

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	12 E. Lenox St., Chevy Chase	Meeting Date:	9/7/2022
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	8/31/2022
Applicant:	Justin and Elizabeth Bausch	Public Notice:	8/24/2022
Review:	HAWP	Staff:	Dan Bruechert
Case Number:	1004042	Tax Credit:	n/a
Proposal:	Fenestration Alteration		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Historic District
STYLE: Colonial Revival
DATE: c.1916-1927

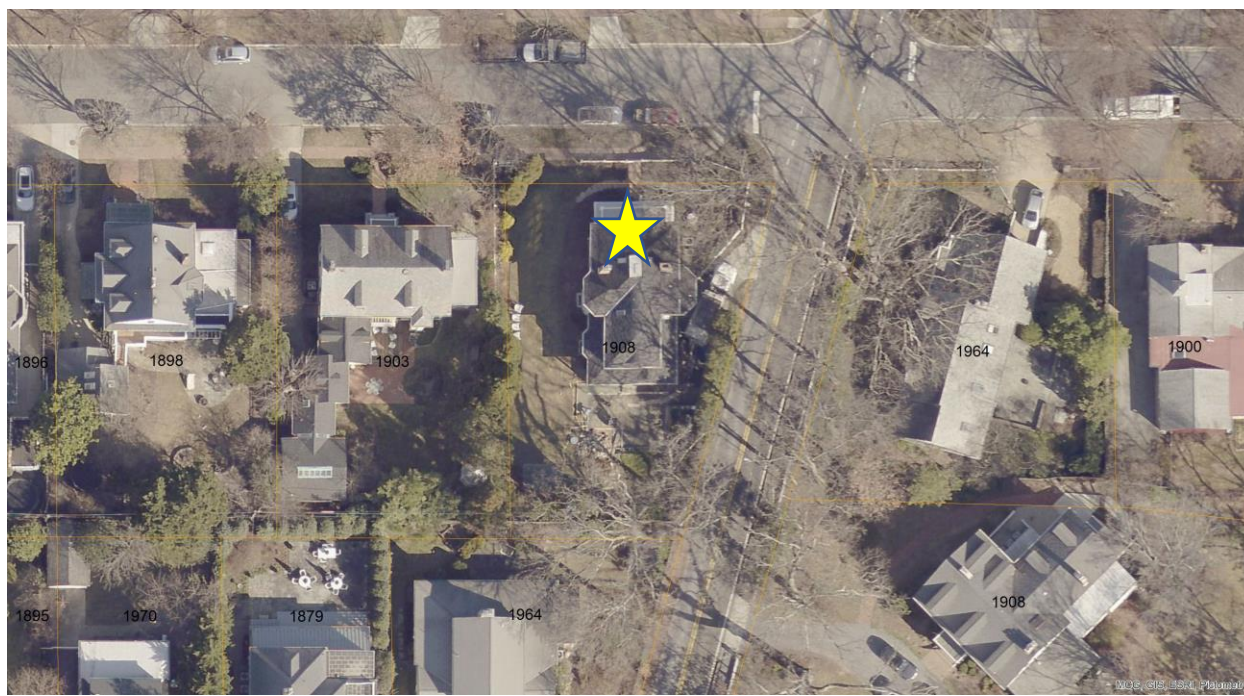


Figure 1: The subject property is at the corner of E. Lenox and Brookeville Rd.

PROPOSAL

The applicant proposes to remove an existing window from a c.2001 addition and install two new windows.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the *Chevy Chase Historic District Design Guidelines (Guidelines)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Guidelines

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

- Fences should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Gazebos and other garden structures should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Lot coverage should be subject to strict scrutiny, in view of the critical importance of preserving the Village’s open park-like character.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.
- Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources. These guidelines recognize that for outstanding resources replacement in kind is always advocated
- Siding should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not.

- The *Guidelines* state five basic policies that should be adhered to, including:
 - Preserving the integrity of the Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
 - Preserving the integrity of contributing structures. Alterations to should be designed in such a way that the altered structure still contributes to the district.
 - Maintaining the variety of architectural styles and the tradition of architectural excellence.
 - Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
 - Alterations to the portion of a property that are not visible from the public-right-of-way should be subject to a very lenient review. Most changes to the rear of the properties should be approved as a matter of course.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Secretary of Interior's Standards for Rehabilitation

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicant proposes to make a modest modification to the east by removing one window from the c.2001 addition¹ and installing two casement windows. Before the c.2001 addition, the rear kitchen had

¹ The file for the 2001 addition is available here:

https://mcatlas.org/tiles/06_HistoricPreservation_PhotoArchives/Padlock/HAR60640008/Box069/35-13-

two sash windows (see below). The proposed casement windows have a thicker horizontal bar in the middle with a four-lite pattern in the upper half, resulting in an appearance consistent with a four-over-one sash window.



Figure 2: Photo of the rear kitchen before constructing the 2nd-floor addition with two sash windows.

Staff finds the proposed window configuration will not have a substantial impact on the character of the house or the surrounding district. Additionally, Staff finds a two-window configuration may be more consistent with the historic appearance than the single large sash window. Because the side of the house faces Brookeville Rd. the new windows will be visible from the right-of-way; however, Staff does not find the change will have a substantial impact on the character of the house and recommends the HPC approve the HAWP under 24A-8(b)(2) and (d) and the *Chevy Chase Village Guidelines*.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(2) and (d), having found that the proposal, as modified by the condition, is consistent with the *Chevy Chase Village Historic District Design Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2;

[01J_Chevy%20Chase%20Historic%20District_12%20East%20Lenox%20St_05-14-2001.pdf](#).

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



APPLICATION FOR
HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# _____

DATE ASSIGNED _____

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☐ Yes/District Name _____

☐ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: _____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:


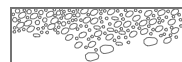
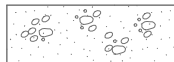
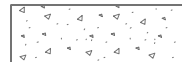







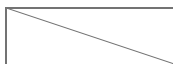


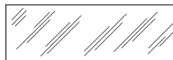






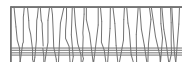


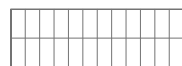

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

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Bausch Residence

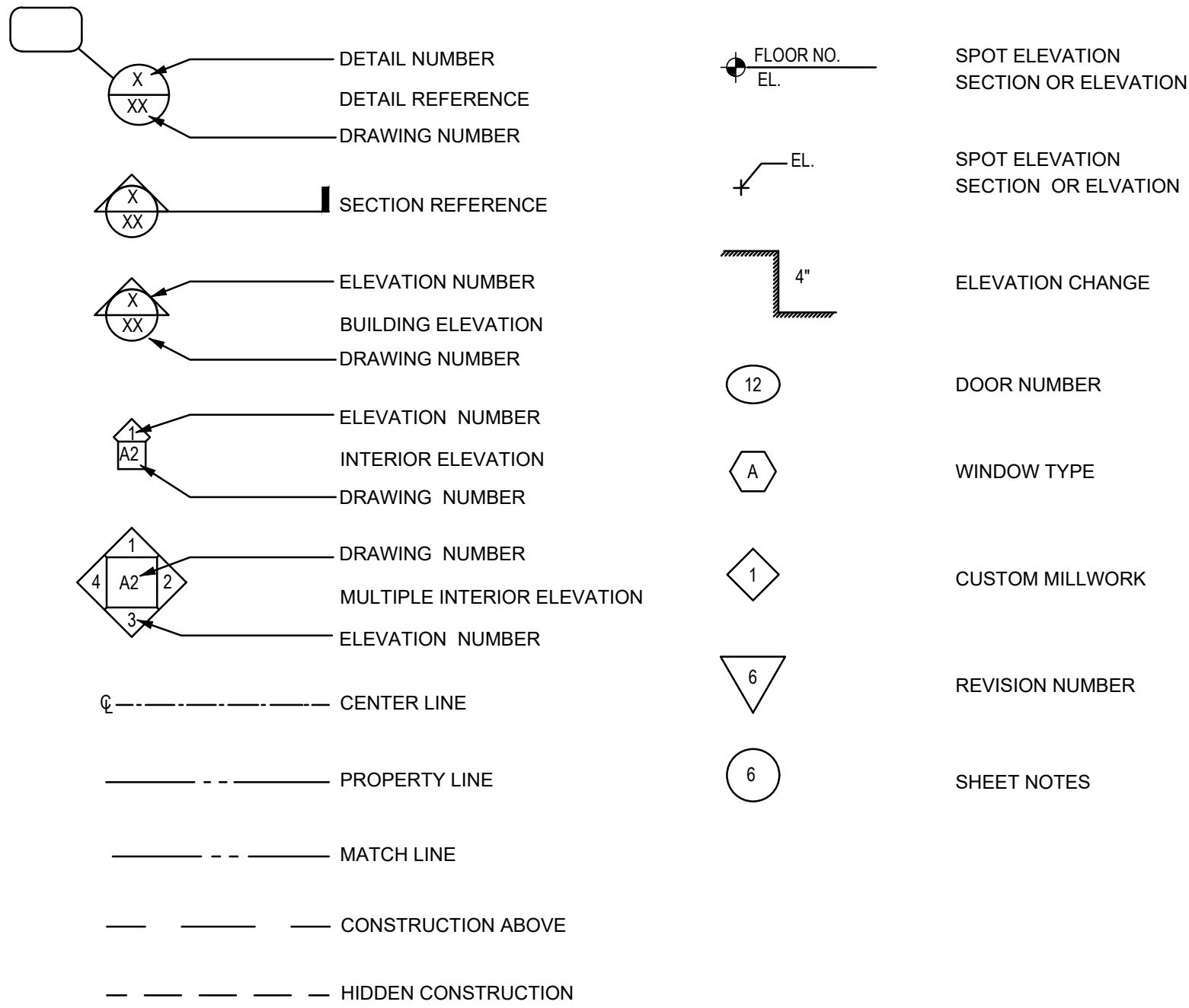
MATERIAL SYMBOLS

EARTHWORKS:	 EARTH / COMPACTED FILL	 POROUS FILL/ GRAVEL	
CONCRETE:	 CAST - IN - PLACE	 PRECAST CONCRETE	
MASONRY:	 BRICK	 CONCRETE BLOCK	
METAL:	 ALUMINUM	 STEEL / OTHER METALS	 BRASS / BRONZE
WOOD:	 FINISHED	 ROUGH	 BLOCKING
GLASS:	 GLASS BLOCK	 GLASS	 GLASS ELEVATION
INSULATION:	 BATT / LOOSE FILL	 RIGID	 SPRAY / FOAM
	 ACOUSTICAL TILE	 CERAMIC TILE - SMALL SCALE	
FINISHES:	 METAL LATH & PLASTER	 CARPET & PAD	 GYPSUM WALLBOARD
ELEVATION INDICATIONS:	 BRICK	 CERAMIC TILE	 CONCRETE / PLASTER



RENDERING TO SHOW DESIGN INTENT ONLY - ACTUAL DESIGN AND FINISHES MAY VARY

DRAWING SYMBOLS



ZONING SUMMARY

LIST OF DRAWINGS

001	COVER SHEET
002	GENERAL NOTES
D001	DEMO PLANS
A001	PLANS
A002	EXTERIOR ELEVATIONS
E001	MECHANICAL, ELECTRICAL, PLUMBING

PROJECT SUMMARY

Project Location: 12 East Lenox, Chevy Chase, Maryland 20815
Lot Description: Lot 17, Block 36 District 07 Acct.# 00 457 336
Site Area: 10,708 sq. ft. Zoning: R-60
Owner: Elizabeth and Justin Bausch

SCOPE OF DESIGN

- Remove and replace existing kitchen.
- Add two new windows on south wall of kitchen.
- Relocate bookcases and radiator in Library.
- New wood floor in kitchen, hall and powder room.
- Remove vanity and install new vanity in new location in Powder Rm.

CODE INFO

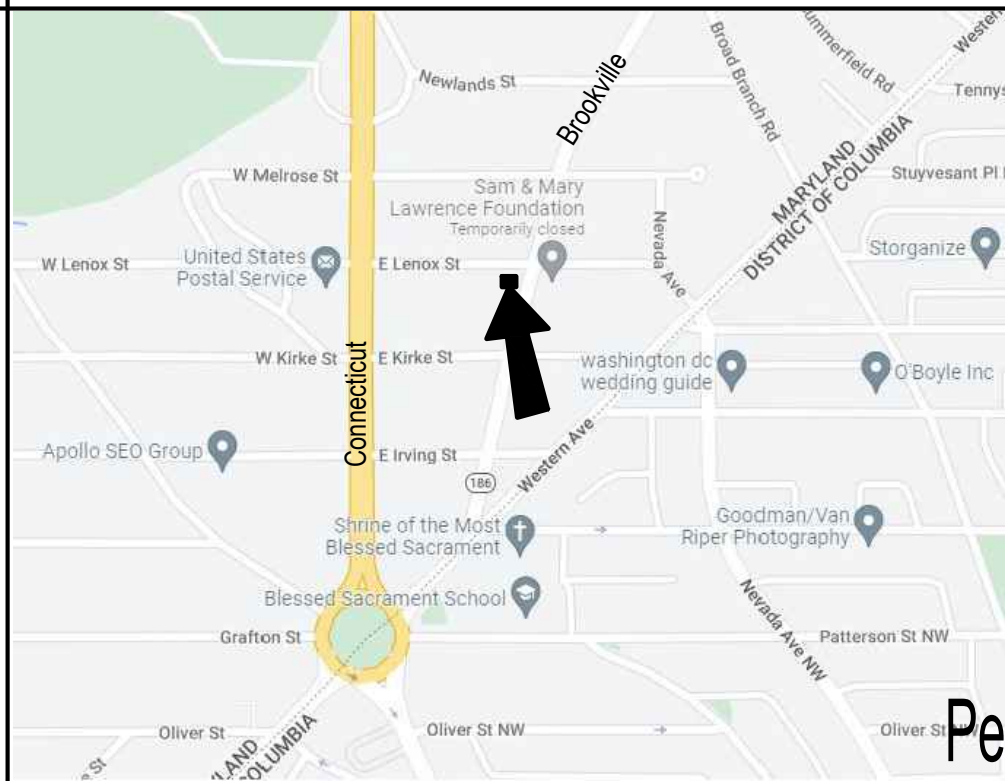
DESIGNED PER IRC & IECC 2018

LOADS, IRC 2015 & MONTGOMERY COUNTY AMENDMENTS
LIVE LOADS:
LIVING AREA: 40 PSF
ROOF: 30 PSF
LATERAL LOADS:
WIND PER IRC 115 MPH

REVISIONS

DATE: REVISION

VICINITY MAP



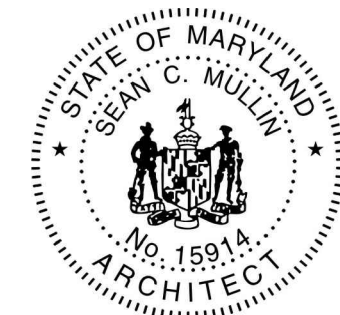
ANTHONY WILDER

ARCHITECTURE | INTERIORS | CONSTRUCTION

BAUSCH RESIDENCE

12 East Lenox Street, Chevy Chase, MD 20815

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PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 15914

EXPIRATION DATE: 8.14.23

Guestimate Set	May 17, 2022
PCA Set	June 30, 2022
Permit Set	Aug. 17, 2022

DRAWN BY:

DATE:

COVER SHEET

001

SHEET NUMBER:

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GENERAL INFORMATION

- A. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MONTGOMERY COUNTY AND THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO-FAMILY DWELLINGS
- B. THIS PROJECT HAS BEEN DESIGNED FOR THE WEIGHTS AND MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED ON THE STRUCTURAL DRAWINGS. VERIFY PROPER DESIGN AND CONSTRUCTION OF ALL FORMWORK, SHORING, AND BRACING.
- C. FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS RELATED TO THE PROPOSED WORK PRIOR TO ESTIMATING, FABRICATION, OR CONSTRUCTION. VERIFY ALL FLOOR AND ROOF OPENINGS WITH THE ARCHITECTURAL AND MEP DRAWINGS. VERIFY ALL DEPRESSIONS, DIMENSIONS, AND SLOPES FROM THE ARCHITECTURAL DRAWINGS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OR FABRICATION. IN CASE OF CONFLICTS, MOST STRINGENT SHALL GOVERN. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS. OVERALL DIMENSIONS TAKE PRECEDENCE OVER DIMENSION DISCREPANCIES ARISING OUT OF THE USE OF NOMINAL AND ACTUAL DIMENSIONS. ADJUST UNIT DIMENSIONS ACCORDINGLY TO ACHIEVE ESTABLISHED ELEVATIONS. SHIM AS REQUIRED.
- D. ALL WORKMANSHIP SHALL BE PERFORMED AND COMPLETED IN A WORKMANLIKE MANNER MAINTAINING THE HIGH QUALITY OF STANDARDS FOR EACH TRADE.
- E. THE DIMENSIONS SHOWN ON THE DRAWINGS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED. DIMENSIONS, NOTES, FINISHES, ETC. INDICATED ON THE PLANS, SECTIONS, AND/OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL AND OR OPPOSITE PLANS, SECTIONS AND/OR DETAILS UON OR DETAILED.
- F. THESE DRAWINGS ARE FOR GRAPHIC REPRESENTATION ONLY. DO NOT SCALE DRAWINGS.

STRUCTURAL

- A. SEE S-0 FOR GENERAL STRUCTURAL NOTES

INSULATION

- A. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RESIDENTIAL ENERGY PRESCRIPTIVE CODE REQUIREMENTS, MONTGOMERY COUNTY CODE CHAPTER 8. MINIMUM INSULATION VALUES SHALL BE AS FOLLOWS:
- EXTERIOR WALLS: R-20
 - CRAWL SPACE WALLS: R-10
 - FLOOR ASSEMBLIES: R-19
 - FLOOR ASSEMBLIES OVER OUTSIDE AIR: R-38
 - PERIMETER SLABS: R-10 RIGID, 2" DEPTH
 - EXTERIOR DOORS: SOLID CORE OR METAL INSULATED
 - GLAZING: DOUBLE-INSULATED WITH U-VALUES AS REQUIRED
 - ROOF: R-49 OPEN -CELLED SPRAY FOAM AS ALLOWED
- B. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:
- ALL JOINTS, SEAMS AND PENETRATIONS.
 - SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
 - OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
 - UTILITY PENETRATIONS.
 - DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
 - KNEE WALLS.
 - WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.
 - BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.
 - COMMON WALLS BETWEEN DWELLING UNITS.
 - ATTIC ACCESS OPENINGS.
 - RIM JOIST JUNCTION.
 - OTHER SOURCES OF INFILTRATION.
- NOTE: AIR PERMEABLE INSULATION (FIBERGLASS/ROCKWOOL...ETC.) SHALL NOT BE USED AS A SEALING MATERIAL.
- C. TESTING (IF REQUIRED)
- D. : THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY A THIRD PARTY. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE THIRD PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR NOT LATER THAN THE FINAL BUILDING INSPECTION. TESTING SHALL BE PERFORMED AT ANY TIME AFTER THE CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.
- E. ALL PIPES AND VENT STACKS IN EXTERIOR WALLS SHALL BE INSULATED.
- F. PROVIDE FIRESTOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS WITHIN ALL SOFFITS AT CEILINGS FOR DUCTWORK AND PLUMBING SHAFTS, DUCTS AND FLUES PENETRATING THROUGH FLOOR/CEILING ASSEMBLIES. ADHERE TO THE DESIGN CRITERIA WITHIN THESE SPECIFICATIONS.

SEALANTS, MOISTURE PROOFING, AND GLAZING

- A. APPROPRIATE SEALANTS SHALL BE SELECTED FOR EACH SUBSTRATE DEPENDING UPON LOCATION (INTERIOR AND EXTERIOR), HUMIDITY AND MOISTURE CONDITIONS, AND TRAFFIC CONDITIONS. USE PRIMERS AS REQUIRED. BUILDING PAPER: USE 15# FELT PAPER UNDER ANY VENEER: BRICK, STONE, CLAY TILE, CONCRETE, OR ARTIFICIAL STONE. ATTACH FELT PAPER TO SHEATHING WHENEVER NECESSARY TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER. APPROVED WATER RESISTANT SHEATHING OR AIR INFILTRATION BARRIER MAY BE SUBSTITUTED FOR BUILDING PAPER IF APPROVED BY ARCHITECT AND LOCAL BUILDING OFFICIALS.
- B. AT EXTERIOR SIDING CONNECTIONS TO WOOD TRIM PROVIDE SEALED JOINTS AS REQUIRED BY MANUFACTURER BETWEEN J-CHANNEL AND/OR WOOD TRIM.
- C. SEAL AT ALL EXTERIOR LOCATIONS INCLUDING THE FOLLOWING:
- EXTERIOR WINDOW AND DOOR FRAMES
 - BETWEEN WINDOW AND DOOR FRAMES AND ADJACENT WOOD FRAMING
 - PENETRATIONS OR UTILITY SERVICE THROUGH WALLS, FLOOR, AND ROOFS
 - SEALANTS SHALL BE FORMALDEHYDE-FREE
- D. APPLY WATERPROOFING MEMBRANE TO ALL FOUNDATION WALLS
- E. ACRYLIC LATEX CAULKING SHALL BE USED FOR WOOD TO BRICK, SIDING TO BRICK, SIDING TO WOOD, AND SIDING TO SIDING AND AT ALL EXTERIOR DOOR THRESHOLDS AS RECOMMENDED BY MANUFACTURER. COLOR TO BE COORDINATED WITH ADJACENT MATERIALS. VERIFY WITH ARCHITECT.
- F. FLASHING PER CURRENT IRC CODE:
- DOOR AND WINDOW FRAMES AS REQUIRED
 - DECK AND WALL CONNECTIONS
 - CHIMNEY, FLUE LINER CONNECTION THROUGH AND AS WALL AND ROOF
 - DORMERS, VALLEYS, AND CRICKETS AS REQUIRED
 - CODE APPROVED CORROSIVE RESISTANT FLASHING SHALL BE PROVIDED AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE SEALED TIGHT. SELF-FLASHING WINDOWS SHALL HAVE A CONTINUOUS LAP OF NOT LESS THAN 1-1/8" OVER THE SHEATHING MATERIAL AT THE PERIMETER OF THE OPENING.
- G. PROVIDE APPROVED SILL SEALER BETWEEN FOUNDATION WALL AND SILL PLATES.
- H. PROTECT ALL UNVENTED SPACES WITH A VAPOR BARRIER ON THE CONDITIONED SIDE WITH A MAXIMUM PERM RATING OF 1.0.
- I. WHEN GRADE IS ABOVE CONDITIONED INTERIOR SPACES, FOOTING DRAINS SHALL BE 4" DIAMETER PERFORATED PIPE SET IN 6" MIN. ¼" GRAVEL FILL AND DRAIN TO SUMP PUMP OR TO POSITIVE OUTFALL. COVER WITH FILTER PAPER AND 6" GRAVEL FILL. NO FOOTING DRAINS ARE REQUIRED WHEN GRADE IS BELOW SLAB.
- J. ROOFING: PROVIDE FIBERGLASS, ASPHALT, OR OTHER APPROVED COMPOSITION SHINGLES. FINAL ROOFING MATERIAL USED WILL BE COORDINATED WITH HOMEOWNER. PROVIDE WATER PROOFING ROOF UNDERLAYMENT FELT MINIMUM 15# FELT APPLIED AS REQUIRED BY IRC. PROVIDE ICE DAMMING MEMBRANE TO 24" ABOVE GUTTER LINE AND ALL ROOFS AND UP AND DOWN ALL VALLEYS. PROVIDE CONTINUOUS ICE DAMMING MEMBRANE ON ALL ROOF SURFACES WITH SLOPES LESS THAN 3.5 UNITS IN 12. AT ALL ROOF SLOPES LESS THAN 3 UNITS IN 12, PROVIDE 2 LAYERS OF 15# FELT PAPER. AT ALL ROOF SLOPES LESS THAN 2 UNITS IN 12 PROVIDE SELF-SEALING RUBBER ROOF MEMBRANE INSTALLED IN A CONTINUOUS SHEET AND AS PER MANUF. WRITTEN SPECS. AND REQUIREMENTS. ASPHALT AND COMPOSITION SHINGLES WILL BE FASTENED AS PER IRC. ASPHALT SHINGLES WILL BE APPLIED IN ACCORDANCE WITH MANUF. WRITTEN INSTRUCTIONS. CEDAR SHAKE ROOFING SHALL BE INSTALLED PER MANUF. WRITTEN INSTRUCTIONS AND SHALL BE FASTENED PER IRC. USE MESH UNDERLAYMENT AS RECOMMENDED BY ROOFING MANUF. OR INSTALLERS. ALL ROOFING WILL HAVE A CONTINUOUS DRIP EDGE AT ALL OVERHANGS.
- K. SIDE WALL FLASHING: FLASHING AGAINST VERTICAL SURFACES WILL BE BY FLASHING AND COUNTER FLASHING. VERTICAL FLASHING DIMENSION WILL NOT BE LESS THAN 18" ABOVE THE ADJACENT ROOF SURFACE. IF VERTICAL SURFACE IS MASONRY LET IN FLASHING MIN. ½" AND SEALED TIGHT WITH ROOF TAR/SEALANT.
- L. ALL ATTICS WILL BE ACCESSIBLE THROUGH ACCESS PANELS AS REQUIRED BY LOCAL JURISDICTION. PROVIDE REMOVABLE PANELS REQUIRED AND FINISH INTERIOR FACE CONSISTENT WITH ADJACENT FINISHES.
- M. PROVIDE INSULATED AND TEMPERED SAFETY GLAZING AS REQUIRED BY IRC THAT INCLUDES ALL EXTERIOR DOOR ASSEMBLIES AND ADJACENT SIDELIGHTS, ABOVE BATHTUBS, WINDOW SASHES LESS THAN 18" AFF AND MORE THAN 9 SQUARE FEET WITHIN EACH SASH AND WINDOWS CLOSER THAN 24" TO ADJACENT DOORS. SEE IRC FOR HAZARDOUS GLAZING LOCATIONS. ALL LOVER LEVEL/CELLARS WILL HAVE A MEANS OF EGRESS PER LATEST IRC AND LOCAL AMENDMENTS. ALL BEDROOMS IN ANY LEVEL OF STRUCTURE WILL HAVE AT LEAST ONE APPROVED EGRESS WINDOW. COORDINATE WITH WINDOW MANUF. SELECTED AND LOCAL JURISDICTION FOR ANY/ALL AMENDMENTS.
- N. IT IS RECOMMENDED THAT ALL DRYWALL AT LOWER

LEVEL/BELOW GRADE AREAS BE 'MILDEW-RESISTANT' TYPE.

VENTILATION

- A. ALL INTERIOR BATHROOMS WILL BE EQUIPPED WITH MECHANICAL EXHAUST FAN.
- B. DRYER VENTS AND KITCHEN VENTS SHALL BE VENTED TO THE EXTERIOR IN ACCORDANCE WITH THE IRC.
- C. NEW BASEMENTS WILL HAVE PVC PIPE INSTALLED FROM ABOVE THE SUMP PUMP THROUGH THE ROOF FOR VENTILATION OF RADON IF DETECTED. FOLLOW ALL LOCAL, STATE, AND FEDERAL GUIDELINES WITH REGARDS TO VENTILATING RADON.
- D. ALL INTERIOR PREFABRICATED GAS OR WOOD-BURNING FIREPLACES WILL BE INSTALLED IN STRICT ACCORDANCE OF MANUFACTURERS WRITTEN SPEC. PROVIDE APPROPRIATE RECOMMENDED CLEARANCES FOR FIREBOX, FLUES, AND TERMINATION CAPS ABOVE THE REQUIRED CHIMNEY HEIGHT. VENT EXHAUST AS REQUIRED.
- E. THE BUILDING SHALL BE PROVIDED WITH [WHOLE HOUSE] VENTILATION THAT MEETS THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (M1507). OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IN NOT OPERATING.

PLUMBING NOTES

- A. ALL PLUMBING WILL BE IN COMPLIANCE WITH NATIONAL PLUMBING CODE GUIDELINES LATEST EDITION AS APPROVED BY LOCAL JURISDICTIONS. ALL PLUMBING SYSTEMS WILL BE COMPLETED IN PLACE, TESTED AND APPROVED AS SHOWN ON THESE DOCUMENTS. GAS PIPING SHALL CONFORM TO NFPA 54.
- B. PLUMBING FIXTURES TO MEET ASME CODE REQUIREMENTS.
- C. PLUMBING CONTRACTOR SHALL PROVIDE DESIGN FOR PERMITS AS REQUIRED BY LOCAL JURISDICTIONS. PROVIDE ACCESS PANELS AS REQUIRED FOR ALL TUBS INSTALLED.
- D. ALL THROUGH VENT STACKS WILL TERMINATE A MINIMUM OF 6" ABOVE ROOFING SURFACE. FLASH VTR AS REQUIRED.
- E. SUMP PUMPS ARE TO BE PROVIDED DURING CONSTRUCTION AS REQUIRED TO CONTROL SURFACE WATER AND AFTER CONSTRUCTION AS A PERMANENT MEANS OF CONTROLLING UNDERGROUND WATER. PUMP SIZE AND LOCATION TO BE DETERMINED BY OTHERS. PROVIDE BATTERY BACKUP FOR ALL SUMP PUMPS. PROVIDE GRINDER ATTACHMENT WHEN USED FOR DEDICATED PURPOSES @ LOWER LEVEL GARAGE FRENCH DRAIN. PROVIDE BACKFLOW PREVENTER.

HVAC

- A. ALL SYSTEMS WILL BE INSTALLED IN ACCORDANCE WITH THE LATEST APPLICABLE ENERGY CODES, STATE, LOCAL, AND NATIONAL FIRE PROTECTION ASSOCIATION REQUIREMENTS. ANY ITEMS OR REQUIREMENTS NOTED HEREIN OR ON THE DRAWINGS IN EXCESS OF CODE REQUIREMENTS AND PERMITTED UNDER THE CODE SHALL TAKE PRECEDENCE.
- B. CONTRACTOR SHALL EXAMINE THE PREMISES AND OBSERVE SITE CONDITIONS WHERE WORK IS TO BE DONE. THE CONTRACTOR WILL DESIGN AND PREPARE DRAWINGS OF THE INTENDED SYSTEM TO BE INSTALLED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN ANALYSIS BASED ON SQUARE FOOTAGE AND AMOUNTS OF GLAZING TO BE INSTALLED.
- C. ALL EQUIPMENT WILL BE TESTED AS TO AIRFLOW, TEMPERATURE BALANCING, VIBRATION, AND PROPER FUNCTION OF ALL DAMPERS, THERMOSTATS, AND CONTROLS. PROVIDE CONDENSATE LINES TO INTERIOR DRAIN LINES AS REQUIRED BY SYSTEM. CONTRACTOR TO COORDINATE.
- D. ALL CEILING HEIGHTS SHALL COMPLY WITH IRC.

ELECTRICAL

- A. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, LATEST APPROVED EDITION, ANY ITEMS OR REQUIREMENTS NOTED HEREIN OR ON THE DRAWINGS IN EXCESS OF CODE REQUIREMENTS AND PERMITTED UNDER THE CODE SHALL TAKE PRECEDENCE. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL POWER REQUIREMENTS TO THE HOUSE APPLIANCES, HVAC, AND PLUMBING/MECHANICAL SYSTEMS.
- B. THE CONTRACTOR SHALL EXAMINE THE PREMISES AND OBSERVE SITE CONDITIONS WHERE THE WORK IS TO BE DONE. THE CONTRACTOR WILL DESIGN AND PREPARE DRAWINGS OF THE INTENDED SYSTEMS TO BE INSTALLED. CONTRACTOR IS RESPONSIBLE FOR ALL DESIGN ANALYSIS BASED ON ANTICIPATED SYSTEMS LOADS.
- C. ALL ELECTRICAL FIXTURES, SWITCHES, RECEPTACLES, ETC. ARE TO BE UL LISTED.
- D. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS THE IRC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- IN EACH SLEEPING ROOM.
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
- E. PROVIDE AN APPROVED CARBON MONOXIDE ALARM INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

- F. ELECTRICAL DRAWINGS PRODUCED BY THE ARCHITECT ARE A DIAGRAMMATIC REPRESENTATION OF THE INTENDED WORK. FINAL FIXTURE PLACEMENT WILL BE DETERMINED DURING ON-SITE ELECTRICAL WALK-THROUGH WITH APPROPRIATE PARTIES PRIOR TO ROUGH-IN. ALL GFI OUTLETS WILL BE LOCATED AND MEET APPLICABLE CODE GUIDELINES. ALL OUTLETS ABOVE COUNTERTOPS WILL BE LOCATED 3" ABOVE BACKSPASHES MOUNTED VERTICALLY. CONFIRM DRYER AND APPLIANCE RECEPTACLE TYPES PRIOR TO ROUGH-IN. ALL CABLES USED SHALL BE PROVIDED WITH FULL-SIZE GROUND. CONFIRM MOUNTING HEIGHTS OF APPLIANCES PRIOR TO ROUGH-IN.
- G. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED.
- H. ALL RECESSED LIGHTS SHALL BE LIGHTOLIER OR SIM. AND BE APPROVED FOR INTENDED INSTALLATION. PROVIDE CONCEALED ROUGH-IN KIT DESIGNED FOR INSULATED AREAS PER CODE REQUIREMENTS. ALL RECESSED LIGHTS AT TUB OR SHOWER LOCATIONS WILL BE VAPOR PROOF AS ALLOWED BY CODE.

FINISHES AND SPECIFICATIONS

- A. ALL EXTERIOR PAINTED SURFACES SHALL BE PRIMED AND CAULKED TIGHT. PROVIDE 2 FINISH COATS ON ALL TRIM, HORIZONTAL SIDING, WINDOWS, AND FOUNDATION WALLS TO GRADE. PROVIDE SEMI-GLOSS ALKYD FINISH ON ALL INTERIOR AND EXTERIOR TRIM. PROVIDE MILDEW RESISTANT PAINT WITHIN ALL BATHROOMS AND LAUNDRY ROOM. PAINT ALL WINDOWS AND OTHER MATERIALS IN STRICT ACCORDANCE WITH WRITTEN MANUFACTURER SPECS AND INSTRUCTIONS. ALL STEEL ANGLES EXPOSED TO THE EXTERIOR SHALL BE COMPLETELY PRIMED PRIOR TO INSTALLATION. CAULK ALL JOINTS TIGHT AND APPLY A FINISH COAT OF RUST AND CORROSION RESISTANT PAINT. SEE INTERIOR DRAWINGS, SPECS, ETC. FOR ADDITIONAL INFORMATION. ALL CUT EDGES AT EXTERIOR WOOD TRIM SHALL BE PRIMED PRIOR TO INSTALLATION. BACK-PRIME ALL EXTERIOR TRIM.
- B. SEE ROOM FINISH SCHEDULE FOR INTERIOR TRIM INFO.
- C. FINAL KITCHEN PLAN WILL BE DESIGNED BY OTHERS. SEE DRAWINGS PROVIDED BY CABINET MANUFACTURER FOR MORE INFORMATION.
- D. GYPSUM WALLBOARD SHALL BE ASTM C-36 AS FOLLOWS.
- REGULAR (1/2"): EXCEPT WHERE NOTED.
 - WATER RESISTANT (1/2"): AT BATHROOM CEILINGS AND WALLS THAT ARE NOT TILED.
 - DUROCK INTERIOR TILE BACKER BOARD (1/2"): AT ALL SURFACES THAT HAVE TILE.
- E. GYPSUM BOARDS SHALL HAVE TAPERED EDGES TO ACCOMMODATE JOINT REINFORCEMENT.
- F. PROVIDE EDGE CORNER BEADS, TRIM, TAPING, AND JOINT COMPOUNDS AS REQUIRED FOR THE PROPER COMPLETION OF THE JOB. MATERIALS SHALL BE BY U.S. GYPSUM OR APPROVED EQUAL.
- G. REQUIRED FINISH:
- AT ALL JOINTS AND INTERIOR ANGLES, APPLY TAPE EMBEDDED IN JOINT COMPOUND, AND APPLY THREE SEPARATE COATS OF JOINT COMPOUND OVER ALL JOINTS, ANGLES, FASTENER HEADS, AND ACCESSORIES.
 - LEAVE SURFACES SMOOTH AND FREE OF TOOL MARKS AND RIDGES
- H. HARDWOOD FLOORING:
- PROVIDE WOOD STRIP FLOORING WHERE SHOWN ON THE DRAWINGS.
 - WOOD STRIP FLOORING TO BE OAK, AND BE "PRIME" GRADED IN ACCORDANCE WITH THE NATIONAL OAK FLOORING MANUFACTURER'S ASSOCIATION.
 - INSTALL FLOORING IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE NATIONAL OAK FLOORING MANUFACTURER'S ASSOCIATION.
 - AFTER THE FLOORS HAVE BEEN SANDED, THE FLOORING CONTRACTOR SHALL APPLY A MINIMUM OF FOUR STAIN AND URETHANE SAMPLES IN TWO FOOT BY TWO FOOT AREAS ON THE FLOOR FOR THE OWNER TO REVIEW. THE OWNER SHALL HAVE A MINIMUM OF TWO DAYS TO MAKE A SELECTION.
- I. CERAMIC TILE:
- PROVIDE CERAMIC TILE AND ACCESSORIES IN ACCORDANCE WITH THE TILE COUNCIL OF AMERICA SPECIFICATIONS 137.1. IN COLORS AND PATTERNS TO BE SPECIFIED BY THE OWNER.
 - SETTING MATERIALS: COMPLY WITH PERTINENT RECOMMENDATIONS CONTAINED IN THE TILE COUNCIL OF AMERICA "HANDBOOK FOR CERAMIC TILE INSTALLATION".
 - INSTALLATION: COMPLY WITH ANSI A108.1, ANSI A108.2, AND THE "HANDBOOK FOR CERAMIC TILE INSTALLATION" OF THE TILE COUNCIL OF AMERICA.
 - EXTEND TILE INTO RECESSES AND UNDER EQUIPMENT AND FIXTURES TO FORM A COMPLETE COVERING WITHOUT INTERRUPTIONS.
 - TERMINATE TILE NEATLY AT OBSTRUCTION, EDGES, AND CORNERS, WITHOUT DISRUPTION OF
 - PATTERN OR JOINT ALIGNMENT.
 - ALIGN JOINTS WHEN ADJOINING TILES ON FLOOR, BASE, TRIM AND WALLS ARE THE SAME SIZE.
 - LAYOUT TILE WORK AND CENTER THE TILE FIELDS IN BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA.

5. REPLACEMENT RESERVE: CONTRACTOR SHALL FURNISH OWNER WITH ONE UNOPENED BOX OF ADDITIONAL TILE FOR FUTURE REPAIRS AND MAINTENANCE.

J. MARBLE TILE:

- ALL MARBLE SHALL BE CUT, POLISHED, AND SET ACCORDING TO THE ITALIAN MARBLE INDUSTRY STANDARDS.
- MARBLE FACES AND ALL EXPOSED EDGES SHALL BE POLISHED. ALL CORNERS SHALL BE FULLY MITERED WITH EASED EDGES TO PREVENT EDGE FAILURE. ALL MITERED AND BUTT JOINTS SHALL FIT TIGHT AND REQUIRE NO FILLING. TILES SHALL BE SET WITH MINIMAL GROUT JOINTS MAX. 3/32".
- REFER TO FINISH SCHEDULE FOR MARBLE TYPE AND STYLE.
- TILE SHALL BE SET ACCORDING TO THE DRAWINGS WITH APPROVED SETTING METHOD.
- REPLACEMENT RESERVE: THE CONTRACTOR SHALL FURNISH TO THE OWNER ONE UNOPENED BOX OF ADDITIONAL TILES FOR FUTURE REPAIRS AND MAINTENANCE WORK.

L. VINYL TILE:

- INSTALLATION OF ALL VINYL COMPOSITION TILE (VCT) SHALL BE DONE IN A MANNER WHICH CONFORMS TO THE FOLLOWING STANDARDS:
 - ASTM E 648
 - ASTM E 84
 - ASTM E 662
- REPLACEMENT RESERVE: CONTRACTOR TO FURNISH OWNER WITH ONE UNOPENED BOX OF ADDITIONAL TILE FOR FUTURE REPAIRS AND MAINTENANCE.

M. PAINT:

- ALL PAINT AND PRIMERS TO BE BENJAMIN MOORE. REFER TO OWNER FOR COLORS AND TYPES.
- ALL SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIMER COAT AND TWO FINISH COATS.
- ALL PAINT SHALL BE APPLIED ACCORDINGLY TO MANUFACTURER'S RECOMMENDATIONS.

N. ARCHITECTURAL WOODWORK AND TRIM:

- ALL MILLWORK, TRIM, AND MOLDING SHALL BE INSTALLED ACCORDINGLY TO THE QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INSTITUTE.
- ALL INTERIOR TRIM AND MILLWORK SHALL CONFORM TO AWI "CUSTOM STANDARDS".
- FLAT TRIM SHALL BE CLEAR PINE OR APPROVED EQUAL.
- ALL CORNERS OF TRIM AND SIDING ARE TO BE MITERED. EXPOSED END GRAINS WILL NOT BE ACCEPTED.
- ALL MILLWORK AND TRIM SHALL BE INSTALLED BY CRAFTSMAN WITH EXPERIENCE IN WORK OF THIS TYPE. ALL WORK SHALL BE FIRST CLASS IN EVERY REGARD AND CONSISTENT WITH THE BEST PRACTICES OF THE TRADE.



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GENERAL NOTES

GN



**Municipality Letter for
Proposed Construction Project**

Subject Property: 12 East Lenox Street, Chevy Chase, MD 20815
Property Owner: Elizabeth Bausch
Project Manager/Contractor: Anthony Wilder
Proposed Work: Kitchen renovation; window alteration

8/2/22

Mitra Pedoeem, Director
Department of Permitting Services of Montgomery County
255 Rockville Pike, 2nd floor
Rockville, MD 20850

Dear Ms. Pedoeem,

This letter is to inform your department that the above homeowner/contractor has notified Chevy Chase Village that he or she plans to apply for both county and municipal permits for the above summarized construction project. Chevy Chase Village will not issue any municipal building permit(s) for this proposed project until Montgomery County has issued all necessary county permits and the applicant has provided Chevy Chase Village with copies of county-approved and stamped plans. We have advised the homeowner/contractor that a permit from Montgomery County does not guarantee a permit from this municipality unless the project complies with all our municipal rules and regulations.

If this homeowner/contractor later applies for an amended county permit, please do not approve that application until you have received a Municipality Letter from us indicating that the homeowner/contractor has notified us of that proposed amendment to the permit.

If you have any questions about this proposed project and the municipal regulation of it by Chevy Chase Village, do not hesitate to have your staff contact my office. The Village Permitting Coordinator can be reached by phone at 301-654-7300 or by e-mail at ccvpermitting@montgomerycountymd.gov.

Sincerely,

Ellen Sands

Ellen Sands, Director of Municipal Operations
Chevy Chase Village

CHEVY CHASE VILLAGE

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Chevy Chase, Maryland 20815
Phone (301) 654-7300
Fax (301) 907-9721
ccv@montgomerycountymd.gov
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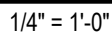
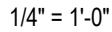
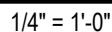
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1. DRAWINGS ARE GRAPHIC REPRESENTATIONS OF EXISTING CONDITIONS AND DESIGN INTENT. ACTUAL FIELD CONDITIONS MAY VARY FROM WHAT IS SHOWN.
2. PROTECT ALL FLOORS, WALLS, CEILINGS, AND FURNITURE/BUILT-INS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
3.  WALLS TO REMAIN.
 NEW WALLS - EXTERIOR WALLS 2x6 @ 16" O.C. U.O.N.; NON BEARING AND BEARING INTERIOR WALLS 2x4 or 2x6 @ 16" O.C.
4. ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. VERIFY ALL DIMENSIONS IN FIELD.
5. RELOCATE MECHANICAL DUCTS AND PLUMBING AS REQUIRED.
6. PROVIDE NEW WOOD FLOOR TO MATCH EXISTING IF NOT ENOUGH EXISTING CAN BE SALVAGED DURING DEMO.
7. WINDOW AND DOOR TRIM, BASE AND CROWN: SEE FINISH SCHEDULE.
8. TEMPORARY KITCHENETTE TO BE LOCATED UP STAIRS.
9. NEW DOORS SIMILAR TO EXISTING DOORS IN THE HOUSE: PROFILE T.B.D.
10. PROVIDE BLOCKING WITHIN WALLS AT WALL MTD. FIXTURES - TOWEL RACKS, SCONCES, CABINETS ETC. - AS REQUIRED.
11. SEE MEP AND STRUCTURAL PLANS FOR ADDITIONAL NOTES AND INFORMATION.
12. GLASS SHOWERS ENCLOSURES
 - 12.1. MINIMUM 3/4" THICK DOORS
 - 12.2. MINIMUM 1/2" THICK STATIONARY PANELS

[illegible][illegible][illegible]

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01 EXISTING EAST ELEVATION
1/4" = 1'-0"



02 PROPOSED EAST ELEVATION
1/4" = 1'-0"



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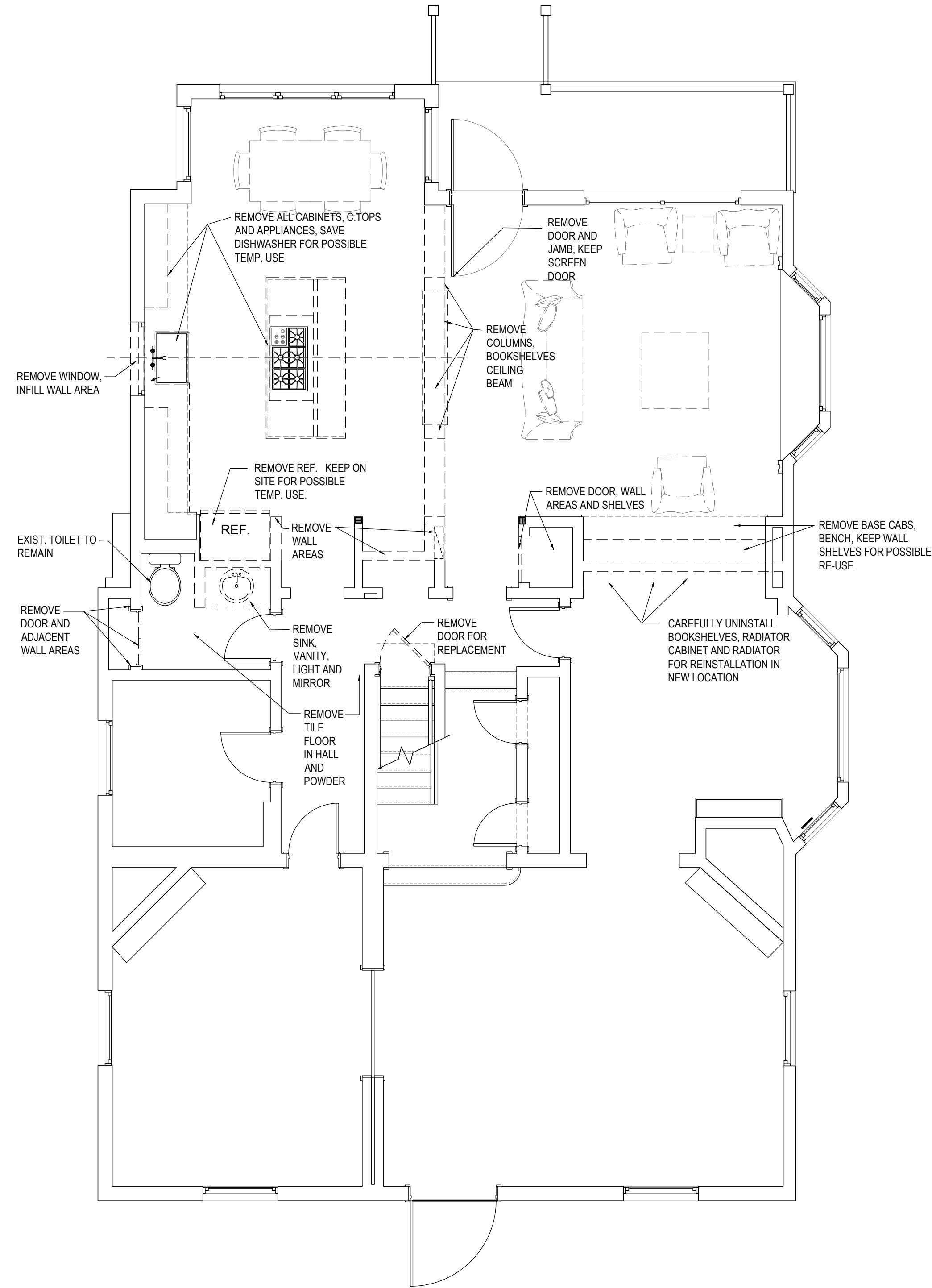
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01 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"

- GENERAL DEMO PLAN NOTES:
1. PROTECT ALL FLOORS, WALLS, CEILINGS, AND FURNITURE/BUILT-INS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
 2.       TO BE REMOVED.
 3. CAP PLUMBING LINES WHERE FIXTURES & APPLIANCES HAVE BEEN REMOVED
 4. PROVIDE TEMPORARY SHORING AS REQUIRED



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