

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7209 MacArthur Blvd., Bethesda	Meeting Date:	10/26/2022
Resource:	Contributing Potomac Overlook Historic District	Report Date:	10/19/2022
Applicant:	Kim & Arthur Newmyer (Robert Black, Architect)	Public Notice:	10/12/2022
Review:	HAWP	Staff:	Dan Bruechert
Proposal:	Partial demolition and construction of a new rear addition, hardscape alteration, and fenestration alterations.		

STAFF RECOMMENDATION

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP with the identified additional information.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource to the Potomac Overlook Historic District
STYLE: 1958
DATE: Mid-Century (Highview Model)

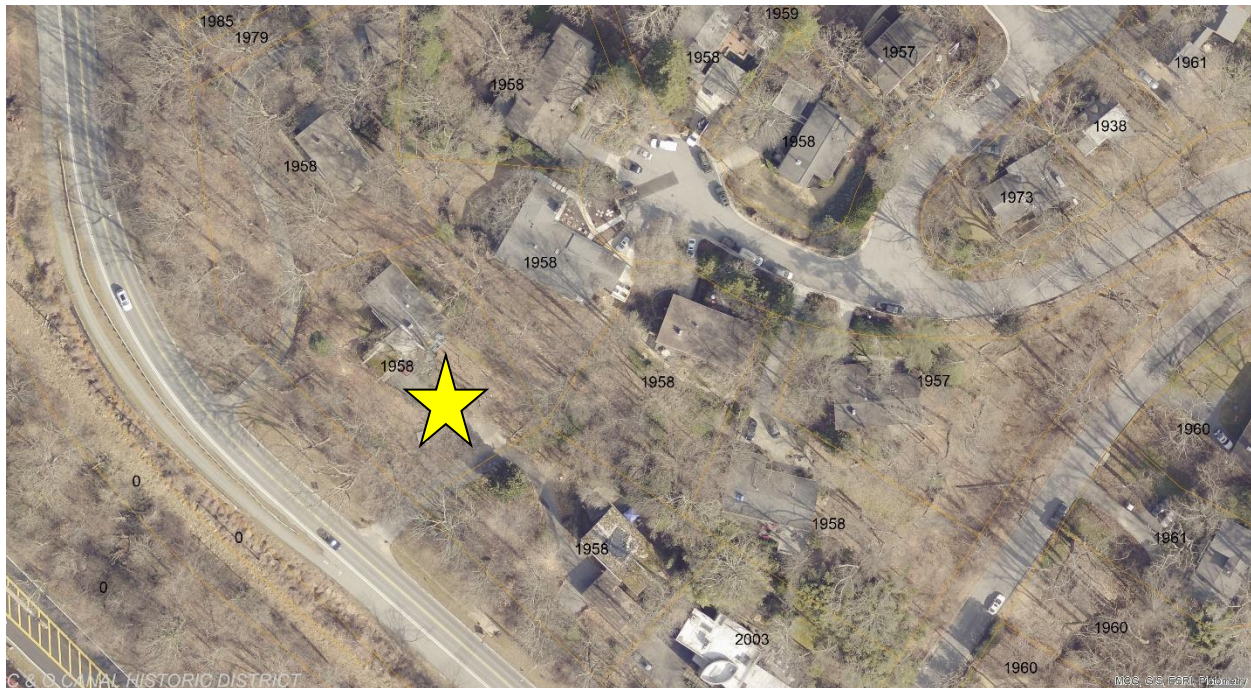


Figure 1: The subject property is setback from MacArthur Blvd. so it is not visible from the right-of-way.

PROPOSAL

The applicant proposes work in five main areas:

1. Removing a non-historic bay and constructing a new addition;
2. Replacing existing windows;
3. Replacing the existing sliding glass doors;
4. Replacing the existing skylights and installing one additional skylight;
5. Installing new porch railings.

In addition to the work identified above, the applicant proposes to replace the existing roof with an architectural shingle roof, to repair the existing window wall and replace the glazing with tempered and/or insulated units, to repair the existing siding, and restore (or replace in-kind) the wood exterior doors. This work does not require a HAWP but is eligible for the County Historic Preservation Tax Credit.

The plans show an expanded patio/landing and steps to the carport on the proposed floor plans. No details about this element's current condition or materials proposed were included with the application; and without that information, Staff cannot provide any feedback about that proposal. More details are needed with the HAWP application for a thorough evaluation.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Potomac Overlook Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Potomac Overlook Guidelines (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Potomac Overlook Design Guidelines

Changes to houses in the Potomac Overlook Historic District are guided by three overall objectives:

1. Preserve historical architectural features and details;
2. Deteriorated architectural details should be repaired rather than replaced; and
3. Replace historic features in-kind when restoration is not an option.

Existing Infill and Additions - The residents of Potomac Overlook benefited from the expertise of John Matthews, who built and lived in the subdivision for over 50 years, and the guidance of the covenants committee. As a result, many of the infill and addition projects are compatible with the original building due to the use of matching materials, finishes, and design. When planning an infill or addition to a historic building, property owners and architects should minimize negative effects that may occur to the historic building or setting. The overall design of an infill or addition should keep with the design character of the district, but be distinguishable from the historic section of the house in subtle ways.

1. Design of new infill or additions shall be compatible with the primary building.
2. Consider the infill of patios, screened-in porches, open porches, and other such areas before the construction of new additions.
3. Place new additions on the gable-end of houses to the greatest extent possible. This will allow the houses to retain their character defining form.
4. Avoid infill of carports. These are character defining features of the historic district.

5. Infill of the breezeways (between the carports and the house) should be avoided but will be considered on a case-by-case basis. Any proposed enclosure of these spaces should consider transparent materials and design.
6. All new addition should be planned with consideration of the viewsheds of surrounding houses to the greatest extent possible.
7. For properties with site conditions (setback requirements, etc.) that do not permit the infill of existing spaces or gable-end additions, all proposed additions must be secondary to and compliment the existing scale, massing, and design of the house.

Fenestration Patterns - The solid-to-void ratio and design of the fenestration pattern within Potomac Overlook are character defining features of the buildings. The downhill side of the building reveals the single-leaf entry, limited windows, and carport (if attached or semi-attached). The uphill side consists of window walls, balconies, and patios. Plate glass window walls of infinite design configurations provided the architects the ability to augment the relationship between the interior and exterior spaces. Design Objectives:

1. These fenestration patterns should be preserved and maintained.

Patios And Walkways - The relationship of a walkway and/or patio affects the site, streetscape, and character of the historic district and requires a HAWP. Ordinary maintenance or the in-kind replacement of existing patios or walkways does not require a HAWP. The replacement of existing non-historic patios and walkways (with no increase in square footage) with new materials require a HAWP. Eligible applications will be reviewed administratively by staff.

New or expanded walkways may be constructed of concrete, stone, brick, pavers, or gravel. Patios may be constructed of concrete, stone, brick, pavers, or other permeable materials. Any application for walkways or patios less than 100 square. Design Objectives:

1. Preserve the original materials of patios and walkways.
2. Replacement materials should be compatible with the character of the district.
 - Use materials that will minimize the impact of the patio and walkway on the historic district.

Siding – The dwelling’s brick veneer on the first story and redwood siding (either tongue-and-groove or board-and-batten) on the second story are character defining material in Potomac Overlook. These materials add textural qualities, visual continuity, and character to the overall streetscape and shall be preserved.

Non-historic materials, such as cementitious fiberboard, are not appropriate as the primary siding material. The HPC may permit the use of smooth cementitious fiberboard in locations where: 1) the redwood siding has already been replaced with synthetic siding; 2) the building retains the original T1-11 siding (possible on only the Highview models); or 3) on new additions.

Skylights - Skylights are visible on all elevations throughout Potomac Overlook. While bubble-domed skylights were original to the historic district, it is recommended that all new skylights have as low of a profile as possible.

Decks and Balconies - The architects designed two of the three models with decks or balconies. The Highview models featured a small balcony on the rear elevation and the Valleyview model had a larger deck on the side elevation. Over the last 60 years, property owners have constructed or altered decks on many of the houses. Any exterior alteration to an existing deck/balcony or construction of a new deck/balcony will require a HAWP. Design Objective:

1. Existing non-historic decks and balconies may be retained at the discretion of the property owner, removed, or restored to the original condition (if applicable). Alterations to these decks and balconies require a HAWP.
2. The design and materials of new decks and balconies shall be compatible with the house. Property owners shall avoid designs that are incompatible with the character of the historic district.
3. Utilize deck-mounted railing posts and avoid the installation of fascia-mounted railing posts.
4. All railing systems shall be constructed of wood or metal. Horizontal tension cables may be utilized instead of traditional wood spindles.
5. Deck flooring shall be constructed of wood.

Windows – Original windows shall be repaired or replaced in-kind. Single-lite window inserts between the mullions will not be permitted. The Window Design Objectives are:

1. Preserve the size and shape of all window openings.
2. Original windows shall not be infilled with plywood.
3. Retain original windows to the greatest extent possible.
4. If necessary, replacement windows shall match the existing windows with respect to design and configuration. Divided-light or simulated divided-light windows are not appropriate.
5. If necessary, the in-kind replacement of the aluminum-sash slider windows is preferred, but the HPC will consider aluminum-clad, wood-sash slider windows with a narrow profile as well. Historic preservation staff will advise all applicants on best practices and manufacturer options for both window types at the time of the proposal.
6. Installation of operable casement windows will be considered on a case-by-case basis to ensure compatibility of design, but further division of windows should be avoided.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a Highview model house designated as a Contributing building to the Potomac Overlook Historic District. Appendix A (attached) identifies all of the alterations made to the house, including a small side gable addition, a rear bay bump-out, and a new or substantially altered carport. The applicant proposes to remove the existing bay, replace the windows in the window wall, replace the existing windows, replace the existing sliding glass doors, replace the skylights and install one additional skylight, and install new railings.

Demolishing the Existing Bay and Constructing a New Addition

On the rear of the subject property, a previous owner constructed a small, largely glazed, rectangular bay bump-out with sliding glass doors. The applicant proposes to demolish this feature and construct a new rear addition that measures 2' 10" (two feet, ten inches) from the historic wall plane and is 31' 7" (thirty-one feet, seven inches) wide. The addition will be installed under the existing roof eave. The addition's proposed siding is fiber cement tongue and groove siding selected to replicate the appearance of T1-11 siding. At the rear of the addition, the applicant proposes to install a large sliding glass door and two casement windows (a single lite casement and a unit that appears to have a large fixed lite and a smaller operable unit). There is a discrepancy between the floor plans and the elevation drawings for the larger casement window. The floor plans show a single-lite window, but the elevation drawing shows a two-lite window. The applicant should clarify this element at the Preliminary Consultation hearing, and drawings submitted for the final HAWP need to be consistent.

Staff finds the existing bay is not historic and may be removed. The *Guidelines* encourage placing additions at the gable end of the house, to the greatest extent possible, to allow the buildings to "retain their character defining form." Staff finds, however, that the placement of this small addition (less than 90 ft²) will not be largely visible from the most architecturally significant elevation. Additionally, because the proposed addition will be entirely under the roof eave, Staff finds the impact on the overall house massing will be minimal. There will however be a change in the relationship between the deep roof overhang at the eave and this new addition. The half-round gutters will project beyond the addition's wall plane. Additionally, the fenestration on this elevation will be changed on the addition. The *Guidelines* state the fenestration should be preserved and maintained, however, the rear wall on this elevation will be removed. As this is the first proposal in the newly designated Potomac Overlook Historic District, Staff requests significant feedback from the HPC regarding the appropriateness of the proposed addition and the changes to the fenestration.

The size and placement of the existing bay will require removing three ground-floor windows. The windows are below grade and receive light through existing window wells. Because of their limited visibility, Staff would support removing these windows as part of a HAWP application.

Staff finds the materials proposed for the addition are appropriate, namely the clad windows and fiber cement siding. The *Guidelines* state that fiber cement siding is appropriate where the subject property retains its T1-11 siding and for building additions. New windows may be aluminum clad under the *Guidelines*, however, the specification and window profiles were not included with the application materials. This information needs to be included with the HAWP application. Additionally, the *Guidelines* state that operable casement windows will be considered on a case-by-case basis. Depending on the configuration of the right-most window on the rear, the HPC may need to determine if that window

is compatible with the design of the house and surrounding district.

Window Replacement

The applicant proposes to remove and replace the existing windows with “similar units with aluminum clad, wood-framed windows.” Staff finds more information about the proposed window is needed before thorough feedback can be given.

The *Guidelines* state original “windows shall be repaired or replaced in-kind” and that original windows should be retained to the greatest extent possible. The HPC has consistently required applicants in all historic districts to demonstrate that the existing windows have deteriorated beyond repair. Typically, a window survey with photos is sufficient to document the window condition.

If the applicant can demonstrate, to the HPC’s satisfaction, that the windows cannot be repaired, more information about both the existing and proposed windows is required to evaluate the compatibility of the window replacement. That information should include measured drawings of the proposed and existing windows and include the window manufacture and series submitted with the HAWP application. Staff directs the applicant to pages 30 and 31 of the *Guidelines* which detail the elements that make a compatible replacement window in the historic district.

Several of the windows identified for removal are on the non-historic addition. Staff finds that those windows may be removed, however, more information about the proposed window is needed before Staff can make a recommendation as to those windows’ compatibility with the architectural character of the house. As with the other windows, measured drawings and material specifications need to be submitted with the HAWP to effectively evaluate the proposal.

Staff requests the HPC specify any additional information to be included with the HAWP application.

Sliding Glass Door Replacement

The applicant proposes to replace the sliding glass door in the southwest corner of the addition with a new full-lite glass door. A specification for the new door was not included with the application materials.

Staff finds that the existing sliding glass door is a non-historic feature as documented in the building analysis (attached) and may be removed. Staff also finds that changing the configuration of the opening is appropriate. However, to evaluate the appropriateness of the proposed door, materials specifications need to be submitted with the HAWP application.

Skylights

The application states that the proposal will replace the existing bubble skylight and install a new skylight. The proposed main floor plan shows two skylights in the kitchen and one in the new bathroom. These skylights are all on the rear roof slope and Staff does not find they will detract from the character of the house. In looking at photos of the subject property, it appears that there is only one skylight currently on the roof’s rear slope.

The *Guidelines* state a HAWP is not required to replace or install skylights. Staff only points to the skylight guideline which recommends skylights be as low-profile as possible.

Railing

The applicant proposes replacing the existing railing with a new wood and metal railing. Staff finds it is acceptable to remove and replace the non-historic metal railing. However, the *Guidelines* are prescriptive about certain elements of new railings. Specifically, the new railings need to be deck mounted, as

opposed to mounted to the porch fascia. Installation details for the railing need to be included with the HAWP application.

Staff asks for HPC feedback on the following elements of the project:

- Is the addition's placement, size, and relationship with the roof overhang appropriate?
- Is the rear casement window compatible? Are the other replacement windows compatible?
- What additional documentation does the HPC require for the window removal and replacement?
- Any additional questions or concerns?

STAFF RECOMMENDATION

Staff recommends the applicant make any revisions recommended by the HPC and return for a HAWP with the identified additional information.

Potomac Overlook Building Analysis

Address: 7209 MacArthur Boulevard

Eligibility: Contributing

Model: Highview

Carport: Architectural evidence suggests the semi-detached carport is a later addition or significantly renovated. The carport, however, does not detract from the historic setting of the community.

Comments: The building's siting and form remain generally intact. Additions and alterations to the fenestration are evident, but are limited in scope and respect the overall historic setting.



View of the south elevation. Alterations include the construction of a gable roof addition and associated stair and porch on the southwestern corner of the building (outlined in green). Two-thirds of the addition is a full two stories, while one-third of the second story is supported by square wood posts. The semi-detached carport (red arrow) is likely a later addition, but its utilization of the existing topography and design are consistent with the principles of Potomac Overlook.



View of the south and east elevations. Alterations include the construction of a gable roof addition on the southwestern corner of the building (outlined in green). This addition likely created a new primary entry to the building.

Appendix A



View of the east and north elevations. Alterations include the construction of a small square bay addition (green box) and potential infill/reconfiguration of the windows (yellow box).



View of the north and west elevations. Alterations include the construction of a two-story addition on the southwestern corner of the building (yellow box) and connection to a non-historic carport (red arrow).

Appendix A



Detailed view of the west elevation to the north of the addition. Alterations include potential changes to the first-floor fenestration (green box) and size of the balcony (red arrow).



Detailed view of the west elevation showing the two-story addition (yellow box).

FOR STAFF ONLY:
HAWP# 1008960
DATE ASSIGNED _____



APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: KIM & ARTHUR NEWMYER
Address: 7209 MACARTHUR BLVD
Daytime Phone: _____

E-mail: gokimdo@icloud.com
City: BETHESDA Zip: 20816
Tax Account No.: 00504837

AGENT/CONTACT (if applicable):

Name: ROBERT BLACK, AIA
Address: 8604 TIMBER HILL LN
Daytime Phone: 202-255-6474

E-mail: robert@rb5design.com
City: POTOMAC Zip: 20854
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property M: 35-157

Is the Property Located within an Historic District? X Yes/District Name POTOMAC OVERLOOK
____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7209 Street: MACARTHUR BLVD
Town/City: BETHESDA Nearest Cross Street: MOHICAN RD
Lot: 18A Block: _____ Subdivision: 0029 Parcel: 0000

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

10/4/2022

DocuSigned by:

Robert Black Signature of owner or authorized agent

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Date

11

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address 7209 MACARTHUR BLVD BETHESDA MD 20816	Owner's Agent's mailing address 8604 TIMBER HILL LANE POTOMAC MD 20854
Adjacent and confronting Property Owners mailing addresses	
Connie Milner 7205 MacArthur Blvd BETHESDA MD 20816	Ruth Williamson 7211 MacArthur Blvd BETHESDA MD 20816
Maryam Hashemian 6604 Rivercrest Ct BETHESDA MD 20816	Brittany Clark Prelogar & Bart Martin Kus 6600 Rivercrest Ct BETHESDA MD 20816

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

7209 MACARTHUR BLVD (HIGVIEW MODEL) IS A BRICK AND WOOD FRAME STRUCTURE THAT IS SITED ON A WOODED, STEEP SLOPE LOT. THE HOUSE HAS HAD VARIOUS ADDITIONS ADDED ON OVER THE YEARS WHICH RESPECT THE HISTORIC SETTING.

THE EXISTING HOUSE IS IN NEED OF SOME MAJOR RESTORATION AND RENOVATIONS.

Description of Work Proposed: Please give an overview of the work to be undertaken:

1. THE EXISTING REAR BOX BAY IS FAILING. REMOVE, REBUILD AND EXPAND THE CANTILEVERED BAY ADDITION. THE NEW ADDITION WILL BE TUCKED UNDER THE EXISTING EAVE SIMILAR TO THE ORIGINAL ADDITION.
2. RESTORE THE EXISTING TIMBER FRAMED WINDOW WALL. REPLACE EXISTING GLAZING PANELS WITH TEMPERED AND INSULATED UNITS. WINDOW CONFIGURATION TO REMAIN.
3. REPLACE THE EXISTING WINDOWS WITH SIMILAR UNITS WITH ALUMINUM CLAD, WOOD FRAMED WINDOWS. EXISTING TRIM TO REMAIN OR REPLACED IN KIND.
4. REPLACE THE SLIDING ALUMINIUM DOORS IN GABLE ROOF ADDITION ON THE SW CORNER WITH NEW WINDOW PATTERN AS SHOWN ON THE PLANS.
5. REPLACE THE EXISTING ROOFING WITH AN ARCHITECTURAL ASPHALT SHINGLE.
6. EXISTING SIDING TO REMAIN TO THE EXTENT POSSIBLE. NEW ADDITION WILL MEET ARCHITECTURAL DESIGN GUIDELINES.
7. REPLACE AND ADD ONE SKYLIGHT. SKYLIGHTS WILL BE DECK MOUNTED DESIGN.
8. EXISTING EXTERIOR DOORS WILL BE RESTORED.
9. EXISTING BALCONY RAILINGS ARE FAILING. NEW RAILINGS TO MEET ARCHITECTURAL DESIGN GUIDELINES AND BUILDING CODE.

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

RENOVATION & ADDITION TO:

NEWMYER RESIDENCE

7209 MACARTHUR BLVD
BETHESDA, MD

ISSUED FOR PRICING: 7-07-2022
ISSUED FOR HAWP APPLICATION: 10-05-2022

ISSUED FOR PERMIT:
ISSUED FOR CONSTRUCTION:



DRAWING SYMBOLS

- EXISTING PARTITION
TO BE DEMOLISHED
- =====

EXISTING PARTITION
TO REMAIN
- =====

NEW PARTITION
- =====

DEMISING PARTITION
- 000

DOOR NUMBER
SEE DR SCHEDULE
- WX

WINDOW TYPE
SEE WDW SCHEDULE
- X

ROOM NUMBER
- ◇

NON-RATED WALL TYPE
SEE WALL TYPES SCHEDULE
- ◆

1HR-RATED WALL TYPE
SEE WALL TYPES SCHEDULE
- ◊

2HR-RATED WALL TYPE
SEE WALL TYPES SCHEDULE
- OR

BLDG ELEVATION OR
INTERIOR ELEVATION
- DETAIL
- BLDG OR WALL SECTION
- LEVEL LINE OR DATUM POINT
- REVISION
- ENLARGED
DETAIL
- CENTERLINE OF
MATERIAL OR ITEM
- DETAIL, NO ON
REFERENCED DWG
- AX.X

DWG NO WHERE
DETAIL IS LOCATED

CONSTRUCTION NOTES ON REGULATIONS AND STANDARDS OF CARE

WORK SHALL COMPLY WITH APPLICABLE LAWS, CODES, ORDINANCES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

THE BUILDING IS DESIGNED IN ACCORDANCE WITH THE: 2018 INTERNATIONAL RESIDENTIAL CODE & LOCAL AMENDMENTS

VERIFY DETAILED REQUIREMENTS TO ENSURE THAT MATERIALS, PRODUCTS, ASSEMBLIES AND THEIR INSTALLATION MEET OR EXCEED REGULATORY REQUIREMENTS. IF DISCREPANCIES OCCUR AMONG CONSTRUCTION DOCUMENTS, CODES, UTILITY COMPANY REQUIREMENTS, ETC., THE MOST STRINGENT REQUIREMENTS SHALL APPLY. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES FOR CLARIFICATION AND WAIT FOR CLARIFICATION AND/OR INSTRUCTIONS FROM THE ARCHITECT PRIOR TO PROCEEDING WITH ANY RELATED WORK.

PERFORMANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE SCOPE OF WORK IDENTIFIED OR IMPLIED BY THE CONTRACT DOCUMENTS. THE APPOINTMENT AMONG SUBCONTRACTORS AND PROCUREMENT OF MATERIALS, LABOR AND SERVICES NECESSARY TO COMPLETE THE SCOPE OF WORK ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. FAILURE TO RECOGNIZE AND PROCURE THE ENTIRE SCOPE OF WORK SHALL NOTE RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY.

THE GENERAL CONTRACTOR SHALL VISIT THE SITE BY ARRANGING AN APPOINTMENT WITH OWNER AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS. FAILURE TO VISIT SITE SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM NECESSITY OF FURNISHING MATERIALS OR PERFORMING WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH DRAWINGS.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT SUBCONTRACTORS PERFORM THEIR DUTIES IN A TIMELY, CORRECT AND COMPREHENSIVE MANNER. THE GENERAL CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE PERFORMANCE OF ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EACH INSTALLER SHALL INSPECT THE SUBSTRATE TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND VERIFY LAYOUT OF WORK BEFORE BEGINNING INSTALLATION AND SHALL NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED TO SATISFACTION OF INSTALLER. BEGINNING OF WORK MEANS ACCEPTANCE OF EXISTING CONDITIONS BY INSTALLER.

THE CONTRACTOR SHALL PLAN IN ADVANCE AND COORDINATE ALL ACTIVITIES RELATED TO THE WORK, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

1. MATERIALS, SERVICES AND EQUIPMENT PROCUREMENT – INCLUDING THE TIMELY FIELD VERIFICATION OF DIMENSIONS AND SUBMISSION OF SHOP DRAWINGS FOR REVIEW;
2. TIMELY ORDERING, SHIPPING, RECEIPT AND STORAGE AT SITE;
3. INSTALLATION – INCLUDING INTERFACE WITH RELATED ITEMS;
4. INSPECTION AND TESTING TO THE EXTENT REQUIRED BY APPLICABLE CODES AND REGULATIONS;
5. INITIAL START-UP OF EQUIPMENT AND OPERATIONAL TESTS.

WHERE ITEMS ARE INDICATED ON THE CONTRACT DOCUMENTS TO BE "BY OTHERS", THE GENERAL CONTRACTOR SHALL REFER TO THE PROJECT SPECIFICATIONS OR NOTES ON THE DRAWINGS FOR REQUIREMENTS AND RESPONSIBILITIES. WORK CALLED FOR ON CONSTRUCTION DOCUMENTS, THAT IS NOT PART OF THE STANDARD CONNECTIONS SERVICE PROVIDED BY UTILITY COMPANIES, OR IN NOT INDICATED SPECIFICALLY AS "BY OTHERS" OR "NIC" SHALL BE BY GENERAL CONTRACTOR. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE DUTY TO PROVIDE A COMPLETE SUB-STRUCTURE AND PREPARED SURFACE SUITABLE FOR THE WORK "BY OTHERS" TO PROCEED WITHOUT THE NEED FOR RE-BUILDING OR RE-FORMING A SUITABLE SUBSTRATE.

ANY SPECIFIED ITEMS WITH LONG LEAD TIMES THAT MAY CAUSE A DELAY IN THE CONSTRUCTION SCHEDULE SHALL BE IDENTIFIED BY THE CONTRACTOR AT THE TIME OF BIDDING OR CONTRACT NEGOTIATION. THE TIMELY PURCHASE AND DELIVERY OF ITEMS NOTE IDENTIFIED AS SUCH, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SUBSTITUTION REQUESTS, INCLUDING THOSE IMPLICIT BY SUBMITTALS, SHALL NOT BE ACCEPTED AFTER CONTRACT EXECUTION UNLESS MUTUALLY AGREEABLE BY OWNER AND ARCHITECT. THE ARCHITECT SHALL HAVE A MINIMUM OF 7 DAYS, OR AS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, TO CONSIDER AND EVALUATE EACH AND ALL REQUESTS FOR SUBSTITUTIONS.

NO MATERIAL OR PRODUCT THAT COULD HAVE AN ADVERSE EFFECT ON THE INDOOR AIR QUALITY BEYOND APPROVED LEVELS AFTER THE BUILDING IS OCCUPIED, SHALL BE USED.

THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY WARNINGS BY THE MANUFACTURER REGARDING ANY ADVERSE EFFECT ON THE INDOOR AIR QUALITY AND ANY POTENTIAL HEALTH HAZARD TO OCCUPANTS PRIOR TO PLACING THE ORDER FOR SPECIFIED MATERIAL OR PRODUCTS.

IF, IN THE ARCHITECT'S SOLE JUDGEMENT, A SUBSTITUTION REQUEST INVOLVING A SIGNIFICANT ELEMENT OF THE DESIGN AND/OR MULTIPLE ITEMS WILL REQUIRE AND EVALUATION WHICH EXCEEDS THE MINIMUM TIME THUS PROVIDED ABOVE, THE ARCHITECT SHALL NOTIFY THE CONTRACTOR AND OWNER AND FOR A DECISION BY THE CONTRACTOR TO AGREE OR WITHDRAW THE REQUEST FOR SUBSTITUTION.

THE CONTRACTOR SHALL NOT BE RELIEVED OF THE OBLIGATION TO MEET THE PROJECT SCHEDULE AS A RESULT OF ANY REQUEST FOR SUBSTITUTION, OR THE REVIEW AND EVALUATION THEREOF, WHETHER THE SUBSTITUTION IS ACCEPTED OR NOT.

THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING BY THE CONTRACTOR OF ANY CIRCUMSTANCES THAT MAY DEVELOP DURING THE PROCESS OF WORK THAT MAY EFFECT THE CONTRACTORS ABILITY TO COMPLETE THE PROJECT ON SCHEDULE. THE OBLIGATION TO MEET THE PROJECT SCHEDULE DOES NOT RELIEVE THE CONTRACT OF THE RESPONSIBILITY TO FULLY COMPLY WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.

HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS AND MANUFACTURERS RECOMMENDATIONS, EXCESS MATERIALS, LEFTOVERS AND/OR BI--PRODUCTS SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS AND SHALL NOT BE BURIED OR LEFT ON SITE.

NO PART OF THE CONSTRUCTION DOCUMENTS SHALL BE COPIED OR REPRODUCED FOR USE AS SHOP DRAWINGS. SHOP DRAWINGS PRODUCED AS SUCH SHALL BE REJECTED.

THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING, OF ANY CIRCUMSTANCES THAT MAY DEVELOP DURING THE PROCESS OF WORK THAT MAY AFFECT THE GENERAL CONTRACTORS ABILITY TO COMPLETE THE PROJECT ON SCHEDULE.

THE OBLIGATION TO MEET THE PROJECT SCHEDULE DOES NOT RELIEVE THE GENERAL CONTRACTOR OF THE RESPONSIBILITY TO FULLY COMPLY WITH ALL REQUIREMENTS ON THE CONTRACT DOCUMENTS.

SUBSTITUTION REQUESTS SHALL NOT BE ACCEPTED AFTER THE SIGNING OF THE CONTRACT UNLESS CIRCUMSTANCES THAT HAVE CHANGED SINCE THE SIGNING OF THE CONTRACT HAS NECESSITATED THE SUBSTITUTION.

CLARIFICATIONS:

NO WORK SHALL BE PERFORMED WITHOUT A CLEAR UNDERSTANDING OF THE DESIGN INTENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST CLARIFICATION FROM THE ARCHITECT.

IF THE DESIGN INTENT ON THE DOCUMENTS IS NOT CLEAR, THE MATTER SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT A MINIMUM OF 5 DAYS PRIOR TO BID DUE DATE OF BEFORE CONTRACT EXECUTION, WHICHEVER OCCURS EARLIER.

ANY DISCREPANCIES BETWEEN DIFFERENT PORTIONS OF THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN A TIMELY MANNER BEFORE CONTRACT EXECUTION, BEFORE DUE DATES, AND BEFORE EXECUTION RELATIVE TO THE FINDING OF DISCREPANCY. THE VALUATION OF THE BIDDERS' INTERPRETATIONS OF DISCREPANCIES THAT ARE BROUGHT TO THE ATTENTION OF THE ARCHITECT AFTER CONTRACT EXECUTION SHALL BE ASSUMED TO BE INCLUSIVE OF ALL WORK AND COSTS FOR THE INTENDED INTERPRETATION.

ALL ITEMS SHOWN ARE TO BE FURNISHED AND INSTALLED UNLESS NOTED OTHERWISE.

ON DRAWINGS THE TERM "PROVIDE" SHALL BE INTERPRETED TO MEAN "FURNISH AND INSTALL".

ALL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED AS TYPICAL SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR OPPOSITE CONDITIONS UNLESS OTHERWISE NOTED.

ALL DIMENSIONS CONCERNING MANUFACTURED ITEMS ARE NOMINAL. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS CONCERNING ALL ITEMS FABRICATED OFF-SITE, BUILT-IN EQUIPMENT, DOORS AND DOOR OPENINGS AND WINDOWS AND WINDOW OPENINGS PRIOR TO FABRICATION AND INSTALLATION.

THE "PLAN NORTH" IS NOT NECESSARILY THE TRUE GEOGRAPHICAL NORTH.

EXISTING CONDITIONS:

THE CONTRACTOR SHALL VISIT THE SITE BY ARRANGING AN APPOINTMENT WITH OWNER AND BECOME FAMILIAR WITH EXISTING CONDITIONS. FAILURE TO VISIT SITE SHALL NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF FURNISHING MATERIAL OR PERFORMING THE WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH DRAWINGS. THE GENERAL CONTRACTOR SHALL LOCATE, IDENTIFY AND VERIFY THE PRESENCE OF EXISTING STRUCTURAL, ELECTRICAL, PLUMBING AND MECHANICAL ELEMENTS, LINES AND SYSTEMS INCLUDING THOSE THAT MAY BE CURRENTLY NOT IN USE AND/OR CONCEALED IN THE EXISTING CONSTRUCTION PRIOR TO DISTURBING THE EXISTING CONSTRUCTION AND DEMOLITION. ANY DAMAGE, INJURY OR INTERRUPTION OF EXISTING BUILDING SERVICES RESULTING FROM ACCIDENTAL DAMAGE TO EXISTING SYSTEMS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCOVERED CONCEALED BUILDING SYSTEM THAT MAY AFFECT THE INDICATED WORK OR WHOSE PRESENCE OF DISTURBANCE MAY BE HAZARDOUS TO THE OCCUPANTS OR MAY CAUSE A CODE VIOLATION, AND WAIT FOR CLARIFICATION OR INSTRUCTIONS PRIOR TO PROCEEDING WITH THE WORK. THE GENERAL CONTRACTOR SHALL DEMOLISH THE EXISTING CONSTRUCTION TO THE EXTENT REQUIRED FOR PERFORMING THE WORK SHOWN, WHETHER OR NOT SPECIFIC DEMOLITION ITEMS ARE INDICATED ON DRAWINGS.

ON CONSTRUCTION DOCUMENTS, "EXISTING" DOES NOT DENOTE "AS-BUILT". DIMENSIONS DIRECTLY OR INDIRECTLY RELATED TO EXISTING CONDITIONS ARE APPROXIMATE. THE ACTUAL AS-BUILT DIMENSIONS AND THE FULL EXTENT OF ANY EXISTING CONCEALED CONSTRUCTION SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO STARTING THE WORK.

LAYOUT:

THE CONTRACTOR SHALL EMPLOY A COMPETENT PERSON TO SURVEY THE EXISTING DIMENSIONS, ESTABLISH A PERMANENT BENCHMARK AND GENERAL REFERENCE POINTS TO WHICH EASY ACCESS IS AVAILABLE BY SUBCONTRACTORS FOR LAYING OUT THEIR WORK AND VERIFICATION OF LINES, GRADES, BOUNDARIES, ETC., THROUGHOUT THE PROGRESS OF THE WORK. THE CONTRACTOR SHALL LAY OUT THE PARTITIONS ON THE FORMS OR ROUGH FLOORS AS A GUIDE TO THE TRADES.

IT IS THE DUTY OF EACH SUBCONTRACTOR TO LAY OUT HIS OWN WORK, TAKE THEIR OWN FIELD MEASUREMENTS OF DIMENSIONS, GRADES AND LEVELS PRIOR TO FABRICATION AND TO COORDINATED WITH OTHER TRADES AND THE CONTRACTOR THROUGHOUT THE PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING LAYOUTS THAT THE SUBCONTRACTORS HAVE PERFORMED THEIR DUTIES IN A TIMELY, CORRECT AND COMPREHENSIVE MANNER.

THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY MISSING DIMENSIONS OR DISCREPANCIES AND SHALL NOT PROCEED WITH THE WORK THAT MAY BE DIRECTLY OR INDIRECTLY AFFECTED UNTIL THE DIMENSIONS IN QUESTIONS ARE SUPPLIED OR CLARIFIED BY THE ARCHITECT.

EXTERIOR BUILDING DIMENSIONS REFERENCE THE FINISH FACE OF MASONRY OR OTHER FINISHES. INTERIOR DIMENSIONS REFERENCE THE FACE OF STUDS AND STRUCTURAL GRID LINES.

NOTED DIMENSIONS GOVERN OVER SCALE. DRAWINGS SHALL NOT BE SCALED.

PREPARATION:

EACH INSTALLER SHALL INSPECT THE SUBSTRATE TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND VERIFY LAYOUT OF WORK BEFORE BEGINNING INSTALLATION. THE INSTALLER SHALL NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED TO THE SATISFACTION OF THE INSTALLER. BEGINNING OF WORK BY THE INSTALLER MEANS ACCEPTANCE OF EXISTING CONDITIONS BY THE INSTALLER.

DEMOLITION:

THE CONTRACTOR SHALL DEMOLISH THE EXISTING CONSTRUCTION TO THE EXTENT REQUIRED FOR PERFORMING THE WORK SHOWN, WHETHER OR NOT SPECIFIC DEMOLITION ITEMS ARE INDICATED ON DRAWINGS.

CUTTING & PATCHING:

ALL CUTTING, PATCHING AND RESHAPING REQUIRED FOR THE EXECUTION OF NEW WORK SHALL BE DONE WHETHER OR NOT SPECIFICALLY INDICATED ON THE CONSTRUCTION DOCUMENTS OR AS A RESULT OF HIS SUBCONTRACTORS ACTIONS.

WHERE PIPING, DUCTS, CONDUITS, OR OTHER MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS ARE REMOVED FROM EXISTING CONSTRUCTION, SUCH EXISTING CONSTRUCTION SHALL BE PATCH TO MATCH THE SURROUND CONDITIONS.

WHERE OUTLETS ARE REMOVED, WIRE SHALL BE PULLED BACK TO PANEL.

CLEANUP:

THE CONTRACTOR SHALL PROMPTLY REMOVED ALL DEBRIS, REFUSE AND BY--PRODUCTS PROMPTLY FROM THE JOB SITE. COMPLIANCE WITH ALL APPLICABLE RULES, REGULATIONS, COVENANTS, CODES AND LAWS MANDATORY. MAINTAIN THE CONSTRUCTION SITE DAILY IN A SAFE, CLEAN AND ORDERLY MANNER.

STANDARDS:

FOR MATERIALS, PRODUCTS, ASSEMBLIES OR WORKMANSHIP SPECIFIED OR INDICATED BY ASSOCIATION, TRADE OR FEDERAL STANDARDS, COMPLY WITH REQUIREMENTS OR STANDARD, UNLESS NOTED OTHERWISE ON THE CONTRACT DOCUMENTS OR WHEN MORE RIGID REQUIREMENTS ARE REQUIRED BY APPLICABLE REGULATIONS.

EFFECTIVE DATE OF STANDARD IS THAT IN EFFECT AS OF BID OR NEGOTIATED CONTRACT DATE EXCEPT WHEN SPECIFIC DATES IS SPECIFIED OR WHEN STANDARD IS PART OF APPLICABLE CODE WHICH INCLUDES AS EDITION DATE.

SEE "UL" PUBLICATIONS FOR FULL DESCRIPTION AND DETAILS OF THE "UL" RATED ASSEMBLIES.

PROVIDE CONSTRUCTION, CONTROL AND EXPANSION JOINTS, SEALANTS, FLASHING, AIR BARRIERS, AND WATER BARRIERS IN ACCORDANCE WITH CODES, INDUSTRY STANDARDS AND MANUFACTURERS RECOMMENDATIONS. IN NOT INDICATED IN THE CONSTRUCTION DOCUMENTS, SUBMIT LOCATIONS OF SUCH PROPOSED FITTING OR MATERIAL AND TECHNIQUES FOR APPROVAL BY ARCHITECT. PROVIDE UNIFORM JOINT WIDTH AND ARRANGE JOINTS TO OBTAIN BEST VISUAL EFFECT. WHERE A JOINT PATTERN OR MATERIAL EXPOSURE IS NOT SPECIFIED OR CANNOT BE READILY INFERRED FROM THE CONSTRUCTION DOCUMENTS REQUEST CLARIFICATION FROM THE ARCHITECT.

ISOLATE DISSIMILAR MATERIALS TO PREVENT GALVANIC ACTION – WHETHER SPECIFICALLY INDICATED BY THE CONTRACT DOCUMENTS OR NOT.

PROVIDE DRAFT--STOPPING AND FIRE--STOPPING AT ALL LOCATIONS REQUIRED BY APPLICABLE CODES, AND RATED ASSEMBLY DESIGNS.

PROVIDE CONCEALED BLOCKING FOR PROPER INSTALLATION OF ALL SURFACE OR RECESSED MOUNTED ITEMS – WHETHER SPECIFICALLY INDICATED BY THE CONTRACT DOCUMENTS OR NOT. WOOD BLOCKING SHALL BE FIRE TREATED WHERE REQUIRED BY CODES. PROVIDE METAL PLATES IN LIEU OF CONCEALED WOOD BLOCKING IN STAIRCASE AND SHAFT ENCLOSURES.

WHEN NON-RATED WALLS INTERSECT OTHER FIRE AND SOUND RATED WALLS, THE CONSTRUCTION OF THE RATED WALLS SHALL CARRY THROUGH. ALL PENETRATIONS THRU RATED WALLS SHALL BE SEALED AS APPROVED FOR THE REQUIRED RATING BY TESTING AGENCIES.

FINISH ACCESS paneled TO MATCH ADJACENT SURFACES. ALL ACCESS PANELS, RECESSED CABINETS AND EQUIPMENT IN RATED ASSEMBLIES SHALL BE RATED TO MAINTAIN THE DESIGN RATING OF THE ASSEMBLY THEY ARE INSTALLED IN.

PROVIDE PLASTIC GROMMET COVERS AT ALL GROMMETS. COLOR SHALL BE THE CLOSEST MATCHING STANDARD COLOR TO THE ADJACENT SURFACE. SUBMIT SAMPLES FOR APPROVAL.

INTERIOR FINISH MATERIALS SHALL MEET THE FLAME SPREAD AND SMOKE DEVELOPED RATINGS REQUIREMENTS OF ALL APPLICABLE CODES.

ALL UNFINISHED WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.

MATERIAL SAFETY:

NO MATERIAL OR PRODUCT THAT MAY HAVE AN ADVERSE EFFECT ON THE INDOOR AIR QUALITY BEYOND APPROVED LEVELS AFTER THE BUILDING IS OCCUPIED, SHALL BE USED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY WARNINGS BY THE MANUFACTURER REGARDING ANY ADVERSE EFFECT ON THE INDOOR AIR QUALITY AND ANY POTENTIAL HEALTH HAZARD TO OCCUPANTS PRIOR TO PLACING THE ORDER SPECIFIED MATERIALS OR PRODUCTS.

NO MATERIAL OR PRODUCT THAT MAY POSE ANY POTENTIAL HEALTH HAZARD TO OCCUPANTS, THAT DOES NOT COMPLY WITH THE SPECIFICATIONS AND/OR APPLICABLE REGULATIONS SHALL BE SUBSTITUTED IN LIEN OF ANY SPECIFIED MATERIAL OR PRODUCT.

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ALL HAZARDOUS MATERIALS ENCOUNTERED IN THE EXISTING CONSTRUCTION AND NOTIFY THE OWNER FOR ABATEMENT OR DISPOSAL. IN THE MANNER PRESCRIBED BY THE APPLICABLE LAWS AND REGULATIONS.

ALL NEW HAZARDOUS MATERIAL SHALL BE HANDLED IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS AND MANUFACTURERS RECOMMENDATIONS, EXCESS MATERIALS, LEFTOVERS AND /OR BI--PRODUCTS SHALL BE DISPOSED OF.

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PROJECT DATA:

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STRUCTURAL ENGINEER:

APPLICABLE DESIGN CODES:

- CHAPTER 59 ZONING ORDINANCE
- 2018 INTERNATIONAL RESIDENTIAL CODE WITH MONTGOMERY COUNTY AMENDMENTS
- POTOMAC OVERLOOK HISTORIC DISTRICT

AREAS:

SEE FLOOR PLANS

SCOPE OF WORK:

CONTRACTOR SHALL REFERENCE BIDDING INSTRUCTIONS PROVIDED WITH THIS DRAWING SET

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NOT FOR
CONSTRUCTION

HDC -
HAWP APPLICATION 10-04-2022
PRICING PACKAGE 07-07-2022

RENOVATION &
ADDITION TO:

NEWMYER RESIDENCE
7209 MACARTHUR BLVD
BETHESDA, MD
POTOMAC OVERLOOK HISTORIC
DISTRICT

DRAWING TITLE

COVER SHEET

SHEET NUMBER

A001

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PROJECT NO. RA.2022-013

CONSTRUCTION SPECIFICATIONS

SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION
THE PURPOSE OF THE FOLLOWING SPECIFICATIONS IS TO ESTABLISH THE LEVEL OF QUALITY REQUIRED FOR BOTH MATERIALS AND WORKMANSHIP. THESE NOTES ARE INTENDED AS A GENERAL GUIDE. SPECIFIC AND ADDITIONAL REQUIREMENTS ARE INDICATED ON THE DRAWINGS. THE CONTRACTOR SHOULD ALSO NOTE THAT NOT ALL OF THE ITEMS MENTIONED BELOW MAY APPLY TO THE PROJECT.

THE CONTRACTOR SHALL ALSO REFERENCE THE: CONSTRUCTION NOTES ON REGULATIONS AND STANDARDS OF CARE WITHIN THE DRAWING SET

DEMOLITION NOTES

1. EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
2. TEMPORARY WALLS AND DUST BARRIERS SHALL BE INSTALLED AS NECESSARY TO PREVENT CIRCULATION OF DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
3. ALL DASHED WALLS, FIXTURES, WINDOWS, ETC., ARE TO BE REMOVED. SEE DEMOLITION SHEETS FOR ADDITIONAL INFORMATION.
4. CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
5. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
6. MAINTAIN THE EXISTING STRUCTURE IN A WATERIGHT CONDITION AT ALL TIMES.
7. PROVIDE THE NECESSARY ENCLOSURES TO ALLOW THE OWNER TO MAINTAIN COMFORTABLE TEMPERATURES WITHIN THE OCCUPIED PORTIONS OF THE HOME DURING CONSTRUCTION.

GENERAL STRUCTURAL NOTES

- WORK SHALL BE DONE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE (IRC), 2012 EDITION.
1. THE DESIGN GRAVITY LIVE LOADS ARE AS FOLLOWS:
ROOF LOAD (SNOW): 30 LL + 15 DL = 45 PSF
LIVING SPACES: (1ST FLOOR) 40 LL + 15 DL = 55 PSF
SLEEPING SPACES: (2ND FLOOR) 30 LL + 15 DL = 45 PSF
EXTERIOR DECKS: 60 LL + 15 DL = 75 PSF
 2. LIVE LOAD DEFLECTION LIMITATION FOR FLOORS SHALL BE L/360
LIVE LOAD DEFLECTION LIMITATION FOR ROOFS SHALL BE L/240

FOUNDATIONS

1. THE FOUNDATION FOR THE STRUCTURE HAS BEEN DESIGNED FOR THE ASSUMED BEARING PRESSURE OF 1,500 PSF. THIS IS TO BE VERIFIED BY THE CONTRACTOR.
2. PRIOR TO THE FOOTINGS BEING POURED, IT IS ALSO ASSUMED THAT THERE IS NO WATER CONDITION PRESENT.
3. BASEMENT WALLS HAVE BEEN DESIGNED FOR AN ASSUMED EQUIVALENT FLUID PRESSURE OF 55 PSF.
3. EXCAVATIONS FOR SPREAD FOOTINGS AND CONTINUOUS FOOTINGS SHALL BE CLEANED AND HAND TAMPED TO A UNIFORM SURFACE.
4. SLABS ON GRADE SHALL BE UNDERLAIN BY A MINIMUM OF 4" OF GRANULAR MATERIAL HAVING A MAXIMUM AGGREGATE SIZE OF 1.5 INCHES AND NO MORE THAN 2X FINES. PRIOR TO PLACING THE GRANULAR MATERIAL, THE FLOOR SUBGRADE SHALL BE PROPERLY COMPACTED, PROOFROLLED, FREE OF STANDING WATER, MUD, AND FROZEN SOIL BEFORE PLACEMENT OF CONCRETE. A VAPOR BARRIER SHALL BE PLACED ON TOP OF THE GRANULAR FILL.
5. BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE 2'-6" MINIMUM BELOW FINISHED GRADE. FOOTINGS SHALL PROJECT A MINIMUM OF 12" INTO UNDISTURBED EXISTING NATURAL GROUND HAVING ALLOWABLE BEARING CAPACITY STATED. DEPTHS OF FOOTINGS SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.

ENERGY CONSERVATION

- THE FOLLOWING PROVISIONS FOR THERMAL RESISTANCE MEET OR EXCEED THE REQUIREMENTS STIPULATED BY THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC), CLIMATE ZONE 4A. THESE VALUES ARE THE MINIMUM ACCEPTABLE. SEE DRAWINGS FOR SPECIFIC VALUES REQUIRED FOR THE PROJECT.
2. INSULATION IECC
 - A. CEILING (OF UPPERMOST STORY) R-49
 - VAULTED CEILING R-38
 - FRAME WALLS (WITH STORM WINDOW R-20 OR 13+5 (EXTERIOR) OR DOUBLE GLAZING)
 - C. RIM JOISTS EQUAL TO WALL BELOW
 - D. FLOORS OVER UNHEATED SPACES R-38 (INCLUDING FLOOR OVERHANGS)
 - E. MASONRY WALLS (ENCLOSED HEATED R-13 OR R-10 CONTINUOUS LIVING AREAS)
 - F. SLAB ON GRADE (HEATED SPACE) R-10 24" PERIMETER INSULATION
 - G. WINDOWS U-0.35 SHGC-0.40
 - H. DOORS SEE SECTION R402.3.4
 - 3. AIR INFILTRATION
 - A. PROVIDE 1
 - 4" X 5.5" COMPRESSIBLE SILL SEALER BETWEEN FOUNDATION WALL AND ALL SILL PLATES.
 - B. WINDOWS: NOT EXCEEDING THREE TENTHS (0.3) CFM OF SASH CRACK
 - C. SLIDING GLASS DOORS: NOT EXCEEDING THREE TENTHS (0.3) CFM PER SQUARE FOOT OF DOOR AREA
 - D. SWINGING DOORS: NOT EXCEEDING FIVE TENTHS (0.5) CFM PER SQUARE FOOT OF DOOR AREA. PROVIDE 1" COMPRESSIBLE SILL SEALER BETWEEN FOUNDATION WALL AND ALL SILL PLATES.
 - E. BUILDING THERMAL ENVELOPES SHALL BE TESTED PER IECC R402.4.1.2 AND VERIFIED AS HAVING AIR LEAKAGE NOT TO EXCEED 3 AIR CHANGES PER HOUR.
 - F. RECESSED LIGHTING IN THE THERMAL ENVELOPE SHALL COMPLY WITH IECC R402.4.4
 - G. SYSTEMS DUCT AND PIPING INSTALLATION SHALL COMPLY WITH IECC R403 INCLUDING WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM INSTALLATION.

TERMITE CONTROL SOIL TREATMENT

1. TREAT SOIL WITH BAYER CORPORATION, PREMISE 75, IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
2. REMOVE ALL EXTRANEOUS SOURCES OF WOOD CELLULOSE AND OTHER EDIBLE MATERIALS SUCH AS WOOD DEBRIS, TREE STUMPS AND ROOTS, STAKES, FENCEWORK, AND CONSTRUCTION WASTE WOOD FROM SOIL WITHIN AND AROUND FOUNDATIONS. LOOSEN, RAKE, AND LEVEL SOIL TO BE TREATED EXCEPT PREVIOUSLY COMPACTED AREAS UNDER SLABS AND FOOTINGS.
3. SLABS-ON-GRADE AND BASEMENT SLABS: UNDER GROUND-SUPPORTED SLAB CONSTRUCTION, INCLUDING FOOTINGS, BUILDING, SLABS, AND ATTACHED SLABS AS AN OVERALL TREATMENT. TREAT SOIL MATERIALS BEFORE CONCRETE FOOTINGS AND SLABS ARE PLACED.
4. FOUNDATIONS: ADJACENT SOIL INCLUDING SOIL ALONG THE ENTIRE INSIDE PERIMETER OF FOUNDATION WALLS, ALONG BOTH SIDES OF INTERIOR PARTITION WALLS, AROUND PLUMBING PIPES AND ELECTRIC CONDUIT PENETRATING THE SLAB, AND AROUND INTERIOR COLUMN FOOTERS, PIERS, AND CHIMNEY BASES; ALSO ALONG THE ENTIRE OUTSIDE PERIMETER, FROM GRADE TO BOTTOM OF FOOTING. AVOID SOIL WASHOUT AROUND FOOTINGS.
5. CRAWLSPACES: SOIL UNDER AND ADJACENT TO FOUNDATIONS AS PREVIOUSLY INDICATED. TREAT ADJACENT AREAS INCLUDING AROUND ENTRANCE PLATFORM, PORCHES, AND EQUIPMENT BASES. APPLY OVERALL TREATMENT ONLY WHERE ATTACHED CONCRETE PLATFORM AND PORCHES ARE ON FILL OR GROUND.CRAWLSPACES USED AS PLENUM SPACES STRICTLY FOLLOW MANUFACTURER'S RECOMMENDATIONS.
6. ALONG DRIP LINES OF ROOF OVERHANGS WITHOUT GUTTERS.
7. WHERE CONDENSATE LINES FROM MECHANICAL EQUIPMENT DRIP OR DRAIN TO SOIL.
8. AT PLUMBING PENETRATIONS THROUGH GROUND-SUPPORTED SLABS.
9. OTHER SITES AND LOCATIONS AS DETERMINED BY LICENSED INSTALLER.

WARRANTY

SPECIAL WARRANTY: MANUFACTURER'S STANDARD FORM, SIGNED BY APPLICATOR AND CONTRACTOR CERTIFYING THAT TERMITE CONTROL WORK, CONSISTING OF APPLIED TERMITICIDE TREATMENT, WILL PREVENT INFESTATION OF SUBTERRANEAN TERMITES. IF SUBTERRANEAN TERMITE ACTIVITY OR DAMAGE IS DISCOVERED DURING WARRANTY PERIOD OF FIVE (5) YEARS FROM SUBSTANTIAL COMPLETION, RE-TREAT SOIL AND REPAIR OR REPLACE DAMAGE CAUSED BY TERMITE INFESTATION.

CONCRETE

1. ALL CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST A.C.I. CODE 318.
2. CONCRETE SHALL HAVE NATURAL SAND FINE AGGREGATES AND NORMAL WEIGHT COARSE AGGREGATES CONFORMING TO ASTM C33, TYPE 1 PORTLAND CEMENT CONFORMING TO ASTM 150, AND SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH (F/C) AS FOLLOWS:
 - F/C = 2,500 PSI FOR FOOTINGS, INTERIOR SLABS ON GRADE (EXCEPT GARAGES) AND FILL IN CONCREITE BLOCKS
 - F/C = 3,000 PSI FOR FOUNDATION WALLS EXPOSED TO WEATHER.
 - F/C = 3,500 PSI FOR DRIVES, PORCHES, WALKS, STEPS, AND GARAGE SLABS.
 - F/C = 4,000 PSI FOR PRECAST CONCRETE UNITS.
3. ALL POURED IN PLACE CONCRETE EXPOSED TO WEATHER CONDITIONS, INCLUDING THE GARAGE FLOOR, SHALL BE AIR ENTRAINED BY 6% OF CONCRETE VOLUME. NO CALCIUM CHLORIDE OR OTHER ADMIXTURES SHALL BE USED EXCEPT AS APPROVED IN WRITING BY THE OWNER.
4. SLABS ON GRADE: EXCEPT WHERE OTHERWISE NOTED, SHALL BE MIN. 4" THICK, REINFORCED WITH 6X6 W1.4XW1.4 WWF LAP MESH "IN" IN EACH DIRECTION. SLAB SHALL BE PLACED ON A LAYER OF 6 MIL POLYETHYLENE OVER A 4" LAYER OF WASHED GRAVEL. REFER TO DRAWINGS FOR LOCATION OF THERMAL INSULATION.
5. CONCRETE FINISH: EXPOSED EXTERIOR STEPS, STOOPS AND SLABS SHALL FIRST HAVE A STEEL TROWEL FINISH AND THEN A VERY LIGHT BROOM FINISH. EXPOSED INTERIOR AND GARAGE SHALL RECEIVE A STEEL TROWEL FINISH.
6. EXPANSION JOINTS: NON-ORGANIC, OWNER APPROVED, EXPANSION JOINT MATERIAL SHALL BE CAST IN PLACE WHERE SLABS ABUT MASONRY OR CONCRETE WALLS TO PREVENT BONDING BETWEEN THE TWO MATERIALS.
7. CURING: EXPOSED CONCRETE SURFACES SHALL BE SEALED WITH AN APPROVED CHEMICAL CURING COMPOUND WITHIN ONE HOUR OF THE FINAL TROWELING.
8. CURING COMPOUND LABEL SHALL STATE THAT ITS USE WILL NOT INTERFERE WITH ADHESION OF SUBSEQUENT FLOOR FINISHES.
9. REINFORCING STEEL: REINFORCING STEEL FOR THE TIES SHALL BE INTERMEDIATE GRADE DEFORMED BILLET STEEL CONFORMING TO ASTM SPEC. A615-40. ALL OTHER REINFORCING STEEL SHALL CONFORM TO ASTM SPEC. A615-60. WELDED WIRE FABRIC TO CONFORM TO ASTM A-185. FABRIC SHALL BE SUPPLIED IN FLAT SHEETS AND LAPPED TO MESH AT SPLICES. ALL REINFORCING SHALL BE DETAILED, FABRICATED AND INSTALLED IN ACCORDANCE WITH THE LATEST DETAILING MANUAL A.C.I. 315.
9. REINFORCEMENT DESIGNATED AS "CONTINUOUS" SHALL LAP 36 BAR DIAMETERS AT SPLICES UNLESS NOTED OTHERWISE.
10. HORIZONTAL FOOTING AND WALLS: REINFORCEMENT SHALL BE CONTINUOUS AND SHALL HAVE 90 DEGREE BENDS AND EXTENSIONS, OR CORNER BARS OF EQUIVALENT SIZE LAPPED 36 BAR DIAMETERS, AT CORNERS AND INTERSECTIONS.
11. FOOTINGS:
 - A. BOTTOM OF FOOTINGS SHALL EXTEND A MINIMUM OF 2'-6" BELOW ANY SURFACE SUBJECT TO FREEZING: FOOTINGS SHALL EXTEND AT LEAST 12" INTO UNDISTURBED SOIL OR SET ON CONTROLLED COMPACTED FILL. DEPTH OF FOOTING SUBJECT TO CHANGE IF SOIL CONDITIONS ARE OTHER THAN ASSUMED.
 - BEARING VALUE OF SOIL IS ASSUMED TO BE 1,500 PSF WITH NO WATER CONDITION PRESENT. MINIMUM BEARING VALUE OF CONTROLLED FILL SHALL BE CERTIFIED BY A LICENSED GEOTECHNICAL ENGINEER.
12. ANCHOR BOLTS: SET ANCHOR BOLTS OR APPROVED STRAPS AS SHOWN. BOLTS FOR WOOD SILL PLATES SHALL BE 1 2" IN DIAMETER AND PROJECT 8" INTO CONCRETE; SET STRAPS OR BOLTS 12" MAX FROM END OF ANY PLATE AND 6'-0" MAX O.C. SPACING, UNLESS SHOWN OTHERWISE.

MASONRY

1. BRICK SHALL CONFORM TO ASTM C-62. MORTAR SHALL CONFORM TO FEDERAL SPECIFICATIONS SS-C-18B-TYPE II. LAY BRICK

- ONLY WHEN OUTSIDE TEMPERATURE IS 45° F AND RISING. PROTECT ALL WORK FROM COLD AND FROST AND ENSURE THAT MORTAR WILL CURE WITHOUT FREEZING. CALCIUM CHLORIDE AND ANTIFREEZE ADMIXTURE WILL NOT BE ACCEPTABLE.
2. BEARING STEEL AND WOOD BEAMS SHALL BE SUPPORTED ON SOLID MASONRY PIERS AS INDICATED. OTHER STRUCTURAL MEMBERS (LINTELS, ETC.) SHALL BE SUPPORTED ON 8" OF SOLID MASONRY. ALL BEAMS AND LINTELS SHALL HAVE MINIMUM HORIZONTAL BEARING OF 4".
 3. ANCHOR BOLTS: SET ANCHOR BOLTS OR APPROVED ANCHOR STRAPS AS REQUIRED. BOLTS FOR WOOD SILL PLATES SHALL BE 1 2" DIAMETER AND PROJECT 16" INTO MASONRY. SET BOLTS OR STRAPS 12" MAX. FROM END OF ANY PLATE.
 4. CMU WALLS SHALL HAVE HORIZONTAL REINFORCING JOINTS REINFORCEMENT AT 16" O.C. VERTICALLY, OR AS INDICATED.
 5. PROVIDE 4" SOLID MASONRY ON ALL SIDES OF JOISTS OR BEAMS ENTERING MASONRY PARTY WALLS.
 6. BRICK VENEER:
 - A. SECURE BRICK VENEER WITH 16 GA HOT-DIPPED ZINC COATED WALL TIES AT 16" O.C. HORIZONTALLY AND VERTICALLY.
 - B. PROVIDE FLASHING AT FIRST COURSE ABOVE GRADE, AT LINTELS, SILLS AND ELSEWHERE AS SHOWN. PROVIDE 3 16" DIAMETER TUBE WEEPS OR CELLULAR PLASTIC HEAD JOINT-TYPE WEEPS AT 24" O.C.
 - C. PROVIDE THROUGH-WALL FLASHING ABOVE ALL UNSHELTERED OPENINGS. FLASHING SHALL BE END-DAMMED AT ALL TERMINATIONS.
 - D. INSTALL HIGH-DENSITY POLYETHYLENE OR POLYESTER CAVITY DRAINAGE MATERIAL, EQUAL TO "MORTAR NET," ABOVE ALL FLASHING. MATERIAL SHALL BE SIZED TO FILL THE WIDTH OF THE CAVITY.
 - 7. STONE VENEER:
 - A. VAPOR PERMEABLE WEATHER-RESISTIVE BARRIERS: TWO-PLY ASPHALT SATURATED KRAFT GRADE D BREATHER TYPE SHEATHING PAPER.
 - BASIS OF DESIGN IS FORTIFIBERO® / TWO-PLY SUPER JUMBO TEX® 60 MINUTE
 - REFERENCE STANDARD: FEDERAL SPECIFICATION W-B-790A, TYPE I, GRADE D, STYLE 2
 - MOISTURE VAPOR TRANSMISSION: 35 GRAMS MINIMUM ASTM E 96
 - WATER RESISTANCE: 150 MINUTES (PROFESSIONAL), ASTM D 779
 - CMU'S TO HAVE WATER REPELLENT BLOCK ADMIXTURE; "DRY-BLOCK" BY W.R. GARC RECOMMENDED.
 - 8. EXTERIOR MORTAR TO HAVE WATER REPELLENT ADMIXTURE.
 - 9. UNLESS NOTED OTHERWISE, TOOL ALL JOINTS CONCAVE.
 - 11. FULLY BED IN MORTAR FACE SHELLS AND WEBS OF FIRST COURSE OF CMU.
 - 12. ALL MASONRY JOINTS SHALL BE FULLY FILLED WITH MORTAR, INCLUDING HEAD JOINTS.

STEEL

1. STRUCTURAL STEEL SHALL CONFORM TO ASTM A36
2. STEEL BEAMS SHALL CONFORM TO ASTM A572 GRADE 50.
3. ALL STEEL ANGLES, LINTELS, BEAMS, COLUMNS, ETC. ARE TO BE SHOP PRIMED WITH RED LEAD OR RED OXIDE PRIMER OR APPROVED EQUAL. STRUCTURAL STEEL AT OR BELOW GRADE SHALL BE PAINTED WITH TWO COATS ON AN ASPHALTIC BASE PAINT AND PROTECTED WITH A MINIMUM OF 2" SOLID MEMBRANE.
4. FOR ALL OPENINGS OR RECESSES IN BRICK OR BRICK-FACED MASONRY WALLS NOT SPECIFICALLY DETAILED, PROVIDE ONE STEEL ANGLE FOR EACH 4" OF WALL THICKNESS. PROVIDE LINTELS ACCORDING TO THE SCHEDULE BELOW:
LINTEL MASONRY OPENING MIN. BEARING
L 3-1/2 X 3-1/2 X 1/4 UP TO 3'-0" 4"
3-1/2 X 3-1/2 X 5/16 3'-1" TO 4'-0" 6"
L 4 X 3-1/2 X 1/4 4'-1" TO 5'-0" 6"
L 4 X 3-1/2 X 5/16 5'-1" TO 6'-0" 6"
L 5 X 3-1/2 X 5/16 6'-1" TO 7'-0" 8"
L 6 X 4 X 3/8 7'-1" TO 8'-0" 8"
NOTE: FOR OPENINGS GREATER THAN 8'-0", CONSULT WITH ARCHITECT AND ENGINEER.

WOOD & CARPENTRY

1. UNLESS OTHERWISE NOTED ON DRAWINGS, ALL STRUCTURAL WOOD MEMBERS SHALL BE #2 SOUTHERN PINE OR EQUAL, WITH THE FOLLOWING COMBINATION OF UNIT STRESSES:
EXTREME FIBER STRESS IN BENDING 1,200 PSI
COMPRESSION PARALLEL TO THE GRAIN 1,000 PSI
COMPRESSION PERPENDICULAR TO THE GRAIN 565 PSI
MODULUS OF ELASTICITY SHEAR STRESS 1,500,000 PSI
2. MANUFACTURED JOISTS AND TRUSSES (IF SHOWN ON DRAWINGS) MUST BE DESIGNED AND CERTIFIED BY A LICENSED ENGINEER AND SUBMITTED TO THE ARCHITECT AND LOCAL BUILDING DEPARTMENT FOR APPROVAL.
3. ROOF RAFTERS AND/OR TRUSSES SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFAB-90 PSI GALVANIZED RAFTER TIE (HURRICANE CLIP) BY SIMPSON OR APPROVED EQUAL. SIMILARLY, FLOOR JOISTS AND TRUSSES SHALL BE CONNECTED WITH ONE PREFABRICATED JOIST HANGER. EACH ANCHOR SHALL BE 18 GA MINIMUM THICK.
4. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS, AT JOISTS THAT SUPPORT HEADERS, AND AT HEADERS THAT SUPPORT JOISTS. USE JOIST HANGERS WHERE APPLICABLE.
5. ALL JOISTS AND RAFTERS SHALL BE RIGIDLY BRACED AT INTERVALS NOT EXCEEDING 8'-0".
6. DOUBLE STUDS AT HEADER BEARING, DOUBLE JOISTS AND RAFTERS AT ALL OPENINGS ACCORDING TO SCHEDULE BELOW (UNLESS NOTED OTHERWISE ON DRAWINGS):
DOUBLE 2 X 4 UP TO 3'-0"
DOUBLE 2 X 6 UP TO 4'-0"
DOUBLE 2 X 8 UP TO 5'-0"
DOUBLE 2 X 10 UP TO 7'-0"
DOUBLE 2 X 12 UP TO 8'-0"
ALL DOUBLE HEADERS AND JOISTS SHALL BE JOINED WITH A MINIMUM OF TWO ROWS OF 16 D NAILS 12" ON CENTER.
7. PROVIDE BLOCKING, BANGERS, OR RIM JOISTS, AS REQUIRED, AT JOIST ENDS.
8. FLOOR JOISTS SHALL HAVE A MINIMUM BEARING OF 2" ON FRAMED WALLS. ALL BEAMS SHALL HAVE MINIMUM BEARING OF 4" BEARING ON ALL SUPPORTS.
9. PROVIDE MOISTURE PROTECTION TO END OF BEAMS POCKETED INTO MASONRY WALLS.
10. WOOD JOISTS, STUDS, AND BEAMS SHALL NOT BE CUT OR NOTCHED UNLESS AUTHORIZED BY THE ARCHITECT. DRILLED HOLES SHALL BE CENTERED AT MID-DEPTH OF THE MEMBER AND THE HOLE DIAMETER SHALL NOT EXCEED 1 3 THE ACTUAL DEPTH OF THE MEMBER. NO HOLES SHALL BE DRILLED WITHIN 2" FROM THE ENDS OR WITHIN THE MIDDLE 1 3 OF THE SPAN. PROVIDE 4" CLEAR BETWEEN HOLES.
10. EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR. ANY EXISTING DAMAGED WOOD MEMBERS SHALL BE IDENTIFIED AND REPLACED BY THE CONTRACTOR.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING NECESSARY BRACING AND SHORING OF EXISTING MEMBERS AND WALLS WHILE ALTERING THE STRUCTURE.
12. PROVIDE 2X4 INTERMEDIATE BLOCKING AT ALL BEARING AND NON-BEARING PARTITIONS.
13. ALL PLYWOOD SHALL BE APA SPAN RATED. USE EXTERIOR GRADE PLYWOOD WHEREVER EDGE OF FACE WILL BE EXPOSED TO WEATHER. INTERIOR PLYWOOD EXPOSED TO WEATHER DURING CONSTRUCTION SHALL BE EXPOSURE 1 MIN.
 - A. EXTERIOR WALL SHEATHING SHALL BE 1 2 PLYWOOD UNLESS NOTED OTHERWISE.
 - B. SUBFLOORING SHALL BE 1 2
 - 4" TONGUE AND GROOVE PLYWOOD, GLUED AND SCREWED TO THE FLOOR JOISTS AS PER APA RECOMMENDATIONS.
 - C. WHERE SPACING OF ROOF STRUCTURE MEMBERS IS 16" O.C., ROOF SHEATHING SHALL BE 1 2 PLYWOOD (3
 - 4" WHERE ROOFING IS SLATE OR TILE), WHERE SPACING OF ROOF STRUCTURE MEMBERS IS 24" O.C., ROOF SHEATHING SHALL BE 5 8" PLYWOOD (3
 - 4" WHERE ROOFING IS SLATE OR TILE). PROVIDE "H" CLIPS AT BUTT JOINTS OF ROOF SHEATHING.
14. MICRO-LAM LVL (LAMINATED VENEER LUMBER) BEAMS SHALL BE MANUFACTURED BY TRUS JOIST MACMILLAN OR APPROVED EQUAL. BEAMS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. WHEN FASTENING TWO OR MORE BEAMS TOGETHER, PROVIDE A MINIMUM OF TWO ROWS OF 16 D NAILS 12" ON CENTER.
15. TJ FLOOR JOISTS ARE TO BE MANUFACTURED BY TRUS JOIST MACMILLAN OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
16. THE FOLLOWING WOOD ELEMENTS ARE TO BE PRESSURE TREATED WITH PRESERVATIVE:
 - A. SILL PLATES RESTING ON CONCRETE OR MASONRY WALLS.
 - B. SILL PLATES RESTING ON CONCRETE SLABS ON GRADE.
 - C. JOISTS WHICH ENTER CONCRETE OR MASONRY WALLS AND HAVE LESS THAN 1 2" CLEARANCE ON TOPS, SIDES, AND ENDS.
 - D. SLEEPERS RESTING DIRECTLY ON CONCRETE SLABS.
 - E. EXTERIOR PORCH AND DECK FRAMING, DECKING, AND STAIRS.
 - 17. FASTENERS, HANGERS, AND METAL ACCESSORIES USED IN PRESSURE TREATED WOOD CONSTRUCTION SHALL BE TYPE 304 OR 316 STAINLESS STEEL. TREATED LUMBER SHALL NOT BE PLACED IN CONTACT WITH ALUMINUM FLASHING OR OTHER ALUMINUM COMPONENTS.
18. EXTERIOR WOOD TRIM:
 - A. ALL EXTERIOR WOOD TRIM SHALL BE CLEAR PINE OR REDWOOD.
 - B. ALL TRIM SHALL BE PRIMED ON BOTH SIDES PRIOR TO INSTALLATION.
 - C. ALL OUTSIDE CORNERS SHALL BE MITERED. NO BUTT JOINTS WILL BE ACCEPTED.
 - 19. EXTERIOR SYNTHETIC TRIM SHALL BE "AZEK," WITH TRADITIONAL SMOOTH SURFACE. FASTENERS, JOINT CEMENT, AND INSTALLATION PROCEDURES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - 20. SIDING REFER TO DRAWINGS FOR TYPE SPECIFIED.
 - A. CEMENT BOARD SHALL BE NON-ASBESTOS FIBER-CEMENT MATERIAL COMPLYING WITH ASTM STANDARD SPECIFICATION C1186 GRADE II, TYPE A.
 - B. MATERIALS SHALL BE EQUAL TO THOSE MANUFACTURED BY JAMES HARDIE BUILDING PRODUCTS.
 - C. WOOD SIDING SHALL BE KILN DRIED WESTERN RED CEDAR, "CLEAR V.G. HEART" GRADE FOR CLEAR AND TRANSPARENT STAIN FINISHES, AND "A CLEAR" GRADE FOR SEMI-TRANSPARENT STAIN OR OPAQUE FINISHES. FASTENERS SHALL GENERALLY BE TYPE 304 STAINLESS STEEL, BUT SHALL BE TYPE 316 FOR COASTAL APPLICATIONS.
 - 21. COORDINATE ALL FLOOR AND WALL FRAMING WITH DUCTWORK. REFER TO MECHANICAL NOTES.
 - 22. FOLDING ATTIC ACCESS LADDER SHALL BE 22 1 2" X 44" WITH SELF-TRIMMING FLANGE, PRE-FINISHED DOOR PANEL, AND GAS-PISTON COUNTERBALANCE. THE DOOR PANEL SHALL HAVE CONTINUOUS INTEGRAL WEATHERSTRIPPING, R-10 INSULATION, AND TWO KEY OPERATED LOCKING PINS TO DRAW THE DOOR TIGHT. LADDER STEPS SHALL BE PINE, DOWNELED TO PINE STRINGERS. CONTACT RESOURCE CONSERVATION TECHNOLOGY AT 410-366-1146. ADDITIONAL INSULATION SHOULD BE PROVIDED TO MEET REQUIRED INSULATION VALUE PER IECC R402.2.4.

RADON DETECTION AND TREATMENT

1. THE CONTRACTOR SHALL PROVIDE A VENTING SYSTEM CONSISTING OF A MINIMUM OF 3" DIAMETER ABS, PVC OR EQUIVALENT GAS-TIGHT PLUMBING PIPE INSERTED INTO THE SUB-SLAB GRAVEL BASE (AT ALL NEW CONCRETE SLABS), A "T" FITTING OR EQUIVALENT METHOD SHALL BE USED TO ENSURE THAT THE PIPE OPENING REMAINS WITH THE SUB-SLAB PERMEABLE MATERIAL. THE PIPE SHALL TERMINATE AT LEAST 12" ABOVE THE HIGH SIDE OF THE ROOF PENETRATION. CONTRACTOR SHALL COORDINATE LOCATION OF PIPE WITH ARCHITECT PRIOR TO INSTALLING THE PIPE.
2. INSTALL, PER IRC, 2012 EDITION, APPENDIX F "RADON CONTROL METHODS."

3. THE CONTRACTOR SHALL PROVIDE ANY OTHER MEASURES AS REQUIRED BY LOCAL CODES.

VENTILATION

1. WHERE ATTICS ARE INDICATED TO BE VENTILATED, THEY ARE TO BE VENTED IN ONE OF THE FOLLOWING WAYS (REFER TO DRAWINGS FOR SPECIFICS):
 - A. CONTINUOUS RIDGE VENTING AND CONTINUOUS SOFFIT VENTING. RIDGE VENT SHALL BE BY COR-A-VENT OR APPROVED EQUAL. CONTINUOUS SCREEN
 - 3. ANCHOR BOLTS: SET ANCHOR BOLTS OR APPROVED ANCHOR STRAPS AS REQUIRED. BOLTS FOR WOOD SILL PLATES SHALL BE 1 2" DIAMETER AND PROJECT 16" INTO MASONRY. SET BOLTS OR STRAPS 12" MAX. FROM END OF ANY PLATE.
 - 4. CMU WALLS SHALL HAVE HORIZONTAL REINFORCING JOINTS REINFORCEMENT AT 16" O.C. VERTICALLY, OR AS INDICATED.
 - 5. PROVIDE 4" SOLID MASONRY ON ALL SIDES OF JOISTS OR BEAMS ENTERING MASONRY PARTY WALLS.
 - 6. BRICK VENEER:
 - A. SECURE BRICK VENEER WITH 16 GA HOT-DIPPED ZINC COATED WALL TIES AT 16" O.C. HORIZONTALLY AND VERTICALLY.
 - B. PROVIDE FLASHING AT FIRST COURSE ABOVE GRADE, AT LINTELS, SILLS AND ELSEWHERE AS SHOWN. PROVIDE 3 16" DIAMETER TUBE WEEPS OR CELLULAR PLASTIC HEAD JOINT-TYPE WEEPS AT 24" O.C.
 - C. PROVIDE THROUGH-WALL FLASHING ABOVE ALL UNSHELTERED OPENINGS. FLASHING SHALL BE END-DAMMED AT ALL TERMINATIONS.
 - D. INSTALL HIGH-DENSITY POLYETHYLENE OR POLYESTER CAVITY DRAINAGE MATERIAL, EQUAL TO "MORTAR NET," ABOVE ALL FLASHING. MATERIAL SHALL BE SIZED TO FILL THE WIDTH OF THE CAVITY.
 - 7. STONE VENEER:
 - A. VAPOR PERMEABLE WEATHER-RESISTIVE BARRIERS: TWO-PLY ASPHALT SATURATED KRAFT GRADE D BREATHER TYPE SHEATHING PAPER.
 - BASIS OF DESIGN IS FORTIFIBERO® / TWO-PLY SUPER JUMBO TEX® 60 MINUTE
 - REFERENCE STANDARD: FEDERAL SPECIFICATION W-B-790A, TYPE I, GRADE D, STYLE 2
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 - WATER RESISTANCE: 150 MINUTES (PROFESSIONAL), ASTM D 779
 - CMU'S TO HAVE WATER REPELLENT BLOCK ADMIXTURE; "DRY-BLOCK" BY W.R. GARC RECOMMENDED.
 - 8. EXTERIOR MORTAR TO HAVE WATER REPELLENT ADMIXTURE.
 - 9. UNLESS NOTED OTHERWISE, TOOL ALL JOINTS CONCAVE.
 - 11. FULLY BED IN MORTAR FACE SHELLS AND WEBS OF FIRST COURSE OF CMU.
 - 12. ALL MASONRY JOINTS SHALL BE FULLY FILLED WITH MORTAR, INCLUDING HEAD JOINTS.

MOISTURE PROTECTION

1. APPROPRIATE SEALANTS SHALL BE SELECTED FOR EACH SUBSTRATE DEPENDING UPON LOCATION (INTERIOR OR EXTERIOR), HUMIDITY, MOISTURE CONDITIONS, AND TRAFFIC CONDITIONS. USE PRIMERS AS REQUIRED.
2. COLOR OF CAULKING SHALL BE COORDINATED WITH ADJACENT MATERIALS AND MUST BE APPROVED BY ARCHITECT PRIOR TO APPLICATION.
3. JOINT FILLERS SHALL BE USED:
 - A. TO CONTROL THE DEPTH OF SEALANTS IN JOINTS.
 - B. TO MEET THE REQUIREMENTS FOR RESILIENT SEPARATIONS IN HORIZONTAL JOINTS IN FLOORS, PAVEMENTS, PATIOS, SIDEWALKS, AND OTHER LIGHT TRAFFIC AREAS.
4. BOND BREAKERS SHALL BE USED TO PREVENT ADHESION TO MORE THAN TWO SURFACES.
5. MASONRY FOUNDATIONS SHALL BE PARGED TO A THICKNESS OF 3 4" MINIMUM.
6. WATERPROOF ALL BELOW GRADE FOUNDATION WALLS WITH A POLYMER-MODIFIED ASPHALT EMULSION EQUAL TO CETCO "STRATASEAL." DRY MEMBRANE THICKNESS SHALL BE 60 MIL. REINFORCE CORNERS AND CONCRETE COLD JOINTS BY EMBEDDING FIBERGLASS FABRIC AROUND CORNERS AND ACROSS JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INSTALL SUBSURFACE DRAINAGE COMPOSITE EQUAL TO CETCO "AQUADRAIN IOX" OVER THE CURED MEMBRANE.
7. FOOTING DRAINS SHALL BE MIN. 4" IN DIAMETER AND INSTALLED ON THE EXTERIOR OF ALL FOUNDATIONS.
8. ALL FLASHING SHALL BE INSTALLED ACCORDING TO THE BUILDING CODE. AN EAVE FLASHING STRIP OF 40 MIL SELF-ADHERING RUBBERIZED ASPHALT SHEET MEMBRANE SHALL BE APPLIED TO EXTEND FROM THE EDGE OF THE ROOF TO A POINT 24" MIN. INSIDE THE INTERIOR WALL LINE OF THE STRUCTURE, AND AT ALL VALLEYS.
9. ALL MEMBRANE ROOFING TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
10. ALL ROOF SHINGLES TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
11. ASPHALT SHINGLE ROOFS WITH SLOPES FROM 2 IN 12 TO 4 IN 12 SHALL HAVE TWO LAYERS OF #15 ROOFING FELT APPLIED IN ACCORDANCE WITH WITH THE INTERNATIONAL RESIDENTIAL CODE.
12. FLASHING:
 - A. THROUGH-WALL AND OTHER CONCEALED FLASHING SHALL BE A COMPOSITE OF FIBERGLASS FABRIC, 5 OZ. COPPER AND ASPHALT, EQUAL TO YORK COPPER FABRIC.
 - B. EXPOSED FLASHING SHALL BE 16 OZ. COPPER.
 - 13. PAINTED ALUMINUM DRIP STRIPS SHALL BE INSTALLED AT THE EAVE AND RAKE EDGES OF THE ROOF SHEATHING FOR SHINGLE ROOFS, AND ABOVE WINDOW AND DOOR TRIM WHERE INDICATED.
 - 14. EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) SHALL BE EQUAL TO DRYVIT, RESIDENTIAL MD SYSTEM, WITH DRYVIT DRAINAGE BEING INSTALLED BETWEEN SECONDARY WEATHER BARRIER AND THE INSULATION BOARD.
 - 15. CEDAR ROOF SHINGLES SHALL BE NO. 1, BLUE LABEL, RED CEDAR. INSTALL OVER "CEDAR BREATHER" BY BENJAMIN OBDYKE INC. AND 30# FELTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - 16. STANDING SEAM ROOFING SHALL BE 16 OUNCE COPPER WITH WATER-TIGHT STANDING SEAMS. FOR SLOPES GREATER THAN 3 IN 12 PROVIDE #30 ROOFING FELT UNDERLAYMENT ON SOILD SHEATHING. FOR SLOPES 3 IN 12 OR LESS PROVIDE SELF-ADHERING 40 MIL ICE AND WATER GUARD MEMBRANE OVER THE ENTIRE ROOF TO RECEIVE STANDING SEAM ROOFING.

FINISHES

- GYPSUM WALLBOARD:
1. GYPSUM WALLBOARD SHALL BE ASTM C-36 AS FOLLOWS:
A. REGULAR (1 2") EXCEPT WHERE NOTED.
B. WATER RESISTANT (1 2") AT BATHROOM CEILINGS AND WALLS THAT ARE NOT TILED.
C. DUROCK INTERIOR TILE BACKER BOARD (1 2") AT ALL SURFACES THAT HAVE TILE.
2. GYPSUM BOARDS SHALL HAVE TAPERED EDGES TO ACCOMMODATE JOINT REINFORCEMENT.
3. PROVIDE EDGE CORNER BEADS, TRIM, TAPING, AND JOINT COMPOUNDS AS REQUIRED FOR THE PROPER COMPLETION OF THE JOB. MATERIALS SHALL BE BY GYPSUM OR APPROVED EQUAL.

4. FINISHING REQUIREMENTS:
A. FOR TYPICAL WALLS AND CEILINGS PROVIDE A LEVEL 4 FINISH AS DEFINED BY THE GYPSUM ASSOCIATION.
B. FOR SURFACES NOTED TO RECEIVE SEMI-GLOSS OR GLOSS PAINT PROVIDE A LEVEL 5 FINISH AS DEFINED BY THE GYPSUM ASSOCIATION.

HARDWOOD FLOORING:
1. UNLESS NOTED
2. WOOD STRIP FLOORING TO BE OAK. WHERE ABUTTING EXISTING FLOOR, NEW FLOOR SHALL MATCH EXISTING IN SIZE AND GRAIN. ELSEWHERE, OAK SHALL BE "CLEAR" GRADE, IN ACCORDANCE WITH THE NATIONAL OAK FLOORING MANUFACTURER'S ASSOCIATION.
3. INSTALL FLOORING IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE NATIONAL OAK FLOORING MANUFACTURER'S ASSOCIATION.
4. AFTER THE FLOORS HAVE BEEN SANDED, THE FLOORING CONTRACTOR SHALL APPLY A MINIMUM OF FOUR STAIN AND URETHANE SAMPLES IN TWO FOOT BY TWO FOOT AREAS ON THE FLOOR FOR THE OWNER TO REVIEW. THE OWNER SHALL HAVE A MINIMUM OF TWO DAYS TO MAKE A SELECTION. CERAMIC TILE:
1. PROVIDE CERAMIC TILE AND ACCESSORIES IN ACCORDANCE WITH THE TILE COUNCIL OF AMERICAN SPECIFICATIONS 137.1, IN COLORS AND PATTERNS TO BE SPECIFIED BY THE OWNER.
2. SETTING MATERIALS: COMPLY WITH PERTINENT RECOMMENDATIONS CONTAINED IN THE TILE COUNCIL OF AMERICA "HANDBOOK FOR CERAMIC TILE INSTALLATION."
3. INSTALLATION: COMPLY WITH ANSI A108.1, ANSI A108.2, AND THE "HANDBOOK FOR CERAMIC TILE INSTALLATION" OF THE TILE COUNCIL OF AMERICA.
A. EXTEND TILE INTO RECESSES AND UNDER EQUIPMENT AND FIXTURES TO FORM A COMPLETE COVERING WITHOUT INTERRUPTION.
B. TERMINATE TILE AT VERTICAL EDGES, WITHOUT DISRUPTION, WITHOUT DISRUPTION OF JOINT ALIGNMENT.
C. ALIGN JOINTS WHEN ADJOINING TILES ON FLOOR, BASE, TRIM, AND WALLS ARE THE SAME SIZE.
D. LAYOUT TILE WORK AND CENTER THE TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA.
E. REPLACEMENT RESERVE: CONTRACTOR SHALL FURNISH TO THE OWNER ONE UNOPENED BOX OF ADDITIONAL TILES FOR FUTURE REPAIRS AND MAINTENANCE WORK.
CARPET:
1. PROVIDE CARPETING AS INDICATED ON THE DRAWINGS. REFER TO ALLOWANCES ON SCHEDULE SHEET.
VINYL TILE:
1. INSTALLATION OF ALL VINYL COMPOSITION TILE (VCT) SHALL BE DONE IN A MANNER WHICH CONFORMS WITH: ASTM E 648, ASTM E 84, AND ASTM E 662.
2. REPLACEMENT RESERVE: CONTRACTOR SHALL FURNISH OWNER WITH ONE UNOPENED BOX OF ADDITIONAL TILE FOR FUTURE REPAIRS AND MAINTENANCE.
PAINT:
1. ALL PAINT AND PRIMERS TO BE BENJAMIN MOORE OR APPROVED EQUAL. REFER TO SCHEDULE FOR COLORS AND TYPES.
2. ALL SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIMER COAT AND TWO FINISH COATS.
3. ALL PAINT SHALL BE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

ARCHITECTURAL WOODWORK AND TRIM:
1. ALL MILLWORK TRIM AND MOLDING SHALL BE INSTALLED ACCORDINGLY TO THE QUALITY OF STANDARDS OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI).
2. ALL INTERIOR TRIM AND MILLWORK SHALL CONFORM TO AWI "CUSTOM STANDARDS."
3. FLAT TRIM SHALL BE CLEAR PINE OR APPROVED EQUAL.
4. ALL CORNERS OF TRIM AND SIDING ARE TO BE MITERED, EXCEPT INSIDE CORNERS OF INTERIOR RUNNING TRIM WHICH SHALL BE COPED. EXPOSED END GRANS WILL NOT BE ACCEPTED.
5. ALL MILLWORK AND TRIM SHALL BE INSTALLED BY CRAFTSMEN WITH EXPERIENCE IN WORK OF THIS TYPE. ALL WORK SHALL BE FIRST GLASS IN EVERY REGARD AND CONSISTENT WITH THE BEST PRACTICES OF THE TRADE.

FIRE AND LIFE SAFETY

1. STAIRS:
 - A. 73
 - 4" MAX RISE
 - B. 10" MIN TREAD
 - C. 6'-8" MIN HEAD ROOM
 - D. HEIGHT OF HANDRAILS SHALL BE CONTINUOUS, 34" (MIN) TO 38" (MAX) ABOVE FINISHED STAIR TREADS. HANDRAILS REQUIRED AT STAIRS WITH 3 OR MORE RISERS.
 - E. GUARDRAILS SHALL BE 36" (MIN) TO 42" (MAX) ABOVE FINISHED FLOOR.
 - 2. PROVIDE A CLEAR WINDOW OPENING OF 5.7 SQUARE FEET WITH NO LESS THAN 20" CLEAR WIDE AND 24" CLEAR HIGH FOR SLEEPING AREA. THE SILL OF THIS WINDOWS SHALL BE NO MORE THAN 44" ABOVE THE FINISHED FLOOR.
 - 3. PROVIDE SAFETY GLASS IN ALL EXTERIOR DOORS, STORM DOORS, SLIDING GLASS DOORS, SHOWER DOORS, AND TUB ENCLOSURES ABOVE AND ADJACENT TO SPAS AND TUBS AND WHERE THE GLASS IS CLOSER THAN 18" TO THE FLOOR AND EXCEEDS 9 SQUARE FEET IN AREA.
 - 5. SMOKE DETECTORS SHALL BE PROVIDED ON EVERY FLOOR, IN EACH BEDROOM AND IN EACH HALL OUTSIDE OF BEDROOMS, AND INTEGRATED WITH THE ELECTRICAL SYSTEM WITH BATTERY BACKUP.
 - 6. IF A FUEL-BURNING APPLIANCE, FIREPLACE, OR ATTACHED GARAGE IS PRESENT, AN INTERCONNECTED BATTERY BACK UP CARBON MONOXIDE ALARM OR DETECTOR MUST BE INSTALLED OUTSIDE ALL SLEEPING AREAS AND ON ALL FLOORS. IF FUEL-BURNING APPLIANCE OR FIREPLACE IS PRESENT IN ANY SLEEPING AREA, AN INTERCONNECTED CARBON MONOXIDE ALARM OR DETECTOR MUST ALSO BE INSTALLED IN THAT ROOM AS REQUIRED PER LOCAL

JURISDICTION

7. FLUES SHALL BE CLASS B EXCEPT SOLID FUEL FLUES, WHICH SHALL BE CLASS A.
8. TOP OF FLUE SHALL BE 2'-0" ABOVE ANY PART OF STRUCTURE WITHIN 10'-0" OF FLUE.
9. INTERIOR FINISH OF WALLS AND CEILING SHALL HAVE A FLAME SPREAD RATING NOT GREATER THAN CLASS III.
10. CARPETING SHALL MEET FEDERAL REGULATION DOC FF-1.
11. PREFAB FIREPLACES SHALL BE (U.L.) RATED AND INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
12. PROVIDE OUTSIDE AIR FOR COMBUSTION IN ALL PREFAB AND MASONRY FIREPLACES.

ELECTRICAL AND LIGHTING NOTES

1. ELECTRICAL CONTRACTOR SHALL SIZE AND ARRANGE ALL CIRCUITS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AS WELL AS ALL LOCAL CODES. SERVICE TO BE UPGRADED AS REQUIRED.
2. WALL OUTLETS ARE TO BE MOUNTED 1'-6" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
3. SWITCHES ARE TO BE MOUNTED 4'-0" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
4. MOUNTING HEIGHTS ARE TO THE VERTICAL CENTER OF THE EQUIPMENT TO THE FINISHED ELEVATION OF THE FLOOR.
5. ALL NEW SWITCH AND OUTLET STYLES ARE TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
6. PROVIDE HARMED SMOKE DETECTORS ON ALL FLOORS. LOCATED AS PER DISTRICT OF COLUMBIA CODE.
7. ELECTRICIAN SHALL LOCATE ALL FIXTURES, SWITCHES, OUTLETS, ETC. PRIOR TO RUNNING WIRING. OWNER, ARCHITECT, AND ELECTRICIAN TO MEET AT A MUTUALLY AGREED UPON TIME TO REVIEW LOCATIONS. THE PURPOSE OF THIS IS TO ALLOW FOR POSSIBLE RELOCATION PRIOR TO WIRING.
8. OWNER IS ALLOWED TO ADD AN ADDITIONAL TEN (10) ITEMS (SWITCHES, CABLE, PHONE, OUTLET, ETC., OR ANY COMBINATION) AT NO ADDITIONAL CHARGE TO THE OWNER.
9. CONTRACTOR SHALL DETERMINE, BASED ON AN ON-SITE REVIEW OF EXISTING AND PROPOSED ELECTRICAL SYSTEMS, WHETHER AN ELECTRICAL SERVICE HEAVY-UP WILL BE REQUIRED, AND SHALL INCLUDE THE COSTS OF ALL REQUIRED UPGRADES IN THEIR CONTRACT AMOUNT.
10. PROVIDE DOOR BELL, TRANS

LEGEND

EXISTING WALL TO REMAIN

EXISTING BRICK VENEER WALL

EXISTING WALL TO BE REMOVED

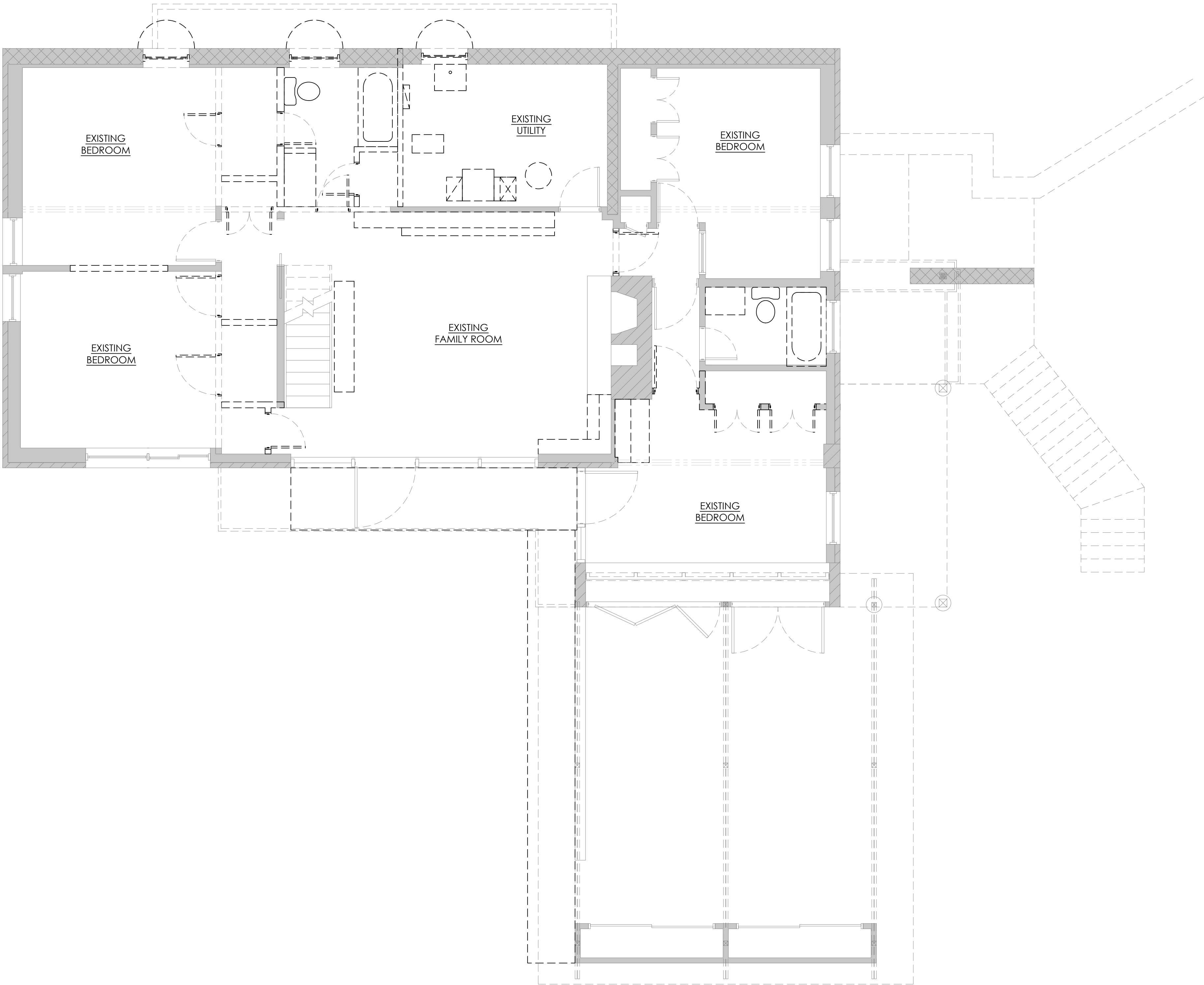
NEW STUD WALL

EXISTING DOOR TO BE REMOVED

EXISTING/NEW DOOR TO REMAIN

EXISTING WINDOW TO BE REMOVED

NEW WINDOW



1
A100

LOWER LEVEL DEMO PLAN

1/4"=1'-0"

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HAWP APPLICATION 10-04-2022
PRICING PACKAGE 07-07-2022

RENOVATION &
ADDITION TO:

NEWMYER RESIDENCE
7209 MACARTHUR BLVD
BETHESDA, MD
POTOMAC OVERLOOK HISTORIC
DISTRICT

DRAWING TITLE

DEMOLITION PLANS

SHEET NUMBER

A100

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LEGEND

EXISTING WALL TO REMAIN

EXISTING BRICK VENEER WALL

EXISTING WALL TO BE REMOVED

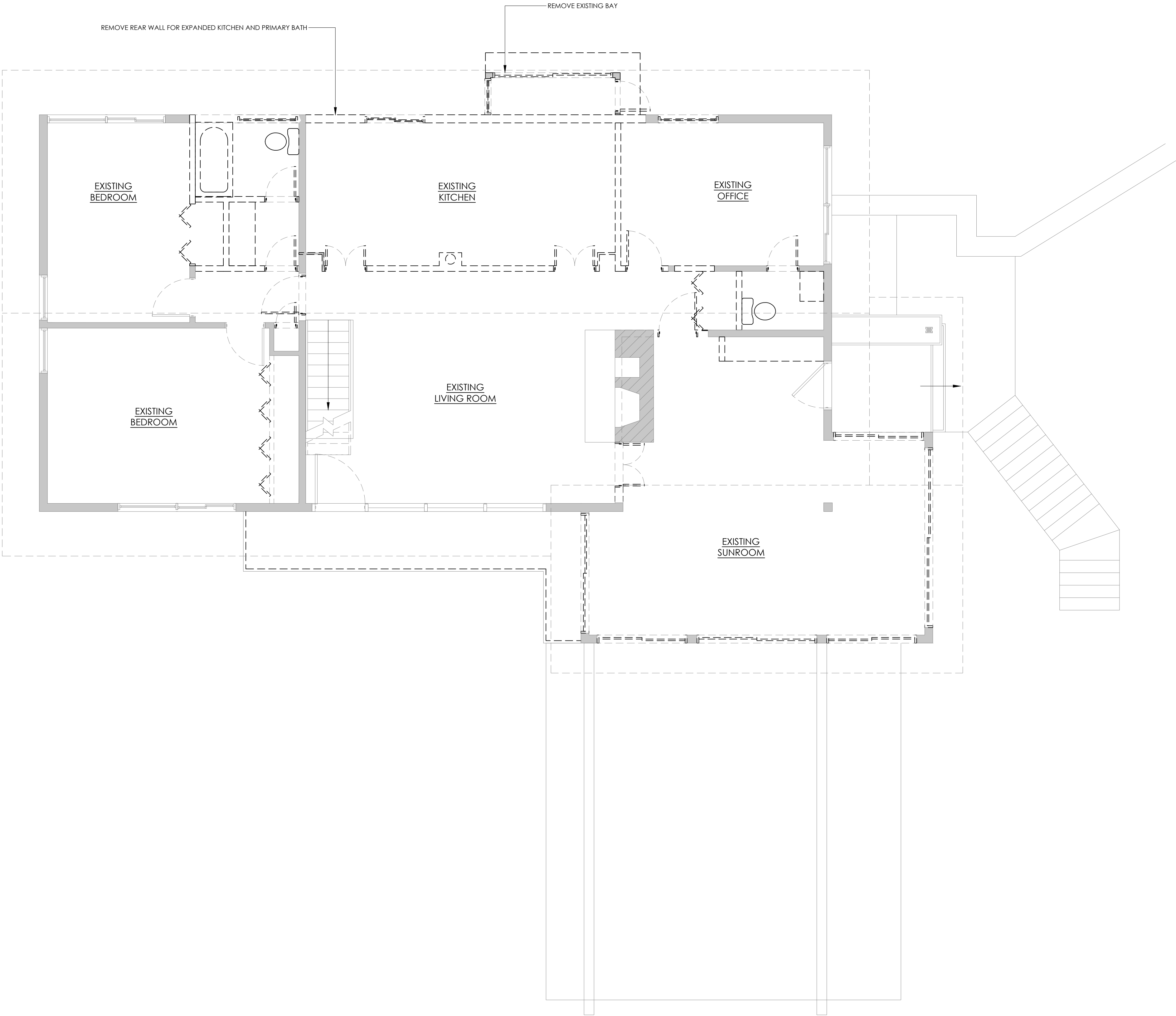
NEW STUD WALL

EXISTING DOOR TO BE REMOVED

EXISTING/NEW DOOR TO REMAIN

EXISTING WINDOW TO BE REMOVED

NEW WINDOW



1
A101

MAIN LEVEL DEMO PLAN

1/4"=1'-0"

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SHEET NUMBER

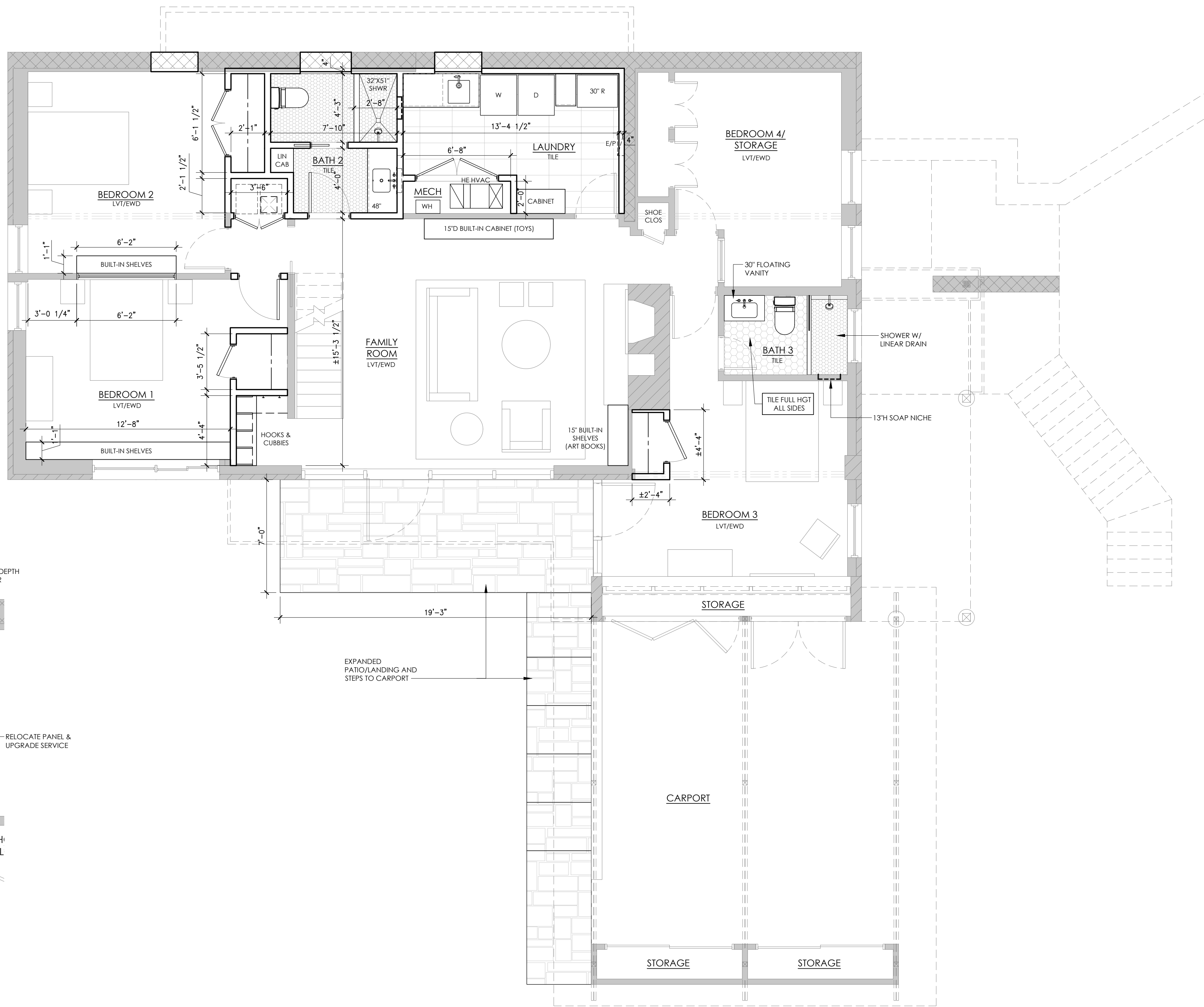
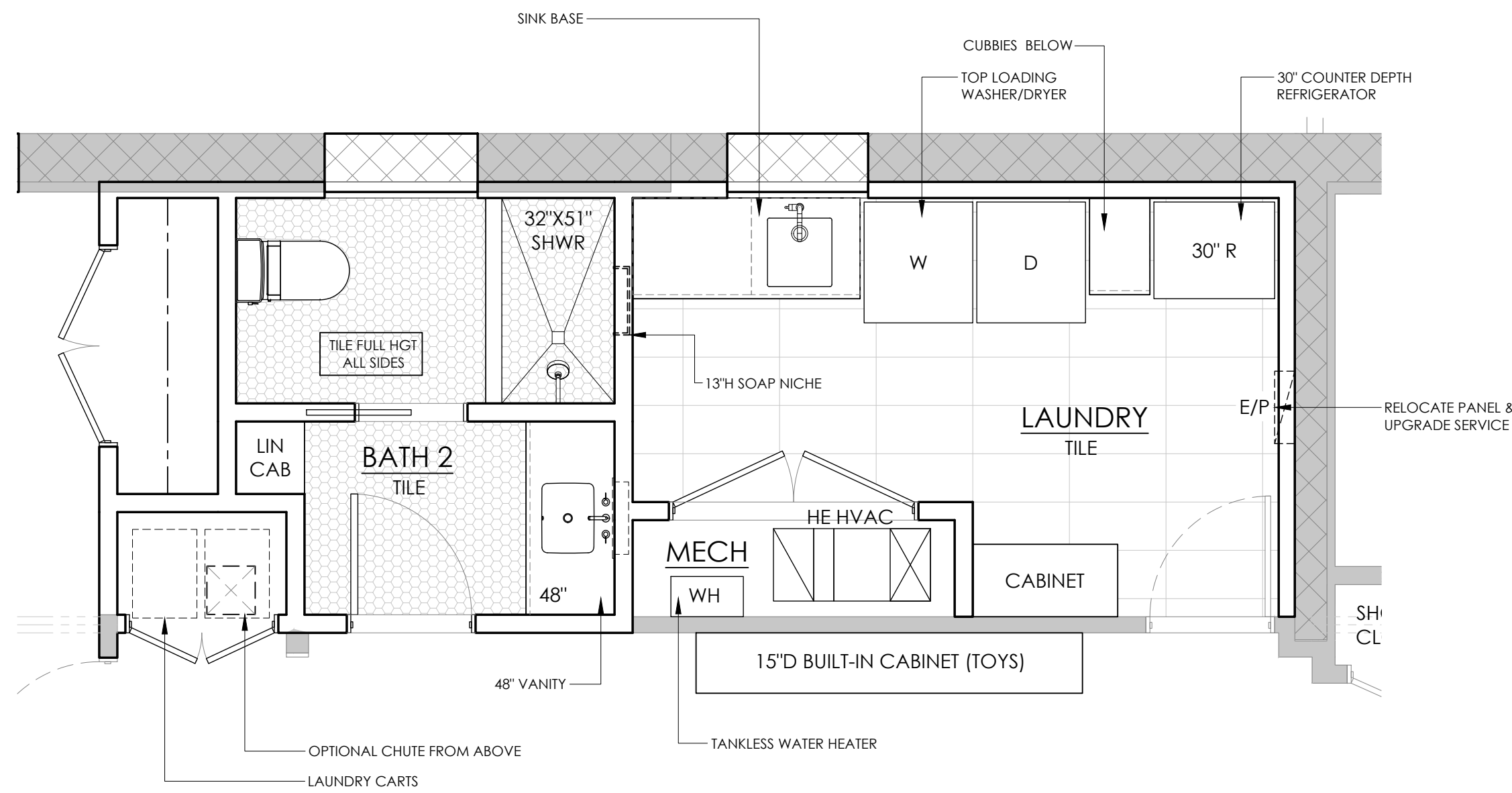
A101

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LEGEND

- EXISTING WALL TO REMAIN
- EXISTING BRICK VENEER WALL
- EXISTING WALL TO BE REMOVED
- NEW STUD WALL
- EXISTING DOOR TO BE REMOVED
- EXISTING/NEW DOOR TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- NEW WINDOW



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DISTRICT

DRAWING TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A102

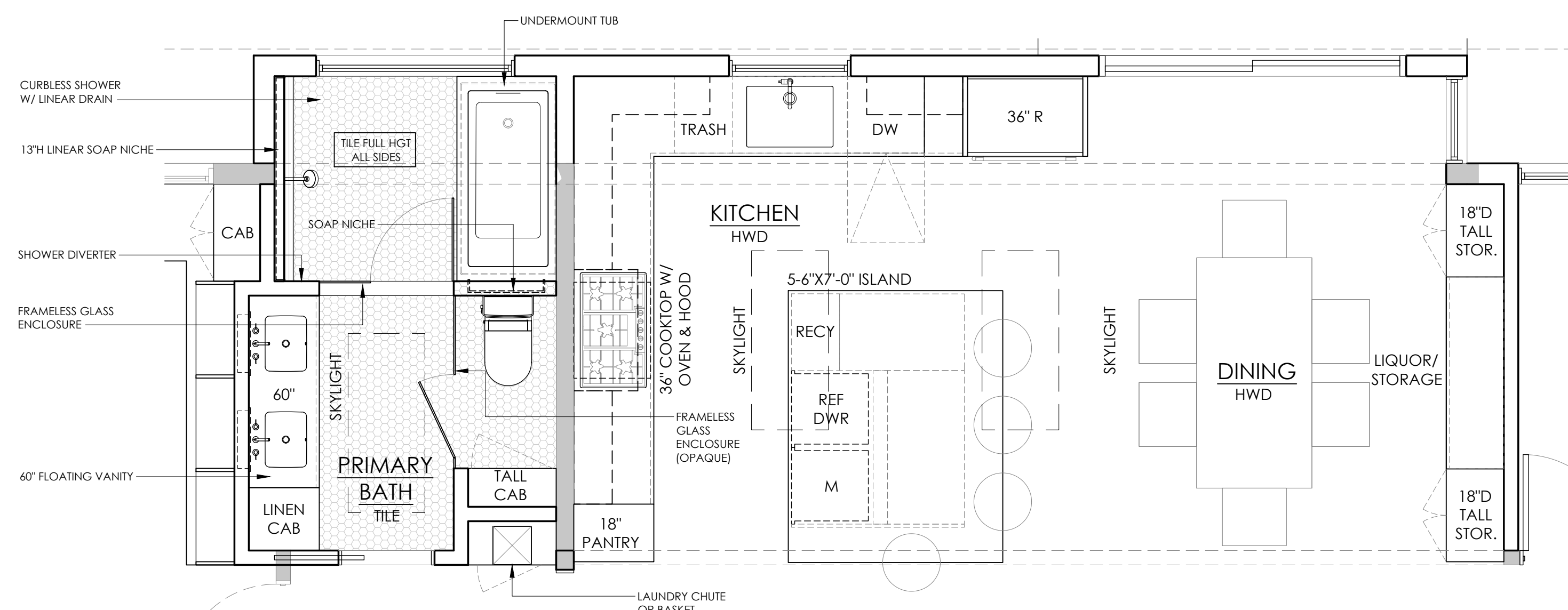
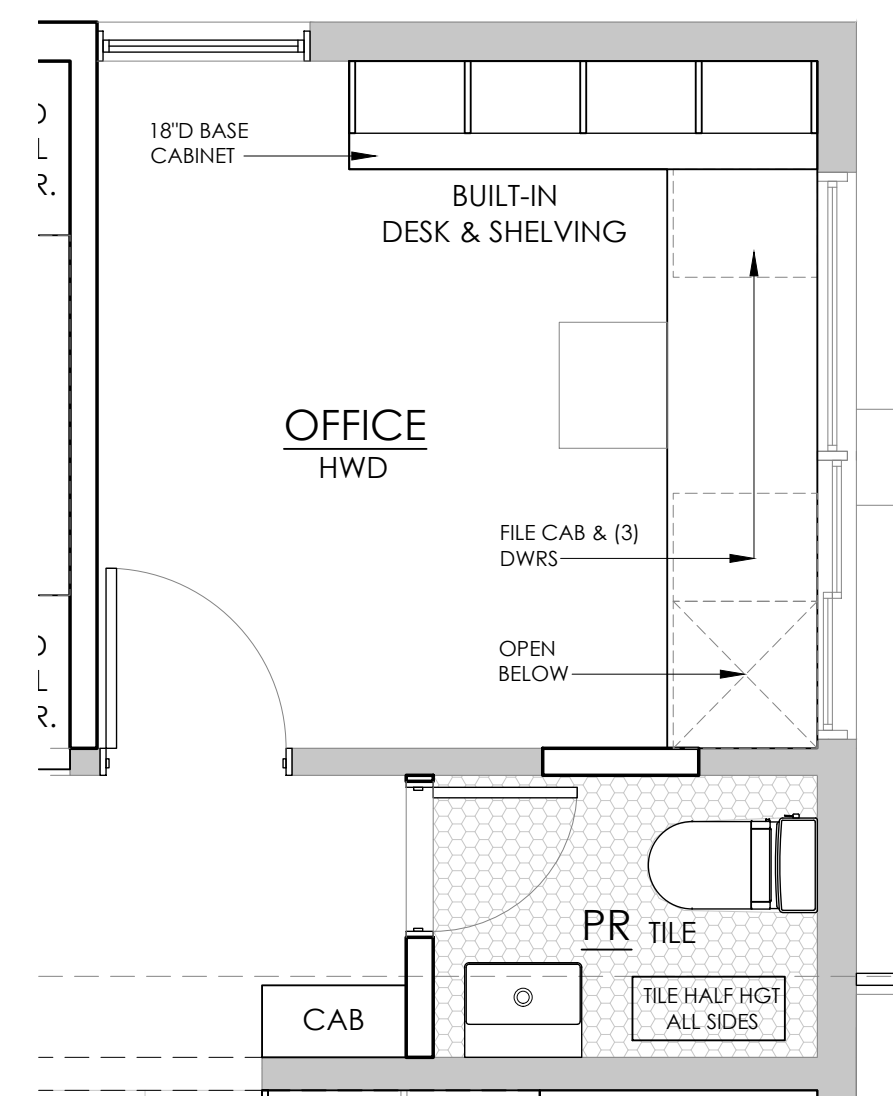
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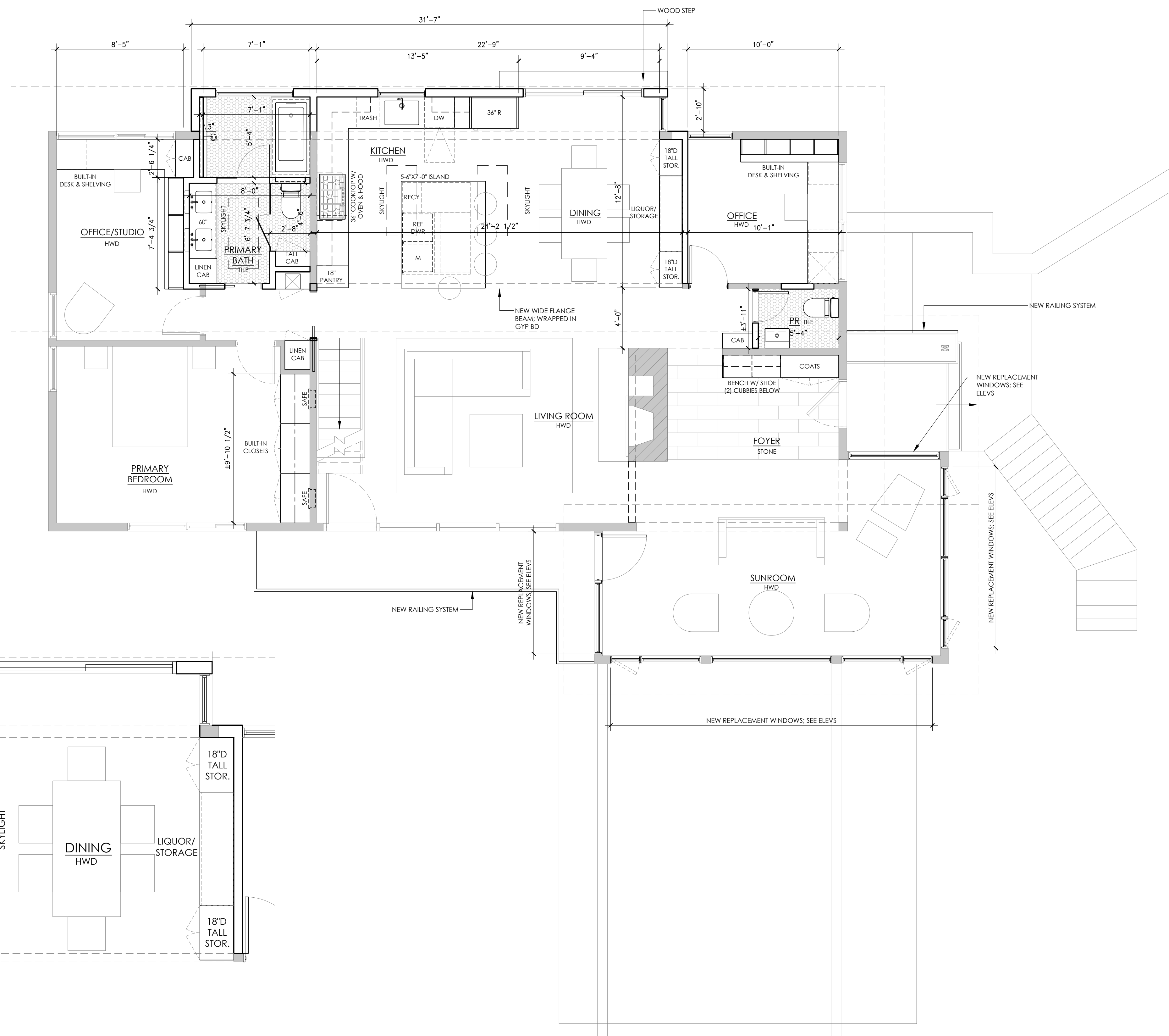
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Diagram illustrating various wall and window types and their corresponding symbols:

- EXISTING WALL TO REMAIN:** Represented by a solid grey rectangle.
- EXISTING BRICK VENEER WALL:** Represented by a grey rectangle with diagonal hatching.
- EXISTING WALL TO BE REMOVED:** Represented by a dashed rectangle.
- NEW STUD WALL:** Represented by a solid black rectangle.
- EXISTING DOOR TO BE REMOVED:** Represented by a dashed line with a door handle symbol.
- EXISTING/NEW DOOR TO REMAIN:** Represented by a solid line with a door handle symbol.
- EXISTING WINDOW TO BE REMOVED:** Represented by a dashed rectangle with a cross-hatch pattern.
- NEW WINDOW:** Represented by a solid grey rectangle with a cross-hatch pattern.



PLAN DETAIL



PROPOSED MAIN LEVEL PLAN

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MAIN LEVEL PLAN

SHEET NUMBER

A103

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1
A200
1/4"=1'-0"

PROPOSED FRONT ELEVATION



2
A200
1/4"=1'-0"

PROPOSED RIGHT ELEVATION

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DRAWING TITLE

ELEVATIONS

SHEET NUMBER

A200

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1
A201
1/4"=1'-0"

PROPOSED REAR ELEVATION



2
A201
1/4"=1'-0"

PROPOSED LEFT ELEVATION

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DRAWING TITLE

ELEVATIONS

SHEET NUMBER

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DISTRICT

DRAWING TITLE

3D VIEWS

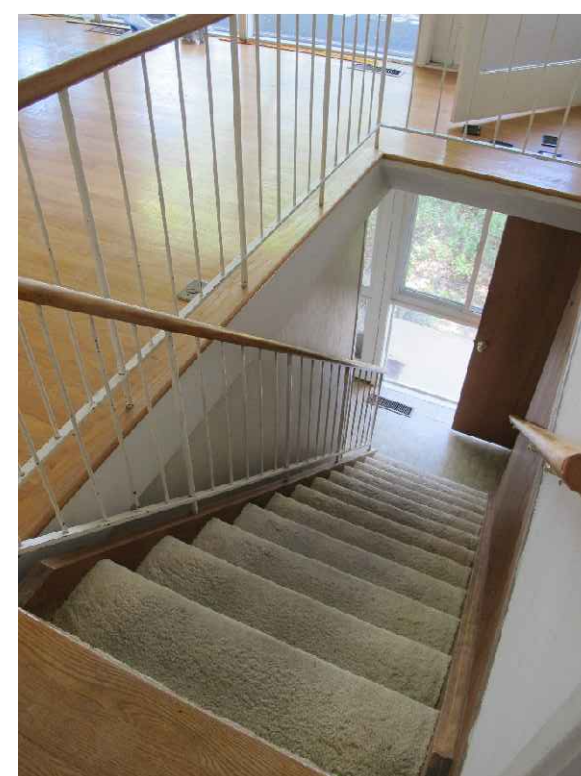
SHEET NUMBER

A202

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SAFETY CONCERN



FAILING BAY
INCORRECT
CANTILEVER DESIGN



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DRAWING TITLE

EXISTING PHOTOS

SHEET NUMBER

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October 5, 2022

Historic Preservation
Montgomery County Planning Department
2425 Reedie Dr, Floor 14
Wheaton, MD 20902

RE: **7209 MacArthur Blvd, Bethesda, MD** – HAWP Application Description of Work

To Whom it May Concern,

The primary structure was built in 1958 by developer Edward Bennett and architects, Keys, Lethbridge and Condon. The structure (*Highview model*) is in the Potomac Overlook Historic District and is considered a contributing structure. The house is brick and wood frame that is sited on a wooded, steep slope lot.

The house is in somewhat original condition and has been through various renovations and additions overtime. It is showing some minor structural defects and a major restoration and modernization is needed. The new owners are committed to taking on this extensive project.

The scope of the project is to remove the existing rear box bay addition (ca. 1967) that is failing structurally due to improper cantilever construction. Since the bay has been recognized by HPC the proposed plan replicates this design but extends it along a portion of the rear wall to expand the footprint of the house. This is to improve the kitchen and primary bathroom spaces to a more modern footprint but maintaining the original plan configuration.

Additional exterior renovations include removing the aluminum sliding glass doors above the carport addition. These doors will be replaced with a fenestration pattern that resembles the wood curtain wall design that faces MacArthur Blvd. Other windows will be replaced in kind with wood clad units. Casement windows are being proposed in the gable end in lieu of sliding windows to meet bedroom egress requirements. Proportions will be similar.

Other exterior renovations include replacing the failing balcony railing with a complementary but a code compliant design, roofing, restoring damaged trim and siding with compatible materials, and a new flagstone rear patio and walks as show on the plan.

We thank you for your time and consideration.

Sincerely,



Robert C Black, AIA, Architect