

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7307 Willow Ave., Takoma Park	<b>Meeting Date:</b>	8/17/2022
<b>Resource:</b>	Outstanding Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	8/10/2022
<b>Applicant:</b>	Alfred Pinkney Scott Wilets, Architect	<b>Public Notice:</b>	8/3/2022
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Permit No.:</b>	1001021	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Screened-in porch with skylights		

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**STAFF RECOMMENDATION**

Staff recommends the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource to the Takoma Park Historic District  
**STYLE:** Craftsman  
**DATE:** c.1910



*Figure 1: 7307 Willow Avenue is located on the east side of the street.*

## **PROPOSAL**

The applicant proposes to construct a screened-in porch with skylights over the existing rear deck.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Takoma Park Historic District Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Outstanding Resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes and additions. The guiding principles to be utilized by the Historic Preservation Commission are the *Secretary of the Interior's Standards for Rehabilitation*

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources:

Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setback, and materials

Emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Preservation of original and distinctive architectural features, such as porches, dormers, decorative details, shutters, etc. is encouraged

Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged

Preservation of original building materials and use of appropriate, compatible new materials is encourages

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space

***Montgomery County Code; Chapter 24A-8***

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The subject property is a two-story front gable Craftsman house. The house has shingle siding on the first floor and stucco on the second. There is a rear addition that extends the wall planes and ridge line of the historic construction. At the rear of the addition, there is a wood deck. Notes included in the Takoma Park District Guidelines for the subject property's architectural/historic significance state the subject property is, "unusual." No additional information regarding the history and or architecture of the house is included.

The applicant proposes to remove the deck stairs and railing and construct a new set of stairs and framing supporting a rear-facing gable roof. The roof will be covered in asphalt shingles to match the house with a pair of skylights on the north roof slope. A section of the roof overhang projects beyond the wall plane and aligns with the principal roof overhang.



*Figure 2: Perspective of the revised porch with roof and new stairs.*

Staff finds that the proposed porch will not impact any historic fabric, as it will be attached to the rear non-historic addition. Staff additionally finds that the proposed materials (i.e. wood and asphalt shingle) are compatible with the materials found on the house and throughout the district. While the porch roof will be partially visible from the right-of-way when viewed in the absence of any vegetation, Staff finds the significant distance from the public right-of-way means the new construction will have a minimal impact on the character of the house and surrounding district. Staff recommends the HPC approve the HAWP under 24A-8(b)(2) and Standards 2, 9, and 10.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



APPLICATION FOR  
HISTORIC AREA WORK PERMIT  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# \_\_\_\_\_

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? ☐ Yes/District Name \_\_\_\_\_

☐ No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Town/City: \_\_\_\_\_ Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

☐ New Construction

☐ Deck/Porch

☐ Shed/Garage/Accessory Structure

☐ Addition

☐ Fence

☐ Solar

☐ Demolition

☐ Hardscape/Landscape

☐ Tree removal/planting

☐ Grading/Excavation

☐ Roof

☐ Window/Door

☐ Other: \_\_\_\_\_

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent

\_\_\_\_\_  
Date

Adjacent and Confronting Properties:

Takoma Park, MD 20912

7309 Willow Avenue

7305 Willow Avenue

7308 Willow Avenue

7228 Spruce Avenue

**Description of Property:** Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

**Description of Work Proposed:** Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

Work Item 3: _____	
Description of Current Condition:	Proposed Work:



# HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

GENERAL NOTES:

- 1) ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER AND IN ACCORDANCE WITH LOCAL BUILDING AND ZONING CODES. CONTRACTOR SHALL NOTIFY ARCHITECT SHOULD ANY VIOLATIONS APPEAR WITHIN THE INTENT OF THE DRAWINGS.
- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSING, PERMITTING, AND INSPECTION FEES RELATED TO THE FULL COMPLETION OF THE PROJECT. PROVIDE OWNER WITH COPIES OF ALL APPROVED INSPECTIONS AND CERTIFICATIONS OF OCCUPANCY UPON COMPLETION OF THE PROJECT. CONTRACTOR SHALL PROVIDE OWNER WITH RELEASE OF LIENS FROM ALL SUBCONTRACTORS AT APPLICATION FOR FINAL PAYMENT.
- 3) CONTRACTOR SHALL BE LICENSED IN THE STATE OF MARYLAND AND SHALL PROVIDE THE OWNER WITH A COPY OF CURRENT INSURANCE FOR GENERAL LIABILITY. CONTRACTOR SHALL MAINTAIN LICENSE AND INSURANCE IN GOOD STANDING FOR THE DURATION OF THE PROJECT. ALL SUBCONTRACTORS SHALL ALSO BE LICENSED AND INSURED FOR GENERAL LIABILITY IN THEIR APPROPRIATE DISCIPLINES.
- 4) BEFORE SUBMITTING A PRICE PROPOSAL FOR THIS WORK, THE CONTRACTOR AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS AND BECOME ACQUAINTED WITH THE SITE, ALL GOVERNING CODES, ORDINANCES, AND CONDITIONS OF THE WORK. NO EXTRAS WILL BE ALLOWED DUE TO FAILURE TO UNDERSTAND THE CONDITIONS INVOLVED.
- 5) ITEMS NOT TO BE INCLUDED IN THE CONTRACT ARE NOTES AS "N.I.C." (NOT IN CONTRACT). ALL OTHER ITEMS SHALL BE INCLUDED IN THE PROJECT PRICE.
- 6) ALTERNATE PRICING/ALLOWANCES FOR ITEMS NOT YET IDENTIFIED SHALL BE CONVEYED TO THE CONTRACTOR IN ORDER TO ADJUST THE BID AS REQUIRED.
- 7) CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES, INCLUDING THOSE ITEMS WHICH ARE N.I.C. VERIFY LOCATIONS OF UTILITIES AND EXISTING CONDITIONS. NOTIFY THE OWNER OR ARCHITECT OF CONDITIONS DIFFERING FROM THOSE INDICATED IN THE DRAWINGS.
- 8) CONTRACTOR SHALL IDENTIFY AND BE RESPONSIBLE FOR ALL EXISTING FIELD MEASUREMENTS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION IMMEDIATELY. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE UNLESS APPROVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- 9) THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN PLANS AND DETAILS TO THE ARCHITECT OR OWNER AT ONCE. IN THE ABSENCE OF THE ARCHITECT, INTERPRETATION OF THE CONTRACT DOCUMENTS SHALL BE BY THE OWNER.
- 10) CALL "MISS UTILITY" BEFORE DIGGING. CONTRACTOR SHALL NOTIFY OPERATOR WHO MAINTAINS UNDERGROUND UTILITY LINES IN THE AREA OF THE PROPOSED EXCAVATION TO MARK UTILITY LOCATION PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.
- 11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARTING AWAY ALL DEBRIS AND SHALL LEAVE THE SITE FREE AND CLEAR OF ALL CONSTRUCTION MATERIALS.
- 12) CONTRACTOR SHALL BE RESPONSIBLE FOR HOUSEHOLD PEST AND RODENT CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
- 13) SITE PLAN INFORMATION WAS TAKEN FROM EXISTING PLAT HELD BY THE OWNER.
- 14) THE DRAWINGS GENERAL PROVISIONS FOR DRAINING RAINWATER FROM THE SITE AND ROOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROOF DRAINAGE AND FINAL GRADING, INCLUDING PAVEMENT AND LAWN AREAS SO THAT WATER EITHER RUNS AWAY FROM STRUCTURES NATURALLY OR IS PIPED TO DAYLIGHT OR STORM DRAINAGE.
- 15) ALL STRUCTURES AND MATERIALS SCHEDULED FOR DEMOLITION SHALL BE REMOVED FROM THE SITE IN THEIR ENTIRETY. ANY DAMAGED CAUSED TO EXISTING MATERIALS AND STRUCTURES SHALL BE CORRECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SUPPORT FOR ANY PARTS OF THE BUILDING WHERE STRUCTURAL MEMBERS ARE SCHEDULED TO BE REPLACED. COORDINATE ALL DEMOLITION WITH NEW WORK.
- 16) DEMOLITION OR EXCAVATION MAY REVEAL CONDITIONS OTHER THAN THOSE ASSUMED ON THE CONSTRUCTION DOCUMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OR OWNER AT ONCE IF THAT OCCURS.
- 17) WHERE EXISTING OPENING ARE SCHEDULED TO BE REMOVED, THE STRUCTURAL AND WEATHER-RESISTANT INTEGRITY SHALL BE RESTORED. BOTH EXTERIOR AND INTERIOR FINISHED SURFACES SHALL BE RESTORED TO MATCH EXISTING.
- 18) ALL DIMENSIONS ON PLANS SHALL BE TAKEN TO FRAMING MEMBERS UNLESS NOTED OTHERWISE. WHERE NEW WORK ABUTS TO EXISTING CONSTRUCTION, DIMENSIONS SHOWN SHALL BE TAKEN FROM EXISTING FINISHED SURFACE TO NEW FRAMING.
- 19) CONTRACTOR SHALL NOTIFY ARCHITECT TO VERIFY WALL PLACEMENT IN CRITICAL AREAS WHEN CHALK LINE LAYOUT HAS BEEN COMPLETED.
- 20) ARCHITECT'S USE OF "MATCH EXISTING" SHALL MEAN MATCH EXISTING AS CLOSELY AS POSSIBLE USING COMMONLY AVAILABLE MATERIALS IN ACCORDANCE WITH THE INTENT OF THE DRAWINGS.
- 21) PROVIDE SOLID BLOCKING FOR ALL FIXTURES TO BE SECURED TO WALLS AS REQUIRED.
- 22) THE PLUMBING AND ELECTRICAL DRAWINGS ARE SCHEMATIC AND INDICATE THE SYSTEMS TO BE USED. ALL NECESSARY EQUIPMENT AND ACCESSORIES SHALL BE PROVIDED TO FULFILL THE INTENT OF THE DRAWINGS.
- 23) CONTRACTOR SHALL BE RESPONSIBLE FOR THE MODIFICATION OF EXISTING HVAC AS REQUIRED FOR NEW CONSTRUCTION AND FOR DESIGN OF NEW SYSTEM. CONTRACTOR TO COORDINATE ALL HVAC AND PLUMBING ROUTING THROUGH CONCEALED SPACES.
- 24) SELECTIONS OF FINISHES INCLUDING PAINT FINISHES PAINT COLOR SHALL BE BY THE ARCHITECT OR OWNER. INSTALLATION SHALL BE BY CONTRACTOR.
- 25) CONTRACTOR SHALL FURNISH OWNER WITH APPLICABLE MAINTENANCE AND WARRANTY INFORMATION FOR ALL EQUIPMENT, APPLIANCES, FIXTURES, AND MATERIALS INSTALLED DURING CONSTRUCTION.

The above drawings and specifications, and the ideas, designs and arrangements represented thereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified on any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

SCREEN PORCH ADDITION TO THE  
PINKNEY-SOMMERS  
RESIDENCE  
7307 WILLOW AVENUE  
TAKOMA PARK, MD 20912



OWNER

PAM SOMMERS & FRED PINKNEY  
7307 WILLOW AVENUE  
TAKOMA PARK, MD 20912  
301.233.8558

ARCHITECT

WILETS ARCHITECTURE, LLC  
8009 HAMILTON SPRING ROAD  
BETHESDA, MD 20817  
301.980.4823 - SCOTT WILETS, AIA

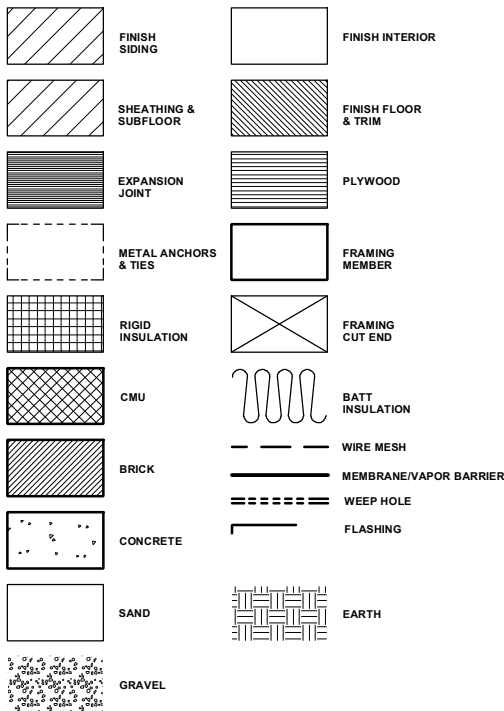
CONTRACTOR

JUST GENERAL CONTRACTORS  
1208 15TH AVENUE  
TAKOMA PARK, MD 20912  
202.215.8224  
MHIC #142794  
EXP. 03/05.2025

STRUCTURAL  
ENGINEER

NEUBAUER CONSULTING ENGINEERS  
4701 SANGAMORE ROAD, SUITE N290  
BETHESDA, MD 20816  
301.263.2727  
MD License No. XXXXX, Expiration Date: XX/XX/XX

SYMBOLS



VICINITY MAP



WILETS  
ARCHITECTURE

8009 HAMILTON SPRING RD, BETHESDA, MD 20817  
301.980.4823 | scott@wiletsarchitecture.com

EXISTING  
03-11-2022  
PRELIM PRICING  
06-29-2022  
CHECK SET  
07-20-2022

PINKNEY-SOMMERS PORCH

7307 WILLOW AVENUE  
TAKOMA PARK, MD 20912

COVER SHEET

C001

STORAGE  
28'-6" X 22'-9"

CRAWLSPACE  
13'-2" X 17'-11"

EXISTING FRAMING  
AND CONCRETE  
PIERS TO REMAIN

MAINTAIN EXISTING  
THROUGH-BOLTED  
P.T. LEDGER-V.I.F.

DN

UP

S1

Gross Section 1

GARAGE  
17'-6" X 11'-7"

E1

Elevation 1

1  
D01

EXISTING DECK FRAMING PLAN  
SCALE: 3/16" = 1'-0"

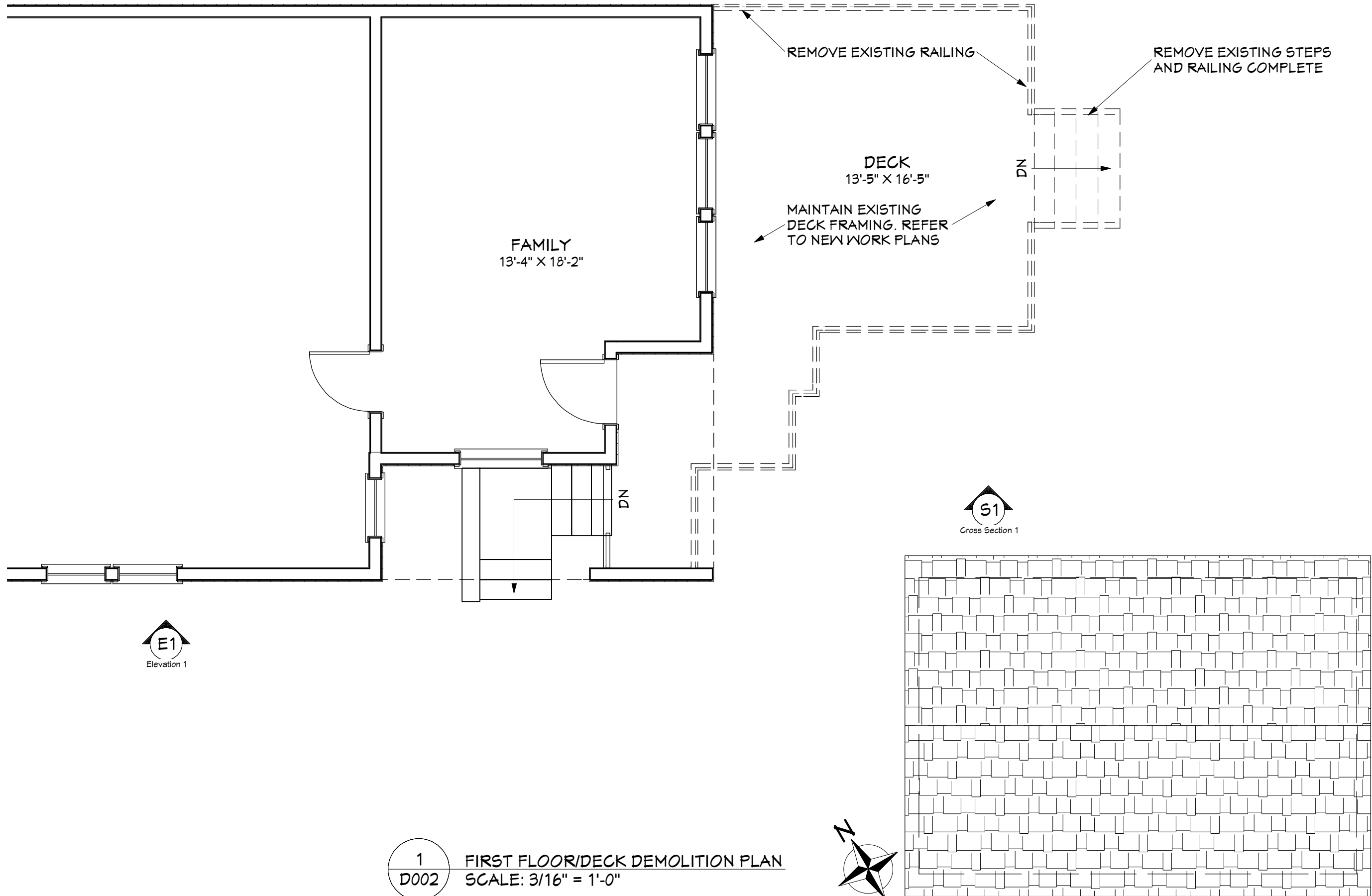


EXISTING  
03-11-2022  
PRELIM PRICING  
06-29-2022  
CHECK SET  
07-20-2022

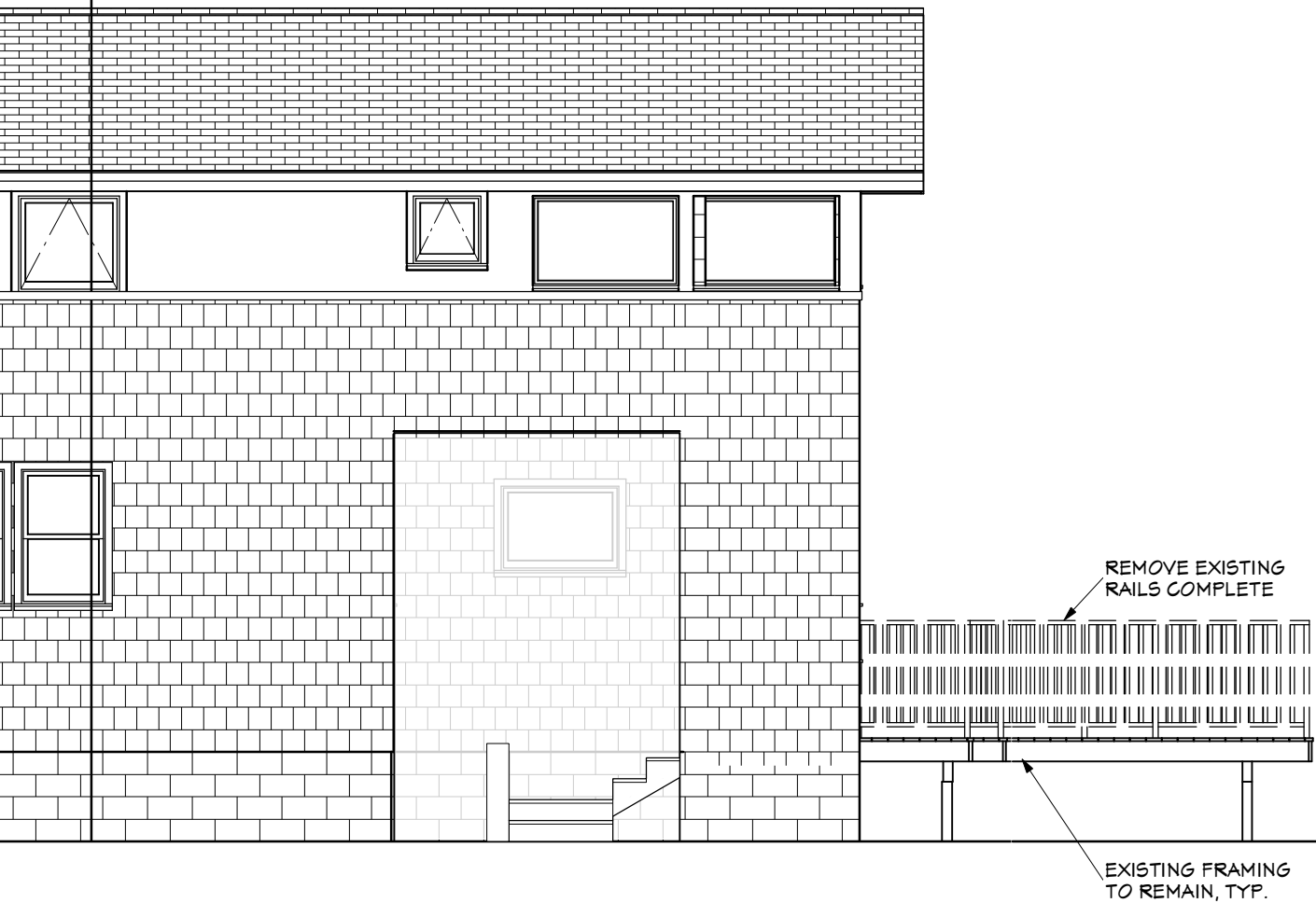
**PINKNEY-SOMMERS PORCH**  
7307 WILLOW AVENUE  
TAKOMA PARK, MD 20912

FOUNDATION/  
FRAMING PLAN

**D001**



1  
D002 FIRST FLOOR/DECK DEMOLITION PLAN  
SCALE: 3/16" = 1'-0"



1  
D003 SOUTH SIDE ELEVATION-DEMOLITION  
SCALE: 3/16" = 1'-0"

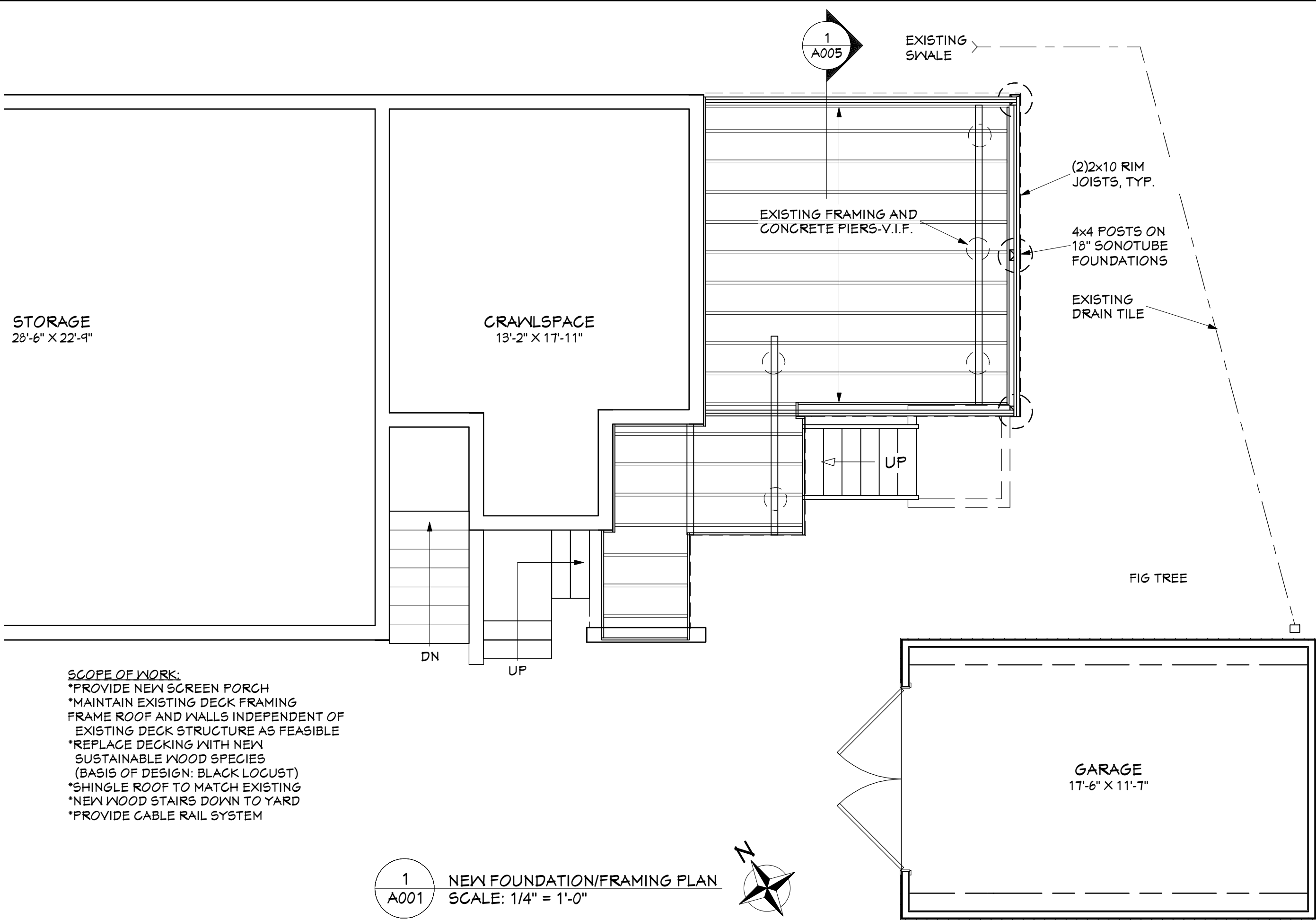


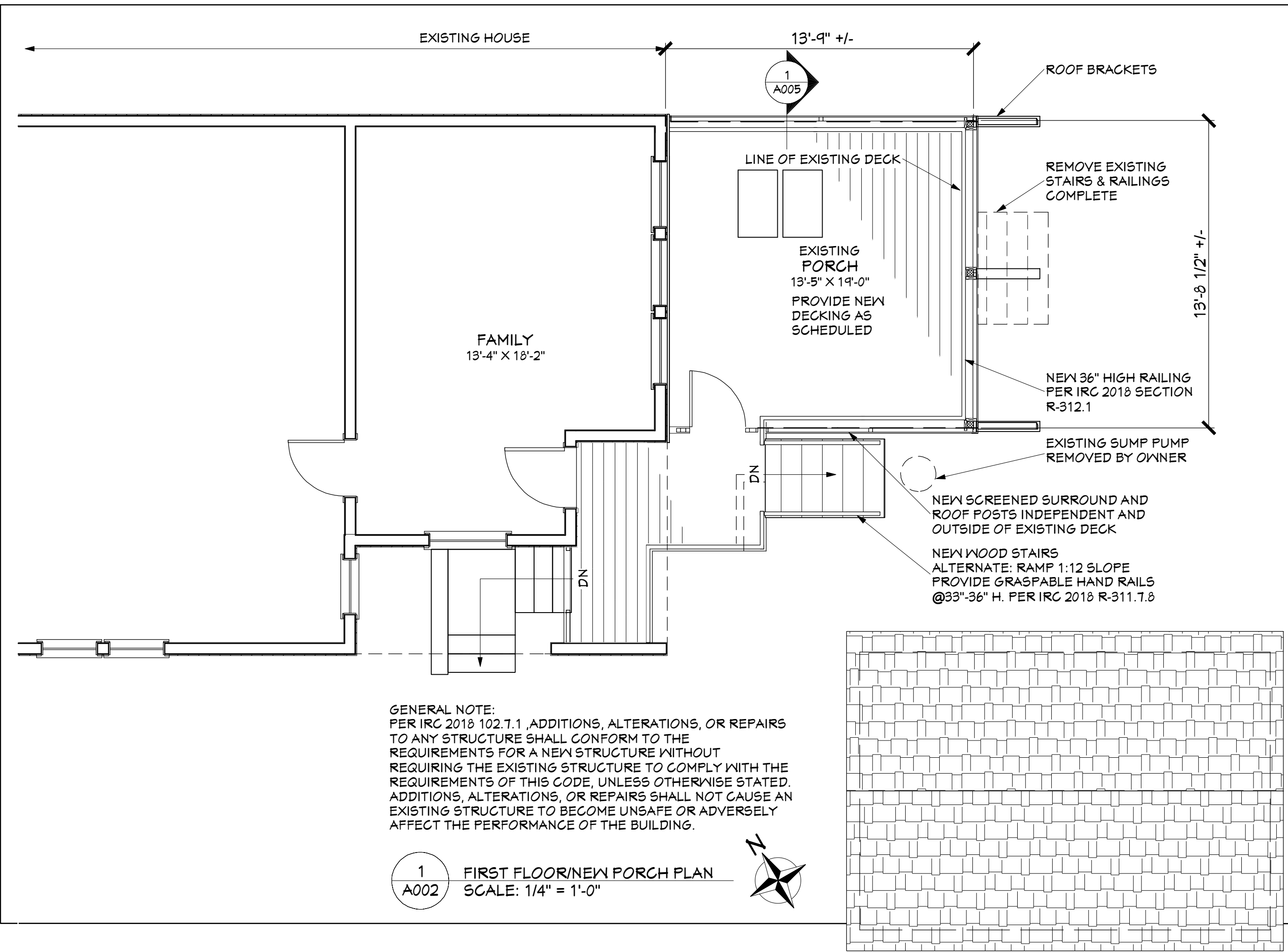
2  
D003 EAST REAR ELEVATION-DEMOLITION  
SCALE: 3/16" = 1'-0"

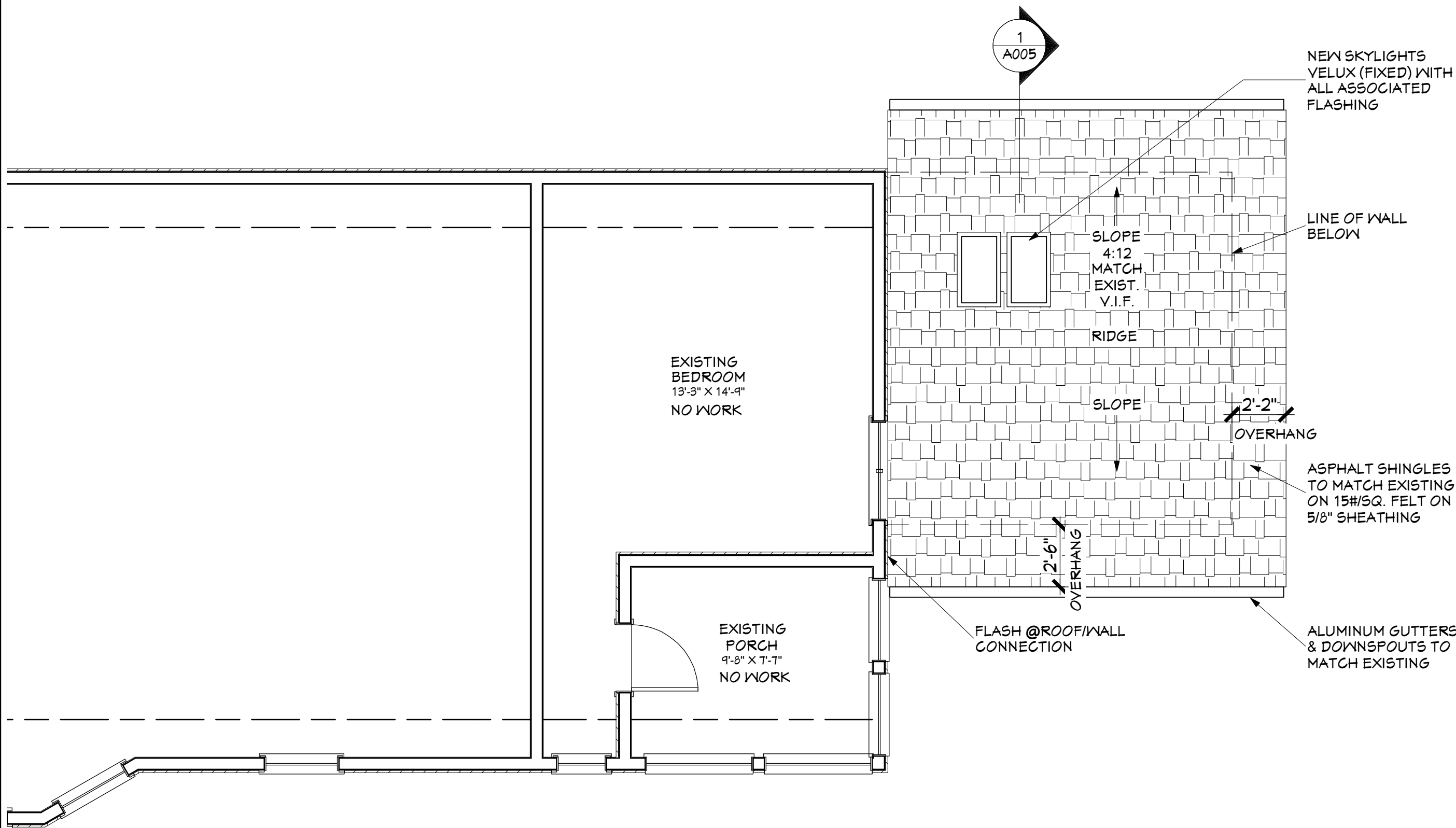
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03-11-2022  
PRELIM PRICING  
06-29-2022  
CHECK SET  
07-20-2022

**PINKNEY-SOMMERS PORCH**  
7307 WILLOW AVENUE  
TAKOMA PARK, MD 20912

EXTERIOR  
ELEVATIONS  
DEMOLITION  
**D003**







1  
A003

PART. SECOND FLOOR/PORCH ROOF PLAN  
SCALE: 1/4" = 1'-0"



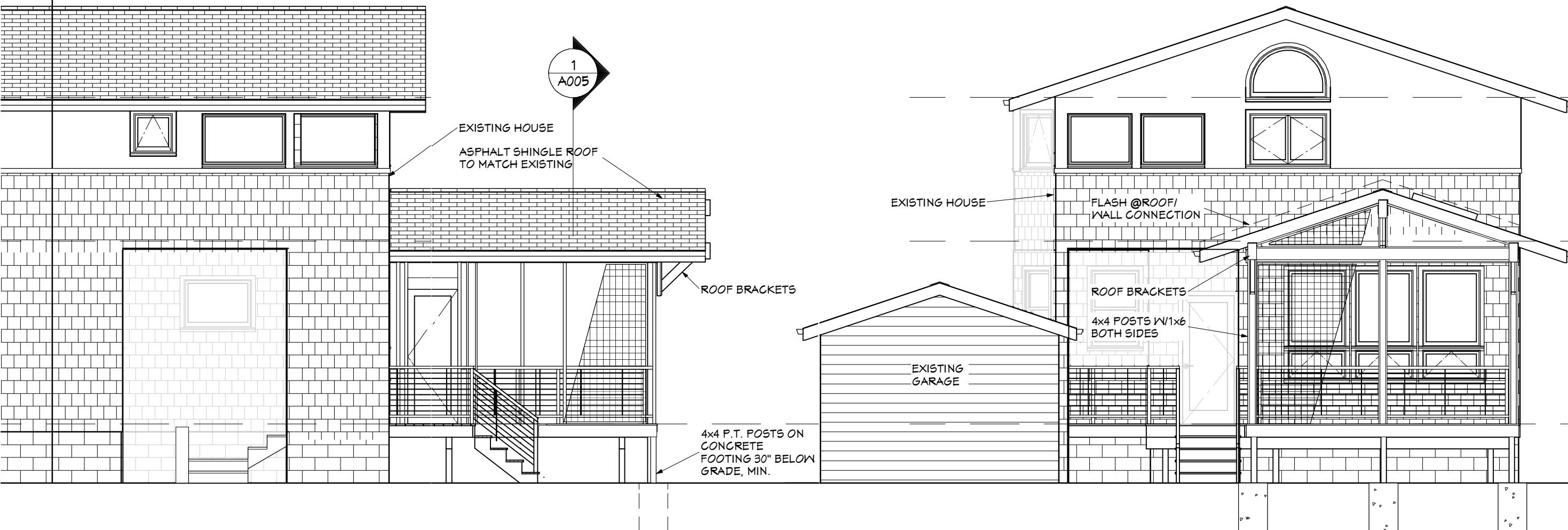
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CHECK SET  
07-20-2022

**PINKNEY-SOMMERS PORCH**  
7307 WILLOW AVENUE  
TAKOMA PARK, MD 20912

PORCH  
ROOF PLAN

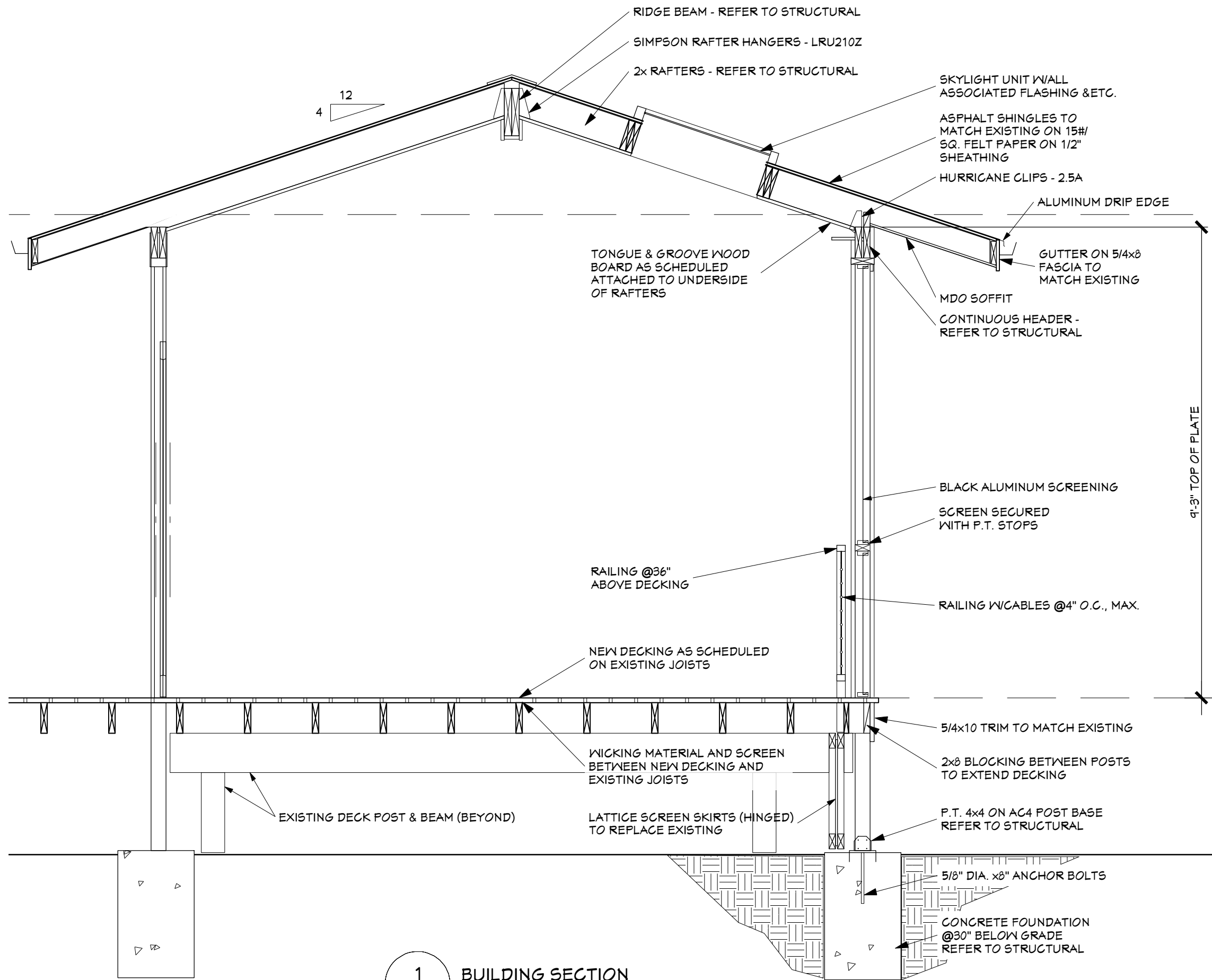
**A003**





1  
A004 SOUTH SIDE ELEVATION  
SCALE: 3/16" = 1'-0"

2  
A004 EAST REAR ELEVATION  
SCALE: 3/16" = 1'-0"



1  
A005 BUILDING SECTION  
SCALE: 1/2" = 1'-0"

EXISTING  
03-11-2022  
PRELIM PRICING  
06-29-2022  
CHECK SET  
07-20-2022

**PINKNEY-SOMMERS PORCH**

7307 WILLOW AVENUE  
TAKOMA PARK, MD 20912

PORCH SECTION

**A005**

GENERAL NOTES

1.

Design loads:

Roof:

Dead:

Floors:

Basic Wind Speed:

Seismic Design:

30 psf (snow)

10 psf (u.n.o.)

40 psf Living areas

30 psf Sleeping areas

115mph, 3 sec gust

Category B
2.

Design Codes: IRC 2018. IBC 2018, ASCE/SEI 7-10 where applicable.
3.

Assumed allowable soil bearing pressure: 2000 psf
4.

Assumed equivalent fluid pressure of soil: 45 psf/ft
5.

All footings to bear on undisturbed soil and a minimum of 30 inches below finished grade.
6.

Interior use lumber to be No.2 SPF with  $f_b = 875$  psi and  $E = 1,400,000$  psi
7.

Exterior use lumber to be No.2 SP with  $f_b = 1,100$  psi and  $E = 1,400,000$  psi and preservative treated in accordance with AWP Standard U1.
8.

Concrete to be 3000 psi hard rock at 28 days.
9.

Reinforcing steel to be ASTM A615 Grade 60 and placed in accordance with ACI Code.
10.

Structural steel to be ASTM A36 fabricated in accordance with AISC Standards supplied and installed with one coat of red-oxide primer.
11.

Contractor to provide fabrication and erection drawings for structural steel. Allow two weeks for review.
12.

Welding of structural steel to be performed by AWS certified personnel in accordance with AWS D1.1 Code using E70XX rod.
13.

All field welds to be cleaned and painted with red-oxide primer.
14.

Manufactured lumber design values:  $f_b = 2600$  psi and  $E=2,000,000$  psi
15.

Wolmanized manufactured lumber design values:  $f_b = 1,800$  psi and  $E = 1,460,000$  psi under Service level 2.
16.

All masonry lintels to have a minimum bearing of 4" on both ends. Double angles shall be installed back-to-back unless noted otherwise.
17.

Window and door headers to be (3) 2x6's unless noted otherwise.
18.

Joists below non-bearing partitions that equal or exceed 50% of the span shall be doubled.
19.

Posts supporting sawn lumber beams and headers to be a minimum of (2) 2x4's.
20.

Posts supporting manufactured lumber beams and headers to be a minimum of (3) 2x4's.
21.

All truss and rafter ends to be secured to tops of walls/beams with hurricane clips (Simpson H2.5A or approved equal).
22.

Appropriately sized joist hangers to be used where joists or rafters frame into beams.
23.

Masonry mortar to conform to ASTM C270.
24.

Concrete block manufacture to conform to ASTM C90 with a minimum prism strength of 1500 psi.
25.

Brick manufacture to conform to ASTM C62.
26.

Wood exterior walls to be 2x6's @16" on center.
27.

Prefabricated truss manufacture and design to conform to ANSI/TPI 1 and WTCA standards. General contractor to provide truss layout plans and shop drawings to structural engineer for review and approval no less than 2 weeks before truss order is due.
28.

All sheathing material to be APA-rated for the spans indicated. Minimum sheathing thicknesses required:

a.

Roofs: 19/32"

b.

Walls: 15/32"

c.

Floors: 23/32" STURD-I-FLOOR
29.

The use of adjustable, screw-type steel columns is NOT permitted.
30.

Masonry grout to conform to ASTM C476
31.

Tubular steel to conform to ASTM A501
32.

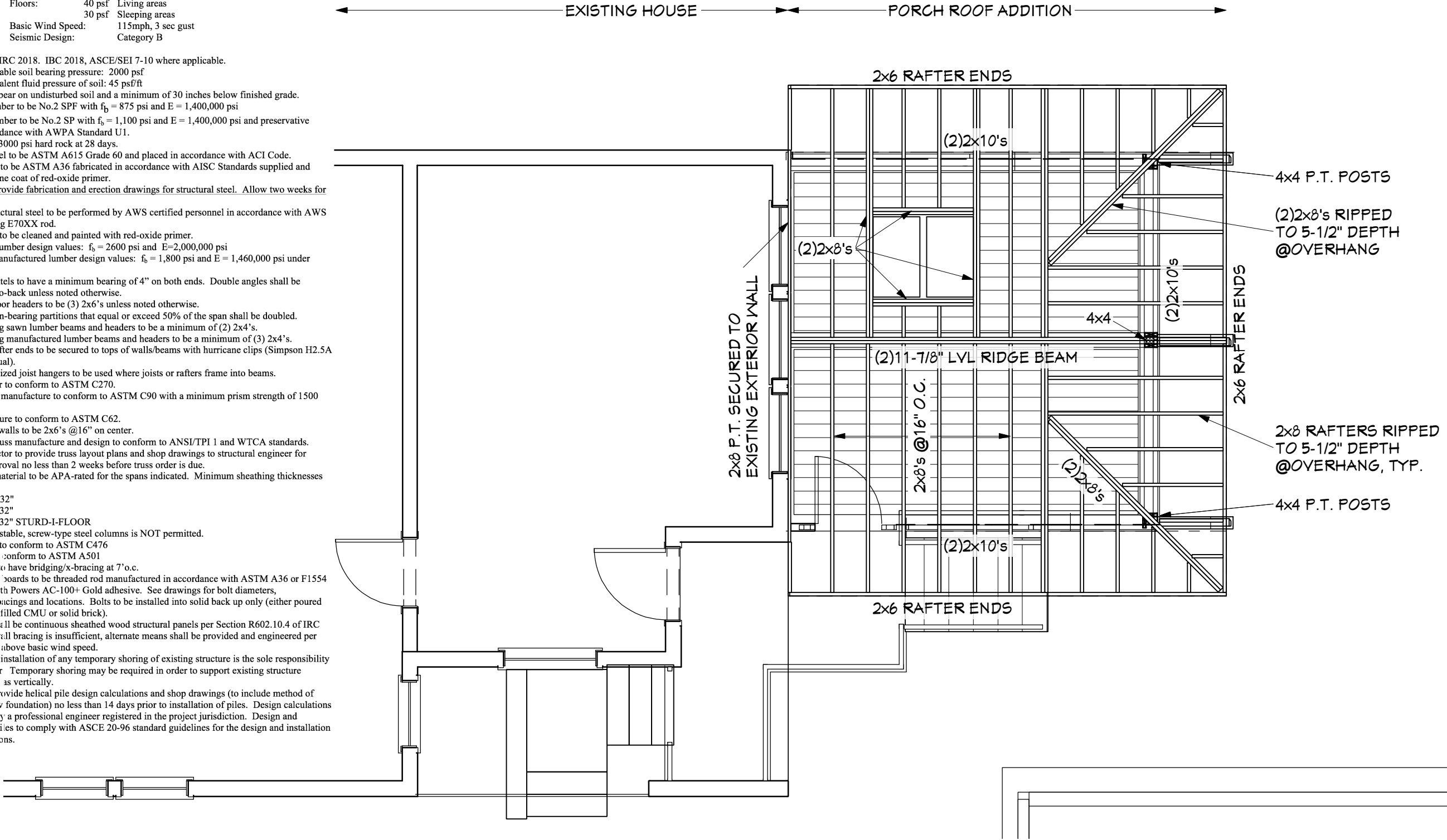
All floor joists to have bridging/x-bracing at 7' o.c.
33.

Bolts for ledger boards to be threaded rod manufactured in accordance with ASTM A36 or F1554 and installed with Powers AC-100+ Gold adhesive. See drawings for bolt diameters, embedments, spacings and locations. Bolts to be installed into solid back up only (either poured concrete, grout-filled CMU or solid brick).
34.

Wall bracing shall be continuous sheathed wood structural panels per Section R602.10.4 of IRC 2015. Where wall bracing is insufficient, alternate means shall be provided and engineered per ASCE 7 for the above basic wind speed.
35.

The design and installation of any temporary shoring of existing structure is the sole responsibility of the contractor. Temporary shoring may be required in order to support existing structure laterally as well as vertically.
36.

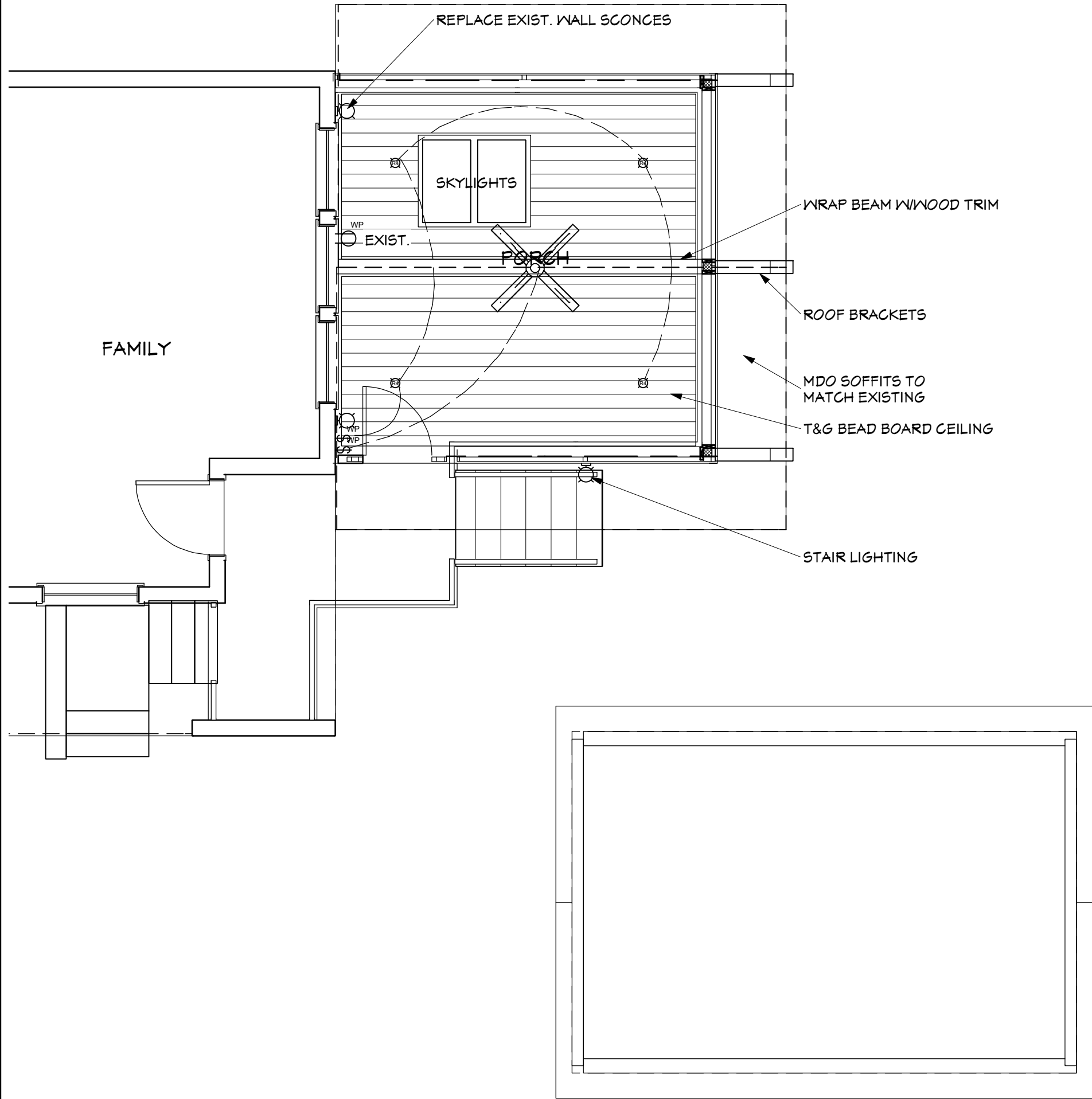
Contractor to provide helical pile design calculations and shop drawings (to include method of fastening to new foundation) no less than 14 days prior to installation of piles. Design calculations to be stamped by a professional engineer registered in the project jurisdiction. Design and installation of piles to comply with ASCE 20-96 standard guidelines for the design and installation of pile foundations.



1  
A006

ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"





ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

1 REFLECTED CEILING/LIGHTING PLAN  
E001 SCALE: 1/4" = 1'-0"

