

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7136 Carroll Ave., Takoma Park	Meeting Date:	10/12/2022
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	10/05/2022
Applicant:	Nancy Martin (Jesse Karpas, Agent)	Public Notice:	09/28/2022
Review:	HAWP	Tax Credit:	n/a
Permit No.:	1006013	Staff:	Rebecca Ballo
Proposal:	New Retaining Wall and Driveway Alteration and Tree Removals		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource to the Takoma Park Historic District
STYLE: Craftsman-style American Foursquare
DATE: c.1915-1925



Figure 1: The subject property, shown with the yellow star, is located on the western side of Carroll Avenue near the Takoma Junction Commercial District.

PROPOSAL

The applicant proposes to remove the existing retaining walls and construct new retaining walls, enlarge the driveway by 2', replace the existing concrete walkway and steps in-kind, and remove one small tree from the front yard.

APPLICABLE GUIDELINES

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The subject property is classified as an Outstanding Resource. Notes in the *Design Guidelines* show that the property was singled out for note due to its "architectural details" (pg. 36 of 92); the *Design Guidelines* also note that this house is the twin of the Foursquare at 7138 Carroll Avenue. Outstanding Resources are those that may claim, "... outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historical associations that make the resource especially representative of an architectural style, it must be especially important to the history of the district, and/or it must be especially unique within the context of the district."

While Outstanding Resources will receive careful attention during design review, changes are permissible.

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources include the following:

- Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks, and materials;
- Emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way;
- While additions should be compatible, they are not required to be replicative of earlier architectural styles;
- Preservation of original and distinctive architectural features, such as porches, dormers, decorative details, shutters, etc. is encouraged;
- Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged;
- Preservation of original building materials and use of appropriate, compatible new materials is encouraged;
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story, stucco-clad, Craftsman-style American Foursquare. The house has finely detailed brackets along the primary roof overhang and on the dormer eaves. The applicant proposes to remove the existing low masonry wall along Carroll Avenue and the shared driveway with 7138 Carroll Avenue to the east, replace the existing concrete walkway and steps in kind, and remove one small White Mulberry from the front yard that will be directly impacted by the wall construction.

The existing masonry wall is constructed from non-descript masonry blocks that define the edge of the driveway and extend around the corner on Carroll Avenue to the concrete steps and walkway that traverse the center of the front yard. The applicant is proposing to remove this small retaining wall and construct a

new retaining wall from fieldstone/bluestone. The new wall will match the existing in terms of height. The wall will move two feet inwards towards the house on the northern side, thereby expanding the existing driveway. The new driveway area will have an expanded concrete pad to match the existing.

The proposed replacement of the existing concrete walkway and steps is in kind work and while described in this application, it does not require a HAWP.

The applicant is also proposing to remove one (1) tree as part of this proposal. Two (2) other trees that will be removed and that are detailed in the City of Takoma Park's arborist report (attached to the application) do not require the HAWP. One of those trees is smaller than 6" d.b.h. and the second of those trees is dead and can be removed as a matter of course. The one (1) tree under consideration that is subject to the HAWP is a 6.9" d.b.h. White Mulberry in the right front corner of the yard adjacent to the existing driveway and retaining wall. Takoma Park does not require its own permit for the removal of this tree as they consider it 'undersized'; however, it does need HAWP approval for removal as it is greater than the required 6" d.b.h.

This alteration to the retaining wall will not have a detrimental impact to the character of the site or the District as a whole. The *Design Guidelines* are largely silent on retaining walls, except to note in cases of new construction that applicants are encouraged to "use of decorative stone retaining walls (where required by topographic changes) and occasionally fences to define a sidewalk line and separate yards from street". Since this alteration does not impact the architectural character of the Outstanding Resource itself, and will be an attractive and compatible element along the streetscape, staff recommend the HPC approve the HAWP for the wall. The enlargement of the driveway is a negligible change and the new concrete/paved area along the length of the new wall will not have a detrimental impact on the architectural character of the resource. The White Mulberry proposed for removal is a small invasive tree that does not contribute to the mature tree canopy of the District.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1)(2), and (d), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A; that the proposal is in keeping with the *Design Guidelines*,

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3404 or rebeccah.ballo@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:

HAWP# 1006013

DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Nancy Martin
Address: 7136 Carroll ave
Daytime Phone: 301-437-1092

E-mail: benandnancy7136@gmail.com
City: Takoma Park Zip: 20912
Tax Account No.: 01077577

AGENT/CONTACT (if applicable):

Name: Jesse Karpas / Tillerman Gardens
Address: 10205 Riggs Road
Daytime Phone: 301-213-6693

E-mail: jessek@tillermangardens.com
City: Adelphi Zip: 20783
Contractor Registration No.: 132027

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name 13
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7136 Street: Carroll ave
Town/City: Takoma park Nearest Cross Street: Carroll ave
Lot: 12 Block: 2 Subdivision: 0025 Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|---|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature
Signature of owner or authorized agent

9/7/2022
Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

ROSENTHAL BENJAMIN M &
NANCY S MARTIN
7134 Carroll ave
Takoma Park MD 20912

Owner's Agent's mailing address

Jesse Karpas / Tillerman Gardens, LLC.
10205 Riggs Road
Adelphi MD 20783

Adjacent and confronting Property Owners mailing addresses

GORMAN FAMILY TRUST
GORMAN GREGORY H
TRUSTEE ET AL

7134 Carroll ave
Takoma Park MD 20912

LEE NADEREH & JAMES
7134 Carroll ave
Takoma Park MD 20912

7138 Carroll Avenue
Takoma Park, MD 20912

25 Holt Place
Takoma Park, MD 20912

7133 Carroll Avenue
Takoma Park, MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing block retaining wall at the front of the property line extending up the side of the driveway.
Existing concrete steps and walkway.
Wall has colorful mosaic ceramic tile pieces on the face and PA flagstone as the wall cap.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Remove existing block and stone wall facing carroll ave and replace with a bluestone wall.
The wall will run across the front property line and up the side of the driveway.
Thin bluestone stacked stone wall with matching natural stone cap.
The wall section along the driveway will move in 2 ft towards the house, making the driveway wider.
The wall will be the same height as existing.
Replace the existing concrete steps and walkway with matching concrete color.

Work Item 1: Replace retaining wall

Description of Current Condition:

Existing block retaining wall at the front of the property line extending up the side of the driveway.
Existing concrete steps and walkway.
Wall has colorful mosaic ceramic tile pieces on the face and PA flagstone as the wall cap.

Proposed Work:

Remove existing block and stone wall facing carroll ave and replace with a bluestone wall. The wall will run across the front property line and up the side of the driveway.
Thin bluestone stacked stone wall with matching natural stone cap.
The wall section along the driveway will move in 2 ft towards the house, making the driveway wider.
The wall will be the same height as existing.
Replace the existing concrete steps and walkway with matching concrete color.

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:









Image capture: Nov 2021 © 2022 Google

Takoma Park, Maryland

Google

Street View - Nov 2021



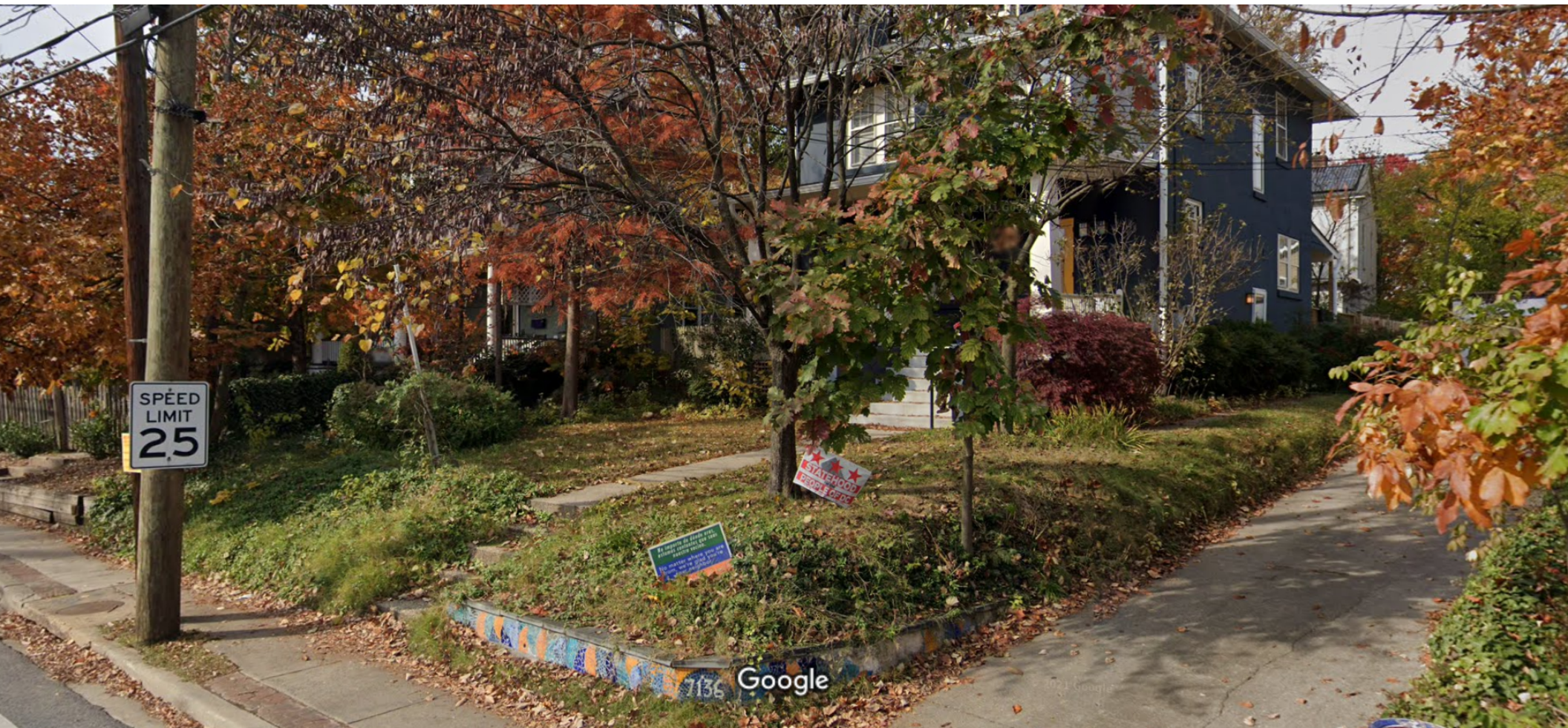


Image capture: Nov 2021 © 2022 Google

Takoma Park, Maryland

Google

Street View - Nov 2021

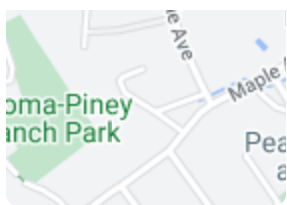




Image capture: Nov 2021 © 2022 Google

Takoma Park, Maryland

Google

Street View - Nov 2021

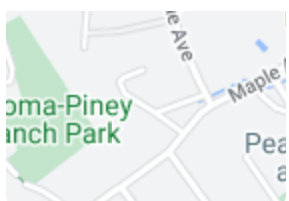


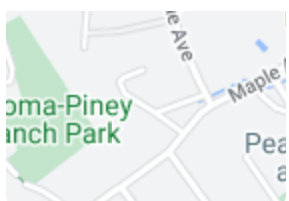


Image capture: Nov 2021 © 2022 Google

Takoma Park, Maryland

Google

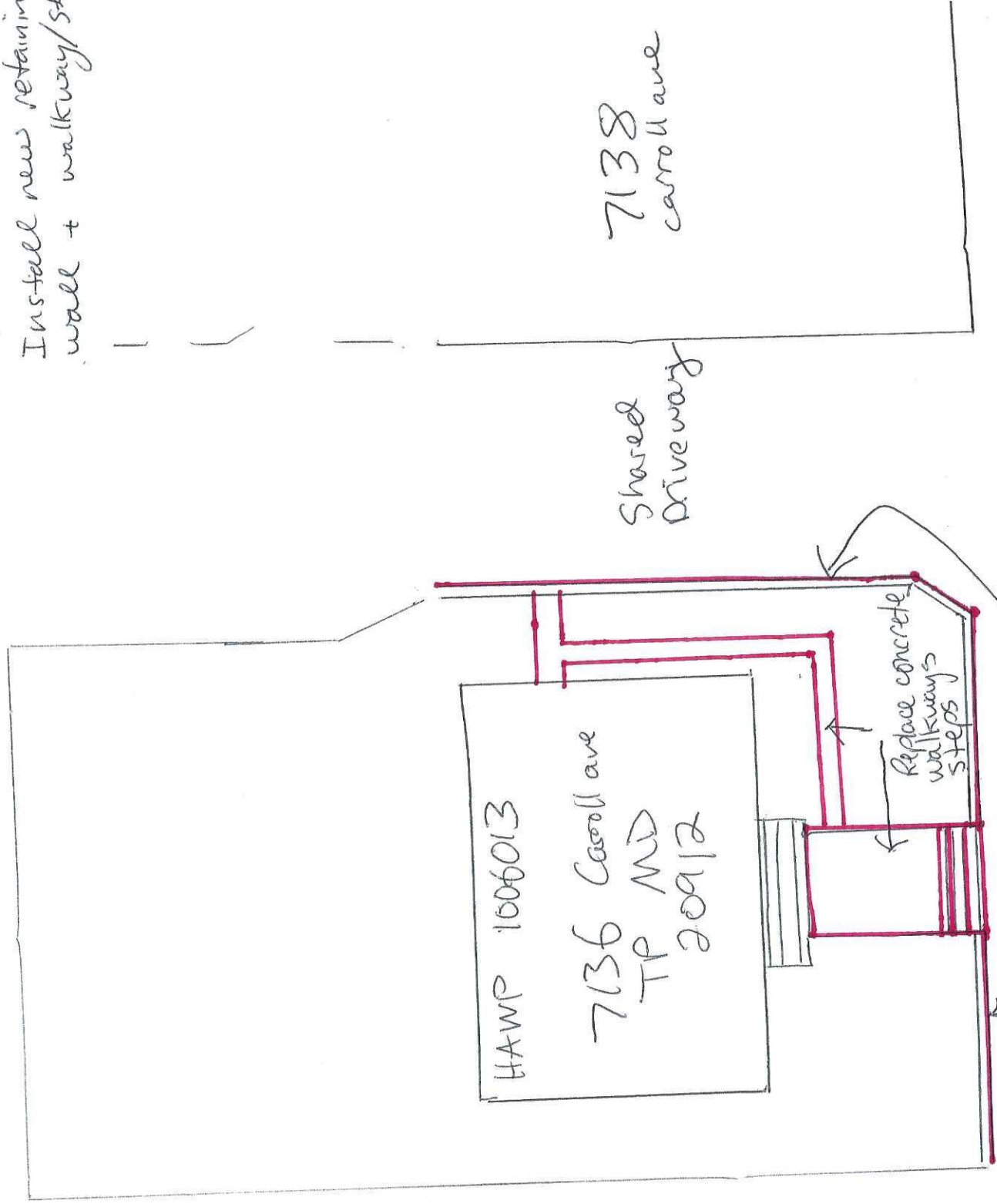
Street View - Nov 2021



Site Plan

HAWP 1006013

Install new retaining wall + walkway/steps



7138
Carroll ave

Shared
Driveway

Replace wall with stacked stone
Carroll ave

Work description HAWP

Historic Area Work Permit 1006013

Replace block wall with bluestone wall

For:

Nancy Martin

7136 Carroll ave

Takoma Park MD 20912

Remove and replace retaining wall.

Remove existing block and stone wall facing carroll ave and replace with a bluestone wall.

The wall will run across the front property line and up the side of the driveway.

Thin bluestone stacked stone wall with matching natural stone cap.

The wall section along the driveway will move in 2 ft towards the house, making the driveway wider.

The wall will be the same height as existing.

Replace the existing concrete steps and walkway with matching concrete color.

7136 Carroll Avenue, Takoma Park

HAWP #1006013

Tree Survey Information

----- Forwarded message -----

From: **Online Customer Service Center** <TakomaParkMD@mycusthelp.com>

Date: Tue, Jul 26, 2022 at 2:21 PM

Subject: Tree Removal Request :: W009415-072522

To: benandnancy7136@gmail.com <benandnancy7136@gmail.com>

07/26/2022

APPLICATION NUMBER [W009415-072522](#)

Nancy Martin

7136 Carroll Ave.

Takoma Park, MD 20912

Re: Tree Removal Application at:

7136 Carroll Ave.

Takoma Park MD 20912

Dear Nancy Martin:

This letter is a response following your Tree Removal Permit Application and the Urban Forest Manager's inspection of the tree. The following are the details from the assessment:

Tree Type: **NORWAY MAPLE**

Trunk Diameter: **5.5 inches**

Tree Location Relative to House: **FRONT LEFT**

Assessment Notes:

Completely dead. Under protected size.

Since this tree does not qualify as an Urban Forest Tree at this time, no permit is required and you may proceed with removal as you wish.

If you have any questions, please contact the Urban Forest Manager by replying to this email.

7136 Carroll Avenue, Takoma Park
HAWP #1006013
Tree Survey Information

----- Forwarded message -----

From: **Online Customer Service Center** <TakomaParkMD@mycusthelp.com>
Date: Tue, Jul 26, 2022 at 2:23 PM
Subject: Tree Removal Request :: W009416-072522
To: benandnancy7136@gmail.com <benandnancy7136@gmail.com>

07/26/2022

APPLICATION NUMBER [W009416-072522](#)

Nancy Martin
7136 Carroll Ave.
Takoma Park, MD 20912

Re: Tree Removal Application at:
7136 Carroll Ave.
Takoma Park MD 20912

Dear Nancy Martin:

This letter is a response following your Tree Removal Permit Application and the Urban Forest Manager's inspection of the tree. The following are the details from the assessment:

Tree Type: **WHITE MULBERRY**
Trunk Diameter: **6.9 inches**
Tree Location Relative to House: **FRONT RIGHT**

Assessment Notes:

Tree is healthy. Under minimum protected size, no permit required.

Since this tree does not qualify as an Urban Forest Tree at this time, no permit is required and you may proceed with removal as you wish.

If you have any questions, please contact the Urban Forest Manager by replying to this email.

7136 Carroll Avenue, Takoma Park
HAWP #1006013
Tree Survey Information

----- Forwarded message -----

From: **Online Customer Service Center** <TakomaParkMD@mycusthelp.com>
Date: Tue, Jul 26, 2022 at 2:20 PM
Subject: Tree Removal Request :: W009414-072522
To: benandnancy7136@gmail.com <benandnancy7136@gmail.com>

07/26/2022

PERMIT NUMBER [W009414-072522](#)

Nancy Martin
7136 Carroll Ave.
Takoma Park, MD 20912

Re: Tree Removal Permit Application for tree located at:
7136 CARROLL
TAKOMA PARK MD 20912

Dear Nancy Martin:

A permit has been granted to remove the following tree from your property. This email is your permit.

Tree Type: **NORWAY MAPLE**

Trunk Diameter: **6.5 inches**

Tree Location Relative to House: **FRONT LEFT**

Determination: **The tree has been determined to be dead and/or hazardous.**

Assessment Notes:

Dead. Under minimum protected size

Please follow the link below to find a template notice of tree removal. Please print this, fill in the required information, and post in your front window or yard with the permit number noted.

<https://documents.takomaparkmd.gov/government/public-works/Trees/Dead-Hazardous%20Permitted%20Tree%20Removal%20Notice%205.6.2022.pdf>

7136 Carroll Avenue, Takoma Park

HAWP #1006013

Tree Survey Information

Note that because this tree has been determined to be dead and/or hazardous a replacement tree planting is not required as a condition for receiving a permit. However, we always encourage property owners to plant trees to maintain the urban forest canopy whenever possible.

TREE WORK DONE FOR HIRE IN THE CITY OF TAKOMA PARK MUST BE CARRIED OUT BY A MARYLAND STATE LICENSED TREE EXPERT (LTE). HIRING SOMEONE WHO IS NOT LICENSED IS A VIOLATION OF CITY AND STATE LAW. MAKE SURE YOUR CONTRACTOR HAS AN LTE NUMBER BEFORE YOU HIRE THEM.

If you have any questions, please contact the Urban Forest Manager by replying to this email.