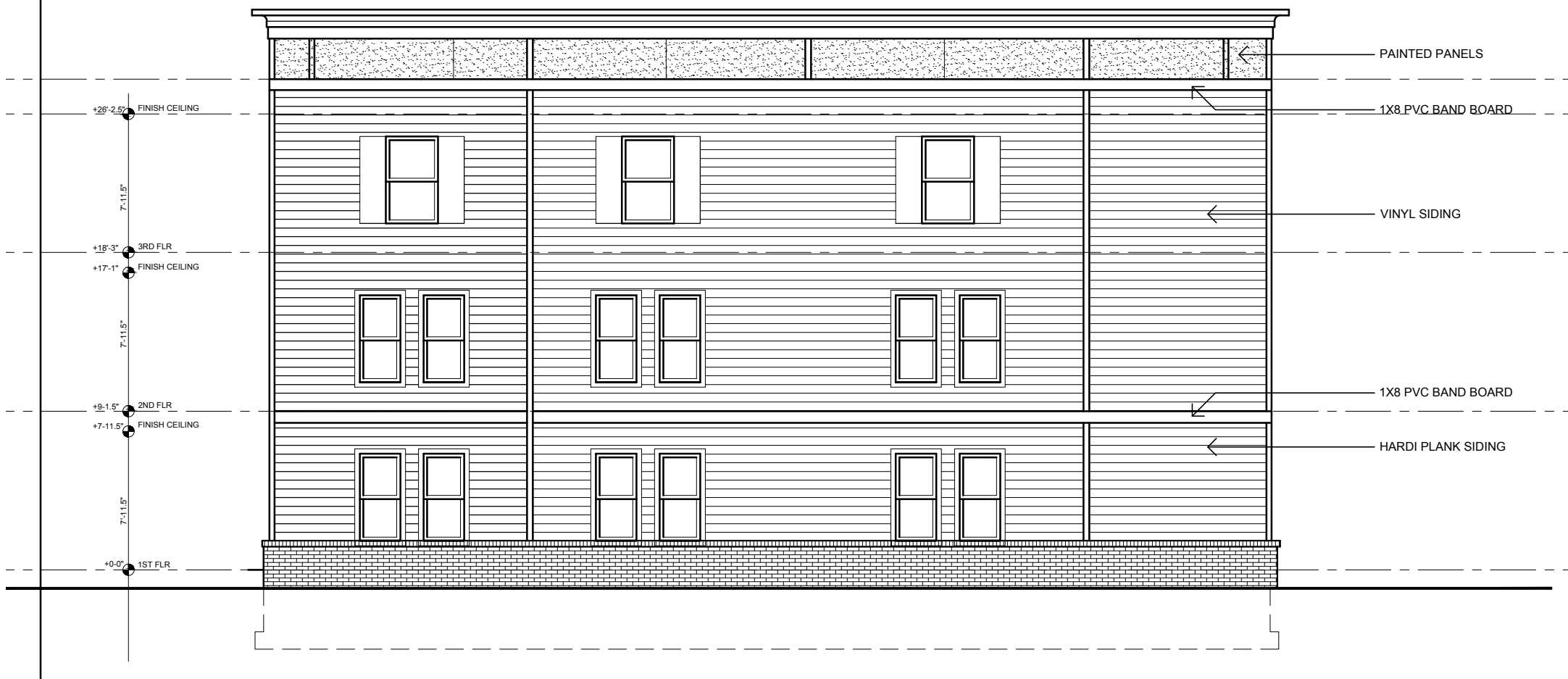
A201



B1 OPTION B NTS



B2 OPTION B NTS



B3 OPTION B NTS



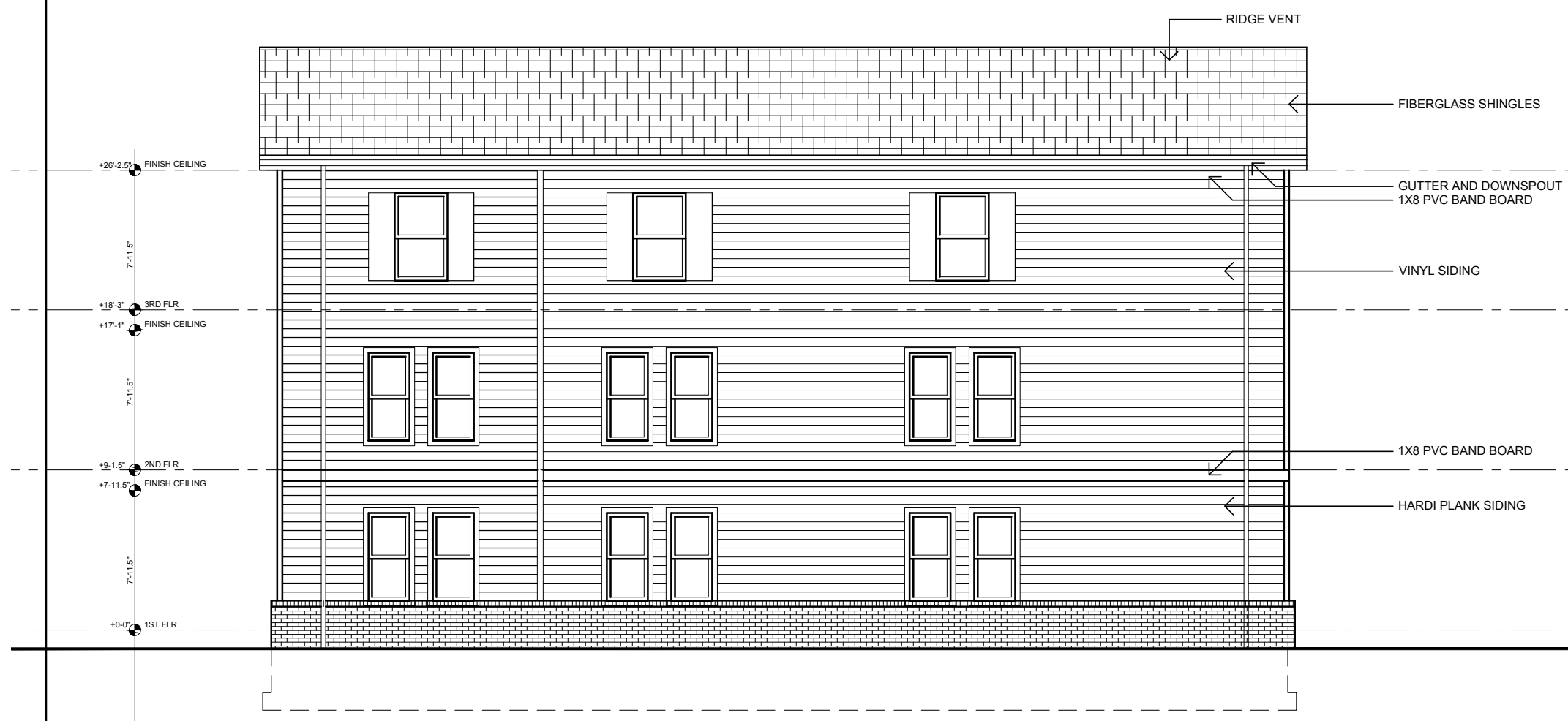
B4 OPTION B NTS



C1 OPTION C NTS



C2 OPTION C NTS



C3 OPTION C NTS



C4 OPTION C NTS



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Consultants

Client

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ESATET
GROUP

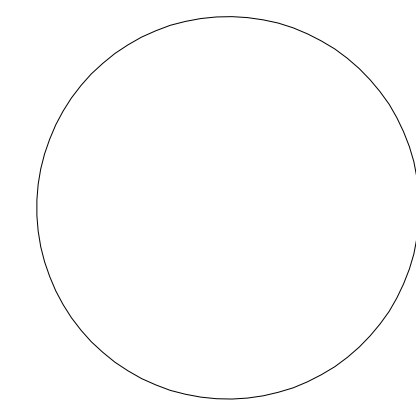
15909 CHIEFTAIN AVE
ROCKVILLE, MD 20855

CLW REAL
ESTATE GROUP

Drawings
ELEVATIONS
OPTION C

DATE	ISSUE
10/26/22	REVIEW SET

E-SIG



A202