

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	4000 Jones Bridge Rd., Chevy Chase	Meeting Date:	8/17/2022
Resource:	Individually Listed Master Plan Site (Hayes Manor #35/10)	Report Date:	8/10/2022
Applicant:	Howard Hughes Medical Institute Susan Pommerer, Architect	Public Notice:	8/3/2022
Review:	Preliminary Consultation	Staff:	Dan Bruechert
Proposal:	Site Work, House Rehabilitation, and Landscape Master Plan		

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions to the proposal based on the HPC's feedback and return for a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Individually Listed Master Plan Site #34/010 Conley House/Green Ridge
STYLE: Georgian
DATE: 1767 w/ later alterations



Figure 1: The Master Plan Site is located in the southwest corner of the Howard Hughes Medical Institute Campus.

From *Places from the Past*:

“One of the earliest and best-preserved examples of Georgian style architecture in the region, Hayes Manor is characterized by refined detail and high-quality workmanship. The residence was built about 1767 for Reverend Alexander Williamson, rector of Prince George’s Parish of the Anglican Church, one of the richest parishes in the Maryland colony. Williamson named the property Hayes after the home of William Pitt, Prime Minister of Britain. With the separation of church and state after the revolution, the Anglican Church was no longer Maryland’s established church and Williamson’s tax-supported salary ceased. He retreated to Hayes Manor until his death in 1792.

The brick residence has two front facades, customary for high-style Georgian houses. Both facades have expensive all-header bond brick. The south entrance opens into a front stair hall in a double pile plan. East and west wings were built in 1899 and 1908, designed by architect Walter Peter in a compatible style. Notable landscape features include a formal boxwood garden, evidence of a bowling green, and the Dunlop family cemetery. For 173 years, the Dunlop family owned Hayes Manor, beginning with Scottish immigrant James Dunlop who owned the estate from 1792.”

PROPOSAL

The applicant proposes to rehabilitate the house for it to serve as the primary residence for the Howard Hughes Medical Institute’s (HHMI) president and improve the surrounding landscape and hardscape to serve its new use.

APPLICABLE GUIDELINES

Proposed alterations to individual Master Plan Sites are reviewed under Montgomery County Code Chapter 24A (Chapter 24A) and the *Secretary of the Interior’s Standards for Rehabilitation*.

Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The proposed work discussed at this Preliminary Consultation will help put Hayes Manor back into productive use. The house sits largely empty, but will be converted into the HHMI president's house. In addition to the restoration work (discussed below), several changes are required to bring the house and surrounding grounds to meet the needs of the property's use and contemporary building codes. The applicant compiled a thorough analysis of the building and landscape development which are included with the application materials.

The subject property as it exists today is developed over 200 years. The original brick, five-bay, side gable house is typical of high-style Georgian architecture. The subject property could be accessed from both Jones Bridge Rd. and Old Brookeville Rd. which is why the north and south elevations are highly decorated and the building has no 'front.' Historically, the house maintained several formal gardens that have been altered over time, each with its own internal symmetry. Plans for rehabilitating these landscapes are being developed, but are not the subject of this Preliminary Consultation

The area to the east of the house contained the outbuildings necessary to maintain an estate of this size including a carriage house, agricultural buildings, barns, and quarters for those enslaved on the property. Over time, other buildings were added and demolished (see the attached landscape developmental history)

and the Dunlop family was re-interred on site under the existing obelisk to the east of the house.

A portion of the HHMI campus was constructed in the environmental setting of the Hayes Manor and other landscapes and hardscape changes have been made subject to HPC review. The most significant change to the site since it was designated is likely the 2003 relocation of the 1 ½ story bungalow from the area immediately to the northeast of the historic house several hundred feet to the north.

In Kind Replacement and Repairs

Staff finds the proposal to replace the slate and standing seam metal roofs along with new chimney caps is in-kind work that will not require a HAWP; however, specifications for those materials should be submitted to Staff before beginning the work. Additionally, cleaning and repairing the historic brickwork will not require a HAWP. No method or specification for the brickwork was included in the description for the work. Staff encourages the applicant to use the gentlest means possible following the guidance provided in Preservation Briefs #1 *Cleaning and Water-Repellent Treatments for Historic Masonry Buildings* and #2 *Repointing Mortar Joints in Historic Masonry Buildings*.

Site Work

Several modifications are proposed to the existing landscape and hardscape surrounding the house. Staff will address these modifications in the order presented in the application.

#1 - The existing drive to the south of the house is gravel with indefinite edging. The applicant proposes to widen this drive and pave this drive with exposed aggregate concrete. Staff finds that this material will provide a more stable surface while still providing a textured appearance. Staff supports the new material, but measurements of the existing and proposed width need to be included in the HAWP application.

#2 – To the west of the existing drive, there is a gravel turnaround. The applicant proposes to enlarge the turnaround and pave it with matching concrete with a cobbled edge. From Staff's own experience, the existing turnaround is difficult to effectively navigate, and increasing the required turning radius is necessary for site circulation. As with the drive discussed above, Staff requests existing and proposed dimensions with the final HAWP application to effectively evaluate the proposal.

#3 – The applicant proposes to connect the HHMI campus to the Hayes Manor with an accessible path. Additional paths a proposed adjacent to the north and west elevations for accessible site circulation. Material specifications were not included with the proposed work, and due to the grade change on site, Staff expects several areas will require a handrail.

Staff requests feedback from the HPC on the recommended material for these paths and any railings. Staff acknowledges there are competing objectives for this path between, aesthetics, accessibility, and maintenance.

#4 – The site has no stormwater management facilities. The applicant will be required to bring those facilities up to code using primarily Environmental Site Design, which utilizes small-scale, non-structural techniques that have characteristics closer to natural runoff conditions. A bioretention area is proposed to the southwest of the access drive. This feature will be integrated into the landscape. Staff finds these proposals will have a minor impact on the character of the site.

#5 – On the north side of the detached garage, there is a corrugated metal shed roof covering a maintenance area. The applicant proposes to remove the roof and construct a perforated brick enclosure for maintenance equipment and materials. Staff finds the existing shed roof does not contribute to the character of the site and requests the HPC's feedback on the proposed enclosure.

#8 – The north patio is constructed out of randomly sized stone dry set pavers and bricks. Over the years, the surface has settled and the pavers are uneven and damaged. Staff concurs that the pavers are unsafe and need to be removed and replaced (or at the very least, relaid on an even substrate). The applicant proposes to re-grade some sections of paving around the house and install new paving. Details for the replacement paving material was not included in the application materials. Staff request feedback from the HPC for the preferred material for the north patio.

Building Alterations

While most of the work proposed on the house is restorative in nature, several alterations and selective demolition are proposed. To better illustrate the changes proposed to the house, Staff's discussion begins at the south entrance and continues counterclockwise around the house. The discussion will note the item numbers used in the submitted materials.

On the south elevation, the applicant proposes to recreate the rusticated door surrounding and south porch. Both of these features were recorded in the 1962 HABS documentation. The design of the door surround may date to the house's construction. The south porch most likely dates from sometime between 1792 and 1849 (see 'Manor House Period 2A' in the submitted documentation). Staff finds a historical basis for both of these changes and will recommend approval for these changes when the HAWP is submitted.

To the right of the entrance, between the c.1900 east addition and detached garage, there is a c.1980 greenhouse. The applicant proposes to demolish the c.1980 greenhouse (#7). In place of the greenhouse, the applicant proposes constructing an accessible entrance with a wood pergola covered by a metal roof to create a covered breezeway between the structures. The greenhouse is clearly not a historic feature, so its demolition should be approved as a matter of course. Staff finds the new feature is mostly transparent, which allows the non-historic garage to read as the later construction it is. Staff finds this proposal is consistent with Standards 2, 9, and 10 and would recommend the HPC approve the HAWP.

On the north side of the building, there is a section of flat roof that houses three HVAC units. Due to the placement of the HVAC units and their small size, they are not visible from the surrounding landscape. After the roof is replaced, the applicant proposes to construct a louvered penthouse on top of a new platform in the same location. Staff has no concerns about installing the small penthouse; however, material specifications were not included with the application materials. Staff's preference is wood louvers for such an important house but welcomes HPC feedback and recommendations.

The applicant proposes recreating the rusticated door surround on the north elevation. This door treatment was also documented by HABS in 1962. Staff supports this work and the level of documentation will allow this decorative feature to be accurately re-created. Staff will support the approval of a HAWP for this work.

Sometime between 1908 and 1962 a sunroom was added to the west of the historic building. The sunroom stairs do not have a landing that satisfies the current building code. The applicant proposes to extend the brick stairs on the north and south sides and raise the grade to create an accessible entrance from the new patio to the west (#9).

Staff supports this alteration in concept, but the plans provided do not allow for a true comparison between the existing and proposed. Staff requests measured drawings of the existing and proposed conditions be submitted with the HAWP application.

The final change proposed for the house is installing new mechanical systems in the attic of the historic core of the house. To allow proper ventilation, the applicant proposes removing three attic windows and installing mechanical louvers in the openings (#14). No details about the louvers were included in the

submitted materials.

Before formulating a recommendation, Staff has several questions about the condition of the existing openings and windows. It appears that these are historic window openings. In thoroughly evaluating this proposal, the condition of the windows needs to be submitted with the HAWP. Additionally, detailed specifications for the louvers need to be evaluated before Staff can make a recommendation on this work item. Staff recognizes that it is preferable to accommodate new ventilation through existing openings rather than creating new openings in the roof or walls, which makes Staff inclined to support this element with the identified additional information.

Staff finds the proposed work is generally consistent with Chapter 24A and the Secretary of the Interior's Standards for Rehabilitation. To guide the applicant on revisions before the final HAWP submission, Staff requests HPC feedback on:

- The appropriateness of the amount of new hardscaping;
- Recommended hardscaping materials;
- The appropriateness of the mechanical penthouse on the north elevation;
- The treatment of the new pergola between the house and detached garage;
- The proposal to install mechanical louvers in existing window openings; and
- Any additional feedback.

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions to the proposal based on the HPC's feedback and return for a second Preliminary Consultation as architectural plans are developed.



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# 1001591

DATE ASSIGNED

APPLICANT:

Name: Howard Hughes Medical Institute
c/o Robert "OB" Obrist

E-mail: obristr@hhmi.org

Address: 4000 Jones Bridge Road

City: Chevy Chase, MD Zip: 20815

Daytime Phone: (301) 215-8608

Tax Account No.: 00425422

AGENT/CONTACT (if applicable):

Name: SmithGroup
c/o Susan Pommerer, AIA - Principal

E-mail: susan.pommerer@smithgroup.com

Address: 1700 New York Avenue NW, Suite 100

City: Washington, DC Zip: 20006

Daytime Phone: (202) 974-0847

Contractor Registration No.: TBD

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 35/10

Is the Property Located within an Historic District? Yes/District Name
X No/Individual Site Name Hayes Manor

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

2016 Final Forest Conservation Plan and 1999 & 2002 Easement Agreements with Columbia Country Club
Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 35/10 Street: 4000 Jones Bridge Road

Town/City: Chevy Chase, MD Nearest Cross Street: Connecticut Avenue

Lot: ? Block: 26 Subdivision: Hayes Manor Parcel: B Plat No. 23792

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--------------------------------------------------------|---------------------------------------------------------|-----------------------------------------------------------|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Susan Pommerer
Digitally signed by Susan Pommerer
DN: E=Susan.Pommerer@smithgroup.com, CN=Susan
Pommerer, OU=SmithGroup, OU=DC=DC, smithgroup, DC=com
Date: 2022.07.27 14:20:50-04'00'

July 27, 2022

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's Mailing Address: Howard Hughes Medical Institute c/o Mr. Robert "OB" Obrist 4000 Jones Bridge Road Chevy Chase, MD 20815	Owner's Agent Mailing Address: SmithGroup c/o Susan Pommerer 1700 New York Avenue NW, Suite 100 Washington, DC 20006
Adjacent and Confronting Property Owners Mailing Addresses:	
Allen M. Hutter 3905 Jones Bridge Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-00671492 Lot 5 Block 1	SUNA SEO TIMOTHY Y SEO 3909 Jones Bridge Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-00671388 Lot 7 Block 1
Jana L. Mason, Trustee The Jana L. Mason Trust P. O. Box 15126 Chevy Chase, MD 20825 Tax Acct. No. 07-02850862 Lot 8 Block 1	IAN LEE AMANDA LEE 8801 Spring Valley Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-00670910 Lot 9 Block 1
Nancy C. Wong 8800 Connecticut Ave. Chevy Chase, MD 20815 Tax Acct. No. 07-02645803 Lot P15 Block 1	MICHAEL LEO FLANAGAN JACQUELINE LANEZ FLANAGAN 8801 Kensington Pkwy Chevy Chase, MD 20815 Tax Acct. No. 07-00526446 Lot P3, Pt Lt 4 Block 1
Sakineh Zarakhtar et. al. 8800 Spring Valley Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-00671561 Lot 1 Block 7	Chevy Chase Land Co. 5471 WISCONSIN AVE # 320 Chevy Chase, MD 20815 Tax Acct. No. 07-00466741 Lot 1-6 Block 22
Chevy Chase Land Co. 5471 WISCONSIN AVE # 320 Chevy Chase, MD 20815 Tax Acct. No. 07-00466785 Lot 7-12 Block 22	MARY ELLEN MURPHY 8514 Lynwood Pl. Chevy Chase, MD 20815 Tax Acct. No. 07-00466923 Lot 13 Block 24
Kitty C. Barry Revocable Trust 4004 Manor Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-00467255 Lot 5 Block 24	JULIAN E GILLESPIE HEATHER A GILLESPIE 8519 Longfellow Place Chevy Chase, MD 20815 Tax Acct. No. 07-00467142 Lots P3 & 4 Block 24
JORGE F. CHAMOT ALLISON ARIAS 3904 Manor Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-00467290 Lot 9 Block 25	VINCENZO SALINA AMORINI BOLOGNINI 8515 Lynwood Pl. Chevy Chase, MD 20815 Tax Acct. No. 07-00466706 Lots P7 & 8 Block 25
Joan N. Pickett Tr. 3719 Village Park Dr. Chevy Chase, MD 20815 Tax Acct. No. 07-03028066 Lot 10 Block A	Daniel S. Goldberg & Marion K. Goldberg 8616 Village Park Pl. Chevy Chase, MD 20815 Tax Acct. No. 07-03028077 Lot 11 Block A
Steven I. & W.E. Silver LIVING TRUST 3713 Village Park Dr. Chevy Chase, MD 20815 Tax Acct. No. 07-03028033 Lot 7 Block A	Robert H. & A.N. Thompson 3715 Village Park Dr. Chevy Chase, MD 20815 Tax Acct. No. 07-03028044 Lot 8 Block A

JOHN J KEELING PATRICIA MONTILLA-KEELING 3717 Village Park Dr. Chevy Chase, MD 20815 Tax Acct. No. 07-03028055 Lot 9 Block A	ALEXANDER VILYASOV MARY GRACE TABAKIN 3709 Village Park Dr. Chevy Chase, MD 20815 Tax Acct. No. 07-03028000 Lot 5 Block A
Jacqueline R. Kneppshield REVOCABLE TRUST 3711 Village Park Dr. Chevy Chase, MD 20815 Tax Acct. No. 07-03028011 Lot 6 Block A	CHARLES J FASELIS DOMINIQUE HOWARD 8617 Village Park Pl. Chevy Chase, MD 20815 Tax Acct. No. 07-03028215 Lot 1 Block B
Sukhjot S. Sidhu & Jagdish K Sidhu 3803 Village Park Dr. Chevy Chase, MD 20815 Tax Acct. No. 07-03028226 Lot 2 Block B	NANCY A RYAN REVOC TR 3805 Village Park Dr. Chevy Chase, MD 20815 Tax Acct. No. 07-03028237 Lot 3 Block B
Aida T. Jarkas 3804 Village Park Dr. Chevy Chase, MD 20815 Tax Acct. No. 07-03028294 Lot 13 Block C	Chevy Chase Park Community Association c/o Management Group Associates 20440 Century Blvd., Suite 100 Germantown, MD 20874 Tax Acct. No. 07-03028022 Parcel C Block C
Chevy Chase Park Community Association c/o Management Group Associates 20440 Century Blvd., Suite 100 Germantown, MD 20874 Tax Acct. No. 07-03028088 Parcel E Block C	Chevy Chase Park Community Association c/o Management Group Associates 20440 Century Blvd., Suite 100 Germantown, MD 20874 Tax Acct. No. 07-03028306 Part of Parcel G Block C
Dennis W. Schraf, Sr. & H.M. Schraf 8812 Platt Ridge Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-02829488 Lot 1	David F. Hodge, Jr. & P.J. Hodge 8810 Platt Ridge Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-02829490 Lot 2
CHEVY CHASE HOUSE TR 8806 Platt Ridge Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-02829513 Lot 4	Jerome K. & A.R. Blask 8804 Platt Ridge Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-02829524 Lot 5
Mojdeh & Nazir A. Waroich 8808 Platt Ridge Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-02829502 Lot P3	Columbia County Club 7900 Connecticut Ave. Chevy Chase, MD 20815 Tax Acct. No. 07-03580358 N355, Parcel B
HOWARD HUGHES MEDICAL INSTITUTE 4000 Jones Bridge Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-03851725 Parcel N976, Lot 6	Sara G. & M. H. Dent 30 7th St E., Suite 2000 Saint Paul, MN 55101 Tax Acct. No. 07-00425661 Parcel P319
Maryland-National Capital Park & Planning Comm. 2425 Reedie Drive Wheaton, MD 20902 Tax Acct. No. 07-00428607 Parcel P806	VINCENT HORVILLE 4021 JONES BRIDGE ROAD Chevy Chase, MD 20815 Tax Acct. No. 07-00419272 Parcel P912
GREGORY BAYTLER TATYANA BAYTLER 15837 CRABBS BRANCH WAY #A ROCKVILLE, MD 20855 Tax Acct. No. 07-00419283 Parcel P913	BENJAMIN D CLARK SOSHANA L CLARK ET AL 4003 Jones Bridge Rd. Chevy Chase, MD 20815 Tax Acct. No. 07-00426756 Parcel P928
BA B2 RESIDENTIAL LLC 6406 IVY LANE SUITE 700 GREENBELT, MD 20770 Tax Acct. No. 07-03824436 UNIT B2 RES	CHEVY CHASE B2 REATIL LLC 6406 IVY LANE SUITE 700 GREENBELT, MD 20770 Tax Acct. No. 07-03824447 PUNIT B2 RETAIL

Description of Property:

Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The Hayes Manor was built ca. 1767 in the Georgian style, consisting of two and a half stories above grade with a below grade basement in a foursquare configuration. The east wing, consisting of two stories plus a basement, was added in 1899 and the west wing (sun porch addition) and garage were constructed in 1908. A greenhouse connecting the garage to the east wing is thought to have been built in the 1960's. Exterior walls are of solid brick construction and floors are primarily wood-framed. The property is located on the grounds of the Howard Hughes Medical Institute (HHMI) Campus at 4000 Jones Bridge Rd in Chevy Chase, Maryland. The historic structure is approximately 9,000 SF and was documented by the Historic American Building Survey (HABS) in 1962.

In 1984 Hayes Manor was included in the Montgomery County Master Plan for Historic Preservation and was deemed significant under Criteria 1.a, 1.d, and 2.a of the Montgomery County Preservation Ordinance as having significant cultural characteristics of the county/state/nation, exemplifying historic heritage of the community and representing architectural and design significance of a particular period. HHMI purchased the property in 2002 from the Columbia Foundation and the building has for the most part remained vacant since that time.

Hayes Manor is located on approximately 9.44 acres, a small portion of an original tract of land purchased by Alexander Williamson in 1762. The area north of the residence includes landscape gardens, pea gravel pathways, and a guest house. A loop road through the HHMI headquarters campus provides access to campus facilities. Access to Hayes Manor is provided by way of a driveway connecting to the southern end of the loop road. The driveway is asphalt but transitions to gravel near the residence.

Hayes Manor is surrounded by stately, mature walnut, hickory, and oak trees, boxwood garden, and a bowling green. Research has been completed to understand the developmental history of the house and surrounding landscape.

Description of Work Proposed:

Please give an overview of the work to be undertaken:

In early 2021 SmithGroup was hired by HHMI to provide an updated Master Plan for the HHMI Campus that included an evaluation of the future use of Hayes Manor. As part of that process, it was determined that Hayes Manor could be utilized as a residence for the HHMI President and could also support events and receptions while retaining the historic character of the structure. In addition to meeting the functional programmatic needs, the rehabilitation scope will include improvements to accessibility, life-safety, building infrastructure, and deferred maintenance necessary to make this a serviceable and code-compliant structure.

The proposed plan repurposes the house with meeting and entertainment spaces on the first floor with the President's residence on the second floor. The first floor of the main house and the west sunroom will be converted to flexible reception space. The east wing of the first floor will include a meeting/dining room and a residential kitchen which will be served and supported by the main kitchen in the headquarters building. New accessible entrances will be provided into the house and onto a rehabilitated east patio located between the House and the Garage.

The second floor of the House will become the President's private residence. The plan will feature two bedrooms with ensuite bathrooms, a large living and dining room, a modern eat-in kitchen, two offices, and a laundry/ guest bathroom. The second floor is approximately 3,000 gross square feet offering modern living in a historic structure.

In addition to the building renovations, the Owner intends to make improvements to the on-campus circulation system directly related to access to the Hayes Manor to improve accessibility, fire lane access, and stormwater management per county regulations. The scope of the renovation extends to patios, gardens, and landscape areas around the residence. New retaining walls are proposed to extend the outdoor lawn area and address the grade change between the area north of the residence and the loop road.

The project scope includes providing an ADA accessible route from existing HHMI headquarters campus buildings to Hayes Manor; both to the interior of the residence as well as exterior amenity areas. The ADA route begins from an exterior plaza on the east side of the loop road. The elevation of this plaza is lower than the loop roadway so a series of ramps with handrails and landings are proposed. After crossing the loop road, the ADA route will continue west to connect to the new east patio and the residence. The material of the ADA route will be concrete. All ramps will be designed to meet Americans with Disabilities Act (ADA) requirements and are not-to-exceed 12:1 slope. All areas with slopes exceeding 5% shall have illuminated metal handrails.

The project scope includes the need to provide fire department access to the main entrance to Hayes Manor. The existing driveway is not sufficient to provide this access therefore upgrades are required. The width of the existing driveway will need to be increased in select areas to provide a 12' wide minimum drive access. Per Montgomery County requirements, fire hydrants must be spaced not more than 500 feet apart, and within 400 feet from any dead-ends in apparatus travel. Therefore, a new fire hydrant is proposed along the fire access road. Water service to the hydrant will be provided by tapping into the water main within the existing campus loop road.

To allow emergency vehicles to turn around, the existing cul-de-sac towards the west of the residence will be enhanced. The cul-de-sac will be revised to provide a radius sized to allow the fire truck to turn around and exit the area. The new fire access road would be constructed using asphalt.

Stormwater management (SWM) for the development area must be provided in accordance with State and County requirements. SWM requirements for development within the County are defined by Chapter 19 of the Montgomery County code. Environmental Site Design (ESD) practices will be used to treat runoff from the proposed development. The Code defines ESD as using small scale SWM practices, nonstructural techniques, and better site planning to mimic natural hydrologic runoff characteristics to minimize the impact of land development on water resources.

The design of the site and landscape surrounding Hayes Manor seeks to create a landscape that complements the historic character of the building and grounds as well as the Institute's contemporary campus. The landscape shall address several important missions at once: to provide a useful and relaxing residential environment for the President and family; a direct and accessible pedestrian connection between the headquarters building and the residence typified by intuitive and comfortable wayfinding; and a welcoming environment for invited visitors that can support private, catered events. Open spaces will be designed and assessed for their fit into, and enhancement of, the historic landscape quality and the overall campus landscape framework.

Site plantings will include deciduous shade trees, evergreen trees, flowering understory trees, mixed shrubs, ornamental grasses, perennials and annuals, groundcovers and lawn. Exposed areas within plant beds are to be mulched, and all planted areas will be irrigated. Large deciduous shade trees will typically be specified at 5" caliper, depending on species and availability. All plantings will be specified for American Nursery Stock Standards.

Pedestrian walkways will typically be cast-in-place concrete with finishes and coloring consistent with sidewalks elsewhere on the campus. Vehicular areas will typically be asphalt. Select areas will have

enhanced paving materials: (1) bluestone pavers, mortar set, for all patio spaces around the house and garage, and select walkways as noted in the plan. At the driveway entry court, bluestone pavers will be set on a concrete base; (2) seeded cast-in-place concrete for select walkways and the driveway sections closest to the house; (3) colored cast-in-place concrete for the outer plaza north of the house; and (4) permeable concrete unit pavers for the new driveway along the west and north sides of the project site. Driveway edges and bands are to be stone cobbles (aka Belgian block) and mortar set.

Site retaining walls shall be constructed to be seamless continuations of the existing walls and be constructed of matching stone. Stairs shall match the materials and general design of existing site stairs on campus, with bluestone treads and fieldstone risers.

Work Item #1: Drive along South Façade

Description of Current Condition:

An existing gravel drive is located along the south façade of Hayes Manor.

Proposed Work:

The existing gravel drive will be replaced by a seeded aggregate concrete drive near the existing south entry door to the Manor House.

See sheet A1.0 – Overall Site Plan.

Existing Condition Photos:

Work Item #2: Drive Turnaround**Description of Current Condition:**

An existing gravel turnaround is located southwest of the Sunroom.

Proposed Work:

The existing gravel turnaround will be replaced by a seeded aggregate concrete drive with mortar set cobble edge.

See sheet A1.0 – Overall Site Plan.

Existing Condition Photos:

Work Item #3: Accessible Pathways

Description of Current Condition:

The site does not include any accessible pathway connecting the headquarters building to Hayes Manor.

Proposed Work:

The existing site improvements will include an accessible pathway from the headquarters building to a new East Patio at Hayes Manor. An accessible entry into the residence will be provided from the East Patio. Additional accessible pathways and ramps will connect the exterior site areas, including the North and West Patios and driveway adjacent to the Garage, to the residence.

See sheet A1.0 – Overall Site Plan.

Existing Condition Photos:



Work Item #4: Stormwater Management Infrastructure

Description of Current Condition:

There is not stormwater management infrastructure present at the site immediately surrounding Hayes Manor. The HHMI Headquarters campus includes the required infrastructure related to the headquarters building(s) located elsewhere on site, but it is not serving this area.

Proposed Work:

Stormwater management (SWM) for the development area will be provided in accordance with State and County requirements. SWM requirements for development within the County are defined by Chapter 19 of the Montgomery County code. Environmental Site Design (ESD) practices will be used to treat runoff from the proposed development. The Code defines ESD as using small scale SWM practices, nonstructural techniques, and better site planning to mimic natural hydrologic runoff characteristics to minimize the impact of land development on water resources.

To serve the anticipated needs of this site as required per the proposed development a bio-retention area is proposed along the western edge of the access drive from Manor Road. This will occur in a previously disturbed area of the site and will be integrated with the surrounding landscape.

See sheet A1.0 – Overall Site Plan.

Existing Condition Photos:



Work Item #5: Maintenance/ Mechanical Area

Description of Current Condition:

The area north of the garage is used for equipment and material storage. This area is covered by a shed roof clad in corrugated fiberglass roofing.

Proposed Work:

Maintenance equipment, material storage, and the existing shed roof structure will be removed. A new site perforated brick site wall will be constructed to conceal mechanical equipment and a generator to be located at grade along the north side of the garage. A new accessible ramp to the residence from the existing driveway along the north side of the Garage.

See sheet A1.0 - Overall Site Plan.

Existing Condition Photos:



Work Item #6: Rooftop Mechanical Units

Description of Current Condition:

Three (3) existing exterior condensing units are located on a low slope flat seam metal roof along the north side of Hayes Manor. Adjacent portions of the building conceal these units from view and make it difficult to see them from grade.

Proposed Work:

Provide a louvered penthouse for mechanical ventilation set on a dunnage platform on a new standing seam metal roof.

See sheet A1.0 – Overall Site Plan.

Existing Condition Photos:



Work Item #7: Accessible East Patio

Description of Current Condition:

The existing greenhouse (constructed in the 1980s) located between the Manor House and the Garage is in poor condition.

The east plaza between the Manor House and the garage features a damaged trellis which is not structurally stable.

Proposed Work:

The existing greenhouse will be demolished, and a new accessible plaza will provide universal accessibility to the main house between the Manor House and the Garage.

See architectural building elevations. Sheets A4.1 thru A4.4.

A new wood pergola roof with a standing seam metal roof will be constructed between the garage and the Manor House to provide a covered connect between the structures at the new accessible entry.

See sheet A1.0 – Overall Site Plan.

Existing Condition Photos:



Work Item #8: North Patio: Uneven and Damaged Pavers

Description of Current Condition:

The existing walkways and patios do not provide adequate access and slopes for an accessible route, and the existing dry set bluestone pavers are damaged and uneven.

Proposed Work:

Pavers and other areas of concrete paving will be replaced in the north plaza and the east plaza. Clearances and slopes will provide new accessible access and entry into the Manor House.

See sheet A1.0 - Overall Site Plan.

Existing Condition Photos:

Work Item #9: Sunroom West Patio and Steps to Grade

Description of Current Condition:

Existing brick steps outside the French doors along the north, west, and south facades of the sunroom do not provide the minimum landing at an exterior threshold per code.

Proposed Work:

Extend the brick steps out to provide the minimum landing. Extended plaza to be provided at the west elevation to provide an accessible entry into the sunroom from the north plaza.

See sheet A1.0 - Overall Site Plan.

Existing Condition Photos:

Work Item #10: Recreate Historic Rusticated Surround at North and South Door

Description of Current Condition:

The historic rusticated surrounds at the north and south entry to the Manor House have been removed from the façade.

Proposed Work:

Recreate the historic rusticated door surrounds per the HABS documentation.

See overall site plan and architectural building elevations. Sheets A1.1 and A4.1 thru A4.4.

Existing Condition Photos:



Work Item #11: Recreate South Porch**Description of Current Condition:**

The historic south porch that was documented in the 1960s HABS photography has been removed from the building.

Proposed Work:

Recreate the historic south porch per the HABS documentation.

See overall site plan and architectural building elevations. Sheets A1.1 and A4.1 thru A4.4.

Existing Condition Photos:

Work Item #12: Replace Roofing

Description of Current Condition:

Existing roofing is showing sign of wear with exposed flashing and missing roof tiles. Also, select modifications to the roof to remove skylights and other vent penetrations will require patching of the existing roof.

Proposed Work:

Replace the existing slate tile and metal roofing in-kind. Roof replacement will include new copper gutters and drain boxes to match HABS drawings.

See overall site plan and architectural building elevations. Sheets A1.1 and A4.1 thru A4.4.

Existing Condition Photos:



Work Item #13: Repair Brick Masonry Façade

Description of Current Condition:

The existing historic masonry has areas of staining, biological growth, incompatible mortar repairs, cracks in mortar joints, mortar loss.

Proposed Work:

Provide general cleaning and restoration of brick façade.

See architectural building elevations, sheets A4.1 thru A4.4.

Existing Condition Photos:



Work Item #14: Mechanical Louvers

Description of Current Condition:

The attic space of the historic foursquare features four (4) double hung wood windows along the east and west facades.

Proposed Work:

To support the mechanical equipment located in the attic and avoid multiple penetrations in the slate tile roofing, three (3) of the existing window openings will be infilled with mechanical louvers to fit within the existing masonry opening.

See architectural building elevations, sheets A4.1 thru A4.4.

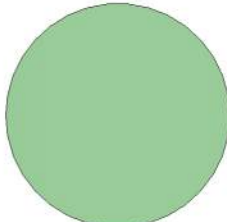
Existing Condition Photos:



LEGEND



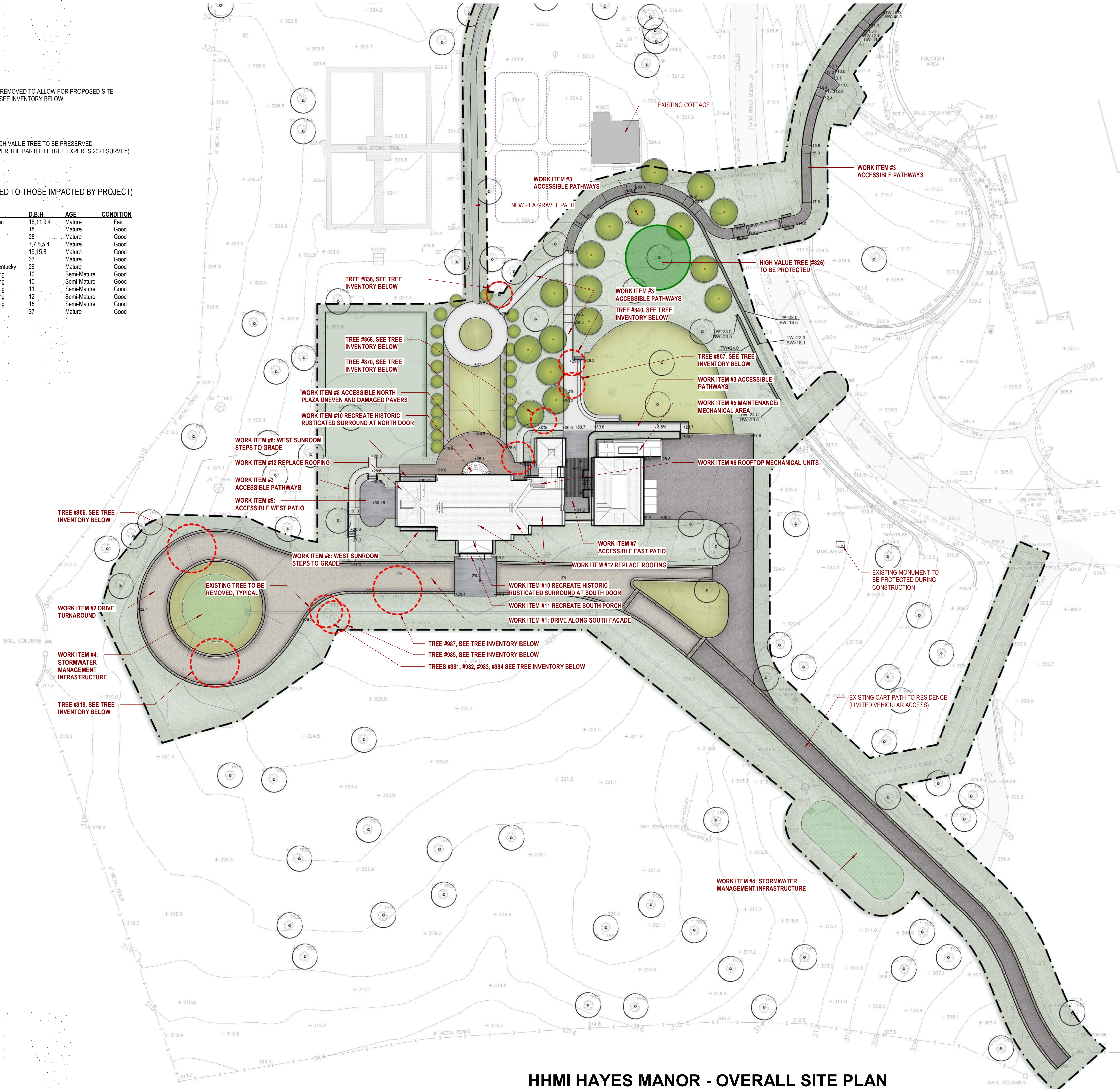
TREE TO BE REMOVED TO ALLOW FOR PROPOSED SITE UPGRADES; SEE INVENTORY BELOW



EXISTING HIGH VALUE TREE TO BE PRESERVED (TREE #826 PER THE BARTLETT TREE EXPERTS 2021 SURVEY)

TREE INVENTORY (LIMITED TO THOSE IMPACTED BY PROJECT)

TREE ID #	SPECIES	D.B.H.	AGE	CONDITION
#836	Holly-American	18,11,9.4	Mature	Fair
#840	Walnut-Black	18	Mature	Good
#867	Locust-Black	28	Mature	Good
#868	Witchhazel	7,7.5,5.4	Mature	Good
#870	Yew	19,15.8	Mature	Good
#906	Oak-White	33	Mature	Good
#918	Coffeetree-Kentucky	26	Mature	Good
#981	Cherry-Weeping	10	Semi-Mature	Good
#982	Cherry-Weeping	10	Semi-Mature	Good
#983	Cherry-Weeping	11	Semi-Mature	Good
#984	Cherry-Weeping	12	Semi-Mature	Good
#985	Cherry-Weeping	15	Semi-Mature	Good
#987	Oak-White	37	Mature	Good



WORK ITEM #1 DRIVE ALONG SOUTH FAÇADE & WORK ITEM #2 DRIVE TURNAROUND
PROPOSED SEEDED AGGREGATE CONCRETE DRIVEWAY WITH MORTAR SET COBBLE EDGE



WORK ITEM #3 ACCESSIBLE PATHWAYS
PROPOSED RETAINING WALLS REQUIRED TO CREATE ACESIBLE PATHWAYS BETWEEN THE HEADQUARTERS AND THE MANOR HOUSE



WORK ITEM #7 ACCESSIBLE EAST PATIO & WORK ITEM #8 ACCESSIBLE NORTH PLAZA: UNEVEN AND DAMAGED PAVERS
PROPOSED EAST PATIO AND EXISTING NORTH PATIO RENEWAL WITH MORTAR SET BLUESTONE PAVERS



WORK ITEM #9 SUNROOM WEST PATIO AND STEPS TO GRADE
PROPOSED STEPS AND NEW WEST PATIO WITH MORTAR SET BLUESTONE PAVERS

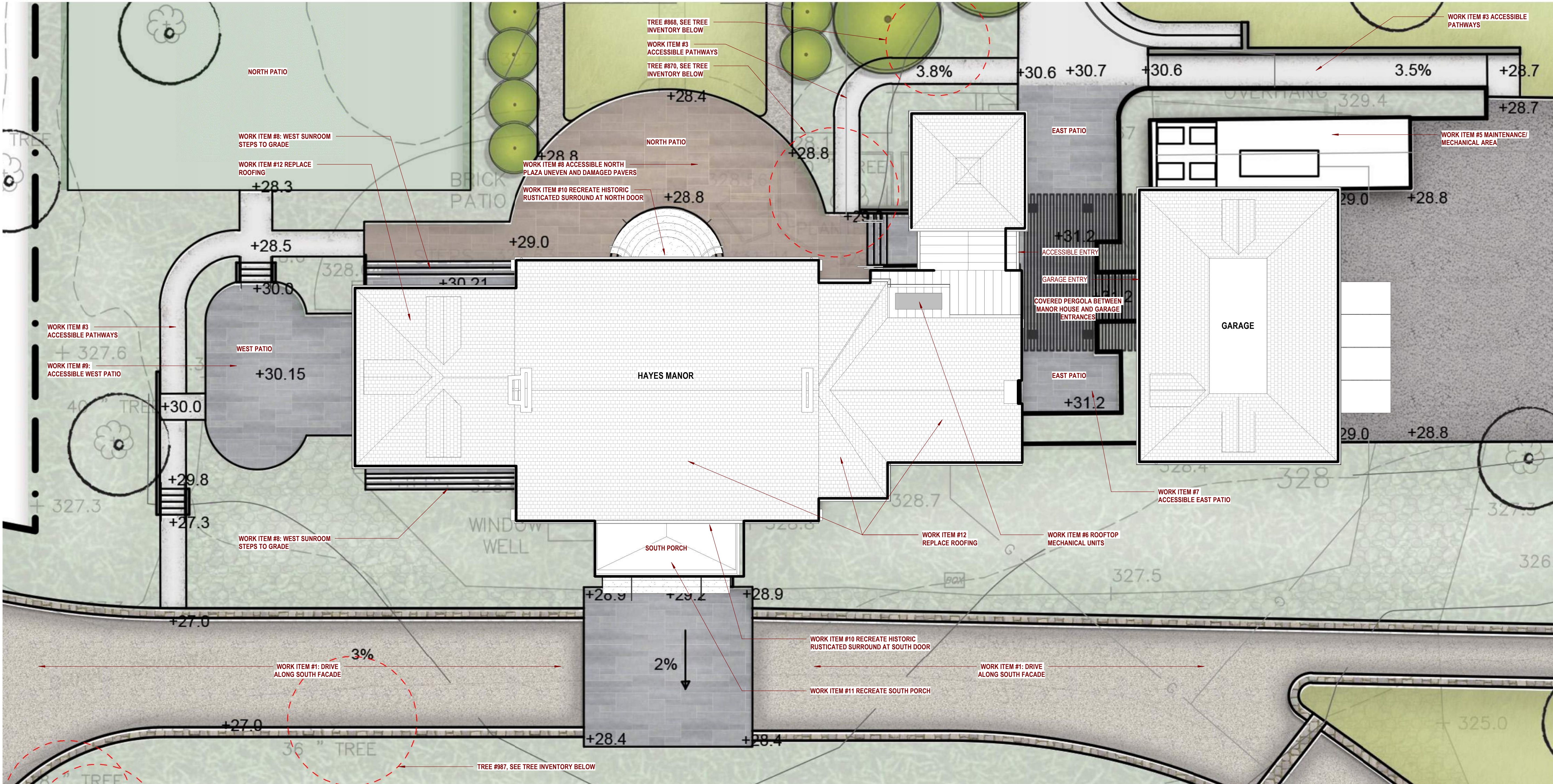


A1.1
SCALE: 1" = 30'-0"


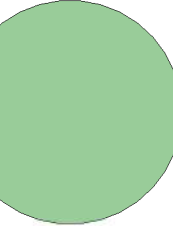
SMITHGROUP

HHMI HAYES MANOR - OVERALL SITE PLAN

4101 Manor Road
Chevy Chase, MD 20815



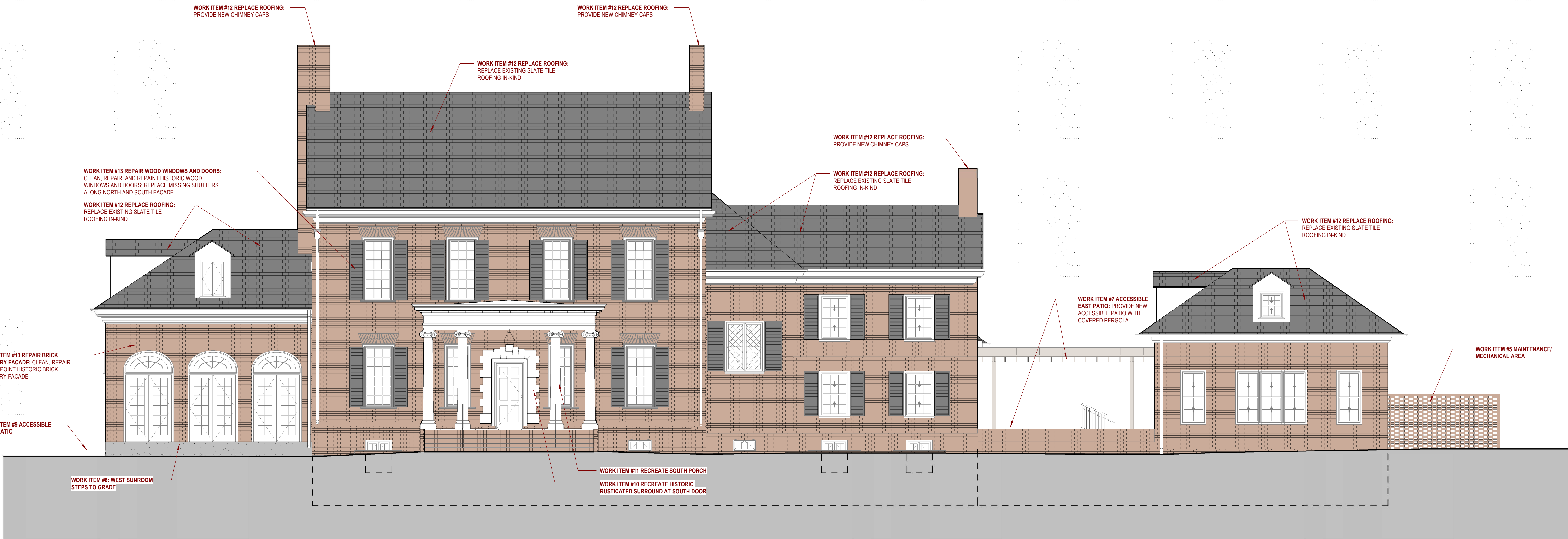
LEGEND

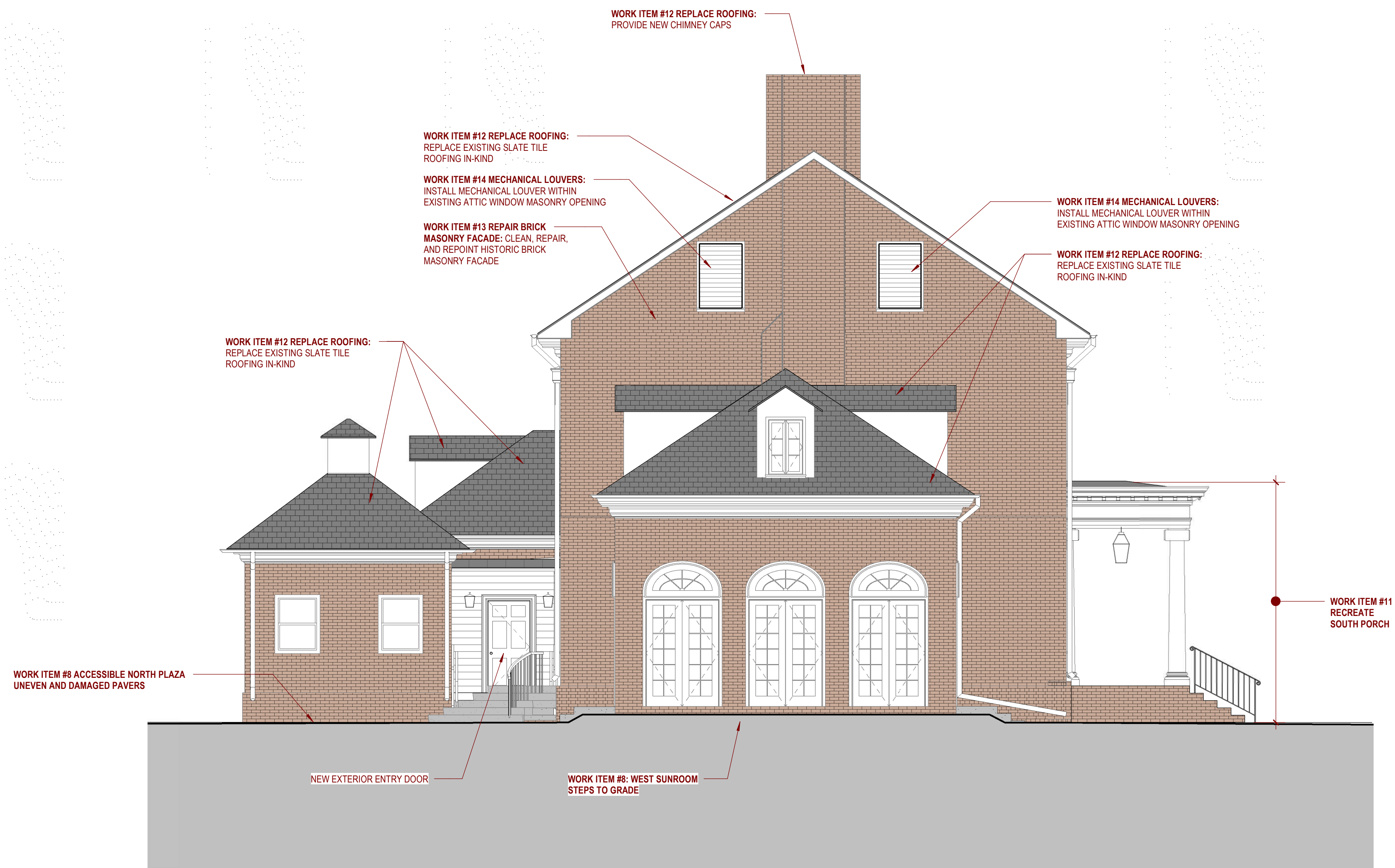
-  TREE TO BE REMOVED TO ALLOW FOR PROPOSED SITE UPGRADES; SEE INVENTORY BELOW
-  EXISTING HIGH VALUE TREE TO BE PRESERVED (TREE #826 PER THE BARTLETT TREE EXPERTS 2021 SURVEY)

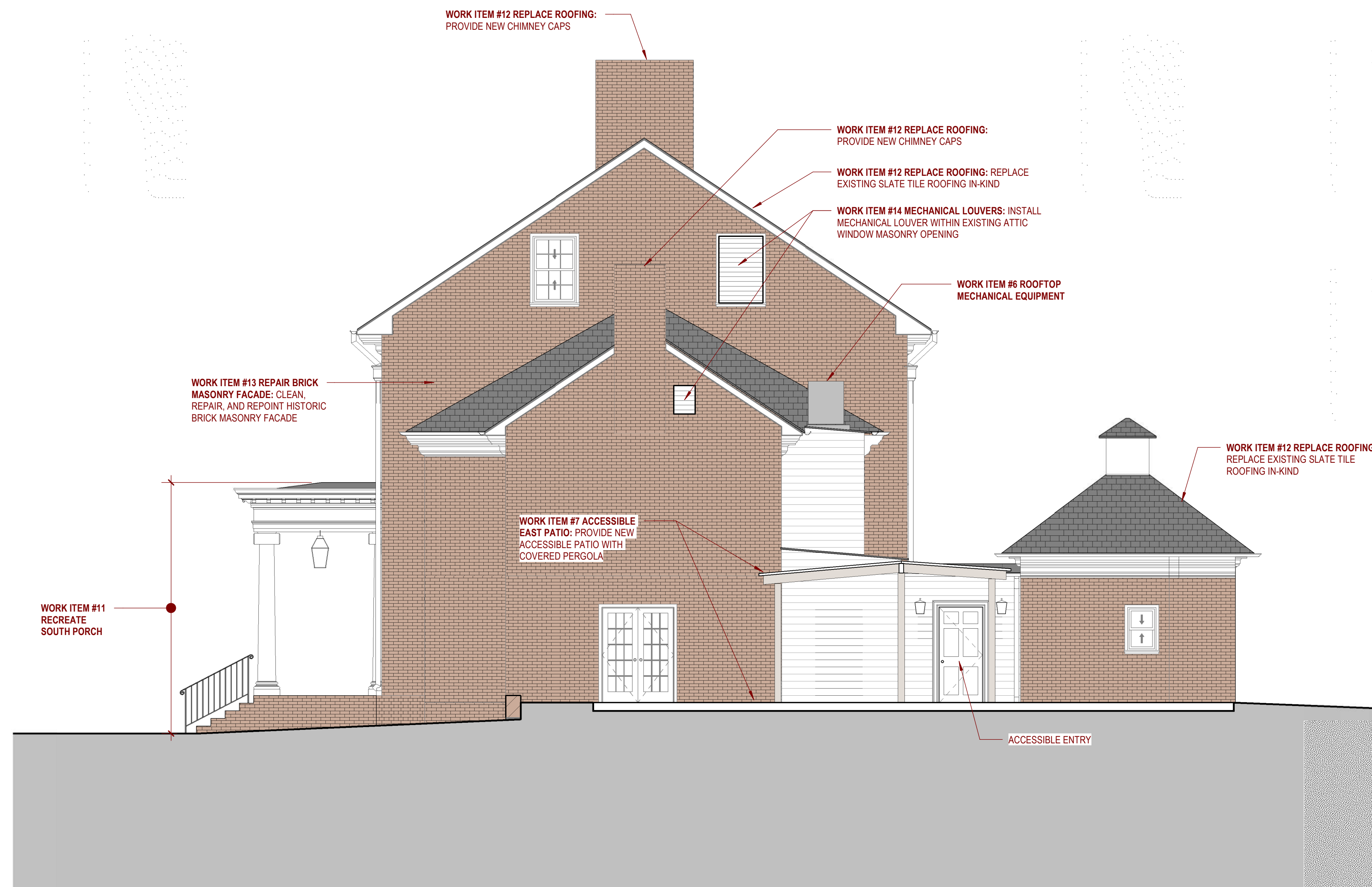
TREE INVENTORY (LIMITED TO THOSE IMPACTED BY PROJECT)

TREE ID #	SPECIES	D.B.H.	AGE	CONDITION
#836	Holly-American	18,11,9,4	Mature	Fair
#840	Walnut-Black	18	Mature	Good
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#870	Yew	19,15,8	Mature	Good
#906	Oak-White	33	Mature	Good
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#982	Cherry-Weeping	10	Semi-Mature	Good
#983	Cherry-Weeping	11	Semi-Mature	Good
#984	Cherry-Weeping	12	Semi-Mature	Good
#985	Cherry-Weeping	15	Good	Good
#987	Oak-White	37	Mature	Good









A4.4

SCALE: 3/16" = 1'-0"

07/22/22

HHMI HAYES MANOR - EAST ELEVATION AT ACCESSIBLE EAST PATIO

4101 Manor Road
Chevy Chase, MD 20815

SMITHGROUP



HOWARD HUGHES MEDICAL INSTITUTE
HAYES MANOR REHABILITATION

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
SUMMARY OF STAFF CONSULTATION PRESENTATIONS
April 1st and June 9th, 2022

HAYES MANOR REHABILITATION: PROJECT OVERVIEW

The Howard Hughes Medical Institute (HHMI) contracted SmithGroup to rehabilitate the historic Hayes Manor located at their headquarters campus in Chevy Chase, MD. Purchased by HHMI in 2002, the historic manor house has remained unoccupied, but maintained in a stable and preserved condition. As determined by a recently completed Master Plan study for the campus, HHMI wants to maintain the structure as a private residence to serve the needs of the President of HHMI.

SmithGroup, along with a consulting team which includes Robinson Associates, Inc. began consulting with the Montgomery County Historic Preservation Office in April 2022 to review the proposed upgrades and modifications to this historic site and structure. This document provides an outline of the research conducted to date to understand the history of the site, landscape, and historic manor house which has existed on this property for over 250 years. This research was used to inform the recommended design and rehabilitation of this site and manor house. This document is submitted in support of the Historic Area Work Permit (HAWP) Application for the project.



HAYES MANOR REHABILITATION: PROJECT GOALS & BACKGROUND

PROJECT GOALS

- Rehabilitate historic Manor House to provide private residence for the President of the Howard Hughes Medical Institute (HHMI).
- Preserve historic integrity and legacy of the significant 18th century Manor House.
- Implement site and building upgrades to comply with code and accessibility requirements.

BACKGROUND

- The original 1767 portion of the house is one of the oldest, well-preserved examples of a Georgian mansion in this area of Maryland
- Central portion of the house was built in 1767 for the Rev. Alexander Williamson, a considerable landowner and Anglican clergyman.
- The Manor House and surrounding property owned by the Dunlop family from 1792 until 1965, spanning six generations.
- The Manor House and the surrounding 9.44-acre property purchased by HHMI in 2002.





HOWARD HUGHES MEDICAL INSTITUTE
HAYES MANOR REHABILITATION

PART 1: LANDSCAPE RESEARCH AND DEVELOPMENTAL HISTORY

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

List of Historic Resources & Archives Reviewed

SmithGroup engaged Robinson Associates, Inc. to assist with the historic research in support of this project. Robinson Associates completed a Historic Context Report for the property in 2004. To supplement this prior research the following resources and archives were reviewed to inform the design for the rehabilitation of Hayes Manor site and landscape.

Maryland Center of History and Culture, Baltimore

- Dunlop Family Papers, MS 0316 (all boxes and oversized folders)
- John Eager Howard papers, MS 0469, Miscellaneous Papers, 1753–1952 (letters from Alex Williamson to Upton Scott)
- Maryland House and Garden Pilgrimage Historic Houses photo collection, PP 0285, Series 12 (Hayes manor, exterior, undated, circa 1950s–1970s)

Montgomery County Historical Society

Library of Congress

- Dunlop Family Papers, MSS 19174 (all boxes and oversized folders)

Books/ Publications

- *Gardens and Gardening in the Chesapeake, 1700–1805*

Websites

- History of Early American Landscape Design, National Gallery of Art, www.nga.gov
- Select Aerial Images – 1949 Thru 1994, NETROnline/ Historic Aerials, <https://www.historicaerials.com/>



HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Historic Periods in Landscape Developmental Timeline

Informed by the research conducted, the historic evolution of the property and surrounding landscape was evaluated in the following distinct periods. A diagrammatic analysis of the physical changes to the property during these time periods is provided in the following pages. It should be noted that a separate analysis of historic periods related to the developmental history of the Manor House is outlined later in this document.



1938 View looking south from Rose Garden. [Montgomery County Historical Society]

LANDSCAPE DEVELOPMENTAL HISTORY PERIODS

Landscape Period 1: Initial Construction and Landscape Development (1762-1791)

Landscape Period 2: James Dunlop Period (1792-1834)

Landscape Period 3: Land Divisions and Civil War (1835-1868)

Landscape Period 4: William Laird, Jr. and the Chevy Chase Land Company (1869-1891)

Landscape Period 5: Transformation from Farm to “Country Seat” (1892-1907)

Landscape Period 6: Hayes as Suburban Residence (1908-1964)

Landscape Period 7: Hayes During the Late Twentieth Century (1965-2001)

Landscape Period 8: HHMI Period (2002-present)



1938 Detail of water feature in garden. [Montgomery County Historical Society]

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Character Defining Features of a Falling/ Terraced Garden

In addition to understanding the archival documentation of the changes to the property and landscape at Hayes Manor, the design team looked to understand and draw relevant parallels to typical features of falling or terraced landscapes of the late 18th & early 19th century. These comparisons help to identify the remaining character defining features of the site and surrounding landscape.

- Late 18th & early 19th century landscapes of the mid-Atlantic/ Chesapeake Region
- Slopes between terraces/ flats
- Bowling green at upper terrace
- Gardens at lower terrace
- Enhanced viewsheds/ vistas (north & south)
- Foreshortened views
- Two front facades, customary for high-style Georgian houses



1938 View looking north towards Rose Garden, note board fence along northern edge of garden. [Montgomery County Historical Society]



1938 View looking north towards Rose Garden, note board fence along northern edge of garden. [Montgomery County Historical Society]

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Historic Images of Site

A variety of historic photographs of the site and landscape from the 1930s assisted in the understanding of this historic landscape and its changes over time.



1938 View looking north towards Rose Garden, note board fence along northern edge of garden. [Montgomery County Historical Society]



1938 View looking towards Manor House from center of Rose Garden. [Montgomery County Historical Society]

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Historic Images of Site

A variety of historic photographs of the site and landscape from the 1930s assisted in the understanding of this historic landscape and its changes over time.



1938 View looking north towards Manor House along south access road, note landscaping along edges of road. [Montgomery County Historical Society]



1938 View looking north towards the south, note perimeter fence and house to the left [Montgomery County Historical Society]

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Historic Images of Site

Much of the photographic archives feature the formal gardens and bowling green which were located north of the manor house. Select features of these landscape remain, while subtle evidence throughout the site suggests the relationship of lost architectural and landscape elements.



1938 View looking north towards Rose Garden, note board fence along northern edge of garden and the Platt House in the distance. [Montgomery County Historical Society]

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Historic Images of Site

A variety of historic photographs of the site and landscape from the 1930s assisted in the understanding of this historic landscape and its changes over time.

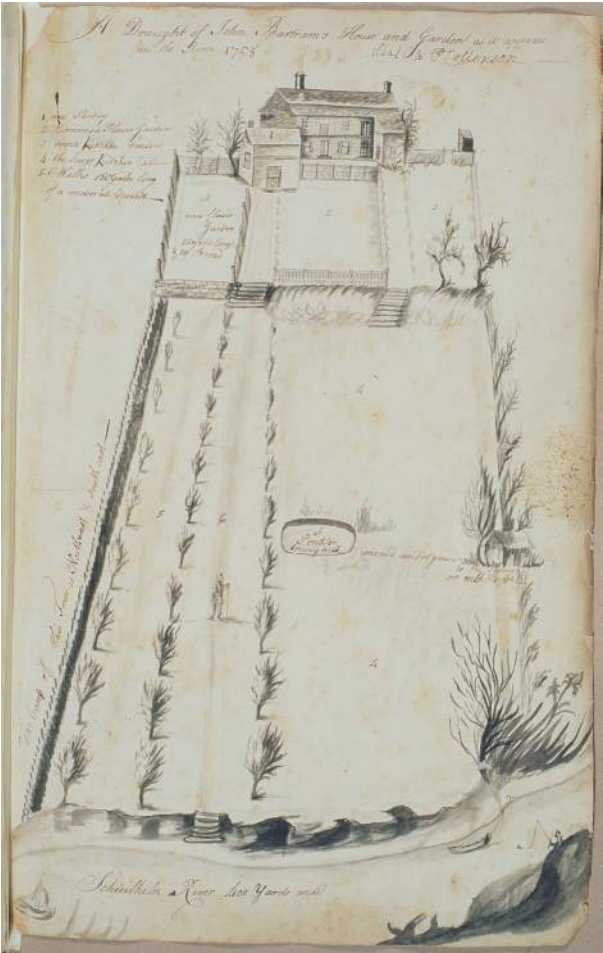


1938 View looking north towards Rose Garden, note board fence along northern edge of garden. [Montgomery County Historical Society]

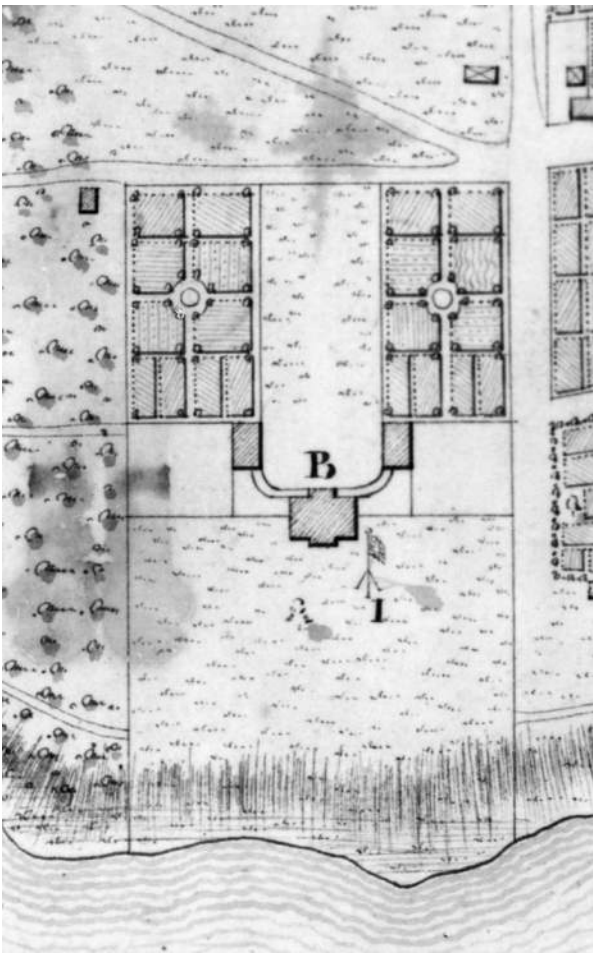
HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Falling/ Terraced Gardens Design Precedents

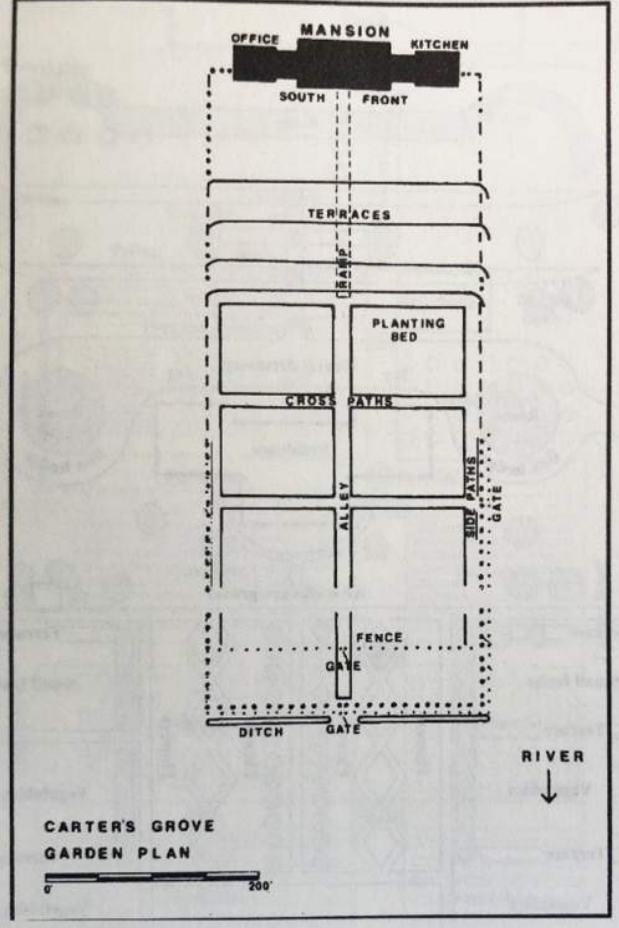
A review of 18th century historical design precedents of gardens and landscape supported the interpretation of remaining site features.



1758 John Bartram House. [History of Early American Landscape Design, National Gallery of Art, www.nga.gov]



1769 Claude Joseph Sauthier Governors House. [History of Early American Landscape Design, National Gallery of Art, www.nga.gov]

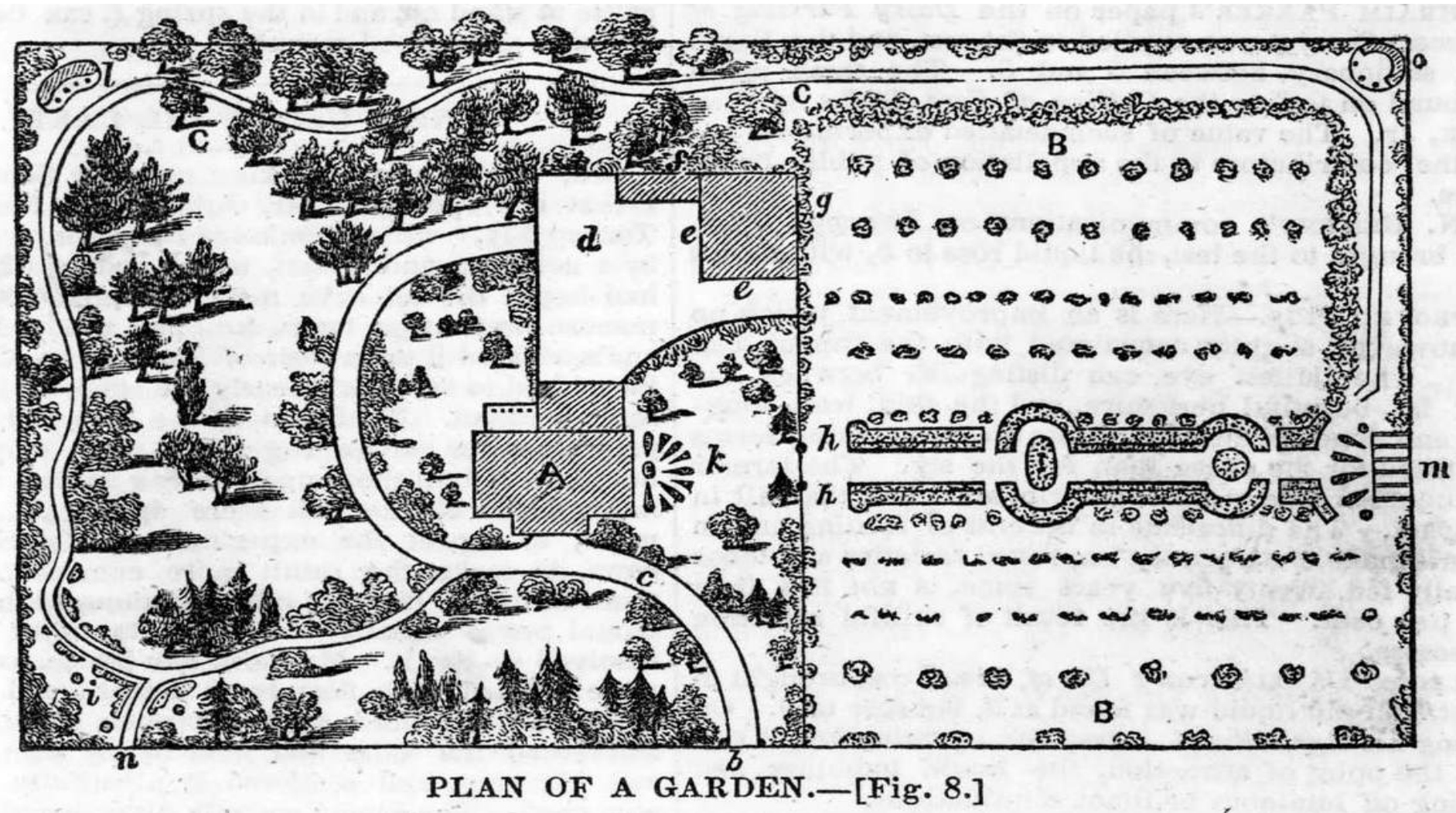


1751 Plan of Carter's Grove, James City County, VA, [Sarudy, Gardens and Gardening in the Chesapeake, 1700-1805 (Baltimore: Johns Hopkins University Press, 1998), 29, 34]

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Falling/ Terraced Gardens Design Precedents

A review of 18th century historical design precedents of gardens and landscape supported the interpretation of remaining site features.

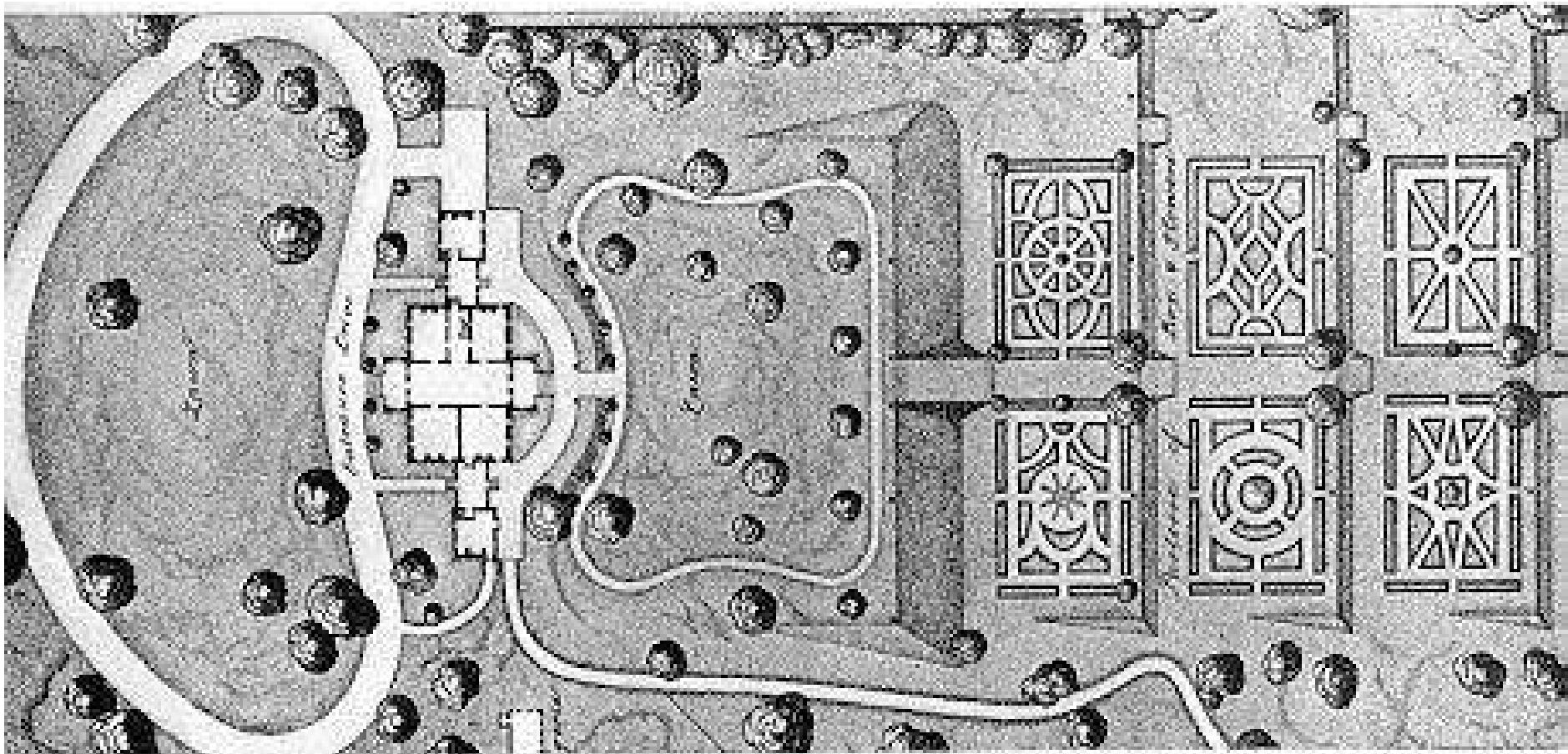


1837 John J. Thomas, "Plan of a Garden," in *Cultivator* 9, no. 1 (January 1842): 22, fig. 8. [History of Early American Landscape Design, National Gallery of Art, www.nga.gov]

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Falling/ Terraced Gardens Design Precedents

A review of 18th century historical design precedents of gardens and landscape supported the interpretation of remaining site features.

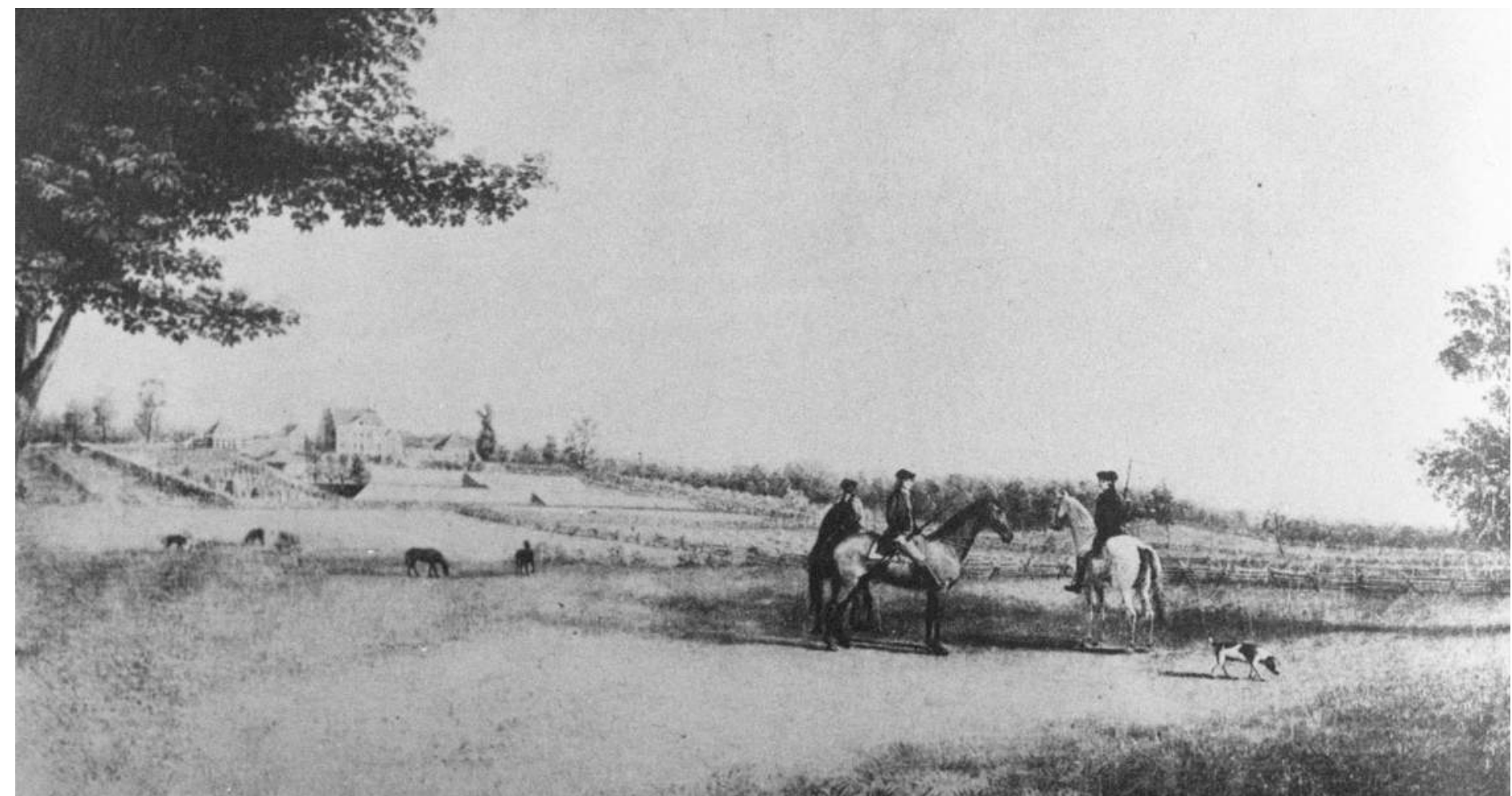


1783 Plan of Hampton, Baltimore County, MD. [Sarudy, Gardens and Gardening in the Chesapeake, 1700-1805 (Baltimore: Johns Hopkins University Press, 1998), 29,34]

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Falling/ Terraced Gardens Design Precedents

In addition to a study of historic garden design, select artist renderings from the time period are also evocative of the landscape that likely existed around Hayes Manor in the 18th and 19th centuries.



1775 View of Mount Clare in Baltimore, MD, south façade and garden. [History of Early American Landscape Design, National Gallery of Art, www.nga.gov]

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

DOCUMENTING THE EVOLUTION AND DEVELOPMENT OF THE SITE AND LANDSCAPE

To synthesize the amount of historic data collected in both written narratives and historic maps, diagrammatic site plans of each historic period were developed to document and map the changes over time. The supporting research and analysis of each time period in the history and evolution of the site and landscape is presented in the following pages.





Landscape Period 1:

Initial Construction & Landscape Development (1762-1791)

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

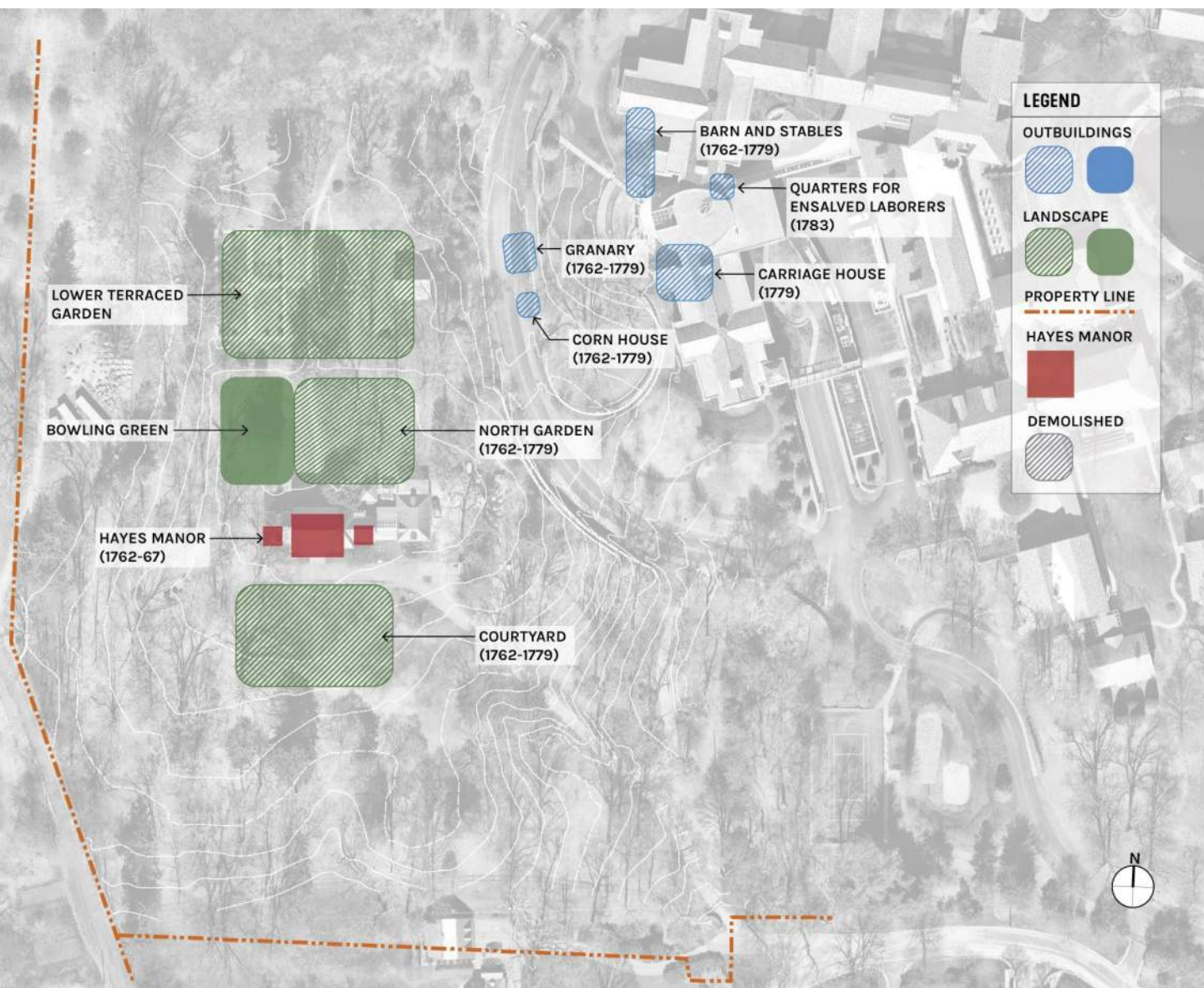
Landscape Period 1: Initial Construction & Landscape Development (1762-1791)

1762
Rev. Alexander Williamson, rector of Prince George's Parish, purchases more than 600 acres of a tract called Clean Drinking from Robert Yates.

1762-1767
Hayes Manor is constructed.

1779
A newspaper advertisement for the sale of Hayes describes the following landscape features and structures: upwards of 600 acres, 20-30 acres cleared

- brick dwelling house, flanked by a brick storeroom and office on one side and a brick pantry and kitchen on the other
- "handsome garden and court yard"
- brick coach house
- barn
- stables
- corn house
- Granary



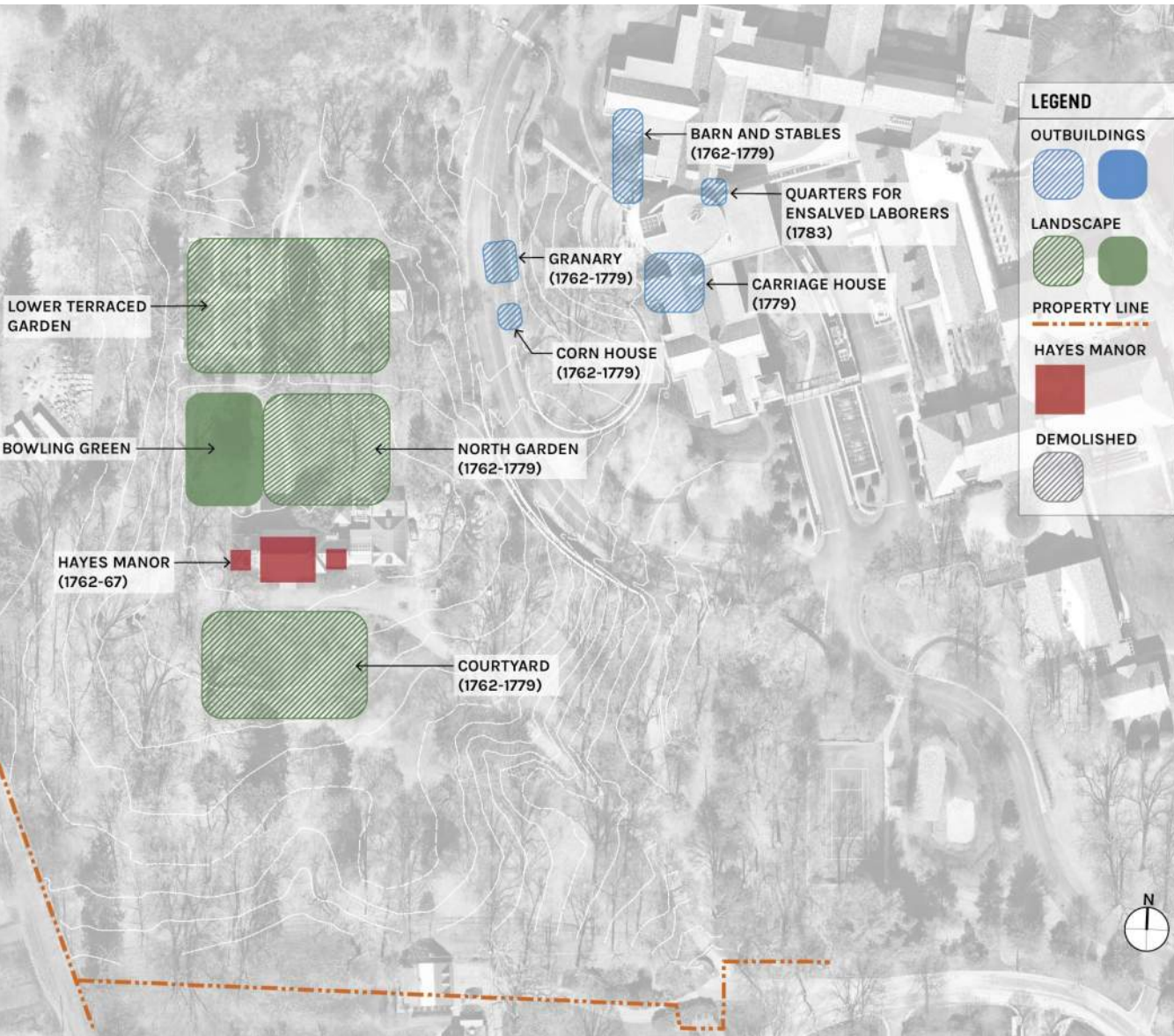
HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

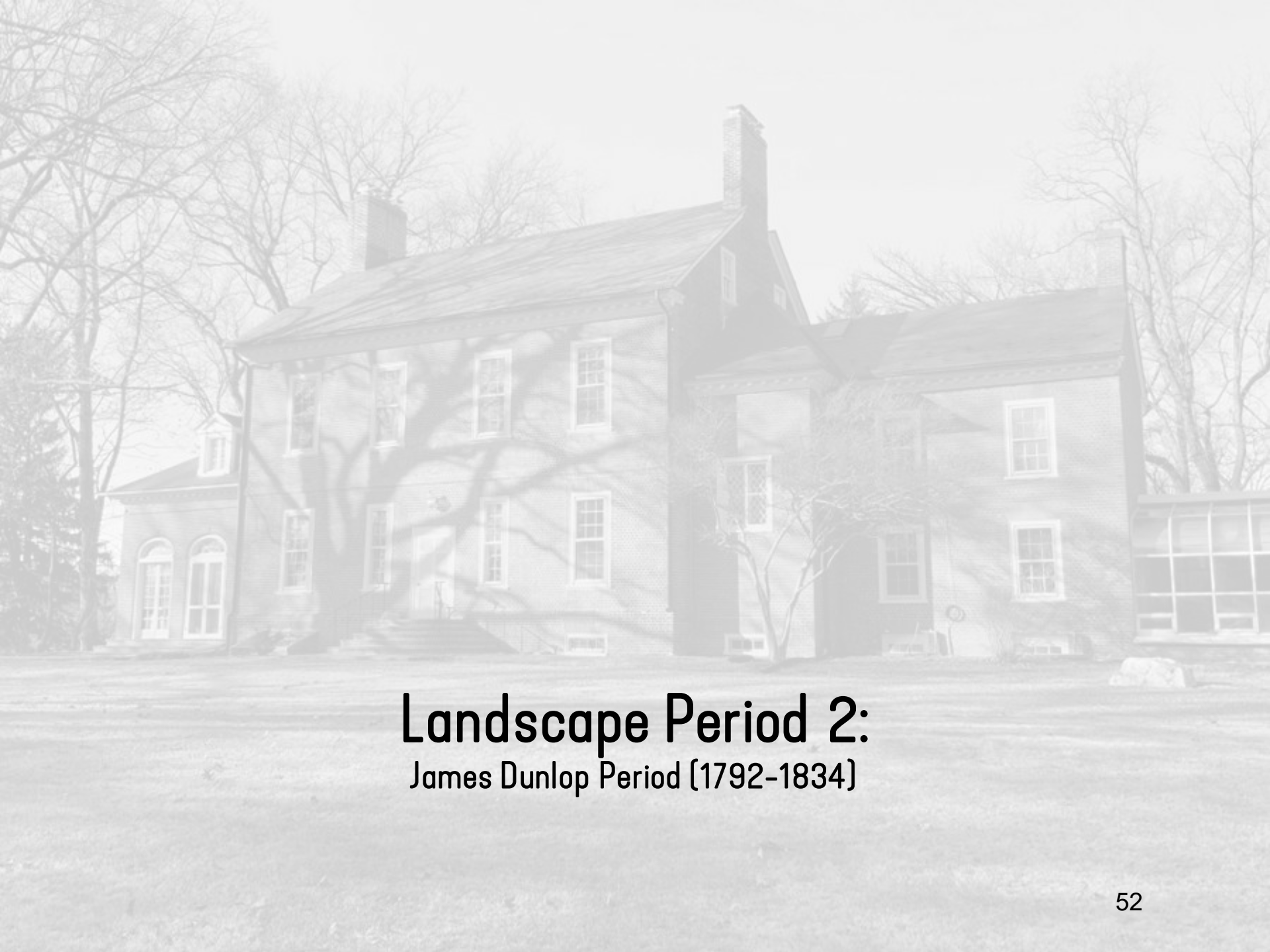
Landscape Period 1: Initial Construction & Landscape Development (1762-1791)

1783

Williamson is taxed on a brick house, two brick offices, a barn-stable, quarters for enslaved workers, and 170 acres of cleared land.

- Manor house positioned on the top of a hill (for breezes and views)
- Hilltop site improvements to north with falling/ terraced gardens
- Miscellaneous outbuildings located to the east and northeast





Landscape Period 2:

James Dunlop Period (1792-1834)

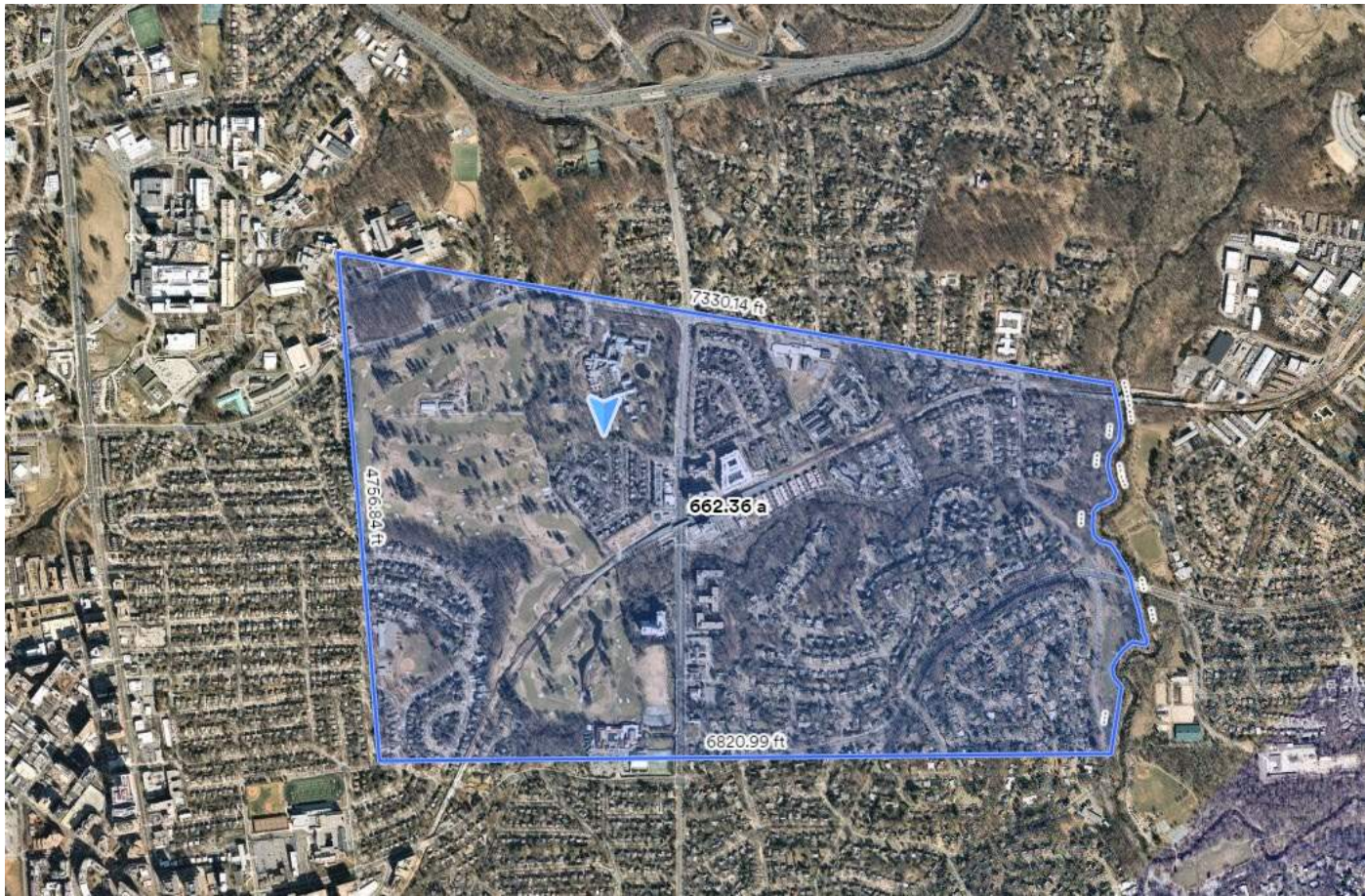
HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 2: James Dunlop Period (1792-1834)

1792

James Dunlop, a Scottish-born merchant who had come to New York in 1771 and established himself in Georgetown in 1783, acquires Hayes.

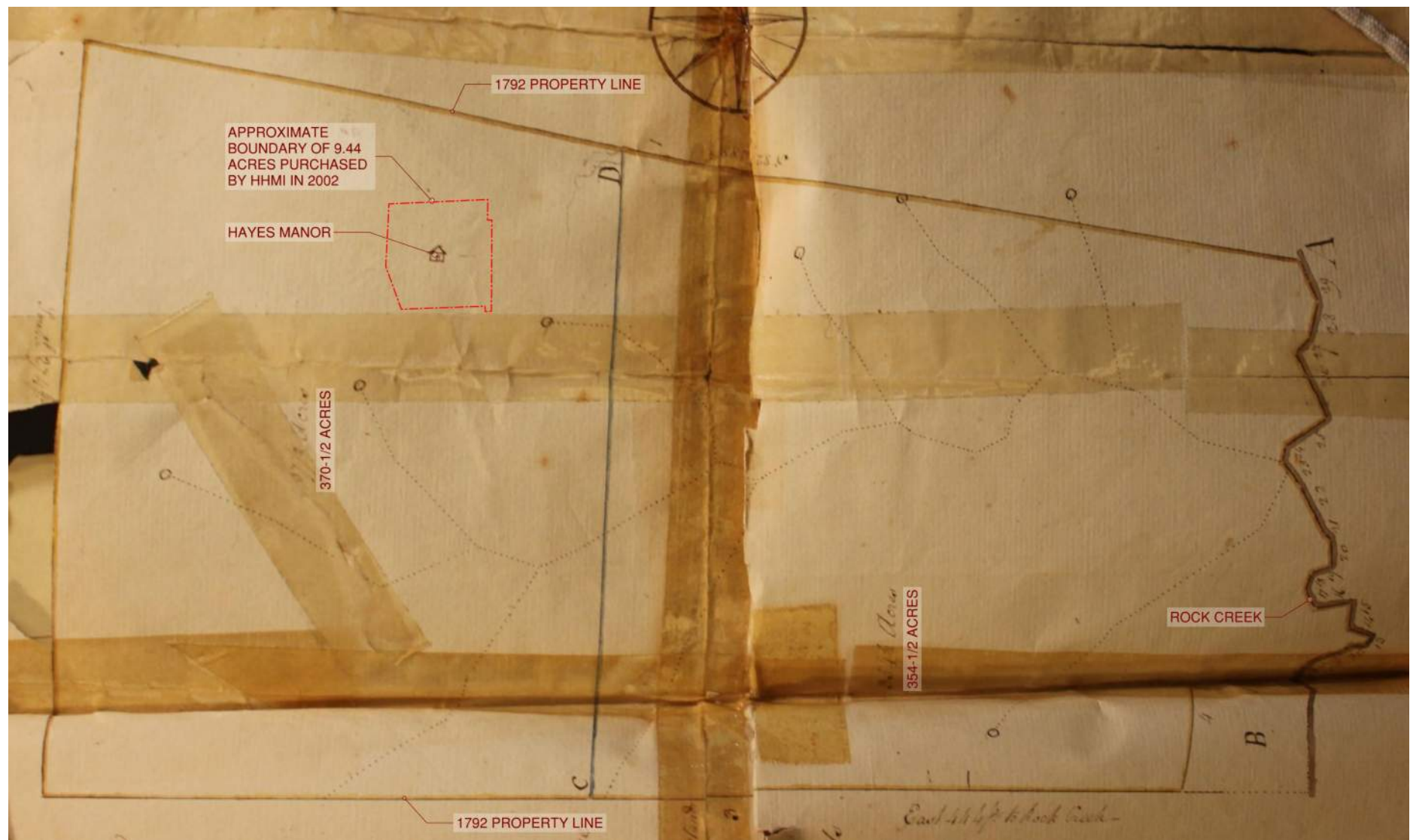
The Dunlop family collection at the Maryland Center for Historic and Culture includes two surveys of Dunlop's portion of Clean Drinking, both dated 1792 and both recording the property as 662 acres.



2022 Aerial Image with Approximate 1834 Property Boundary encompassing original 600+ acres

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

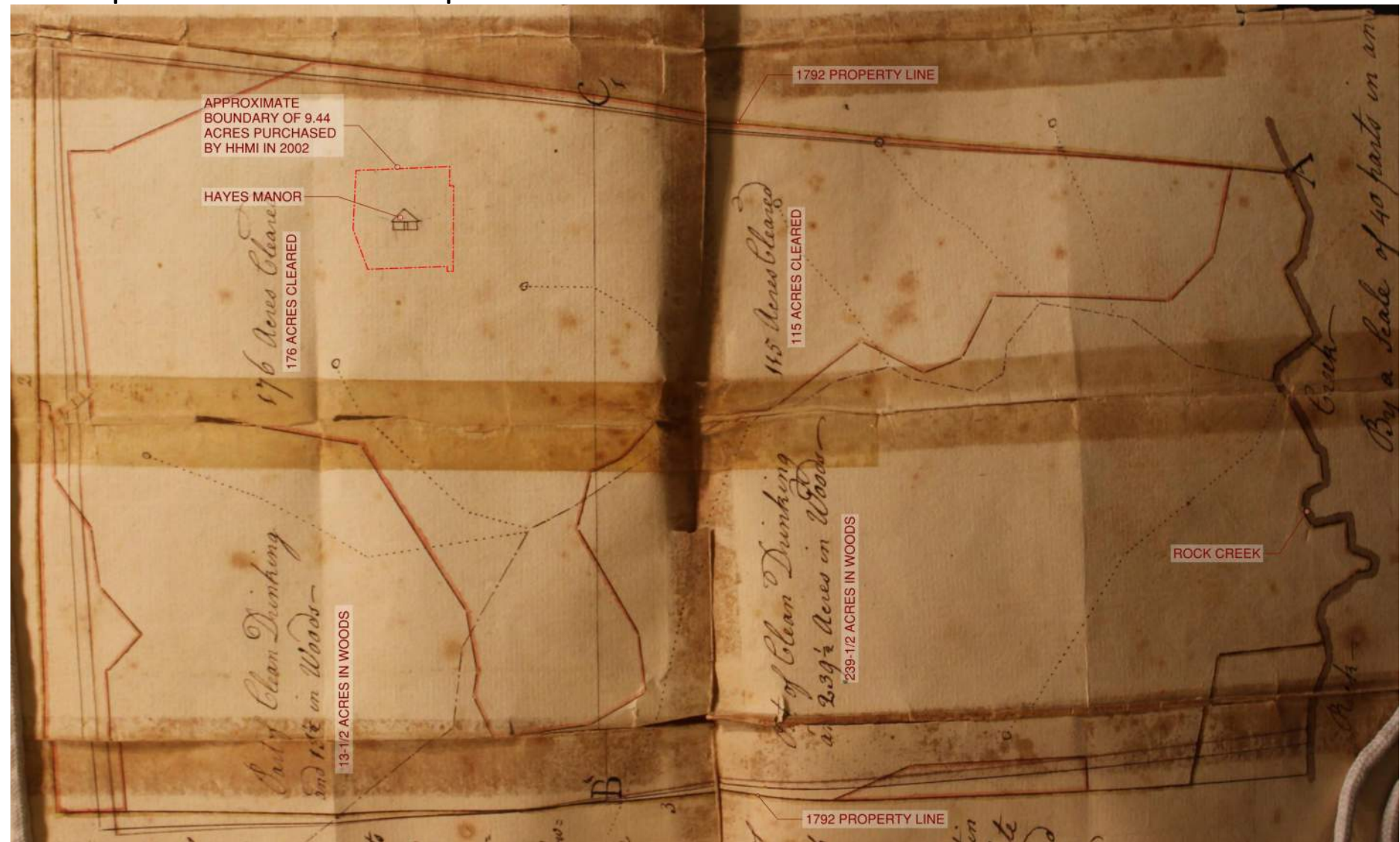
Landscape Period 2: James Dunlop Period (1792-1834)



1792 Survey: 662 acres, which comprised a portion of Clean Drinking; the small section in the lower left (southeast corner) was known Clowen Couse and was not part of Hayes; dotted lines are streams; circles are springs or fountain heads.

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

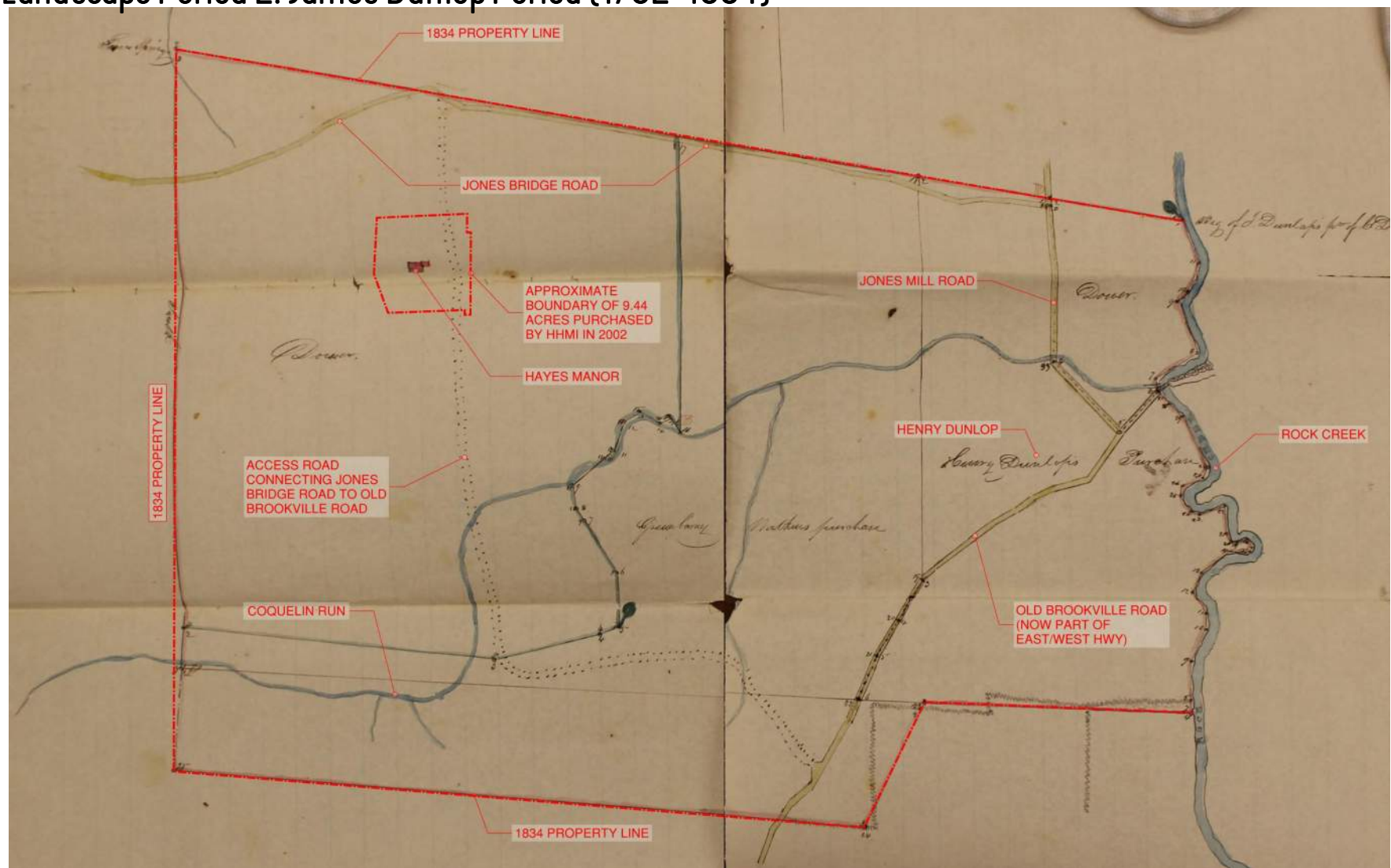
Landscape Period 2: James Dunlop Period (1792-1834)



1792 Orme Survey: The second survey of Hayes, dated October 8, 1792, signed by Archibald Orme, is similar to the first, but in addition to the location of the house, this one shows the parts of the tract that are cleared, and the parts that are wooded.

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 2: James Dunlop Period (1792-1834)



1834 Survey: The bank seized Dunlop’s property, by this time estimated at 830 acres, to settle debts. The following year, Elizabeth Dunlop purchased both parts of her dower (301 acres, including Hayes, and 26 acres along Rock Creek), all in Clean Drinking tract, back from the bank. In addition to the two dower tracts, this survey seems to show (with a dotted double line) a north-south road passing east of the house.

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 2: James Dunlop Period (1792-1834)

1809-1819

A farm record book describes the cultivation of grains (wheat, rye, oats), tobacco, flax seed, clover, and potatoes at Hayes during the early twentieth century.

Dunlop also raised livestock, including hogs and sheep.

1817-1822

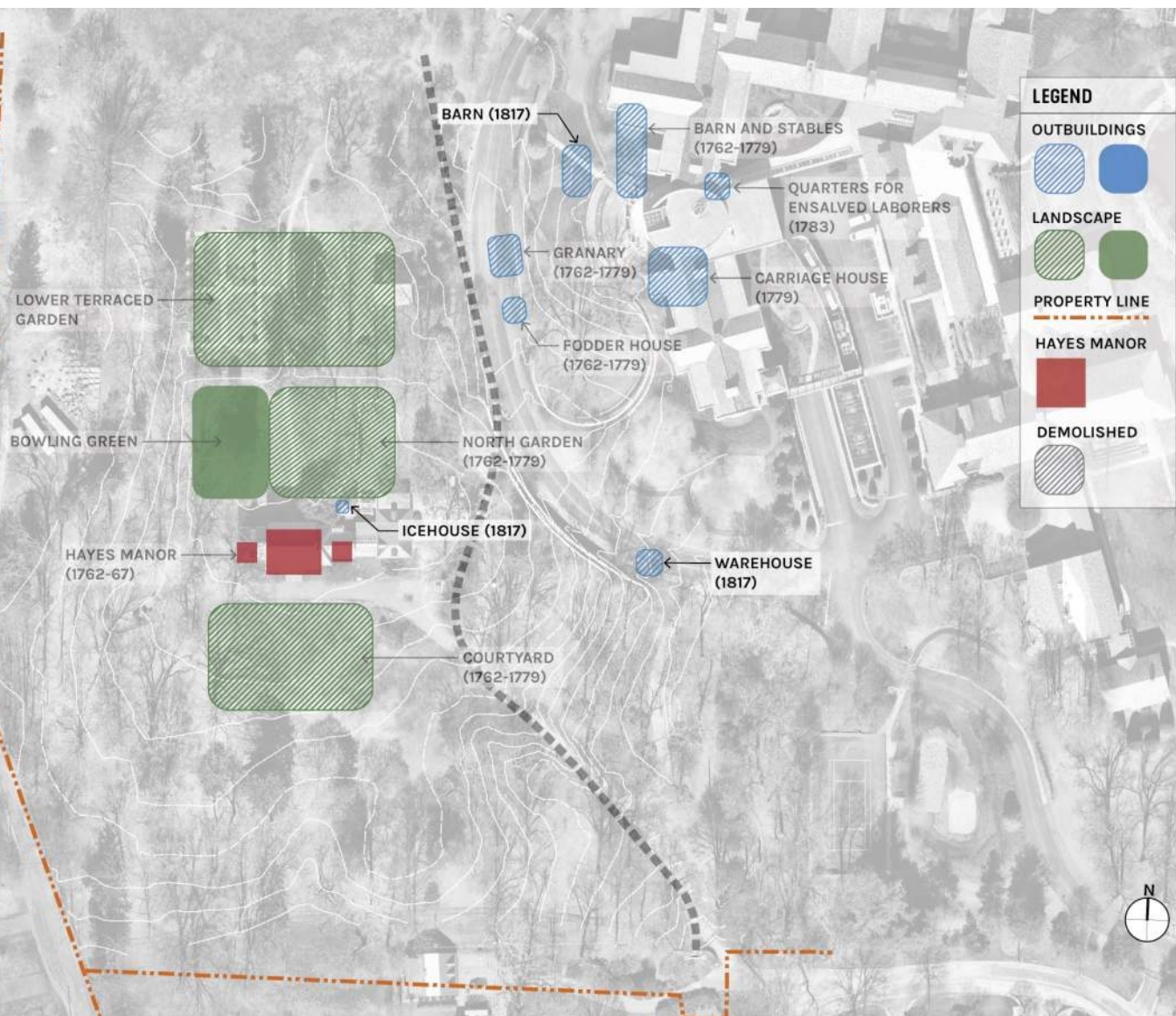
- tobacco house
- second barn, described as the “new barn”
- icehouse
- fodder (corn) house
- warehouse
- orchards and an overseer’s garden.

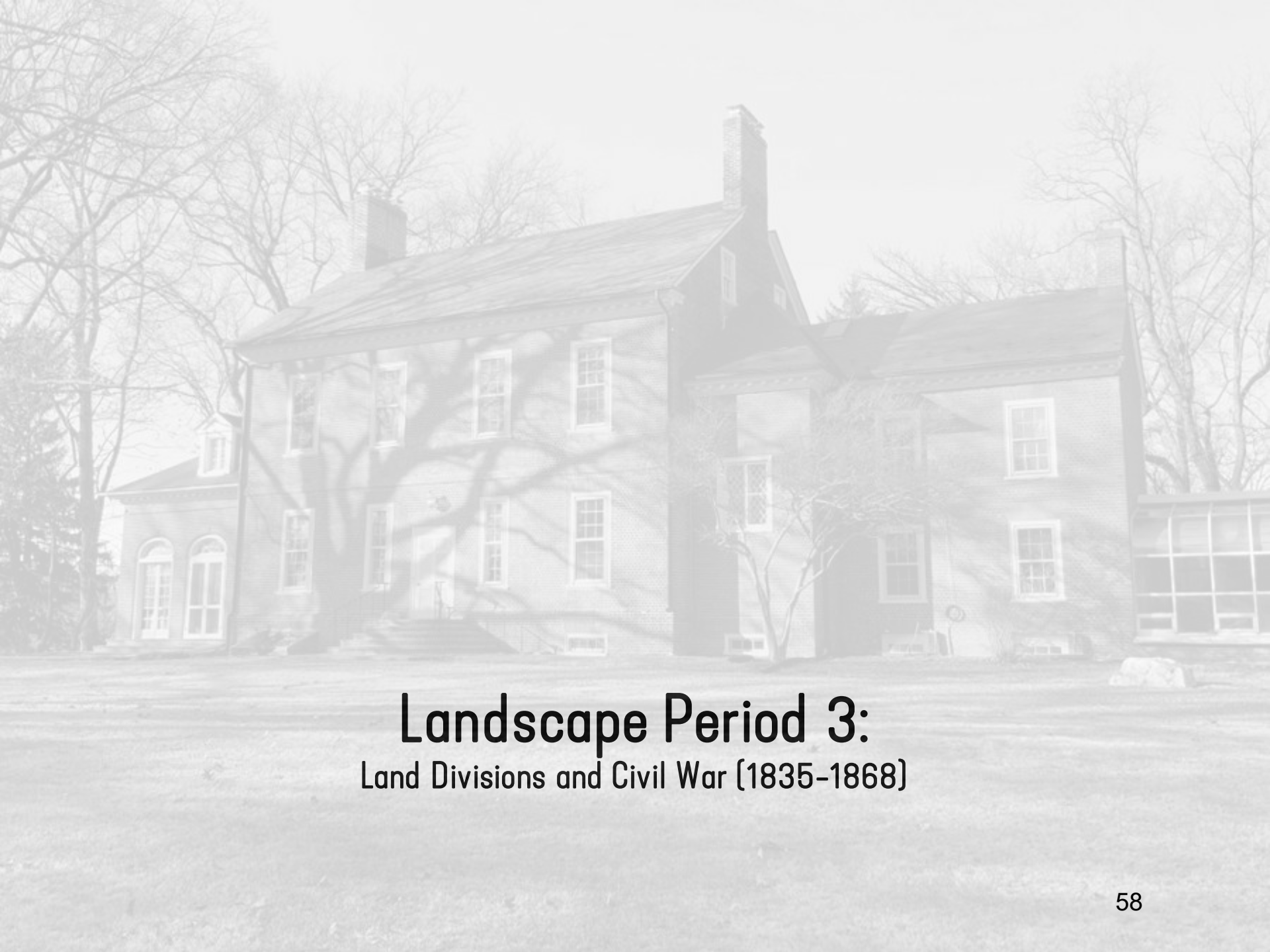
1823

James Dunlop dies. For the next 12 years (1823-1834), ownership of the property is problematic due to Dunlop’s debts.

1834

The Bank of United States seizes Dunlop’s property to settle debts.



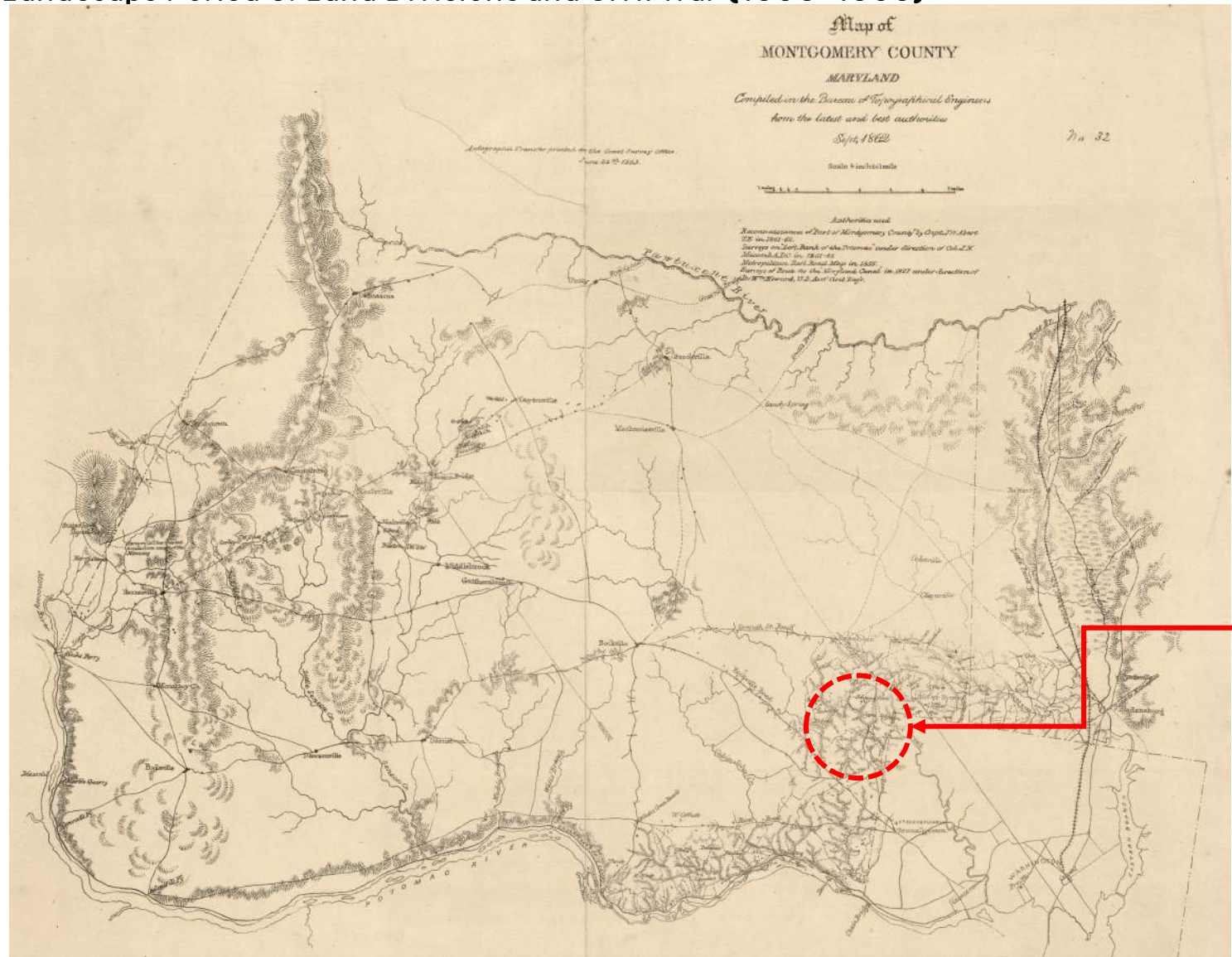


Landscape Period 3:

Land Divisions and Civil War (1835-1868)

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 3: Land Divisions and Civil War (1835-1868)

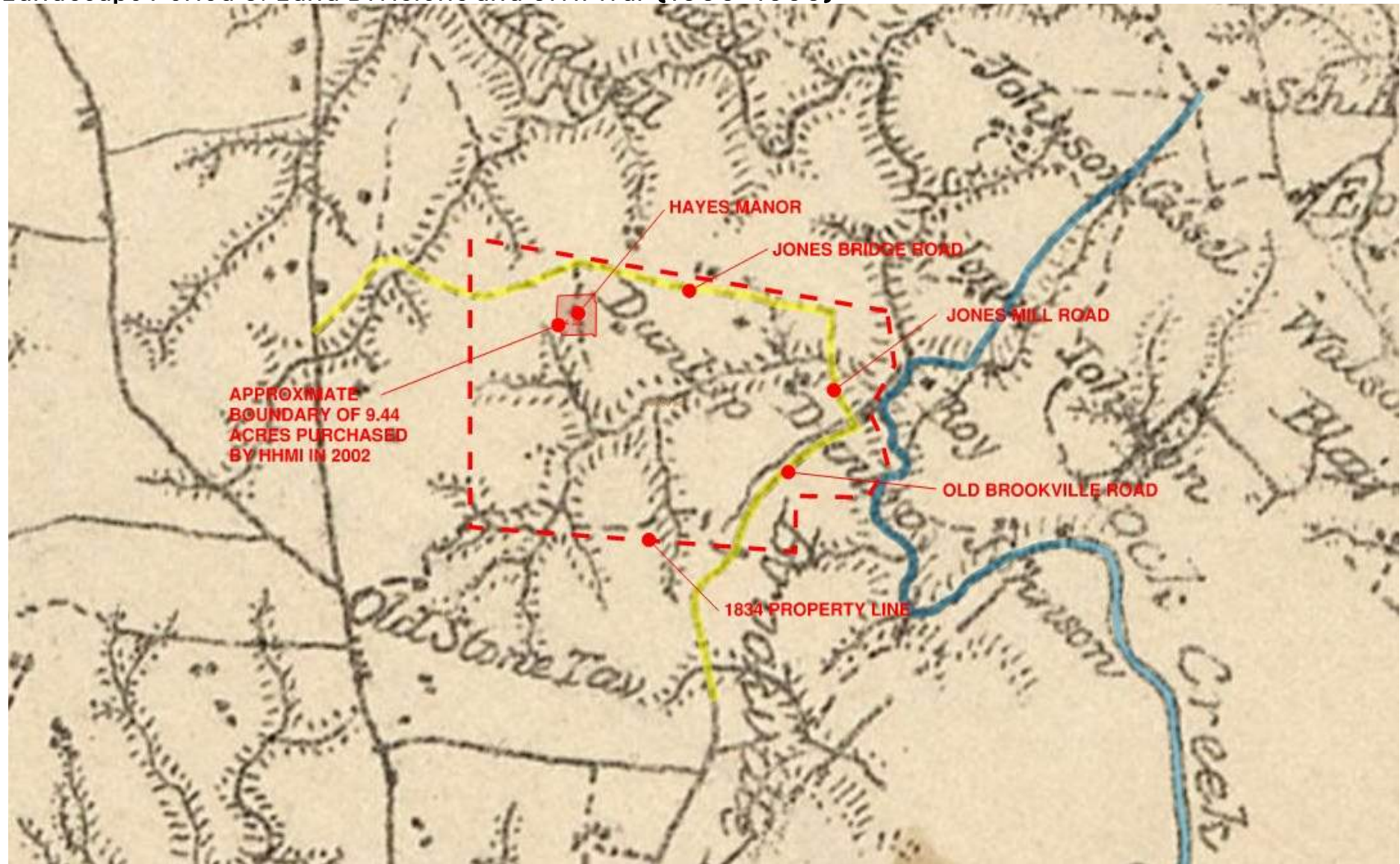


Detailed analysis of select area of this map shown on the following slide.

1862 Map – Montgomery County, MD

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

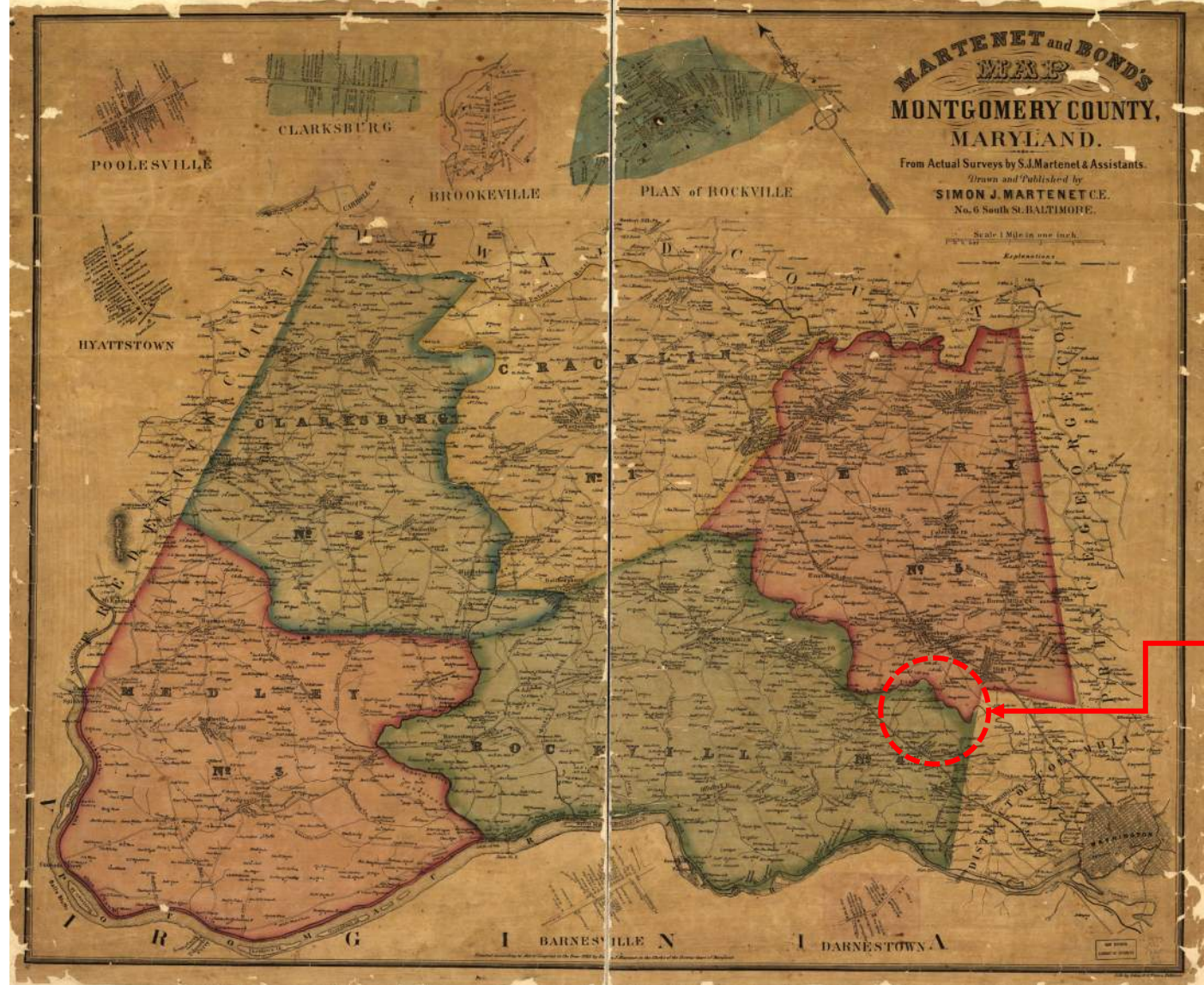
Landscape Period 3: Land Divisions and Civil War (1835-1868)



1862 Map Detail – Montgomery County, MD

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 3: Land Divisions and Civil War (1835-1868)



Detailed analysis of select area of this map shown on the following slide.

1865 Map – Montgomery County, MD (published by Martenet, Simon J.)

[illegible]

Howard Hughes Medical Institute (HHMI): Hayes Manor Rehabilitation
Consultation with Montgomery County Preservation Office

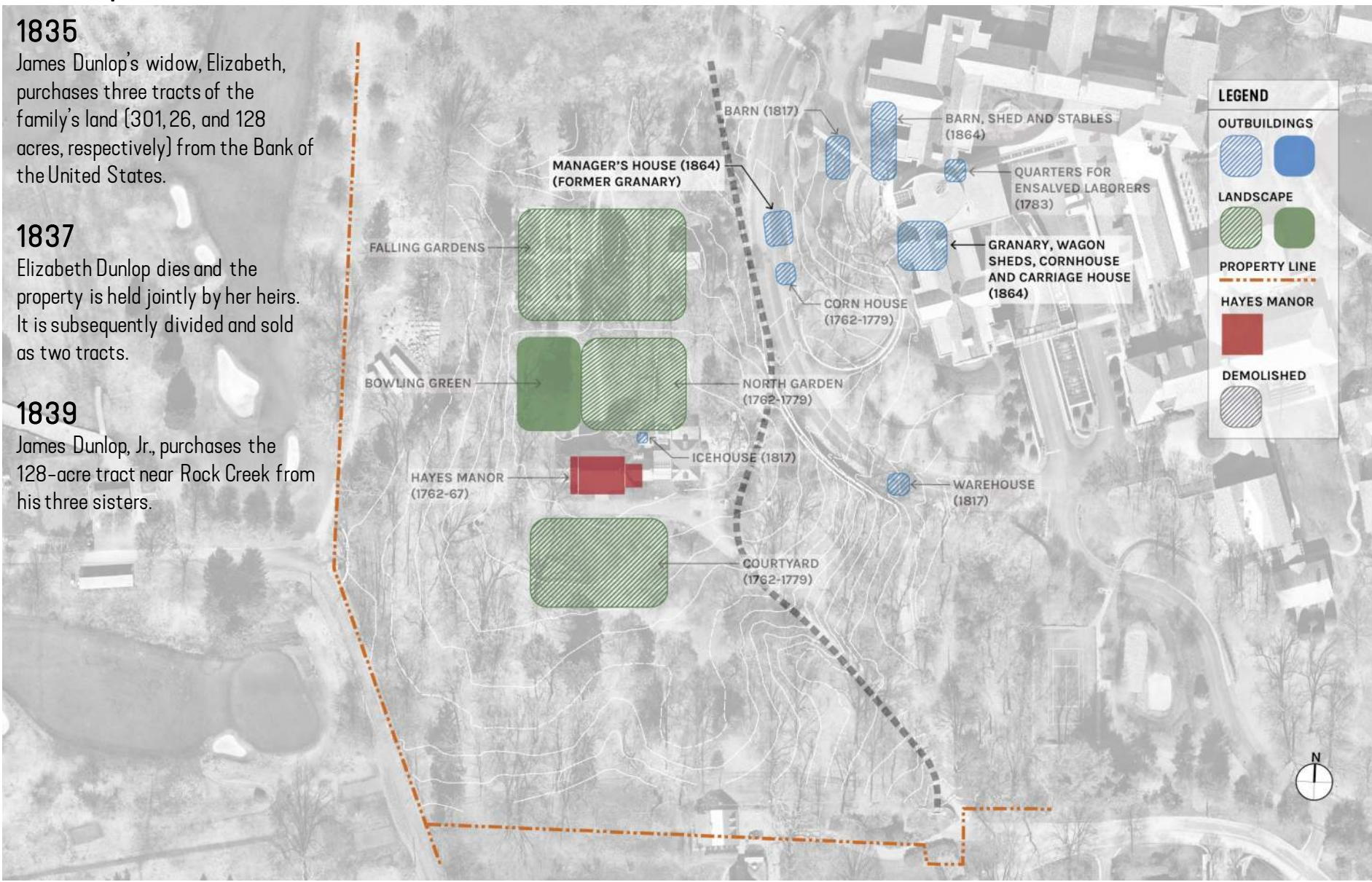
HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 3: Land Divisions and Civil War (1835-1868)

1835
James Dunlop's widow, Elizabeth, purchases three tracts of the family's land (301, 26, and 128 acres, respectively) from the Bank of the United States.

1837
Elizabeth Dunlop dies and the property is held jointly by her heirs. It is subsequently divided and sold as two tracts.

1839
James Dunlop, Jr., purchases the 128-acre tract near Rock Creek from his three sisters.



HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 3: Land Divisions and Civil War (1835-1868)

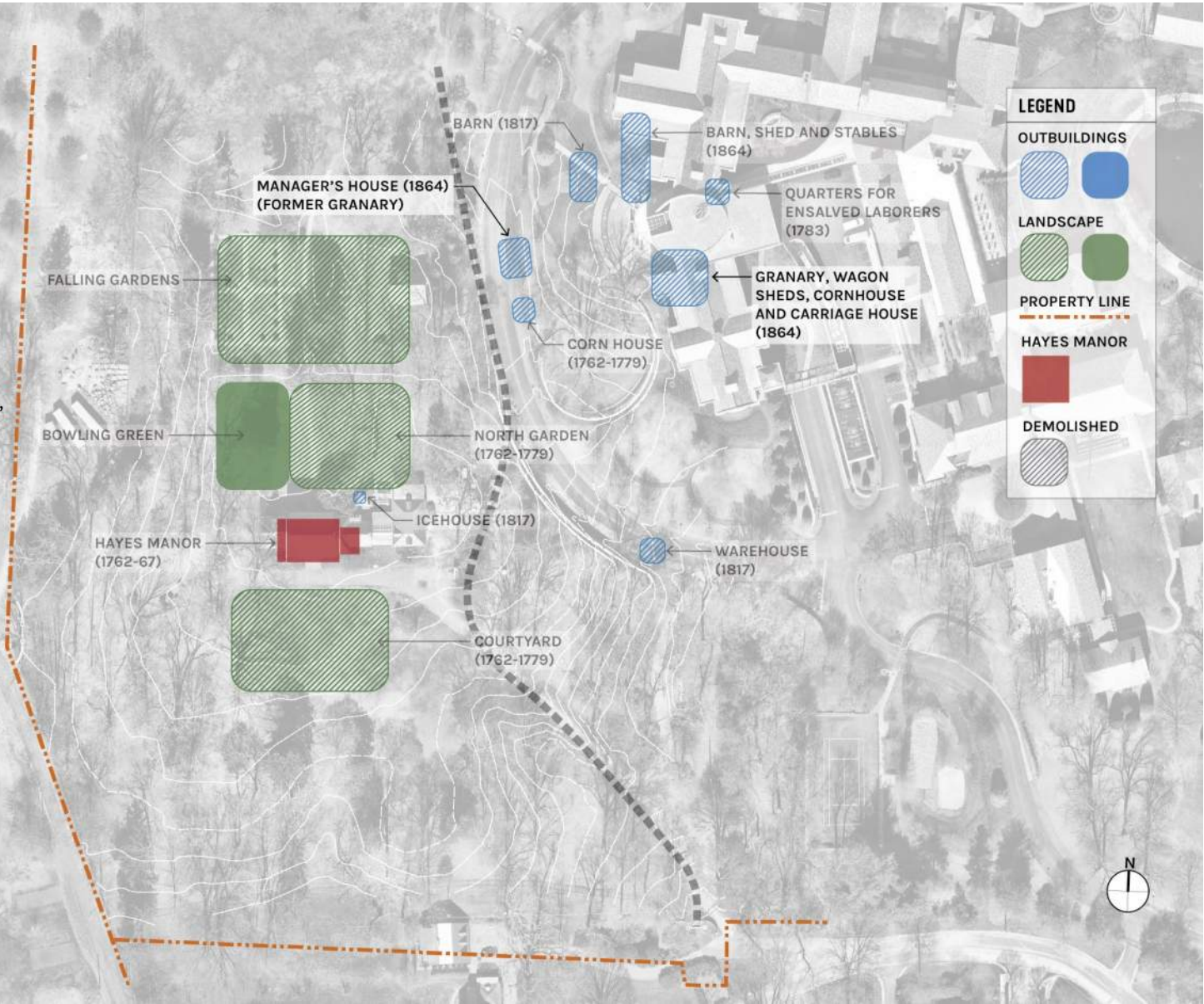
1842

Robert Peter Dunlop purchases the remaining 327 acres, including the eighteenth-century house, from his sisters.

1864

In 1864, Robert Peter Dunlop insured Hayes with the Mutual Fire Insurance Company of Montgomery County.

- brick dwelling house and kitchen
- structure containing a barn, shed, and stables
- manager's house (formerly a log granary)
- building that housed a granary, wagon sheds, and a corn and carriage house





Landscape Period 4:

William Laird, Jr. and the Chevy Chase Land Company (1869-1891)

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 4: William Laird, Jr. and the Chevy Chase Land Company (1869-1891)

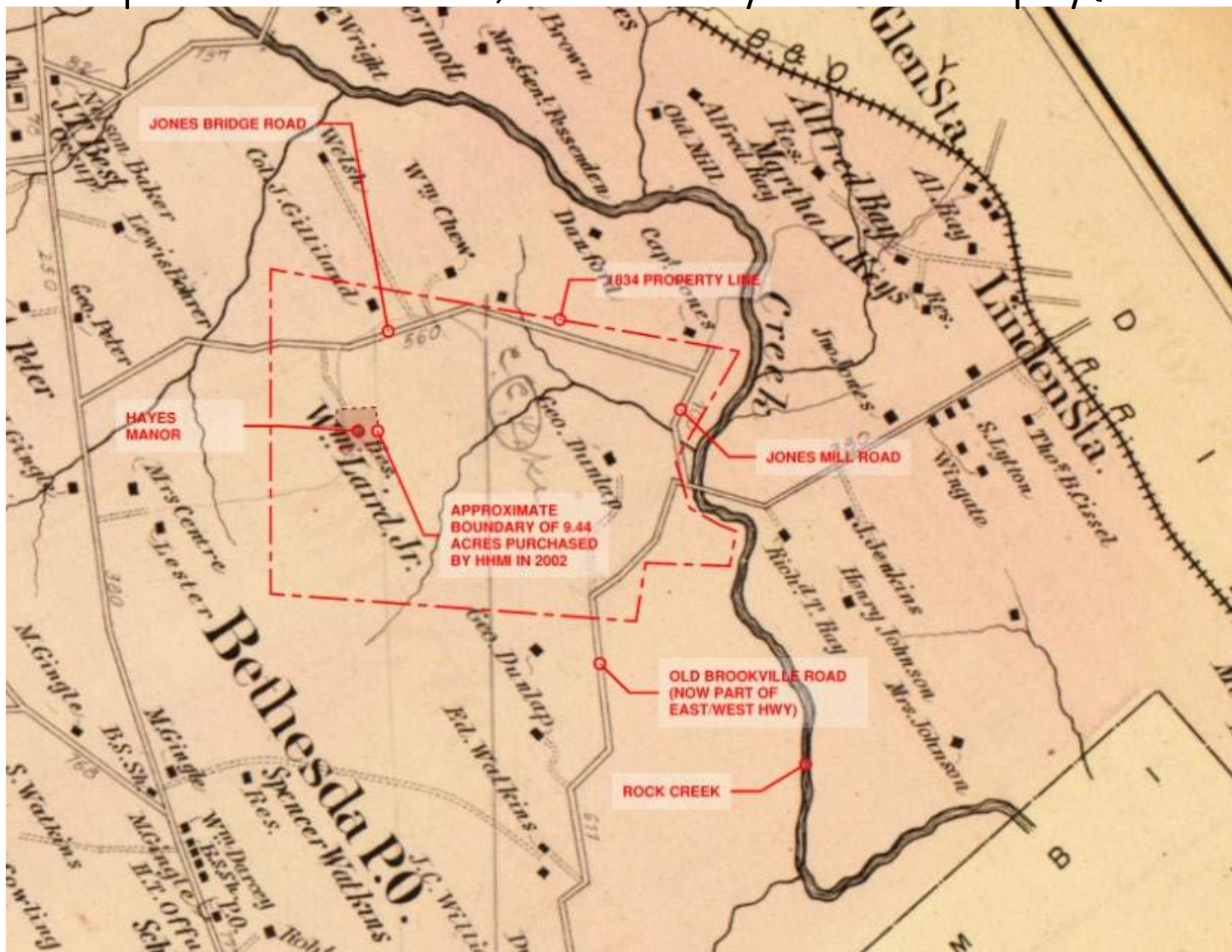


Detailed analysis of select area of this map shown on the following slide.

1878 Map – Montgomery County, MD

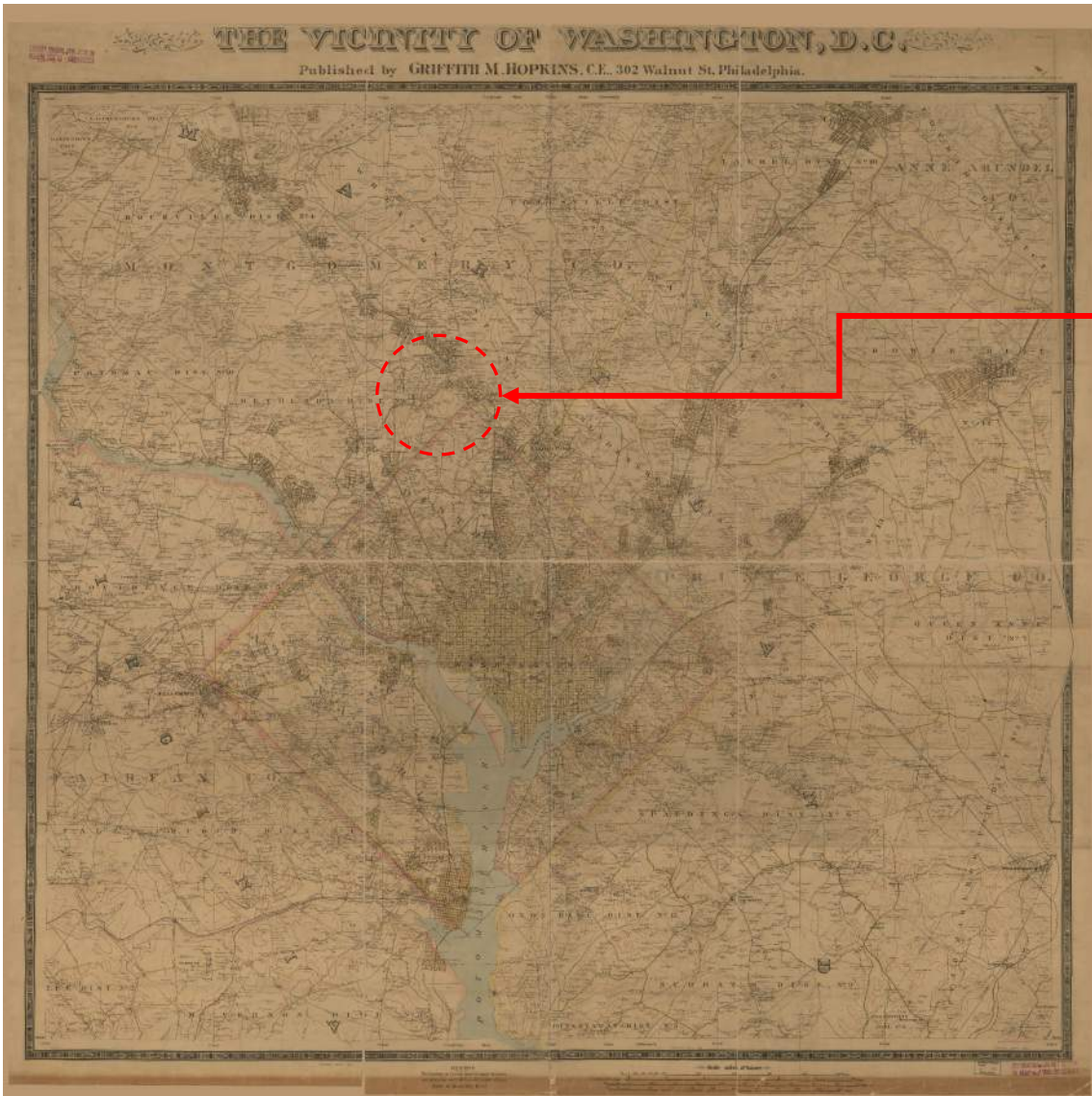
1878 Map Detail – Montgomery County, MD

67
SMITHGROUP



HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 4: William Laird, Jr. and the Chevy Chase Land Company (1869-1891)

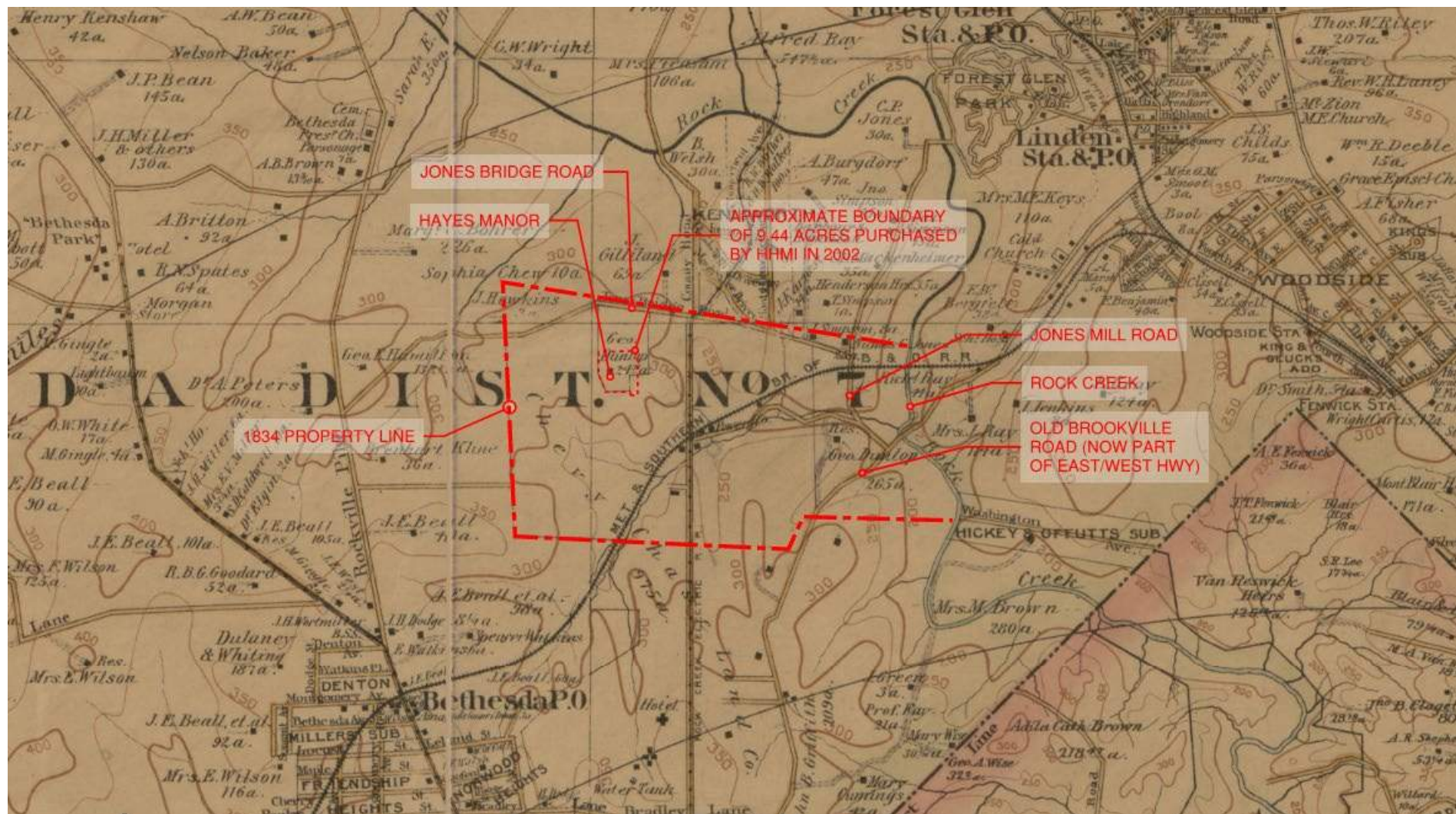


Detailed analysis of select area of this map shown on the following slide.

1894 Map – Montgomery County, MD

1894 Map Detail – Montgomery County, MD

Howard Hughes Medical Institute (HHMI): Hayes Manor Rehabilitation
Consultation with Montgomery County Preservation Office

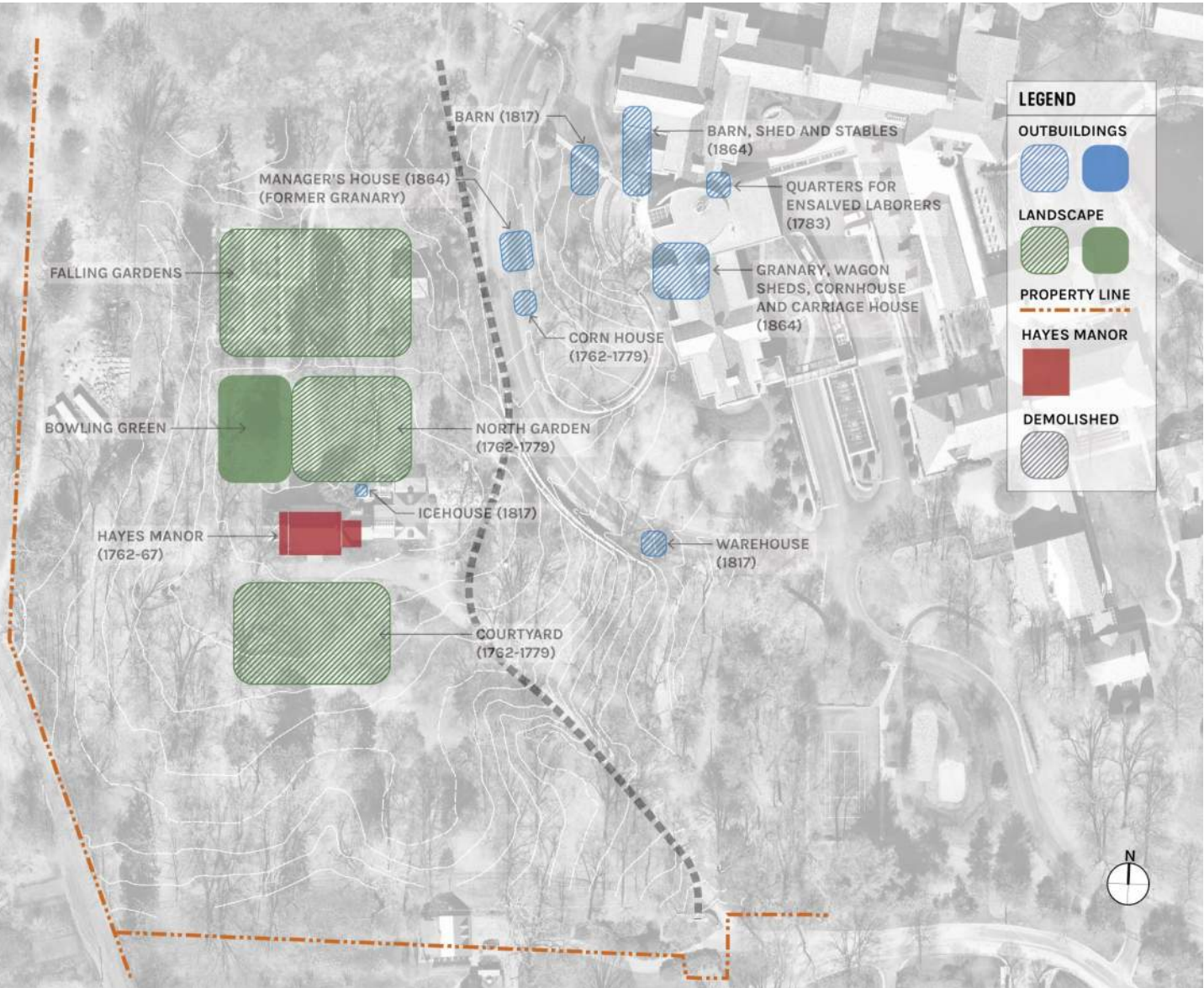


HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 4: William Laird, Jr. and the Chevy Chase Land Company (1869-1891)

1869
Robert Dunlop dies. His heirs sell Hayes and its 327 acres of land to William Laird, Jr., James and Elizabeth Dunlop's grandson. The same year, Laird sells the smaller 26-acre tract of land near Rock Creek to James Dunlop, Jr.

1890
Laird sells 276 acres to the Chevy Chase Land Company, retaining 25 acres surrounding the eighteenth-century house.





Landscape Period 5: Transformation from Farm to “Country Seat” (1892–1907)

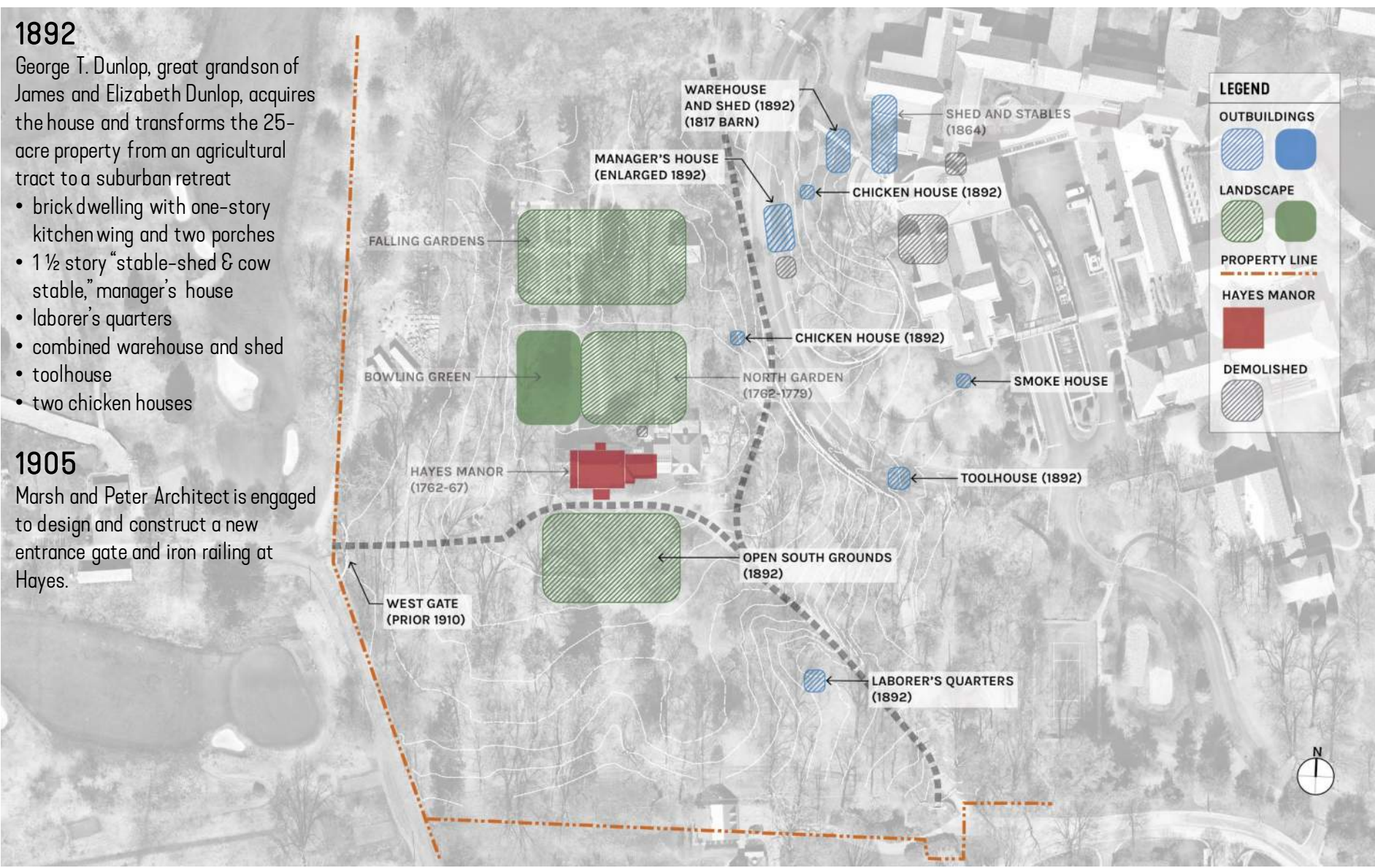
HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 5: Transformation from Farm to “Country Seat” (1892-1907)

1892
George T. Dunlop, great grandson of James and Elizabeth Dunlop, acquires the house and transforms the 25-acre property from an agricultural tract to a suburban retreat

- brick dwelling with one-story kitchen wing and two porches
- 1 ½ story “stable-shed & cow stable,” manager’s house
- laborer’s quarters
- combined warehouse and shed
- toolhouse
- two chicken houses

1905
Marsh and Peter Architect is engaged to design and construct a new entrance gate and iron railing at Hayes.





Landscape Period 6:

Hayes as Suburban Residence (1908-1964)

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 6: Hayes as Suburban Residence (1908-1964)

The following maps from the Property Atlas of Montgomery County document the remaining 24-acres of the original 662-acre property which remained with the Dunlop Family in the 20th century.



1931 F.H.M. Klinge, Property Atlas of Montgomery



1941 F.H.M. Klinge, Property Atlas of Montgomery

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 6: 1949 Historic Aerial

The aerial image below represents the site in 1949. The rose garden and kitchen garden are seen located north of Hayes Manor. The stable and servants house are located east of the historic access road connecting Hayes Manor to Jones Bridge Road to the north.



HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 6: 1957 Historic Aerial

The aerial image below represents the site in 1957.



- Clear axial relationship established between Manor House and north gardens
- Original access road from Jones Bridge Road seen northeast of Manor House
- Outbuildings seen along east side of road
- Access from Manor Road from the south and west (20th century)
- Pedestrian pathways between house, gardens, and original access road from north
- Victory gardens located on axis west of Rose Garden

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 6: 1963 Historic Aerial

The aerial image below represents the site in 1963. The Platt House, constructed in 1957, is located to the north of Hayes Manor.



HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 6: Hayes as Suburban Residence (1908-1964)

1908

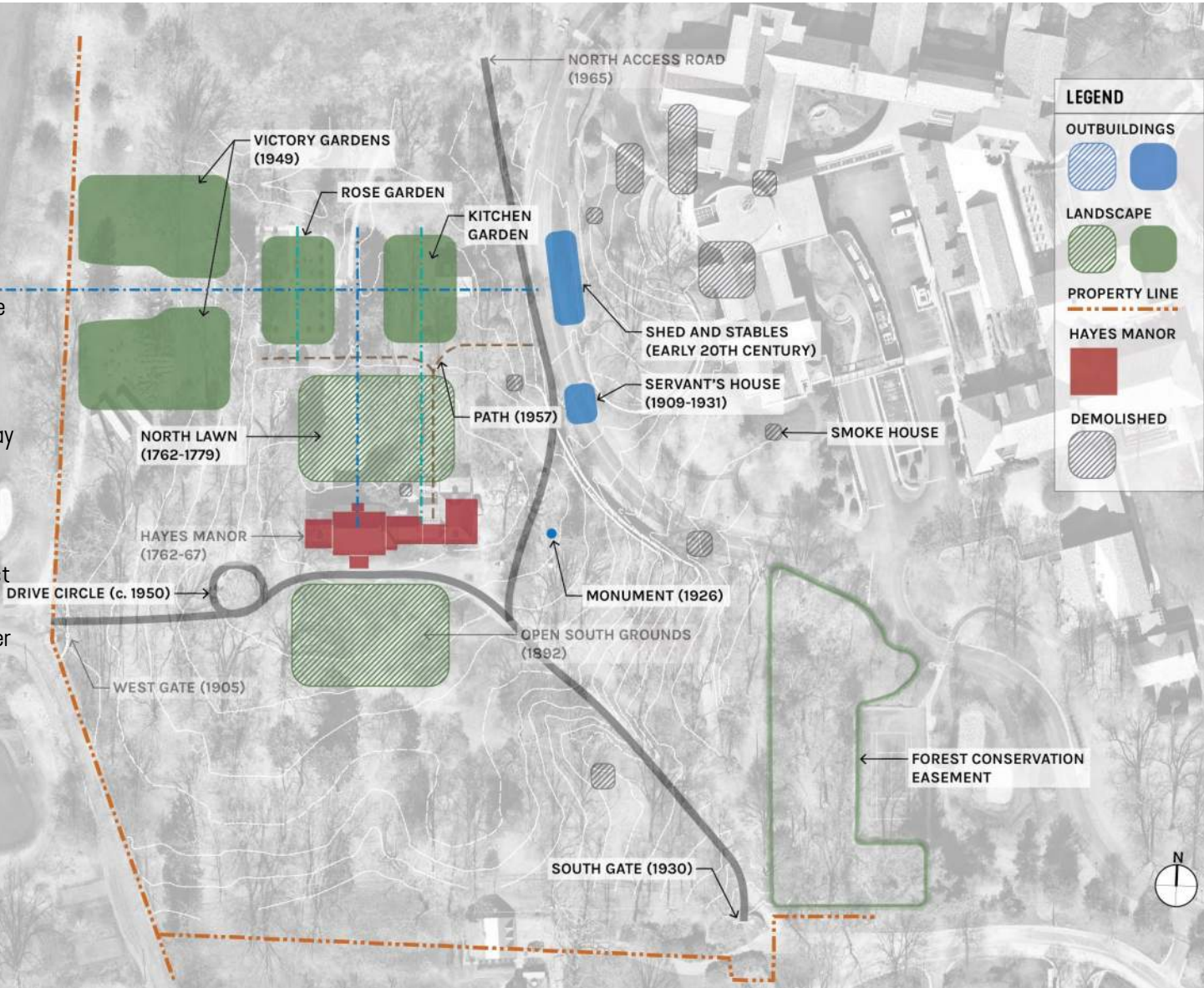
G. Thomas Dunlop inherits Hayes on his father's death in 1908 and makes it his full-time residence.

1926

The land on which the Dunlop family cemetery was established was conveyed to the Chevy Chase Land Company, and family members were reinterred under the present monument. The construction of the south gate may have occurred at this time.

c. 1927-1940

Several pieces of evidence suggest that the farm structures on the Hayes property were removed over time, either in the late 1920s or the late 1930s.



HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

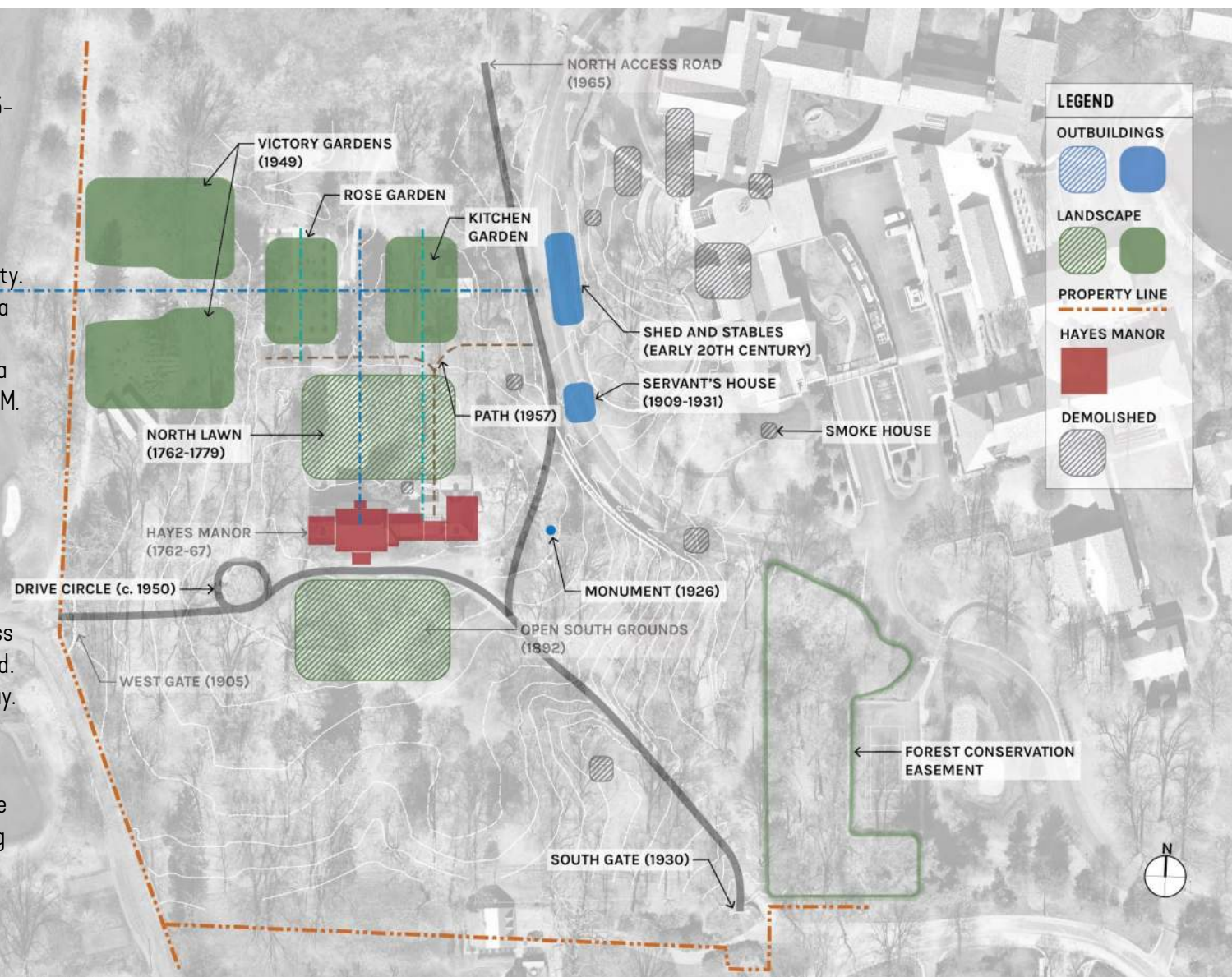
Landscape Period 6: Hayes as Suburban Residence (1908-1964)

1935-1937
Harold Ickes and his wife occupy Hayes Manor (roughly June 1935-May 1937).

1931
“Hayes Manor” appears on real estate map of Montgomery County. The map shows the brick house, a smaller brick building to east, a frame building farther east, and a frame building to northeast. (F.H.M. Klinge, Property Atlas of Montgomery County)

1941
The 1941 Klinge real estate map depicts a long drive leading northwest from the garage across the property to Jones Bridge Road. No trace of this drive exists today.

1962
HABS documentation depicts the drive beyond the garage traveling directly north past the bungalow and the barn.





Landscape Period 7:

Hayes During the Late Twentieth Century (1965-2001)

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 7: 1970 Historic Aerial

The aerial image below represents the site in 1970. A notable change is the swimming pool which was constructed in place of the historic kitchen garden.



HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 7: Hayes During the Late Twentieth Century (1965-2001)

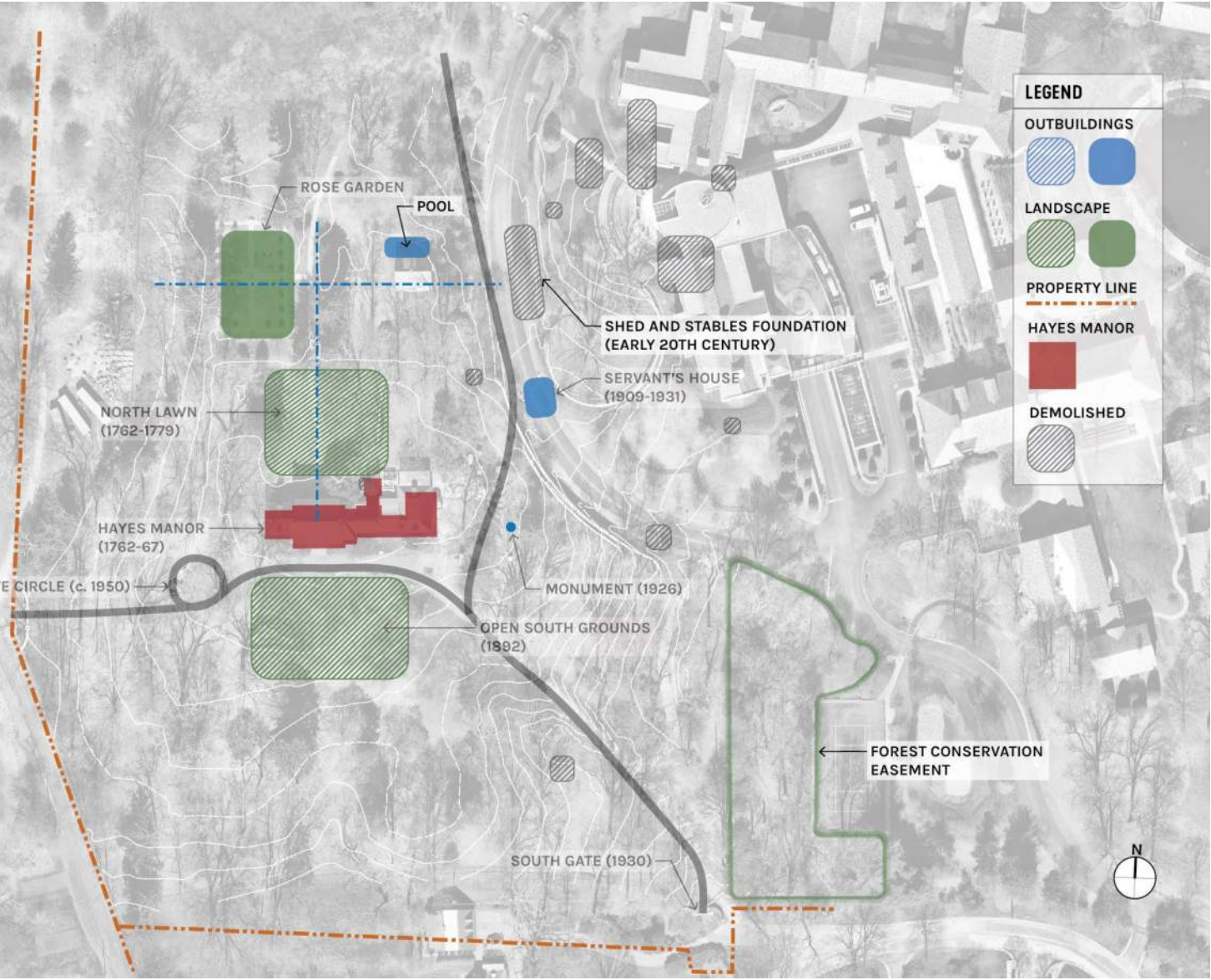
1965
Property bought by Ernest S. Johnston. Outbuildings included a caretaker's house (the bungalow) and a barn. Johnston sells the property to Ellen MacNeille, and George Iverson. After their divorce, George Iverson sells Hayes to MacNeille.

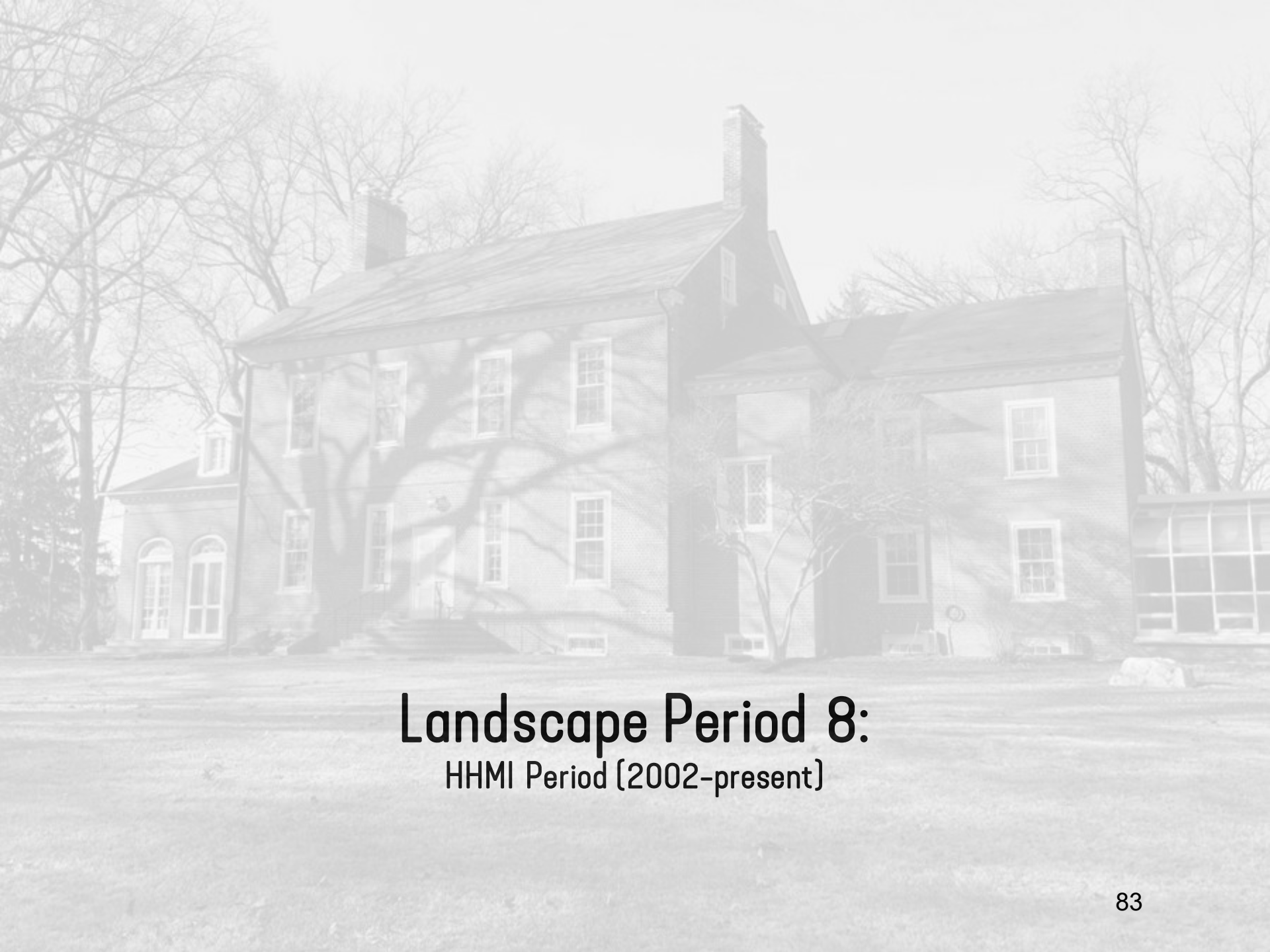
1992
Ellen MacNeille Charles, working with Washington architect Winthrop Faulkner, renovates the house and grounds.

1993
Ellen MacNeille Charles demolishes the barn, leaving the foundations.

1984
Hayes Manor is listed in Montgomery County Master Plan for Historic Preservation.

1996
Ellen MacNeille Charles sells the property to the Columbia Foundation



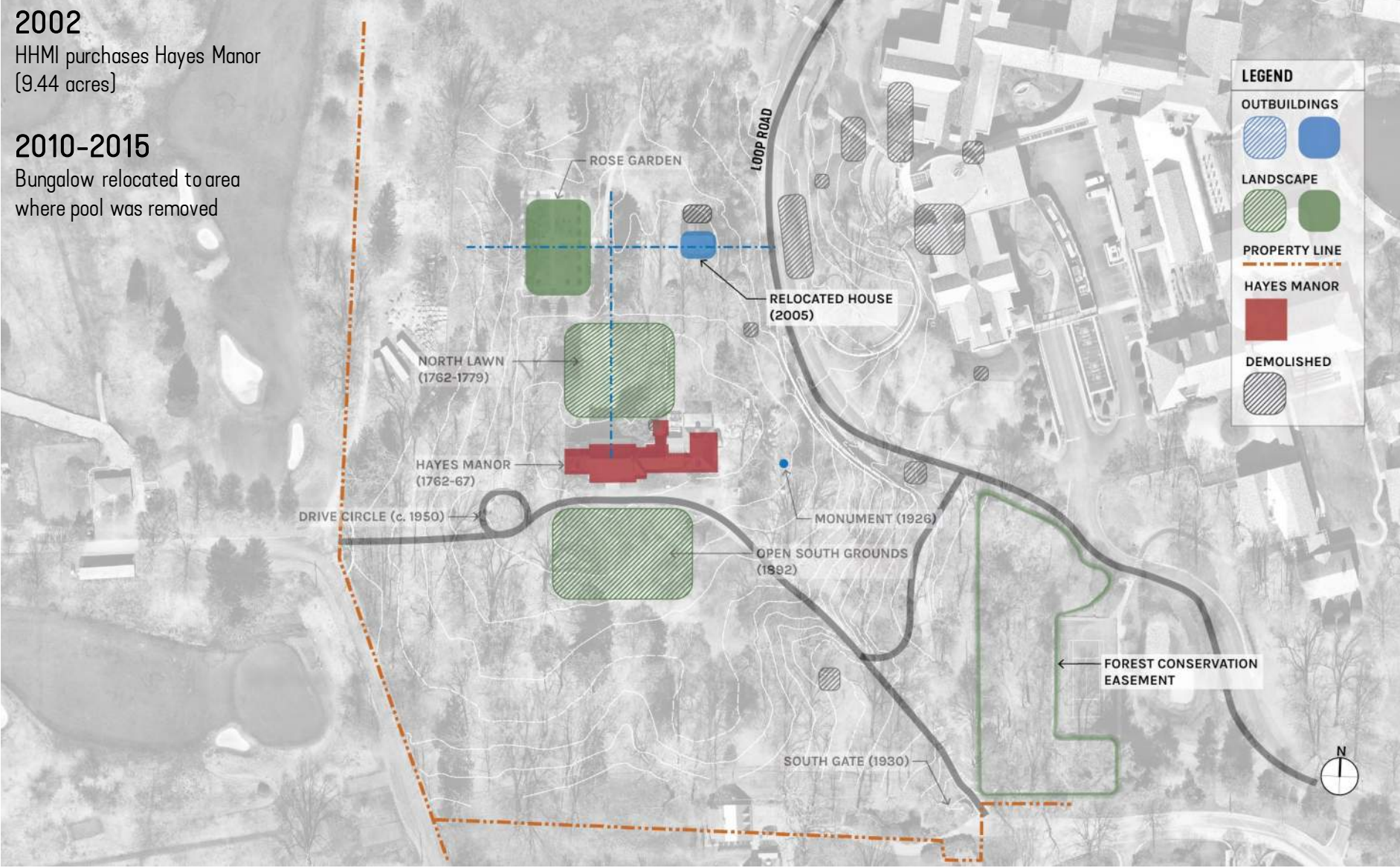


Landscape Period 8:

HHMI Period (2002-present)

HAYES MANOR REHABILITATION: LANDSCAPE DEVELOPMENTAL HISTORY

Landscape Period 8: HHMI Period (2002-present)



HAYES MANOR REHABILITATION: EXISTING CONDITIONS

South Landscape

The following images represent the existing site and landscape conditions located south of Hayes Manor. This includes the stone obelisk monument to the Dunlop Family located just southeast of the house.



Existing cart path connecting Loop Road to the Manor House access road.



Existing access road from Manor Road to the south. Hayes Manor seen in the distance.



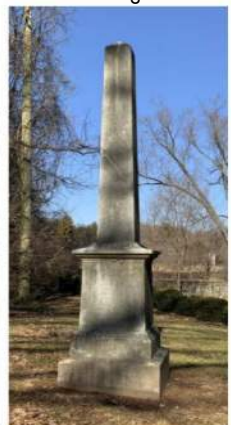
Existing security gate at Manor Road. Historic brick gate posts seen to the right.



Existing gravel drive along the south side of Hayes Manor.



Existing gravel driveway turnaround located southwest of Hayes Manor.



Monument to the Dunlop Family located southeast of Hayes Manor.

HAYES MANOR REHABILITATION: EXISTING CONDITIONS

North Landscape

The following images represent the existing site and landscape conditions located north of Hayes Manor. This includes a pea gravel pathway which passes to the east of the historic rose garden and leads to the Platt House to the north.



View of existing North Patio looking towards the headquarters building.



View of existing North Patio from north entrance to Hayes Manor.



View of existing North Patio, featuring flagstone paving with brick border.



Existing pea gravel pathway leading from the North Patio to the Platt House.



Existing pea gravel pathway leading from the North Patio to the Platt House. Rose Garden seen to the left.



View of the Cottage from the North Patio.

HAYES MANOR REHABILITATION: TREE INVENTORY AND ASSESSMENT

HHMI routinely contracts with Bartlett Tree Experts to maintain an inventory and assessment of existing trees on the campus. A high value tree, #826, is located within the proposed limit of disturbance for this project. All efforts will be made to protect and preserve this valuable landscape feature.



Howard Hughes Medical Institute
Tree Inventory and Management Plan | 2021

Submitted by:
Bartlett Tree Experts

Harry Chopev, Regional Inventory Arborist
ISA Board Certified Master Arborist #MA-5182B, ISA Tree Risk Assessment Qualified

Josh Nadler, Arborist Representative
ISA Board Certified Master Arborist #MW-4439B, ISA Tree Risk Assessment Qualified

Bartlett Tree Experts
Gaithersburg Office
1 Metropolitan Court
Gaithersburg, Maryland 20878
301-881-8550
www.bartlett.com

TOP TEN TREES - HIGHEST ESTIMATED TREE ASSET VALUE

Tree ID	Common Name	Genus	Species	DBH
399	Tuliptree	<i>Liriodendron</i>	<i>tulipifera</i>	42,32
709	Oak-Willow	<i>Quercus</i>	<i>phellos</i>	57
715	Oak-Willow	<i>Quercus</i>	<i>phellos</i>	56
1455	Tuliptree	<i>Liriodendron</i>	<i>tulipifera</i>	58
826	Tuliptree	<i>Liriodendron</i>	<i>tulipifera</i>	57
753	Tuliptree	<i>Liriodendron</i>	<i>tulipifera</i>	56
391	Tuliptree	<i>Liriodendron</i>	<i>tulipifera</i>	56
406	Tuliptree	<i>Liriodendron</i>	<i>tulipifera</i>	56
1239	Beech-European	<i>Fagus</i>	<i>sylvatica</i>	49
324	Tuliptree	<i>Liriodendron</i>	<i>tulipifera</i>	55



HOWARD HUGHES MEDICAL INSTITUTE
HAYES MANOR REHABILITATION

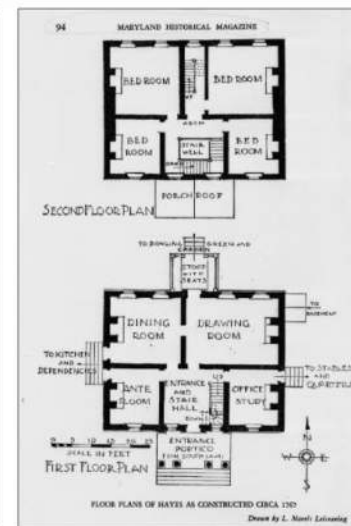
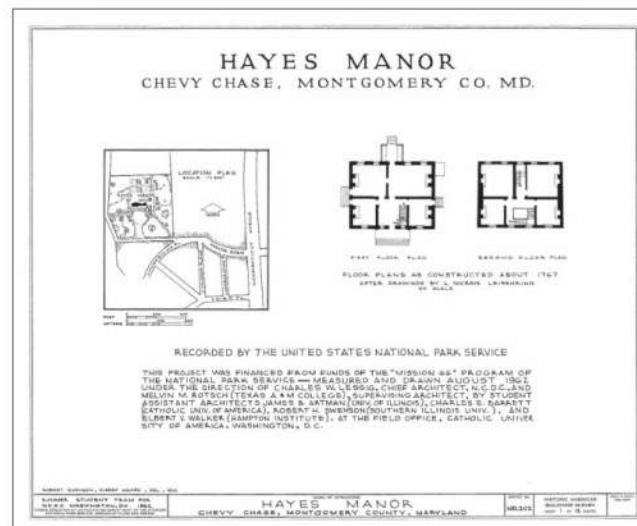
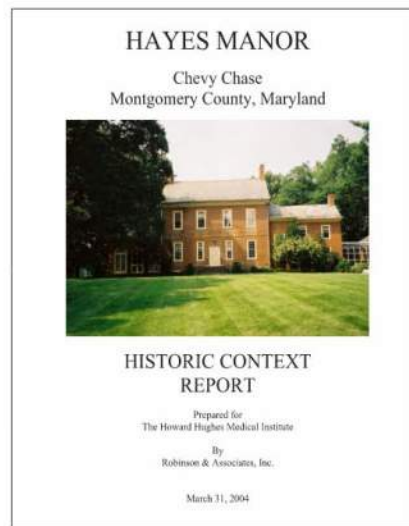
PART 2: **MANOR HOUSE RESEARCH AND DEVELOPMENTAL HISTORY**

HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

List of Historic Resources & Archives Reviewed

In conjunction with establishing an understanding of the historic landscape, SmithGroup and the design team relied upon a variety of sources to understand the architectural evolution and developmental history of the Manor House. The following documents were reviewed to gain an understanding of the changes over time, extant character defining features, and identification of missing historic features which should be recommended for replacement.

- Maryland Inventory of Historic Properties, Maryland Historical Trust Inventory No. 35/10
- Historic Context Report, Robinson & Associates, Inc., March 31, 2004
 - Established Period Of Significance 1762–1965
- Historic American Building Survey, August 1962 (31 Photographs, 14 Measured Drawings, 15 Data Pages)
- Maryland Historical Magazine, Floor Plans Of Hayes As Constructed Circa 1767

[illegible]

HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Historic American Building Survey (1961) - South Facade

The Historic American Building Survey (HABS) documented the Manor House and surround landscape in the 1960s. Select photos featured in this document were taken in 1961. The Manor House was measured and drawn by the National Park Service in 1962. The photographs shown below feature the south façade of the Manor House and provide an invaluable documentation of the South Porch which has since been demolished.



HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Historic American Building Survey (1961) – North Facade

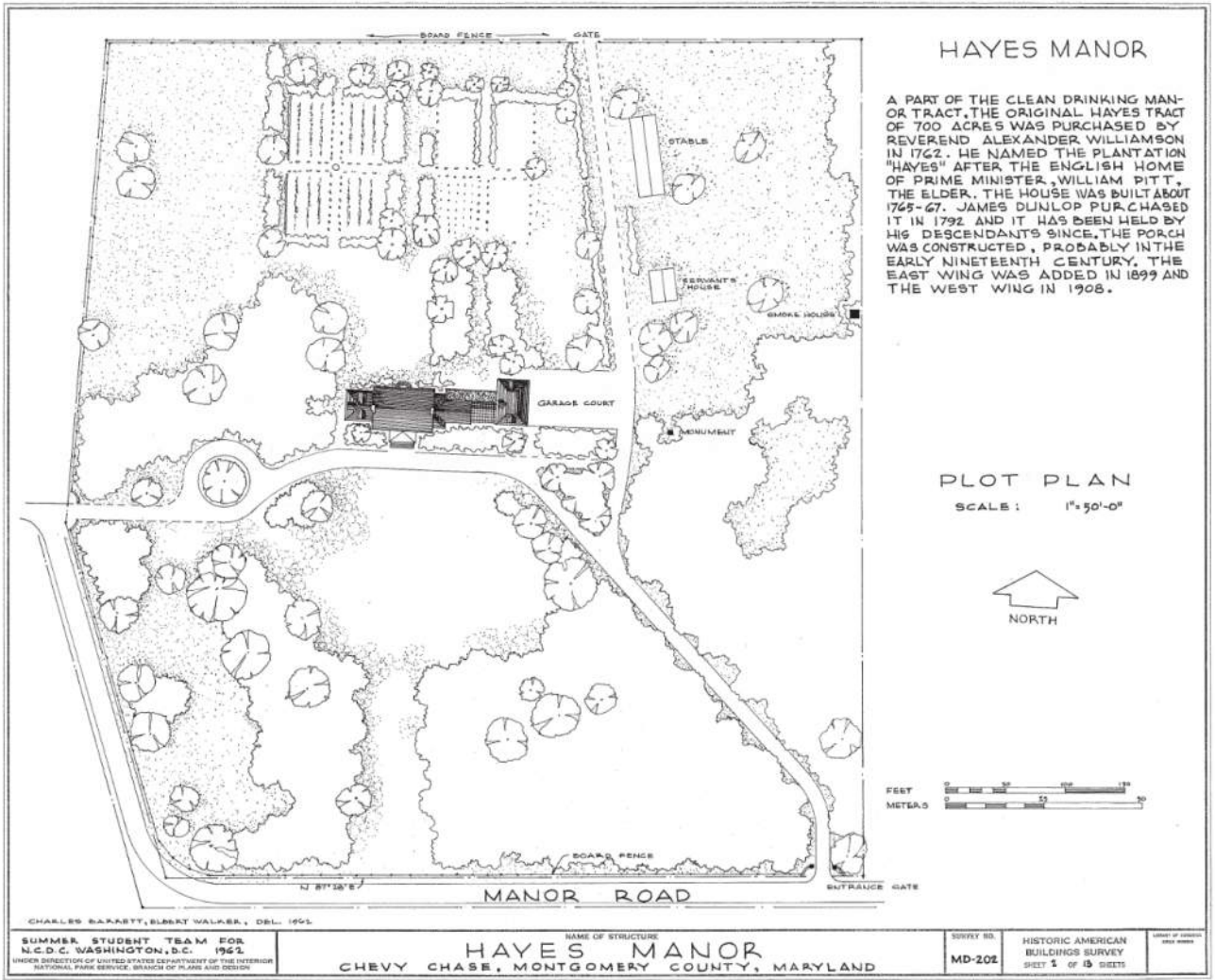
The photographs shown below feature the north façade of the Manor House. It is notable that the rusticated plaster surround at the north door is no longer extant. This feature is also missing from the south façade.



HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Historic American Building Survey (1962) - Site Plan and Floor Plan

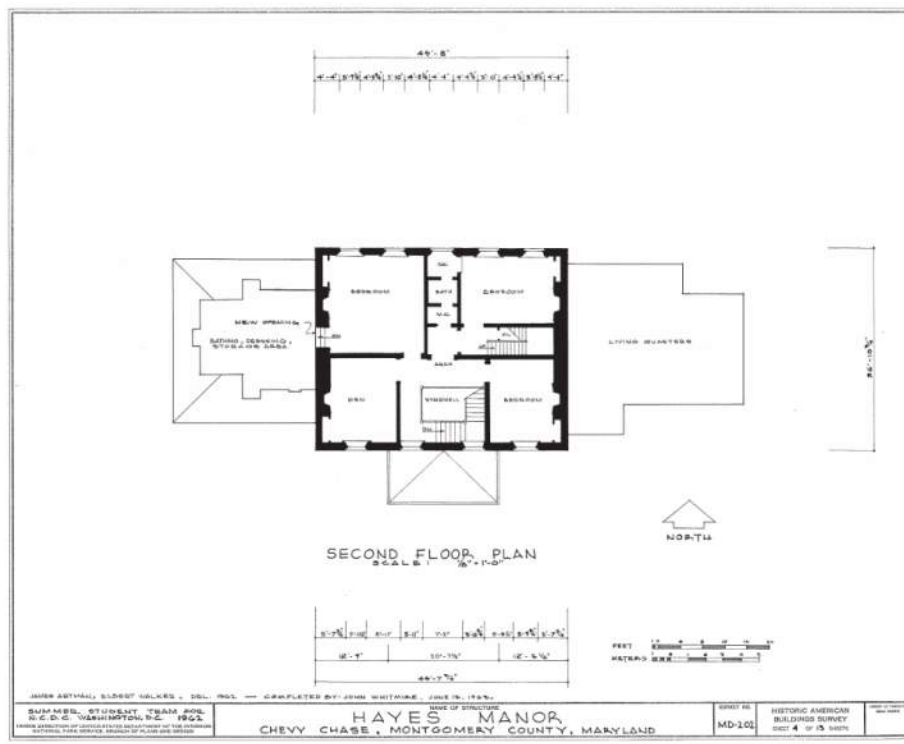
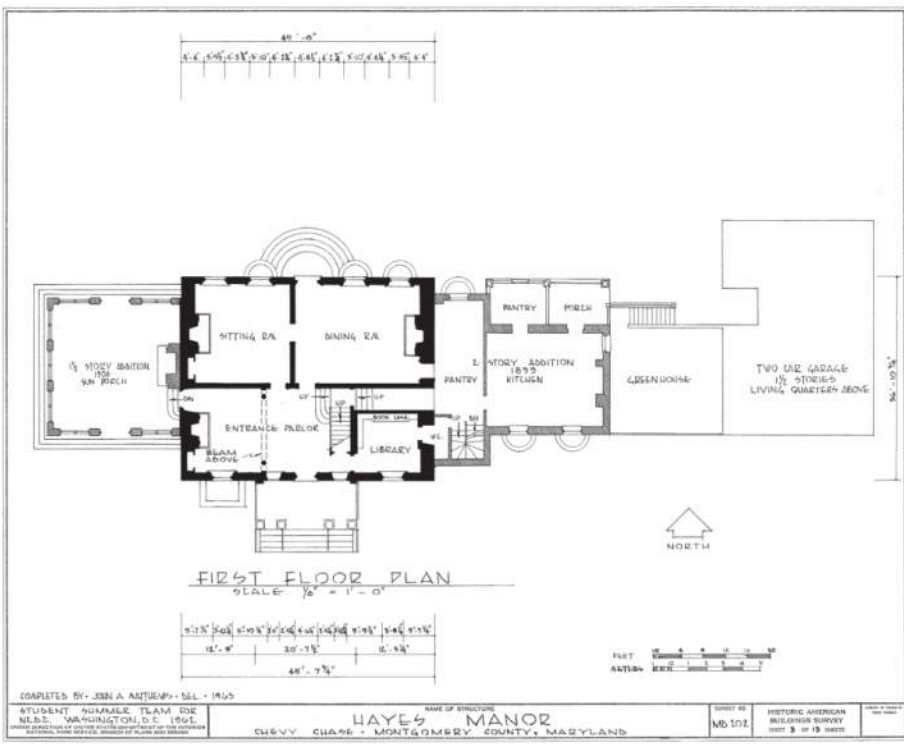
The Historic American Building Survey (HABS) documented the Manor House and surround landscape in the 1960s. The Manor House was measured and drawn by the National Perk Service in 1962.



HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Historic American Building Survey (1962) - Measured Drawings

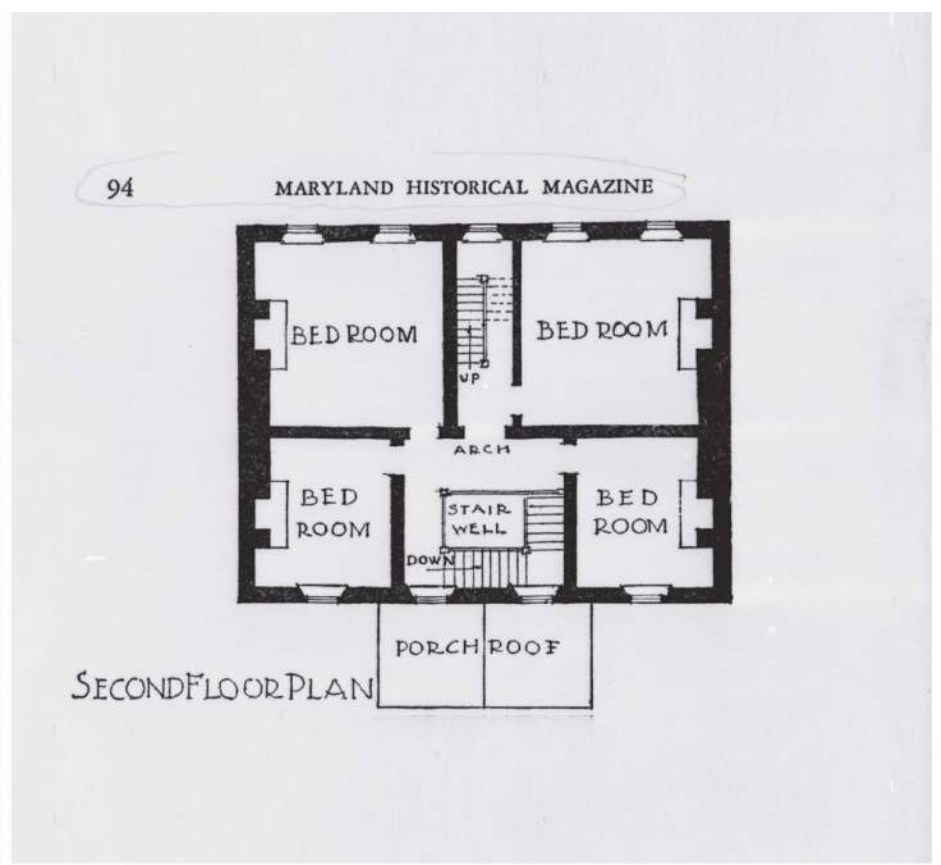
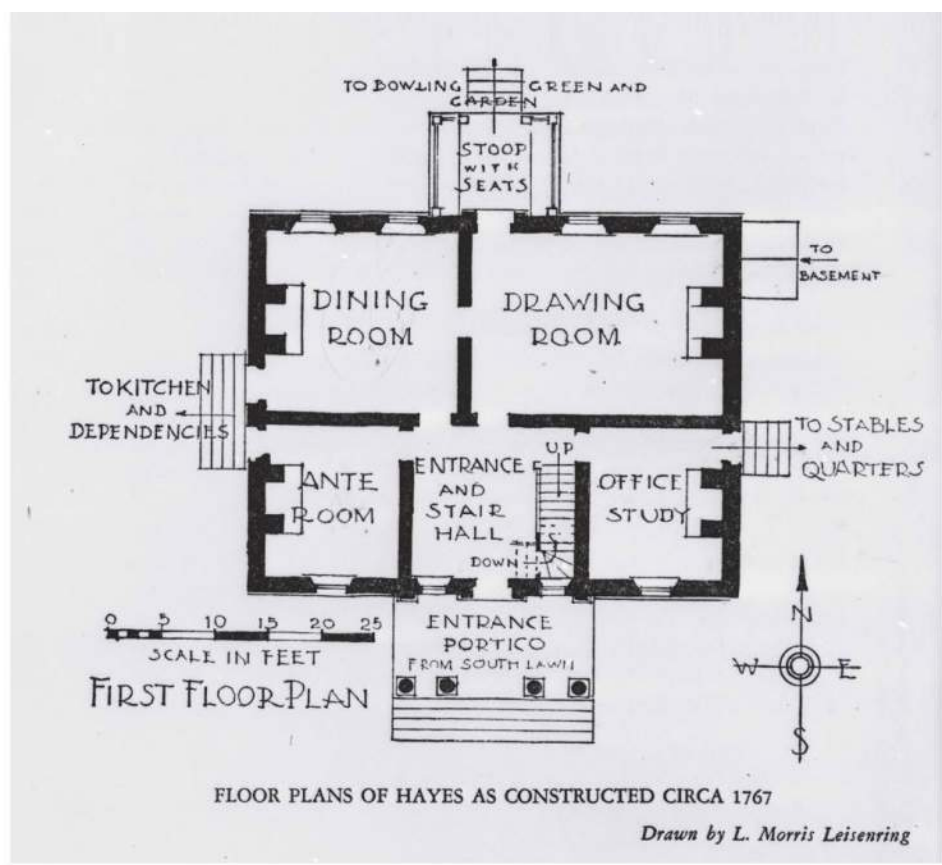
The Historic American Building Survey (HABS) documented the Manor House and surround landscape in the 1960s. The Manor House was measured and drawn by the National Perk Service in 1962.



HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Historic American Building Survey (1962) - 1767 Conjecture Plans

The Historic American Building Survey (HABS) documented the Manor House and surround landscape in the 1960s. These conjectural plans of the Manor House are included in the HABS archives held by the Library of Congress. These plan provide an interesting perspective of the parti and circulation of the historic foursquare, much of which remains today.



HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Historic Periods in Manor House Developmental Timeline

Informed by the research conducted, the historic evolution of Manor House was evaluated in the following distinct periods. A diagrammatic analysis of the physical changes to the Manor House during these time periods is provided in the following pages. It should be noted that a separate analysis of historic periods related to the developmental history of the landscape is outlined at the beginning of this document.

MANOR HOUSE DEVELOPMENTAL HISTORY PERIODS

Manor House Period 1: Williamson Ownership (1762 – 1792)

Manor House Period 2: Dunlop Family Ownership (1792-1965)

- **Period 2A:** Changes Between 1792 – 1849
- **Period 2B:** Changes Between 1850 – 1890s
- **Period 2C:** Changes Between 1890s – 1899
- **Period 2D:** Changes Between 1901 – 1908
- **Period 2E:** Changes Between 1908 – 1965

Manor House Period 3: MacNeille & Iverson Ownership (1965 – 1985)

Manor House Period 4: MacNeille Ownership (1985 – 1996)

Manor House Period 5: HHMI Ownership (2002 – Present)





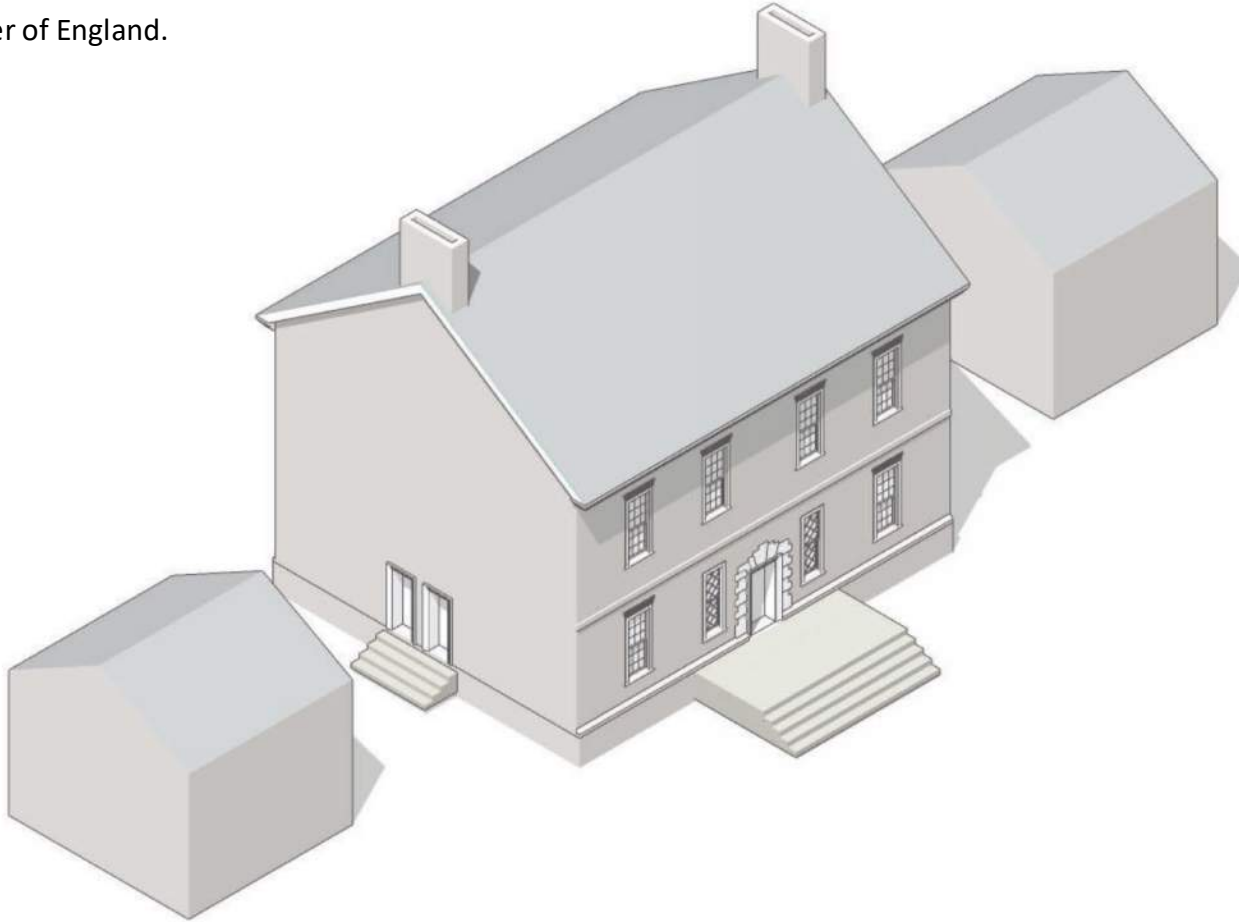
Manor House Period 1:

Williamson Ownership (1762 – 1792)

HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Manor House Period 1: Williamson Ownership (1762 – 1792)

- Central portion of the house was built between 1762-1767 for the Rev. Alexander Williamson, a considerable landowner and Anglican clergyman.
- Property names “Hayes” after the home of William Pitt the Elder, then Prime Minister of England.





Manor House Period 2A:

Dunlop Family Ownership (1792-1965)

Changes Between 1792 – 1849

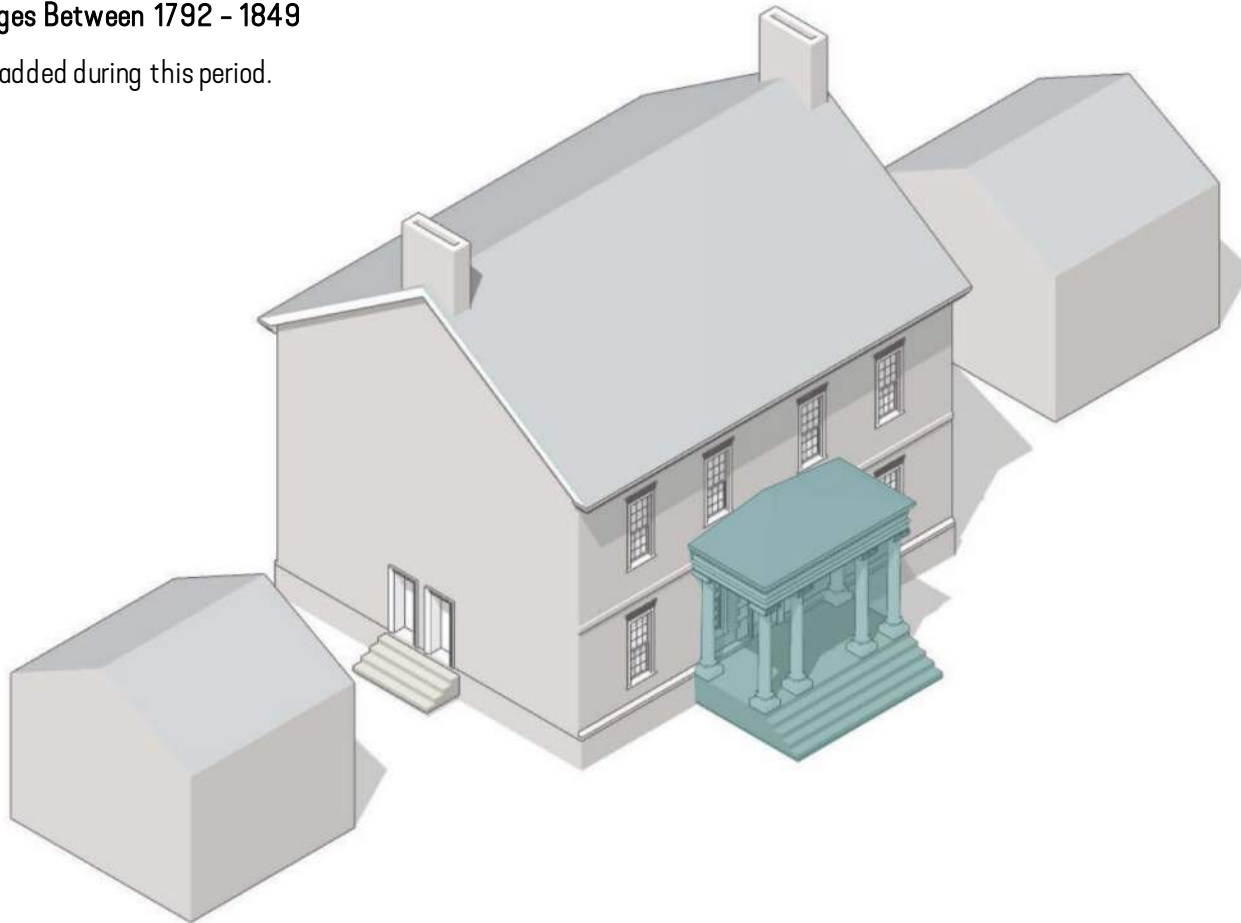
HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Manor House Period 2: Dunlop Family Ownership (1792-1965)

House and surrounding approximately 662 acres were sold to James Dunlop in 1792, continuous ownership remaining in the Dunlop family for six generations from 1792 until 1965.

Period 2A: Changes Between 1792 - 1849

- South portico added during this period.





Manor House Period 2B:

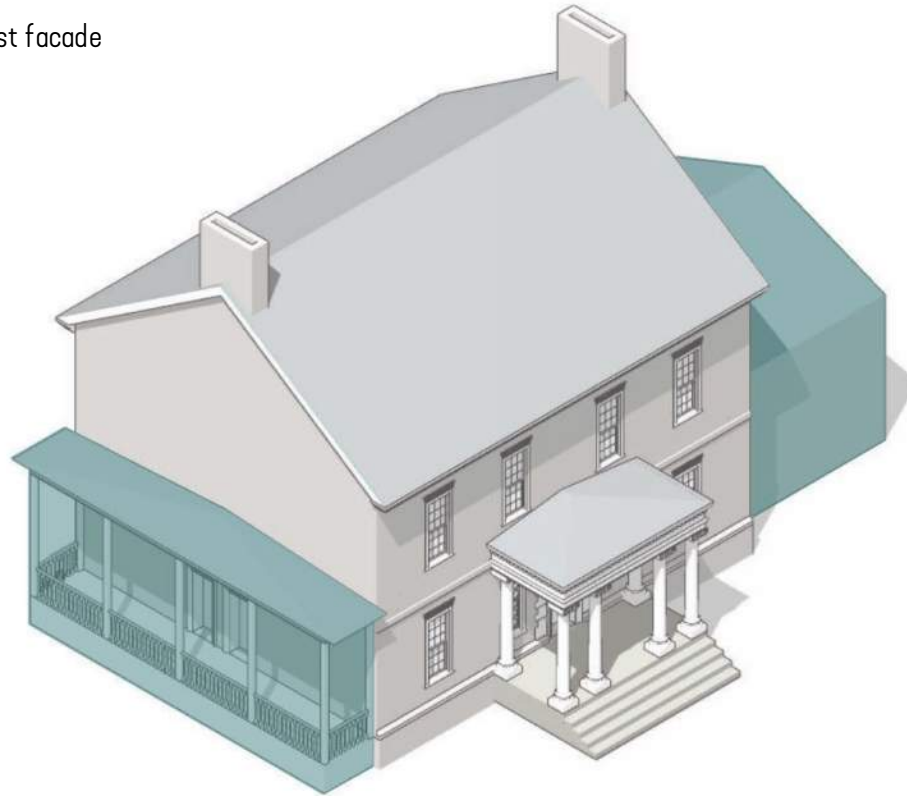
**Dunlop Family Ownership (1792-1965)
Changes Between 1850 – 1890s**

HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Manor House Period 2: Dunlop Family Ownership (1792 – 1965)

Period 2B: Changes Between 1850 – 1890s

- New 1-story east kitchen added to replace the original kitchen
- Victorian porch added along west facade





Manor House Period 2C:

Dunlop Family Ownership (1792-1965)

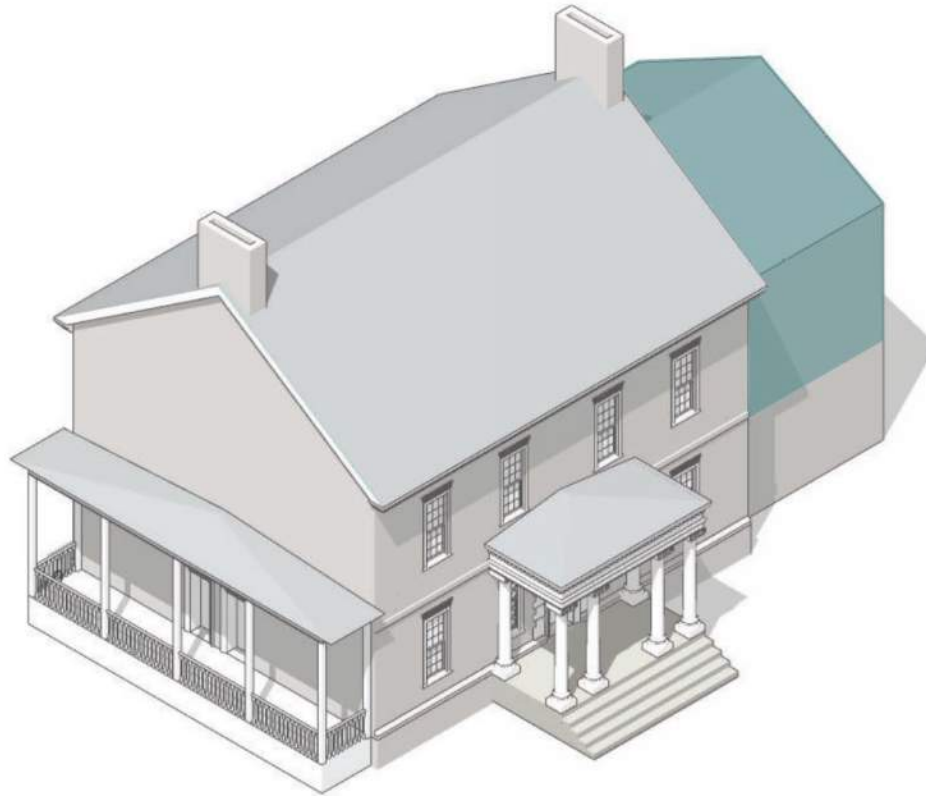
Changes Between 1890s – 1899

HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Manor House Period 2: Dunlop Family Ownership (1792 – 1965)

Period 2C: Changes Between 1890s – 1899

- 2nd story added to east kitchen





Manor House Period 2D:

Dunlop Family Ownership (1792-1965)

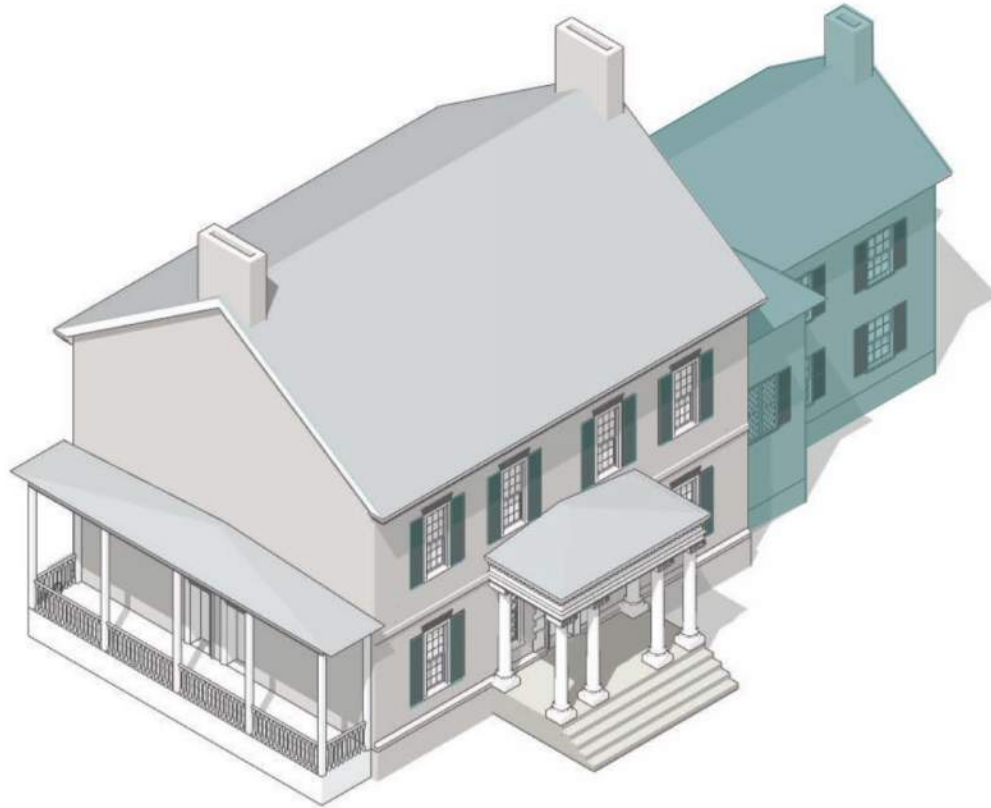
Changes Between 1901 – 1908

HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Manor House Period 2: Dunlop Family Ownership (1792 – 1965)

Period 2D: Changes Between 1901 – 1908

- Shutters installed at windows of foursquare
- New east kitchen wing added





Manor House Period 2E:

Dunlop Family Ownership (1792-1965)

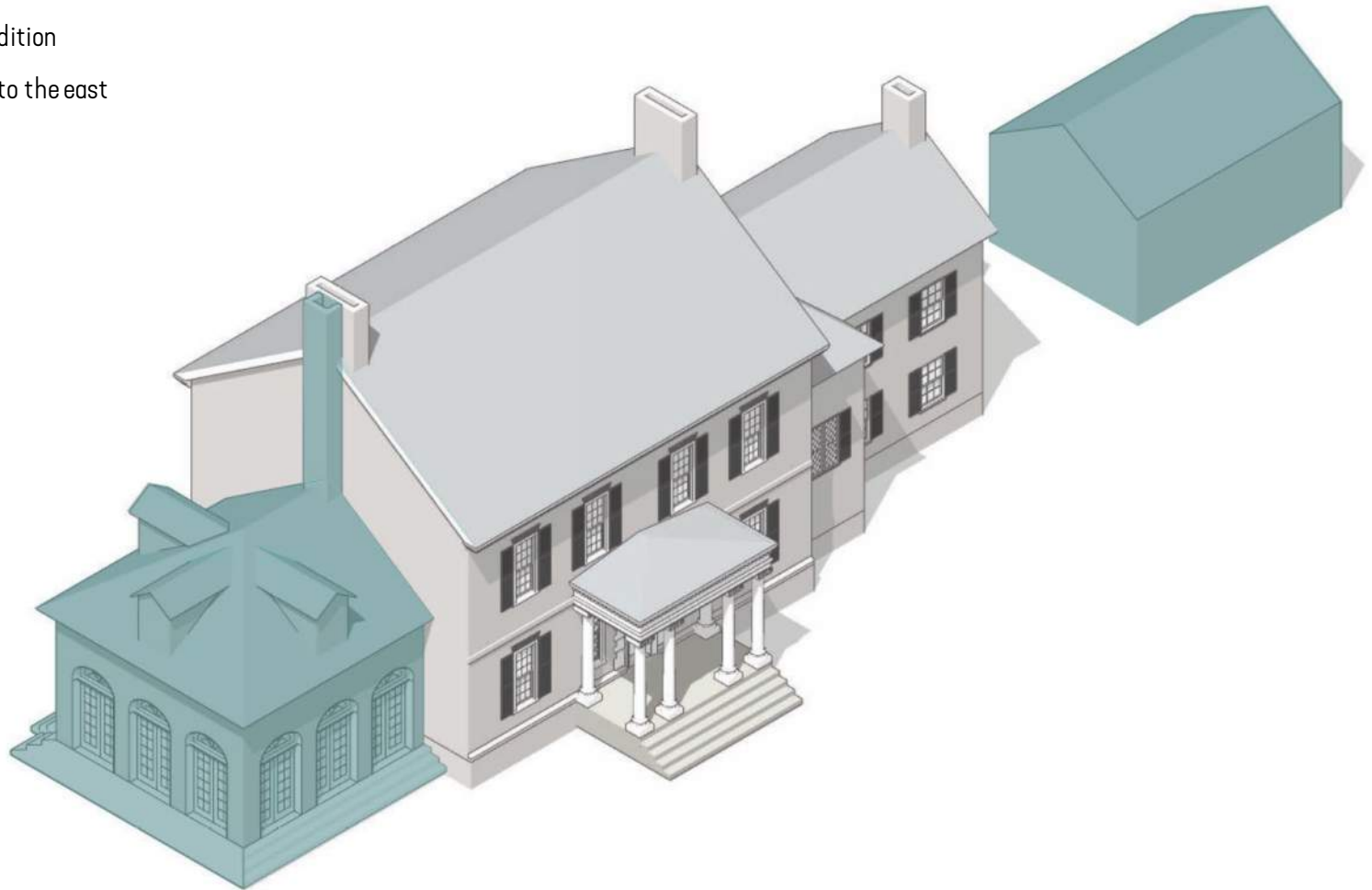
Changes Between 1908 – 1965

HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Manor House Period 2: Dunlop Family Ownership (1792 – 1965)

Period 2E: Changes Between 1908 – 1965

- West sunroom addition
- Detached garage to the east





1985]

Manor House Period 3:

MacNeille & Iverson Ownership [1965 - 1985]

HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

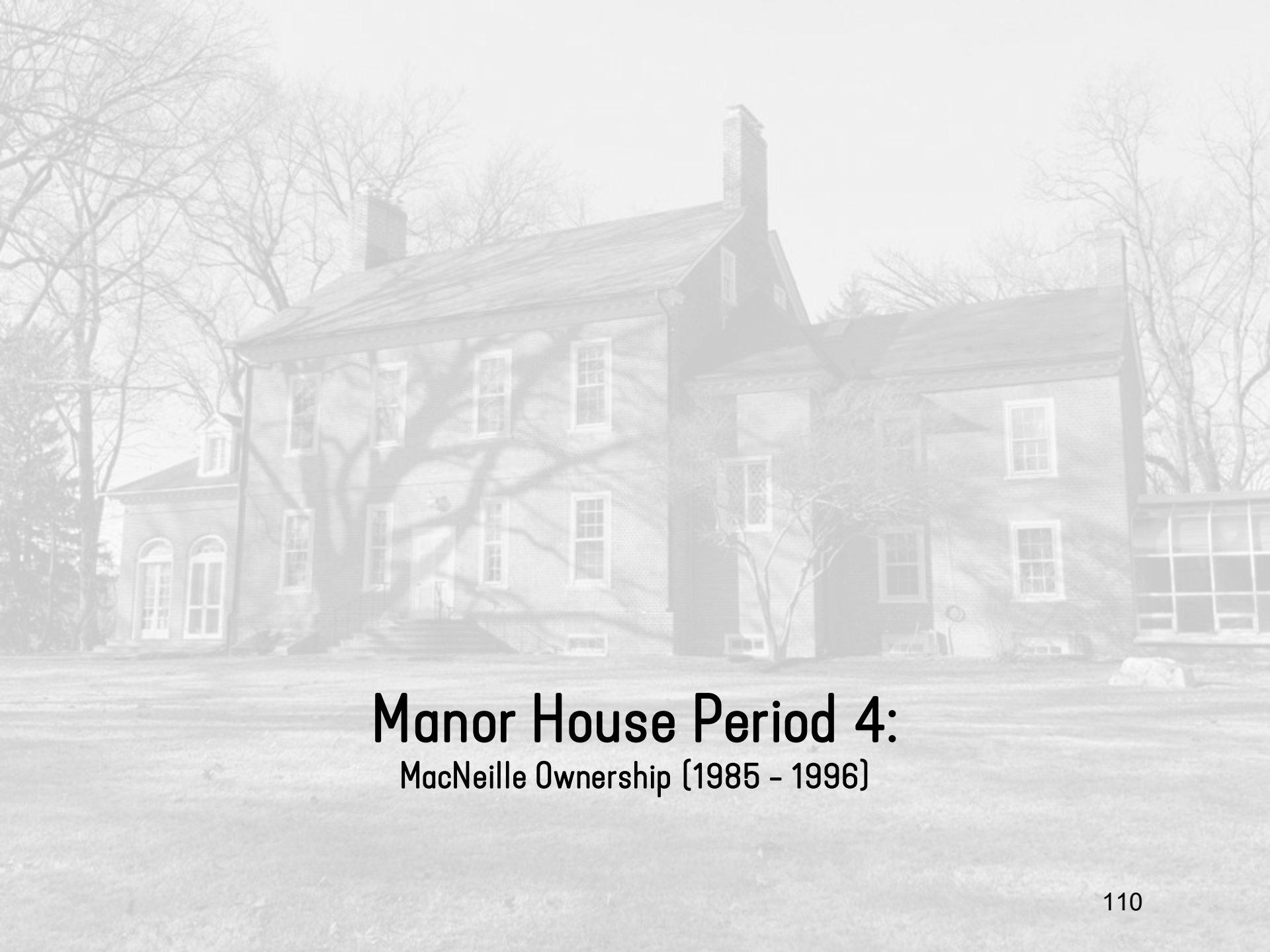
Manor House Period 3: MacNeille & Iverson Ownership (1965 – 1985)

House and surrounding property sold to Ernest Johnston in 1965 and then to Ellen MacNeille & George Iverson shortly after.

Changes implemented in 1965

- Detached garage expanded
- Shutters removed
- Rusticated surround at north and south doors removed
- South portico removed
- Greenhouse constructed between east kitchen wing and detached garage





Manor House Period 4:

MacNeille Ownership (1985 - 1996)

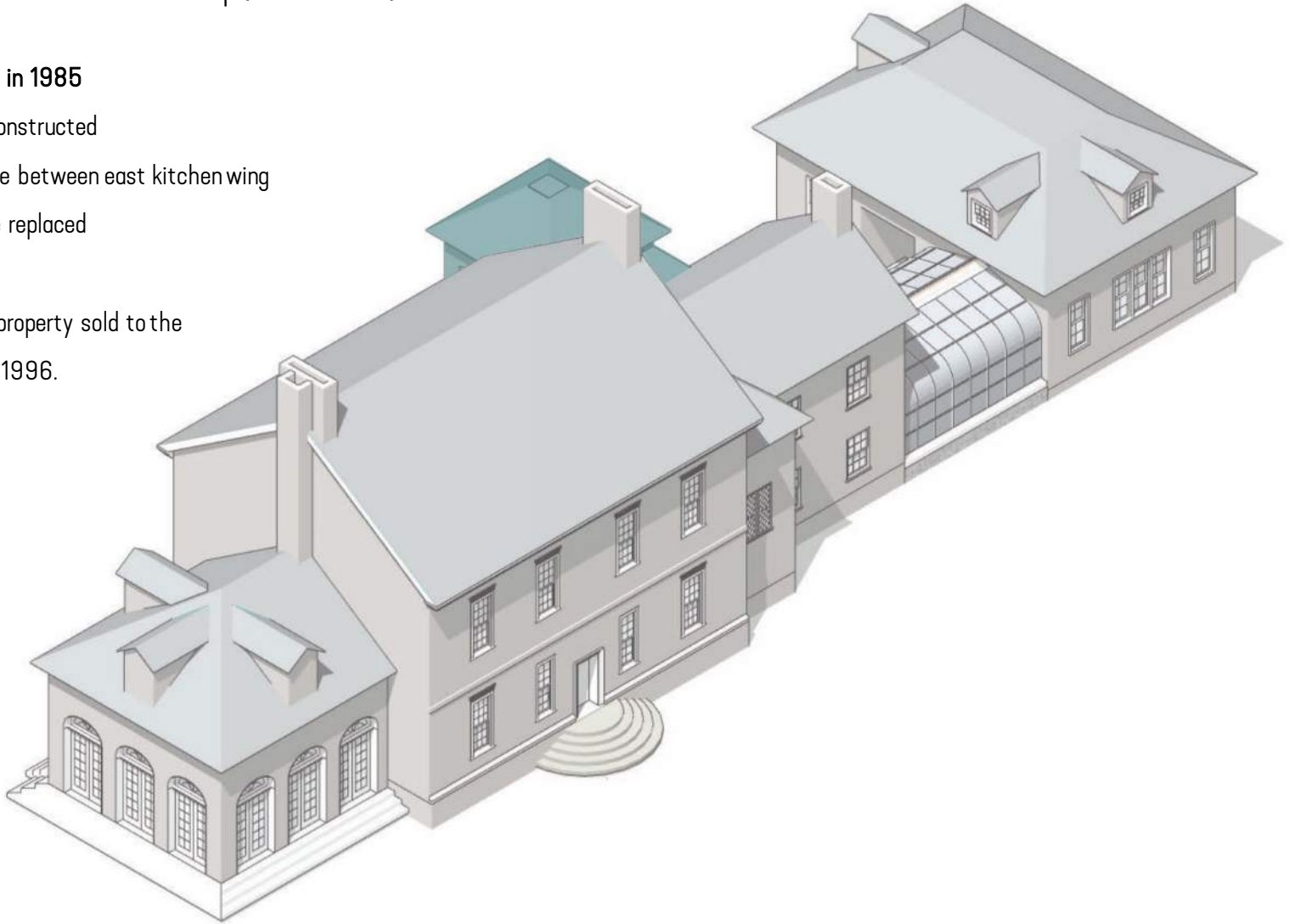
HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Manor House Period 4: MacNeille Ownership (1985 – 1996)

Changes implemented in 1985

- Northeast pavilion constructed
- Greenhouse enclosure between east kitchen wing and detached garage replaced

House and surrounding property sold to the Columbia Foundation in 1996.





Manor House Period 5:

HHMI Ownership (2002 - Present)

HAYES MANOR REHABILITATION: MANOR HOUSE DEVELOPMENTAL HISTORY

Manor House Period 5: HHMI Ownership (2002 - Present)

House and surrounding property purchased by HHMI from the Columbia Foundation in 2002.



HAYES MANOR REHABILITATION: EXISTING CONDITIONS

South & West Facades

The following images represent the existing south and west façades of Hayes Manor. The central foursquare of the house was constructed from 1762-1767. The west Sunroom addition and the detached Garage to the east were added in 1908. The greenhouse connecting the house to the Garage was added in 1965.



View of south façade of Hayes Manor.



View of greenhouse located between the Manor House and Garage to the east.



View of west façade of Sunroom.

HAYES MANOR REHABILITATION: EXISTING CONDITIONS

North Facade

The following images represent the existing north façade of Hayes Manor. The central foursquare of the house was constructed from 1762-1767. The west Sunroom addition and the detached Garage to the east were added in 1908. The kitchen addition east of the foursquare was added in 1899 and subsequently renovated in the late 20th century.



View of north façade of Hayes Manor with steps leading to the North Patio.



View of existing maintenance north of the Garage and the East Patio.



View of existing maintenance north of the Garage and the East Patio.



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 7/27/2022

Application No: 1001591
AP Type: HISTORIC
Customer No: 1442452

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 4000 Jones Bridge RD
Chevy Chase, MD 20815

Othercontact Pommerer (Primary)

Historic Area Work Permit Details

Work Type RESREP

Scope of Work The historic Hayes Manor, located on the headquarters campus of of the Howard Hughes Medical Institute will be rehabilitated as a private residence for the President of the Institute.