

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7500 Carroll Avenue, Takoma Park	Meeting Date:	11/16/2022
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	11/09/2022
Applicant:	Eric Liebmann	Public Notice:	11/02/2022
Review:	HAWP	Tax Credit:	Partial
Permit No.:	1010328	Staff:	Rebecca Ballo
Proposal:	Installation of storm windows, door alteration, lighting installation.		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Takoma Park Historic District
STYLE: Craftsman
DATE: c.1915-1925

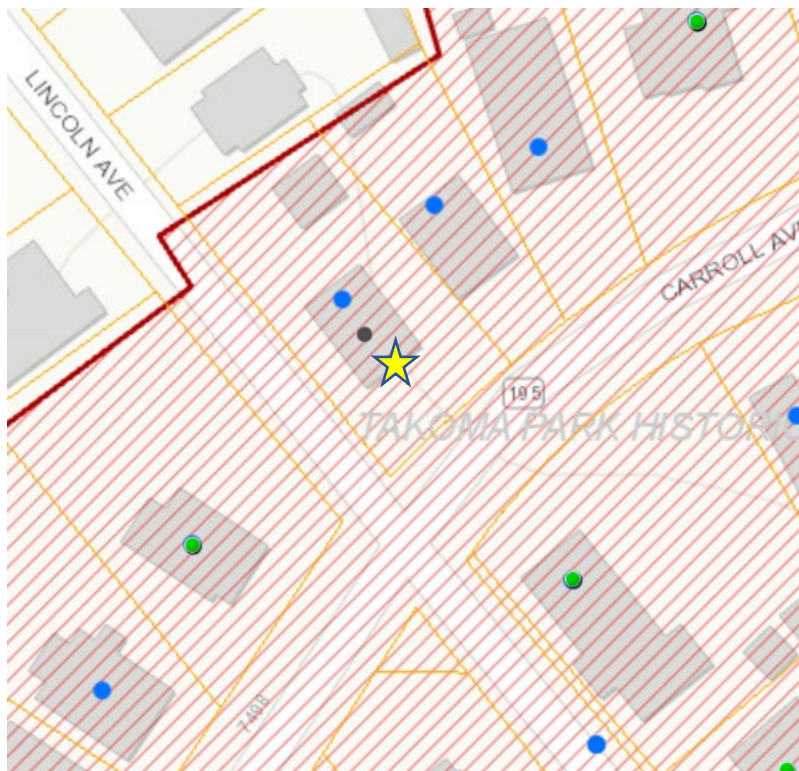


Figure 1: The subject property, shown with the yellow star, is located at the corner of Carroll Avenue and Lincoln Avenue.

PROPOSAL

The applicant proposes several alterations to the garage at the subject property including lighting installation, removal of the existing side door and installation of a new side door and storm door, and the installation of new storm windows at all existing window openings. The door alteration and lighting installation do not qualify for the staff-approved HAWP, and therefore the entire application is coming before the HPC. The storm window installation on its own would have qualified for the staff-approved HAWP.

APPLICABLE GUIDELINES

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The subject property is classified as a Contributing Resource. The Design Guidelines state that Contributing Resources are:

“A resource which contributes to the overall character of the district and its street-scape, but which is of secondary architectural and historical significance. A resource may be classified as contributing if it is a common or ubiquitous example of an architectural style that is important to the historic district, or if it was an outstanding resource that, while still identifiable as a specific architectural style, has lost some degree of its architectural integrity due to alterations. Contributing resources add to the overall streetscape due to their size, scale, and architectural character....Contributing Resources should receive a more lenient level of design review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are at all visible from the public right of way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district).

Specifically, some of the factors to be considered in reviewing HAWPs on Contributing Resources include the following:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Minor alterations to areas that do not directly front on a public right-of-way - such as vents, metal stovepipes, air conditioners, fences, skylights, etc. - should be allowed as a matter of course; alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged but may be considered and approved on a case-by-case basis.

- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing.
- Original size and shape of window and door openings should be maintained, where feasible.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable Standards are as follows:

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The subject property is a two-story Craftsman-style wood frame dwelling. The existing garage is evident in the Sanborn Fire Insurance map (see *Figure 2* below), and the materials, size, and design of the garage demonstrate it is likely of a similar age as the existing house. There are no HAWPs on file for this address for alterations to the garage. The owner had previously submitted a HAWP in July 2022 to convert this garage to an ADU, but that application was withdrawn.

The applicant is proposing several minor modifications to the existing garage. The existing non-historic side door is proposed to be replaced with a new wood, three-panel, 4-lite door and with a full-lite glass storm door. This proposal does not remove or obscure any historic materials and is compatible in design and materials with the historic garage. The new storm windows will be installed so as not to obscure or damage any of the exterior siding or casing; this is a simple alteration that is routinely approved as a matter of course. The final alteration to add two (2) exterior lights, one on the front above the main garage door facing Lincoln Avenue, and one on the south elevation at the side door which faces the rear of the principal dwelling, should also be approved as a matter of course. The light sconces are downward pointing fixtures with an oil-rubbed bronze finish. The larger of the two lights, measuring 1'4" in diameter, will be installed above the garage doors where the light will provide the most utility.



Figure 3: 1957 Sanborn Fire Insurance Map, courtesy of M-NCPPC Historic Preservation Office. 7500 Carroll Avenue is outlined in red.

Staff concludes that these alterations will have no material effect on the historic garage or the house. The alterations do not remove historic building materials and will not damage any historic features in the installation. They can also all be removed in the future with no detrimental impact to the historic garage, house, or the District.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1)(2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A; that it meets the intent of the *Design Guidelines*,

and is compatible with the *Secretary of the Interior's Standards for Rehabilitation* #9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3404 or rebeccah.ballo@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# 1010328

DATE ASSIGNED

APPLICANT:

Name: Eric Liebmann

E-mail: ericjliebmann@gmail.com

Address: 7500 Carroll Avenue

City: Takoma Park Zip: 20912

Daytime Phone: 202-669-9629

Tax Account No.:

AGENT/CONTACT (If applicable):

Name:

E-mail:

Address:

City: Zip:

Daytime Phone:

Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name Takoma Park Hist. District
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7500 Street: Carroll Avenue

Town/City: Takoma Park Nearest Cross Street: Lincoln Avenue

Lot: 8-A Block: 50 Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input checked="" type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

10-17-2022

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Eric Liebmann 7500 Carroll Avenue Takoma Park, MD 20912	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
Randy Covert and Tamara Laird 211 Lincoln Avenue TP, MD 20912	Anita Drever 210 Lincoln Avenue TP, MD 20912
Laurence Caudle and George Wilson 7428 Carroll Avenue TP, MD 20912	Marjorie Rouse 7429 Carroll Avenue TP, MD 20912
David and Jessica Grinspoon 7501 Carroll Avenue TP, MD 20912	Ann Flanagan 7502 Carroll Avenue TP, MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The original detached gabled garage structure (circa 1929) faces onto Lincoln Avenue and is being weatherized. Exterior changes are minimal and listed below.

Description of Work Proposed: Please give an overview of the work to be undertaken:

I am adding two new exterior lights, two new storm windows, and replacing the non-historic metal exterior side door with a wood and glass door which fairly closely matches the original back door to the main house. I will also be adding a glass and metal storm door. Earlier in the summer, to quickly address a major water problem, I added half round gutters and round downspouts. This was discussed with Michael Kyle as part of an earlier application of greater scope which I withdrew.

Work Item 1: exterior lighting

Description of Current Condition:

No exterior lighting

Proposed Work:

One new wall mounted exterior fixture will be placed on the gable end centered above the garage doors. A second scone light will be placed adjacent to the new side door. See fixture cuts attached.

Work Item 2: side door

Description of Current Condition:

Current side door is a non original 30"x 80" metal door.

Proposed Work:

A wood and glass door which fairly closely matches the original back door (2 over 2 window configuration above three horizontal wood panels) will be provided. See mfg. photo attached.

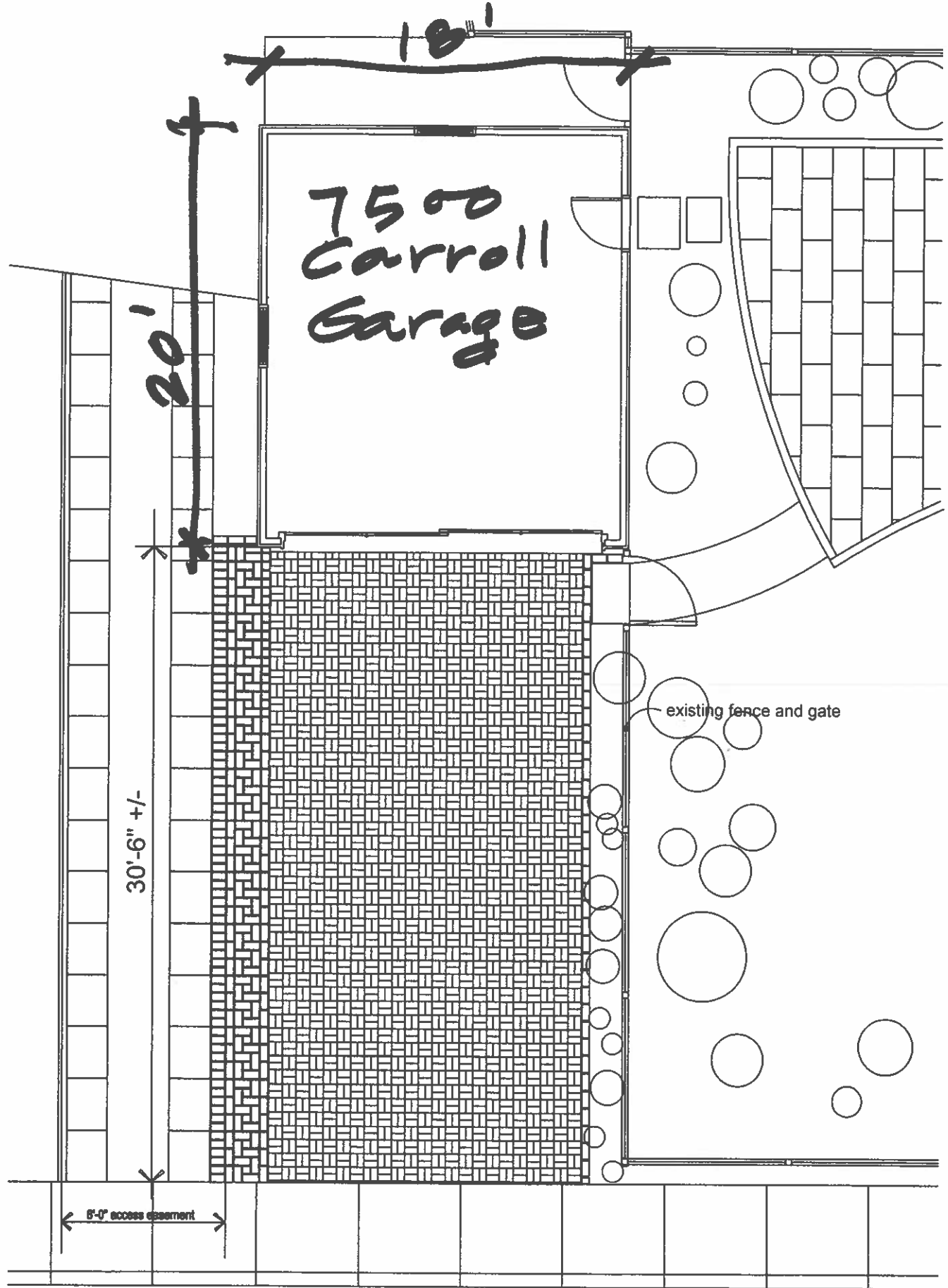
Work Item 3: Storm windows and storm door

Description of Current Condition:

None existing. Existing windows are original 6 over 6 single glazed.

Proposed Work:

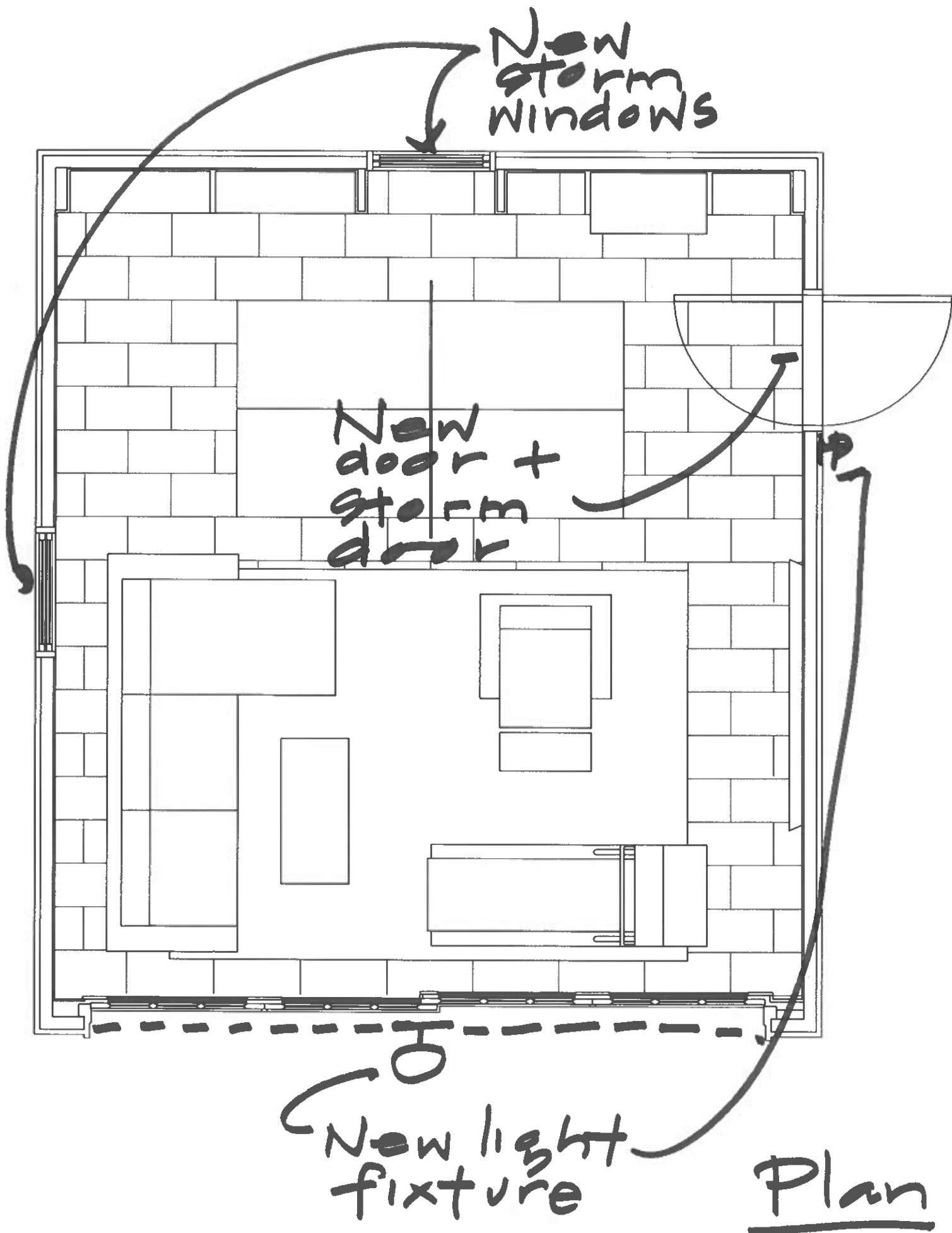
New exterior glass and metal storm windows and screens to match dimensions as closely as possible. New glass and metal storm door.

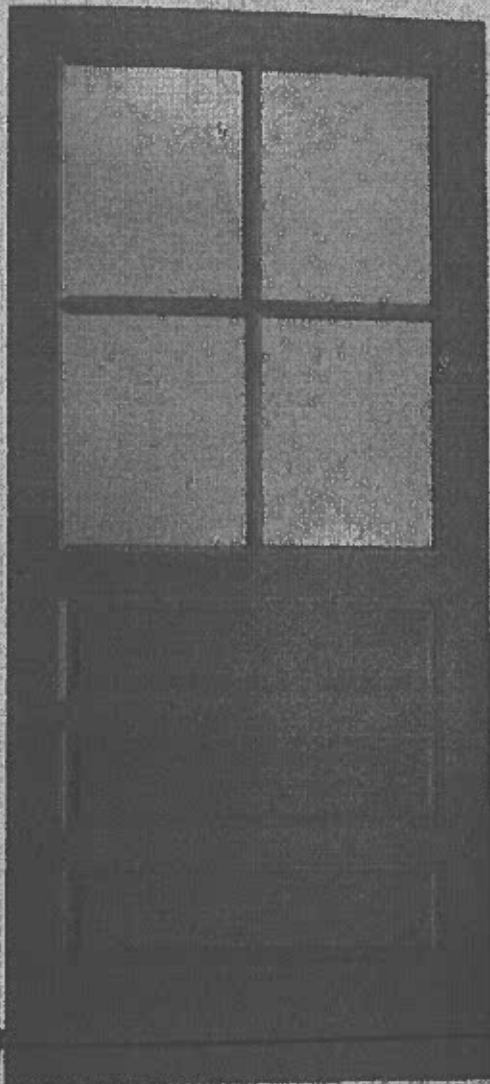


Lincoln Ave.

site plan







F418

Single Pane
Safety Glass
1-1/4" TDL Bar
3/4" Double Hip
Raised Panel
Ovolo Sticking

2/5 x 6/8
2/8 x 6/8
3/0 x 6/8

side
door

Meridian Lighting M50061ORB 1-Light Outdoor

MERIDIAN
LITE TRENDS

✓ Authorized Dealer
Shop All Meridian Lighting

LIST PRICE \$110.00

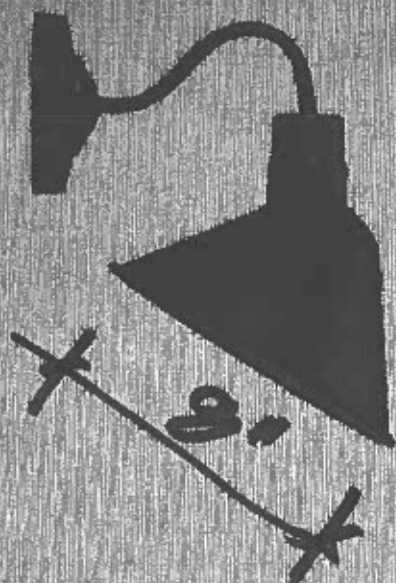
\$110.00

1

00 Make an offer

Free shipping

✓ 253 in stock



Oil
rubbed
bronze
finish

Product Overview

Brighten up your great outdoors with the vintage industrial look of this 1-light outdoor sconce. It features an angled metal shade finished in oil rubbed bronze. 10.60" height, 8" width, and 4.25" backplate width. 4.25" backplate depth 1.50". Max 60 watt bulb, standard size compatible. Wet area rated.

- Maximum Extends 8.75"
- Backplate Height Top to Bottom 4.25"
- Backplate Width Side to Side 4.25"
- Backplate Length Front to Back 1.5"
- Shade Height Top to Bottom 8.13"
- Shade Width Side to Side 8"
- Shade Length Front to Back 8"
- Minimal Assembly Required

Sconce
@
Side door.

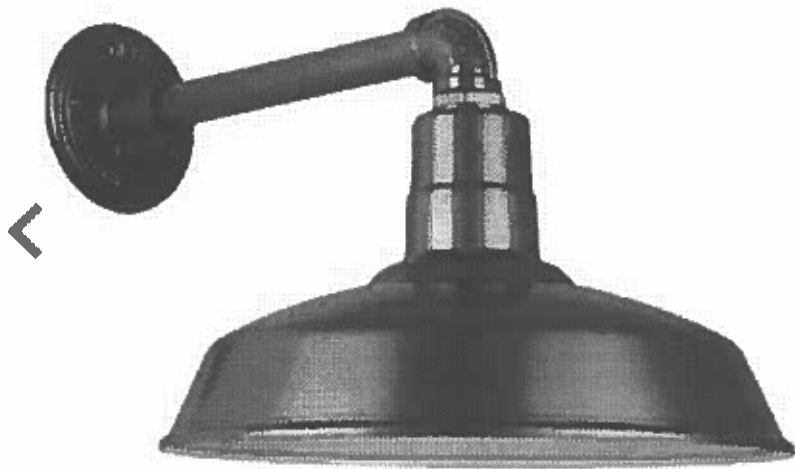
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FREE SHIPPING On Most Orders



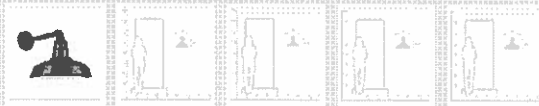
LUMENS



oil
rubbed
bronze
finish

1' 4"

Similar Items



Warehouse 44 Arm Outdoor Wall Sconce

by Hi Lite



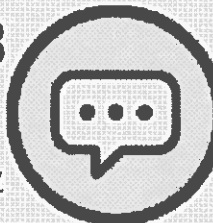
5.0 (1)

Write a review

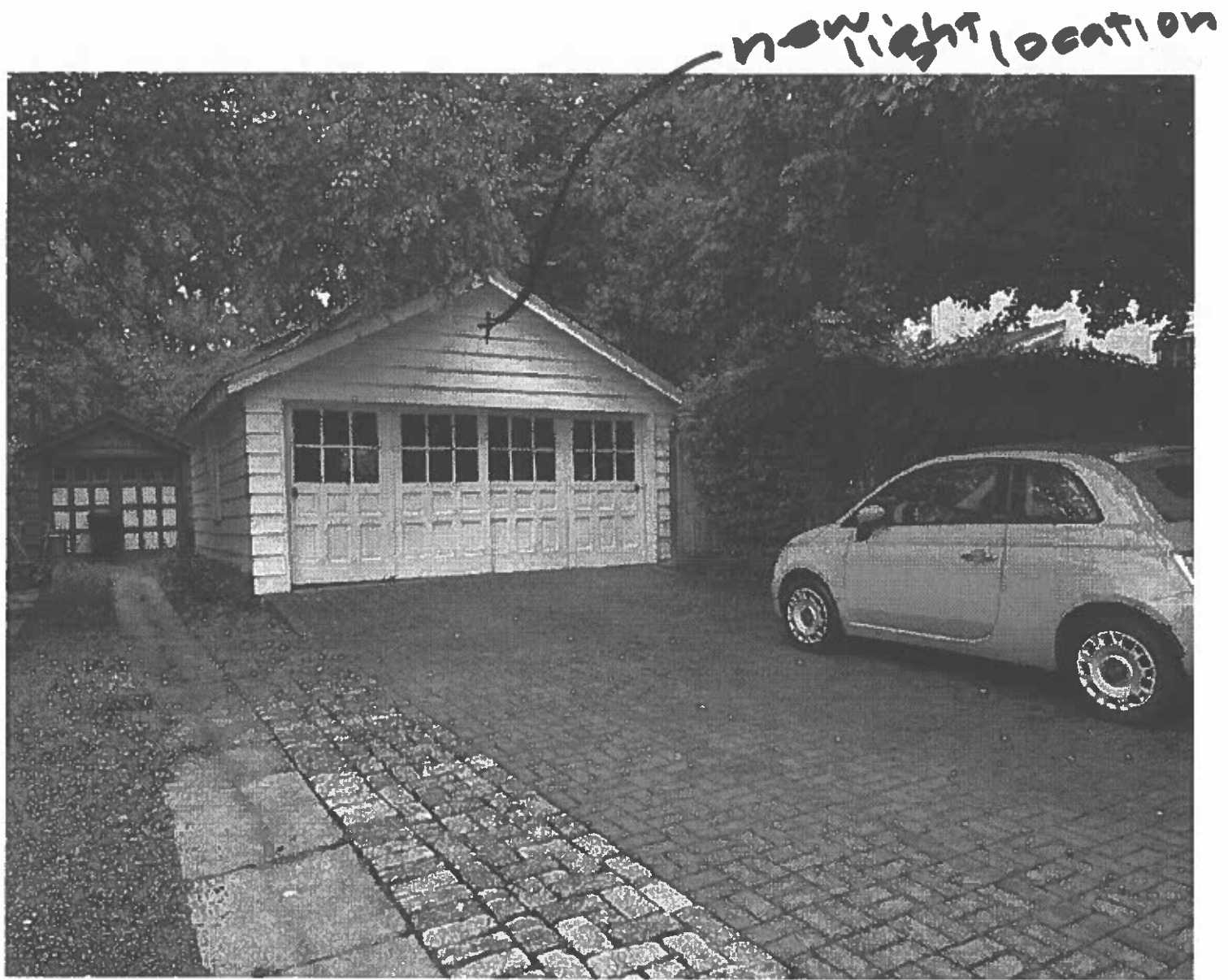
\$160.02 - \$233.73

+ FREE SHIPPING

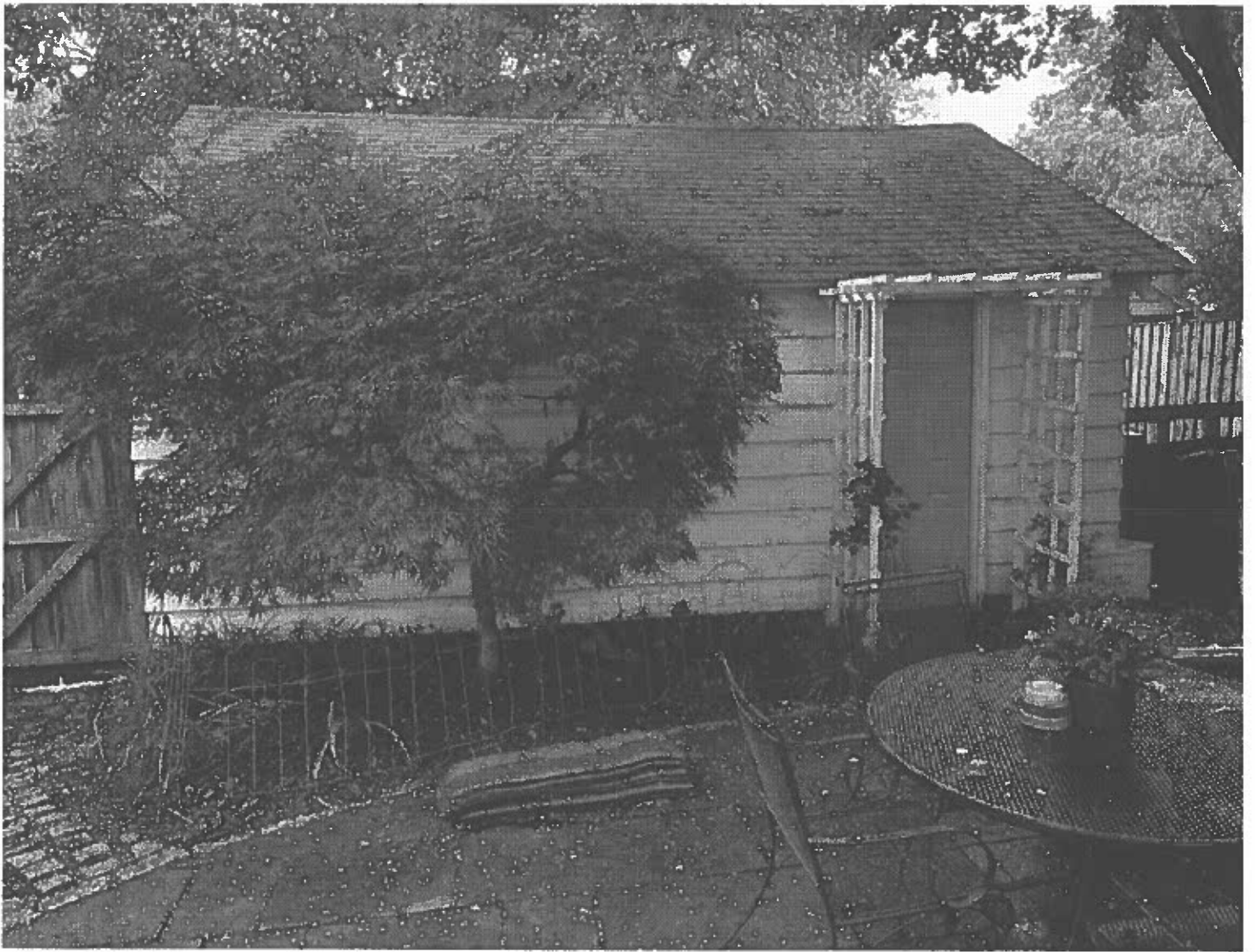
Trade Benefits and Pricing: [Apply](#)



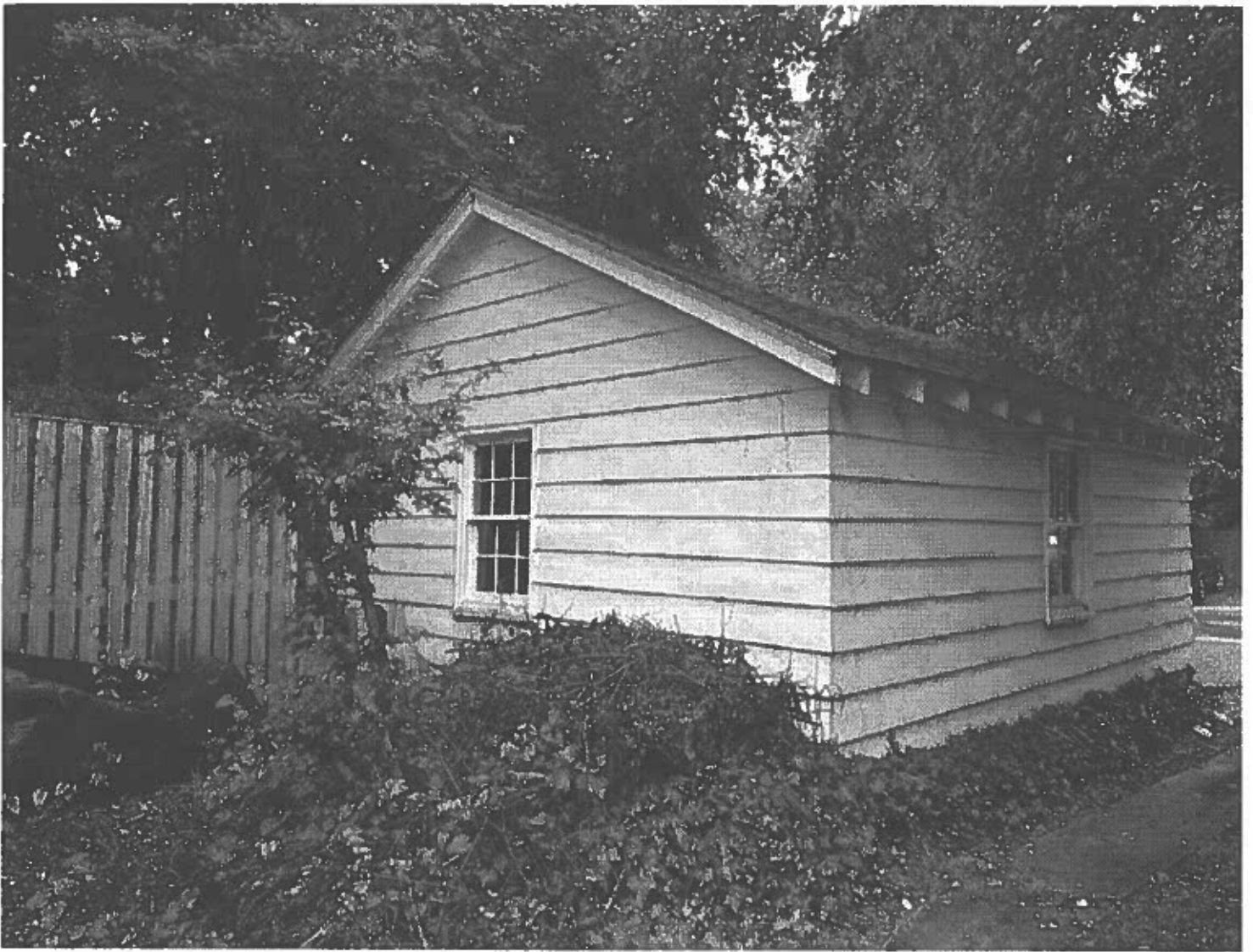
Gable
end
wall
fixture



Exist's gable end
from Lincoln Ave.
(toward SW)










Existing side door








Exist'g rear.
Now storm windows
to be added


7500 Carroll Avenue
HAWP#1010328
Storm Window Spec—NOTE to be painted white

7:33   

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LARSON Performance 31.87-in x 47-in Low-e Aluminum White Window

Item #1219427 Model #L20133247ES

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