MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	3824 Warner St., Kensington	**Meeting Date:**	9/7/2022
Resource:	Primary One Resource **Kensington Historic District**	**Report Date:**	8/31/2022
Applicant:	Peter and Sharon Bartram	**Public Notice:**	8/24/2022
Review:	HAWP	**Staff:**	Dan Bruechert
Case No:	1003102	**Tax Credit:**	n/a

PROPOSAL: Partial Demolition, Tree Removal, Building Addition, and Rear Deck Construction

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STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Primary One Resource within the Kensington Historic District
STYLE: Eclectic
DATE: 1908

Figure 1: The subject property is at the corner of Warner St. and Freeman Pl.

PROPOSAL

The applicant proposes to demolish the existing rear porch and construct a new rear addition and rear deck, and remove three trees.

APPLICABLE GUIDELINES

Kensington Historic District Guidelines

When reviewing alterations and new construction within the Kensington Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6* (*Amendment*), *Vision of Kensington: A Long-Range Preservation Plan* (*Vision*), *Montgomery County Code Chapter 24A* (*Chapter 24A*), and the *Secretary of the Interior's Standards for Rehabilitation (Standards).* The pertinent information in these documents is outlined below.

Approved & Adopted Amendment to the Master Plan for Historic Preservation: Kensington Historic District, Atlas #31/6

"In regard to the properties identified as secondary resources--that is visually contributing, but non-historic structures or vacant land within the Kensington District--the Ordinance requires the Preservation Commission to be lenient in its judgment of plans for contemporary structures or for plans involving new construction unless such plans would seriously impair the historic or architectural value of surrounding resources or impair the character of the district."

Vision of Kensington: A Long-Range Preservation Plan

The HPC formally adopted the planning study, *Vision of Kensington: A Long-Range Preservation Plan*, and is directed by the Executive Regulations, which were approved by the County Council, to use this plan when considering changes and alterations to the Kensington Historic District. The goal of this preservation plan "was to establish a sound database of information from, which to produce a document that would serve the HPC, M-NCPPC, their staff and the community in wrestling with the protection of historic districts amidst the pressures of life in the 21st century." (page 1). The plan provides a specific physical description of the district as it is; an analysis of character-defining features of the district; a discussion of the challenges facing the district; and a discussion of proposed strategies for maintaining the character of the district while allowing for appropriate growth and change.

Montgomery County Code; Chapter 24A-8

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
   (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
   (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the

historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

The Secretary of the Interior defines rehabilitation as "the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values." The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story Dutchlap-sided house with a hipped roof and several dormers. The subject property is a double lot. The house is in the northeast (left) side of the lot and is highly visible from the front and along Freeman Place. The applicant proposes to demolish the existing rear deck and porch (approved by the HPC in 1989, file available here), remove three historic windows, and construct a rear addition and deck. Staff finds the work is in keeping with the character of the house and surrounding district and recommends the HPC approve the HAWP.

Porch Demolition

At the rear of the subject property, there is a non-historic deck and a porch constructed on brick piers with square columns and a shed roof. The applicant proposes to demolish the rear porch.

Staff finds the porch is at the rear of the house, is not historic, and is only partially visible from the right of way. Removing the porch will not have a substantial impact on the character of the property and Staff recommends the HPC approve the porch demolition under 24A-8(b)(1), (2), and (d) and Standard 2.

Window Removal and Replacement

On the right (west) elevation there is a non-historic bay with three six-over-six sash windows. The applicants state these sashes fit poorly. The applicants propose to remove and replace these windows with new one-over-one windows.

Staff finds the existing windows are not historic, are an incompatible configuration, and do not contribute to the historic character of the house, and may be removed under 24A-8(b)(1), (2), and (d) and Standard 2.

Tree Removal

In the middle of the non-historic deck, there are three maple trees. These trees are not historically significant and have trunks ranging from 8" to 12" (eight to twelve inches) d.b.h. The trees are in the location of the proposed building addition, discussed below.

Staff finds these trees are not historic and their removal will not impact the mature tree canopy of the surrounding "Garden Suburb." Staff does not find it necessary to require additional re-planting on site, as the property has several other trees on the lot that contribute to the overall character of the district and

recommends the HPC approve their removal.

Building Addition
At the rear of the existing house, the applicants propose to construct a two-story, rear gable addition, measuring 27' 8" × 17' (twenty-seven feet, eight inches by seventeen feet) with a painted concrete foundation. The side walls of the proposed addition are inset from the historic wall planes (3' 6" on the left (east) wall and 4' on the right (west) wall. The wood clapboard siding with corner boards will match the siding on the non-historic bay (discussed above) and not the Dutchlap siding on the principal mass of the historic house. Windows on the right and rear elevations of the addition will be one-over-one sash windows, while windows on the right side will be smaller square casement windows. The rear gable architectural shingle roof ridge is significantly lower than the historic ridgeline.

Staff finds the proposed addition will be visible from the right-of-way along Freeman Place. Staff additionally finds the proposed design and massing of the proposed addition is compatible with the design and scale of the historic house. Staff finds the lower roof height and wall insets help to make the addition subservient to the historic house. The use of the wood clapboard siding further aids in differentiating the addition from the historic construction, consistent with the requirements of Standard 9. In most instances, Staff would not support the square casement windows proposed on the left elevation. However, because the subject property has a narrow side setback to the property to the east, and the addition wall is inset from the historic wallplane by 3' 6", Staff finds the addition wall will not be highly visible from the right-of-way and finds the windows are appropriate in this application. Staff recommends the HPC approve the rear addition under 24A-8(b)(2) and (d) and Standards 2 and 9.

Rear Screened-in Porch
On the right elevation and to the rear of the new addition, the applicant proposes to construct a new deck with a screened-in porch. The deck and porch are supported by wood posts with wood lattice screening below. The deck has a wood railing and stairs with wood square posts. The screened-in porch section, to the rear, replaces the railing with 36" (thirty-six inches) of painted wood siding and has a rear-facing gable roof.

Staff finds the deck and porch are both compatibly designed and do not overwhelm the size of the historic construction. Staff recommends the HPC approve the deck and porch under 24A-8(b)(2) and (d) and Standards 2, 9, and 10.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application; under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d) having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they

propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

FOR STAFF ONLY:
HAWP# 1003102
DATE ASSIGNED_____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Peter and Sharon Bartram E-mail: psbartram@verizon.net

Address: 3824 Warner Street City: Kensington Zip: 20895

Daytime Phone: 802 272 5495 Tax Account No.: 02772928

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____

Address: _____ City: _____ Zip: _____

Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property_____

Is the Property Located within an Historic District? X Yes/District Name Kensington
__No/Individual Site Name_____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- ☐ New Construction
- ☑ Addition
- ☑ Demolition
- ☐ Grading/Excavation
- ☑ Deck/Porch
- ☐ Fence
- ☐ Hardscape/Landscape
- ☐ Roof
- ☐ Shed/Garage/Accessory Structure
- ☐ Solar
- ☑ Tree removal/planting
- ☐ Window/Door
- ☐ Other:_____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Peter N. Bartram Sharon V. Bartram — August 9, 2022

Signature of owner or authorized agent — Date

FOR STAFF ONLY:
HAWP#_____
DATE ASSIGNED_____

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Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

☐	New Construction	☑	Deck/Porch	☐	Shed/Garage/Accessory Structure
☑	Addition	☐	Fence	☐	Solar
☑	Demolition	☐	Hardscape/Landscape	☑	Tree removal/planting
☐	Grading/Excavation	☐	Roof	☐	Window/Door
				☐	Other:_____

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Peter M. Bartram Sharon V. Bartram August 9, 2022

Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address Peter and Sharon Bartram 3824 Warner Street Kensington, MD 20895	**Owner's Agent's** mailing address
Adjacent and confronting Property Owners mailing addresses	
Viahos, Alexis and Cody, Karen 3820 Warner Street Kensington, MD 20895	10400 Connecticut Ave Building Knowles Associates LLC c/o The Scott Group 110 N Washington St #300 Rockville, MD 20850
Brown, David and Brown, Susan 10309 Freeman Pl. Kensington, MD 20895-3915	Martin, Daniel Jr. and Joy, Melissa 10310 Freeman Pl. Kensington MD 20895

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The building is a circa 1907 wood frame 2 1/2 story dwelling situated on one end of a large corner lot. There is a similar historic dwelling on an adjacent parcel to the east. There are a large number of trees, including a mature tulip tree and a mature English walnut tree. There are many newer trees, including oak, magnolia, maple, and pussy willow, as well as many ornamental shrubs and flowers.

The historic structure has been modified in the past, including the loss of the original front porch (with no photographs or drawings found to determine its original appearance), the addition of a bay window on the west side of the first floor, and construction of a deck at the rear.

Description of Work Proposed: Please give an overview of the work to be undertaken:

We propose a modest addition to the rear of the current building. The addition will include extending the basement, first floor and second floor of the original building to the rear in keeping with historic preservation guidelines. The roof peak will be lower that that of the original building. A extended porch to the rear of this addition will replace the present rear porch. We plan to remove the non-historic deck. Three non-historic maple trees growing in a cluster in an opening in the deck will be removed. Two historic windows on the rear of the second floor will have to be removed as will one historic window, one non-historic window, and one non-historic door on the rear of the first floor. Three non-historic windows in the first floor bay window will be replaced with windows matching the character of the building. Three skylights on the rear of the original roof will be removed (or replaced with two smaller ones). Roof shingles will be the same as on the current structure. Siding will be clapboard wood siding matching what is currently in use on the non-historic bay window; the historic structure has Dutch lap wood siding. The basement wall (much above grade) will be finished concrete in contrast to the stone of the historic structure.

Work Item 1: Two floor plus basement rear addition

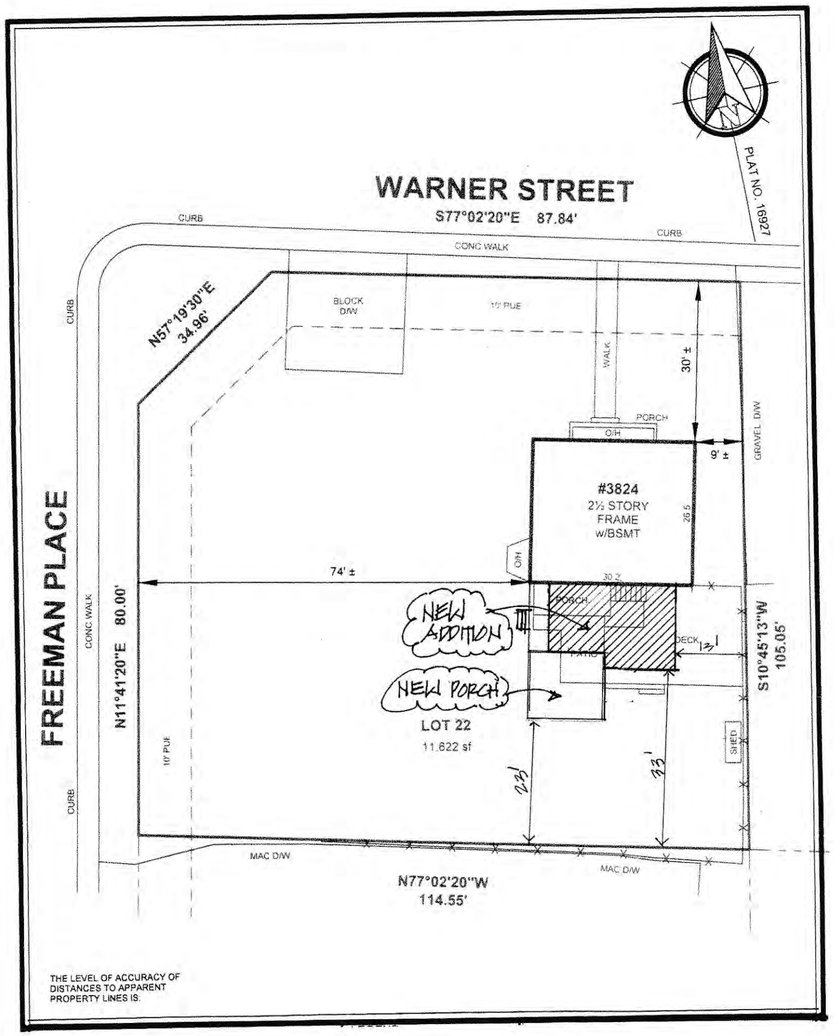
Description of Current Condition:	Proposed Work:
Rear porch is in poor repair, having been repaired many times in the past. Rest of historic structure is in good to excellent condition. Non-historic deck is in good condition, but is not in keeping with the historic nature of the neighborhood.	Remove deck and approx. 6 x 12 ft. porch, replace with two story plus basement addition and 12 x 13.6 ft. porch.

Work Item 2: Replace windows in non-historic bay window

Description of Current Condition:	Proposed Work:
Three non-historic small-pane double-hung windows which do not match the character of the historic building; sash fit poorly.	Replace windows with one over one double-hung windows.

Work Item 3:

Description of Current Condition:	Proposed Work:



GENERAL NOTES

BUILDING CODES:

A. ALL CONSTRUCTION SHALL CONFORM WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC).

B. ALL CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE LOCAL CODES AS AMENDED BY MONTGOMERY COUNTY MARYLAND.

DESIGN LOADS: (PER SECTION R301 OF IRC 2018)

A. THE DESIGN DEAD LOADS FOR ALL FRAMING IS BASED ON THE CONSTRUCTION MATERIALS SHOWN ON THE DRAWINGS AND INDICATED IN THE GENERAL NOTES.

B. THE MINIMUM DESIGN UNIFORMLY DISTRIBUTED LIVE LOADS FOR ALL NEW FRAMING SHALL BE AS FOLLOWS:

FLOOR LOAD (U.O.N.)	LL=40 PSF / DL=10 PSF
SLEEPING RMS. / ATTIC WITH FIXED STAIR	LL=30 PSF / DL=10 PSF
GARAGE FLOOR	LL=50 PSF / 2000# POINT
ROOF LIVE LOAD	MIN. 30 PSF
ATTIC AND TRUSS BOTTOM CHORD	LL=20 PSF (LIMITED STORAGE) LL=10 PSF (NO STORAGE)

C. ROOF SNOW LOAD DESIGN CRITERIA:

GROUND SNOW LOAD (Pg)=	30 PSF
FLAT ROOF SNOW LOAD (Pf)=	21 PSF
EXPOSURE FACTOR (Ce)=	1
IMPORTANCE FACTOR (I)=	1

D. WIND LOAD DESIGN CRITERIA:

BASIC WIND SPEED=	115 MPH
WIND EXPOSURE=	B
IMPORTANCE FACTOR (I)=	1

E. EARTHQUAKE LOAD DESIGN CRITERIA:

SEISMIC DESIGN CATEGORY=	B
SPECTRAL RESPONSE COEFFICIENT (SDS)=	0.199
(SD1)=	0.101
SITE CLASS=	D

F. SUBJECT TO DAMAGE FROM:

WEATHERING	SEVERE
FROST LINE DEPTH	30"
TERMITE	MODERATE TO HEAVY
DECAY	SLIGHT TO MODERATE

G. TEMPERATURE AND FLOODING:

WINTER DESIGN TEMPERATURE	18° F
ICE SHIELD UNDERLAYMENT REQUIRED	YES (24:12
FLOOD HAZARDS	NONE
AIR FREEZING INDEX	1000
MEAN ANNUAL TEMPERATURE	50° F

H. THE STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRASM ACTION OF THE FLOORS AND ROOF. THE CONTRACTOR IS RESPONSIBLE FOR THE METHOD OF CONSTRUCTION AND SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN THE STABILITY OF THE STRUCTURE AND TO SUPPORT CONSTRUCTION LOADS DURING CONSTRUCTION, INCLUDING SOILS ON WALLS FROM BACK FILLING PRIOR TO PLACING SLABS ON GRADE. DESIGN OF ALL BRACING IS THE CONTRACTOR'S RESPONSIBILITY.

SPREAD FOOTING FOUNDATIONS:

A. THE BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 30" BELOW FINISH GRADE FOR FROST PROTECTION.

B. ALL FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED NET ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.

C. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ALL FOUNDATION AND SOIL CONDITIONS WHICH DIFFER FROM THOSE ANTICIPATED OR INDICATED IN THE CONTRACT DOCUMENTS.

CONCRETE SLAB-ON-GRADE:

A. ALL SLABS ON GRADE, UNLESS OTHERWISE NOTED, SHALL CONSIST OF A 4 INCH THICK CONCRETE SLAB REINFORCED WITH ONE LAYER OF 6'x6'-W.4xW.4 WELDED WIRE FABRIC AND PLACED OVER A 6 MIL POLYETHYLENE VAPOR RETARDER AND 4 INCHES OF COMPACTED GRANULAR BASE. ALL EDGES OF VAPOR RETARDER SHALL BE LAPPED A MINIMUM OF 6 INCHES AND TAPED. MAXIMUM AGGREGATE SIZE OF GRANULAR BASE SHALL BE 1/2 INCH.

B. FILL DEPTHS UNDER SLAB SHALL NOT EXCEED 24 INCHES FOR CLEAN SAND OR GRAVEL AND 8 INCHES FOR COMPACTED SOIL. SLABS ON GREATER FILL SHALL BE ENGINEERED SUPPORTED SLABS. COORDINATE WITH ENGINEER WHERE REQUIRED.

C. PLACE CONCRETE PER ACI 302. CONTRACTOR SHALL READ, UNDERSTAND & FOLLOW GUIDELINES SET FORTH FOR PREPARING SUBGRADE, PLACING, CONSOLIDATING, FINISHING AND CURING CONCRETE SLABS.

STRUCTURAL AND MISCELLANEOUS STEEL:

A. ALL STEEL CONSTRUCTION SHALL CONFORM TO THE THIRTEENTH EDITION OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN" AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

B. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 GRADE 50 OR ASTM A99 AT THE CONTRACTOR'S OPTION.

C. ALL MISCELLANEOUS STEEL (ANGLES, PLATES, ETC.) SHALL CONFORM TO ASTM A36 HAVING A MINIMUM YIELD STRENGTH OF Fy=36,000 PSI.

D. ALL STRUCTURAL STEEL PIPE SHALL CONFORM TO ASTM A501 HAVING A MINIMUM YIELD STRENGTH OF Fy=36,000 PSI OR TO ASTM A53, TYPE 'E' OR 'S' GRADE 'B', HAVING A MINIMUM YIELD STRENGTH OF Fy=35,000 PSI.

E. ALL STRUCTURAL STEEL TUBES SHALL CONFORM TO ASTM A500, GRADE 'B', HAVING A MINIMUM YIELD STRENGTH OF Fy=46,000 PSI.

F. ALL CONNECTIONS, UNLESS OTHERWISE NOTED, SHALL BE DOUBLE ANGLE OR SINGLE PLATE SHEAR CONNECTIONS DESIGNED AND DETAILED IN ACCORDANCE WITH THE AISC "STEEL CONSTRUCTION MANUAL" WITH A MINIMUM EDGE DISTANCE OF 1-1/2 INCHES AND BOLT SPACING OF 3 INCHES.

G. THE CONTRACTOR SHALL NOT SPLICE OR CUT OPENINGS IN STEEL MEMBERS NOT SHOWN ON CONTRACT DRAWINGS WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.

WINDOWS AND DOORS:

A. ALL WINDOW NUMBERS INDICATE MODEL NUMBERS FOR "ANDERSEN" WINDOW UNITS.

B. WINDOWS INDICATED ON DRAWINGS AS "EGRESS" SHOULD MEET BUILDING CODE REQUIREMENTS PER SECTION R310 OF THE IRC.

C. WINDOWS IN DOORS, SIDE LIGHTS AND WINDOWS WITHIN 24" OF DOORS SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION R308 OF THE IRC.

D. GLASS AT TUBS AND SHOWER ENCLOSURES SHALL BE PROVIDED WITH SAFETY GLASS TO COMPLY WITH SECTION R308 OF THE IRC.

WOOD FRAMING:

A. ALL WOOD FRAMING SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.

B. ALL NEW LUMBER SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER. ALL NEW PRESSURE TREATED LUMBER SHALL BE SOUTHERN PINE NO. 2 OR BETTER.

C. NAILING OF ALL WOOD FRAMING SHALL MEET THE MINIMUM RECOMMENDED REQUIREMENTS PROVIDED IN THE NAILING SCHEDULE OF THE IRC BUILDING CODE.

D. PROVIDE DOUBLE JOISTS OR HEADERS ALONG EACH SIDE OF FLOOR OR ROOF OPENINGS, UNDER THE CENTERLINE OF PARTITION WALLS PARALLEL TO JOIST SPANS, AND ABOVE ALL WALL OPENINGS UNLESS OTHERWISE INDICATED.

E. THE CONTRACTOR SHALL CUT OR NOTCH THE WOOD FRAMING ONLY AS REQUIRED AND IN ACCORDANCE WITH THE IRC BUILDING CODE, THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", OR AS SHOWN ON THE CONTRACT DRAWINGS.

WOOD FRAMING CON'T.:

F. PROVIDE DOUBLE OR TRIPLE STUDS AT ALL CORNERS, SIDES OF OPENINGS, AND BENEATH ALL WOOD BEAMS AND LINTELS, UNLESS OTHERWISE INDICATED.

G. WOOD TRUSSES SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE'S "NATIONAL DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" FOR THE DESIGN LOADS INDICATED ON THE CONTRACT DOCUMENTS.

H. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR ALL WOOD TRUSSES INCLUDING MEMBER LAYOUT, WOOD SPECIES AND GRADE, MEMBER SIZES, TRUSS BEARING CONNECTION DETAILS, CAPACITY OF CONNECTOR PLATES AND THE SIZE AND LOCATION OF ALL REQUIRED BRIDGING. THE CALCULATIONS AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WHERE WORK IS BEING DONE.

I. THE CONTRACTOR SHALL PROVIDE TRUSS TIES EQUIVALENT TO OR BETTER THAN THE UPLIFT LOADS INDICATED ON THE TRUSS SHOP DRAWINGS.

INSULATION & MOISTURE PROTECTION:

A. PROVIDE 30 lb. BUILDING FELT OR PAPER AT BRICK VENEER WITH FLASHING AT OPENING TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER.

B. PROVIDE MINIMUM ONE LAYER OF 15 lb. ROOFING FELT AT THE ROOF TO PROVIDE A MINIMUM UNDERLAYMENT BASE FOR FIBERGLASS COMPOSITION ROOF SHINGLES.

C. PROVIDE INSULATION AS FOLLOWS:

ROOF/ATTIC AREAS:	R-49, FIBERGLASS BATT OR BLOWN
EXTERIOR WALLS:	R-21, KRAFT-FACED, FIBERGLASS BATTS
BASEMENT EXTERIOR WALLS:	R-13, FOIL-FACED, FIBERGLASS BATTS R-10 CONTINUOUS INSULATION
WINDOWS / GLASS DOORS:	U-FACTOR ≤ 0.35
SKYLIGHTS:	U-FACTOR ≤ 0.55

D. THE CONTRACTOR SHALL PROVIDE CORROSION-RESISTANT METAL FLASHING ABOVE ALL WINDOW AND DOOR OPENINGS TO PREVENT MOISTURE PENETRATION. SIMILAR FLASHING SHALL BE PROVIDED AT ROOF VALLEYS AND ROOF OPENINGS. HOOD OR METAL COPINGS AND SILLS.

E. THE CONTRACTOR SHALL PROVIDE PERFORATED SOFFITS AT THE ROOF EAVES AND A CONTINUOUS RIDGE VENT AT THE ROOF TO PROVIDE REQUIRED ATTIC VENTILATION.

SPECIALTIES:

A. SMOKE ALARMS SHALL COMPLY WITH SECTION R314 OF THE IRC. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE HOUSE INCLUDING THE BASEMENT.

B. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE HOUSE WIRING. WHEN PRIMARY POWER IS INTERRUPTED, SMOKE ALARMS SHALL RECEIVE POWER FROM A BATTERY.

FRONT

DRAWINGS INDEX:

SCOPE OF WORK :

ADD TO MAIN FLOOR 351 SF.
PORCH 156 SF.
DECK 52 SF.
ADD TO UPPER FLOOR 351 SF.
ADD TO BASEMENT 351 SF.

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULLY LICENSE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NUMBER 7067 EXP. DATE 5/5/2024

STATE OF MARYLAND
HENDRI TIRTANADI
7067
ARCHITECT

8/8/22

HENDRI TIRTANADI
htarchitect@gmail.com
www.htranadiarchitect.com

TIRTANADI ARCHITECT
8611 OAKMONT ST.
GAITHERSBURG, MARYLAND 20877
CELL 301-938-0311

REAR ADDITION

3824 WARNER ST.

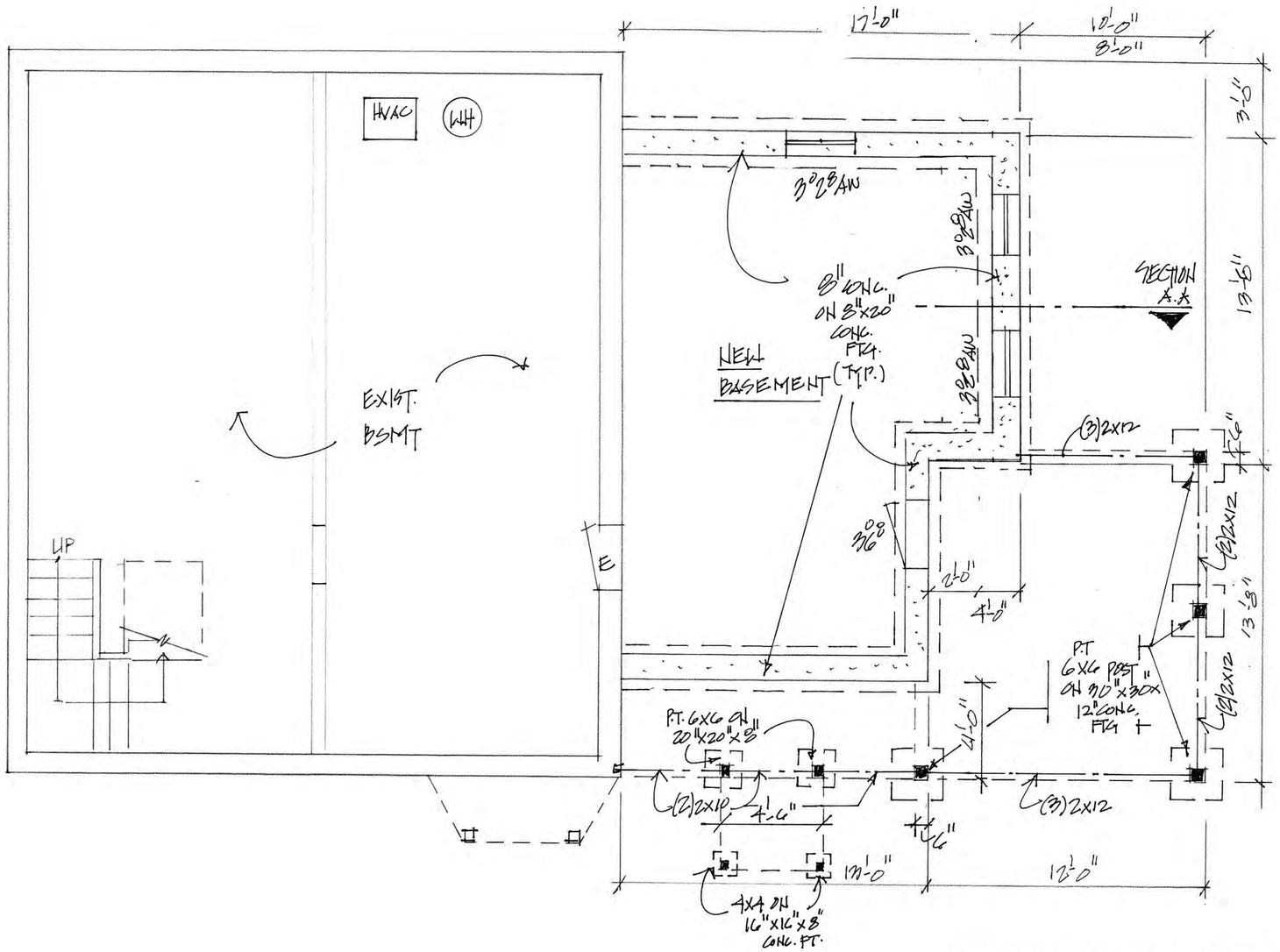
KENSINGTON, MARYLAND

SP

SITE PLAN

GENERAL NOTES:

1. All interior and exterior trims to match existing.
2. All new roof to match existing.
3. All new brick and siding to match existing.
4. Refinish all wood floor that will be joint with new wood floor(tooth in joint).
5. Patch and paint all wall that is affected by the renovation.
6. Review existing HVAC system, Contractor should recommend solution to achieve a comfortable environment.
7. Review existing Electrical capacity, heavy up as required.



BASEMENT PLAN

1/4" = 1'-0"

EXIST. 806 SF.
NEW 351 SF

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8/8/22

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REAR ADDITION

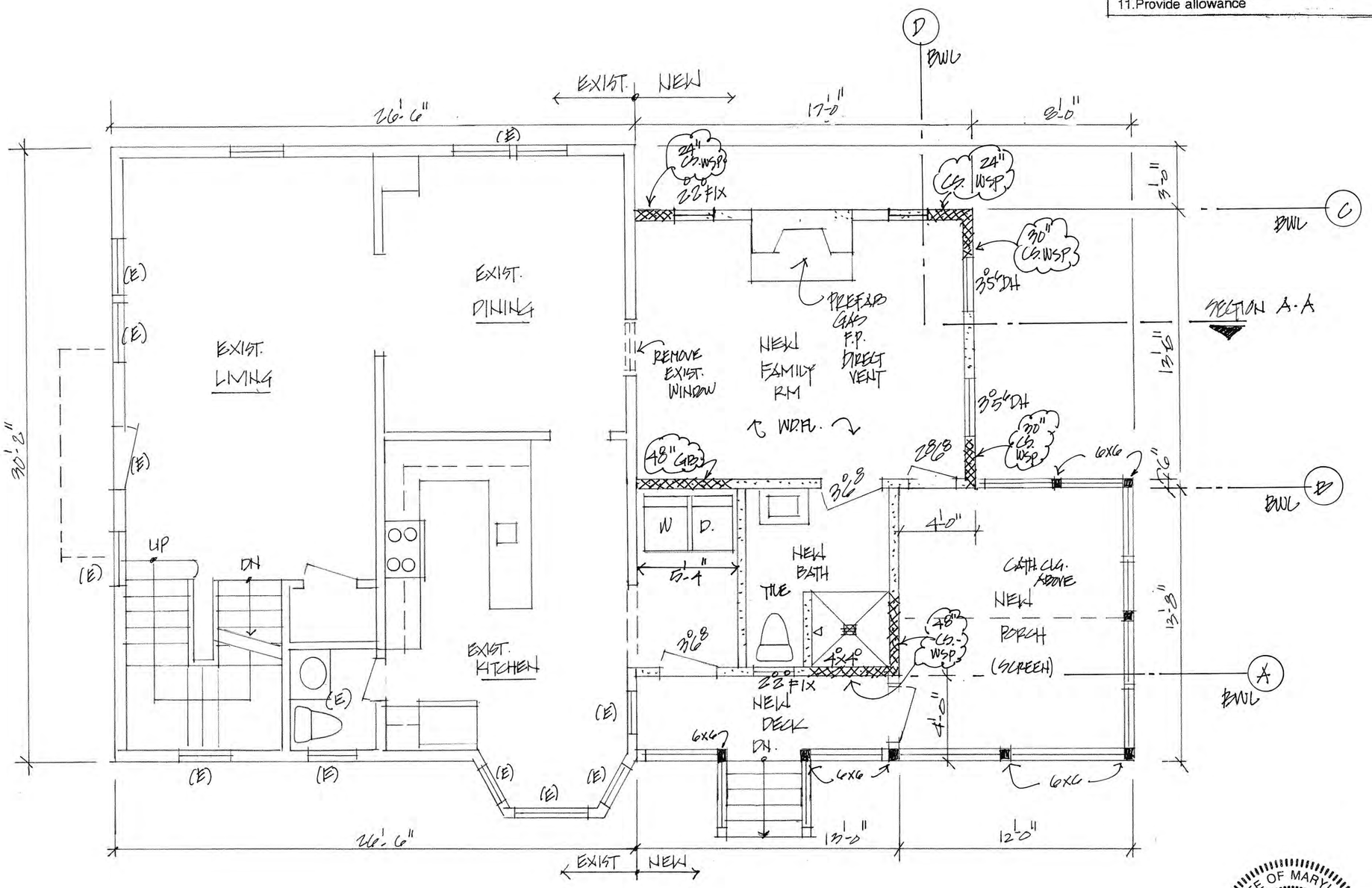
3824 WARNER ST.

KENSINGTON, MARYLAND

A 1

BASEMENT PLAN

NOTES:
1. Provide allowance for new kitchen cabinet and counter top.
2. Provide allowance for new appliances.
3. Provide allowance for lighting fixtures.
4. Provide allowance for plumbing fixtures and accessories.
5. Provide allowance for door hardwares.
6. Provide allowance for carpet, installation includes in the bid.
7. Provide allowance for tile, installation includes in the bid.
8. Provide allowance for vanities, top and medicine cabinet.
9. Provide allowance
10. Provide allowance for interior trims.
11. Provide allowance



MAIN FLOOR PLAN

1/4" = 1'-0"

EXIST. 806 SF
NEW 375 SF
PORCH 156 SF
DECK 52 SF

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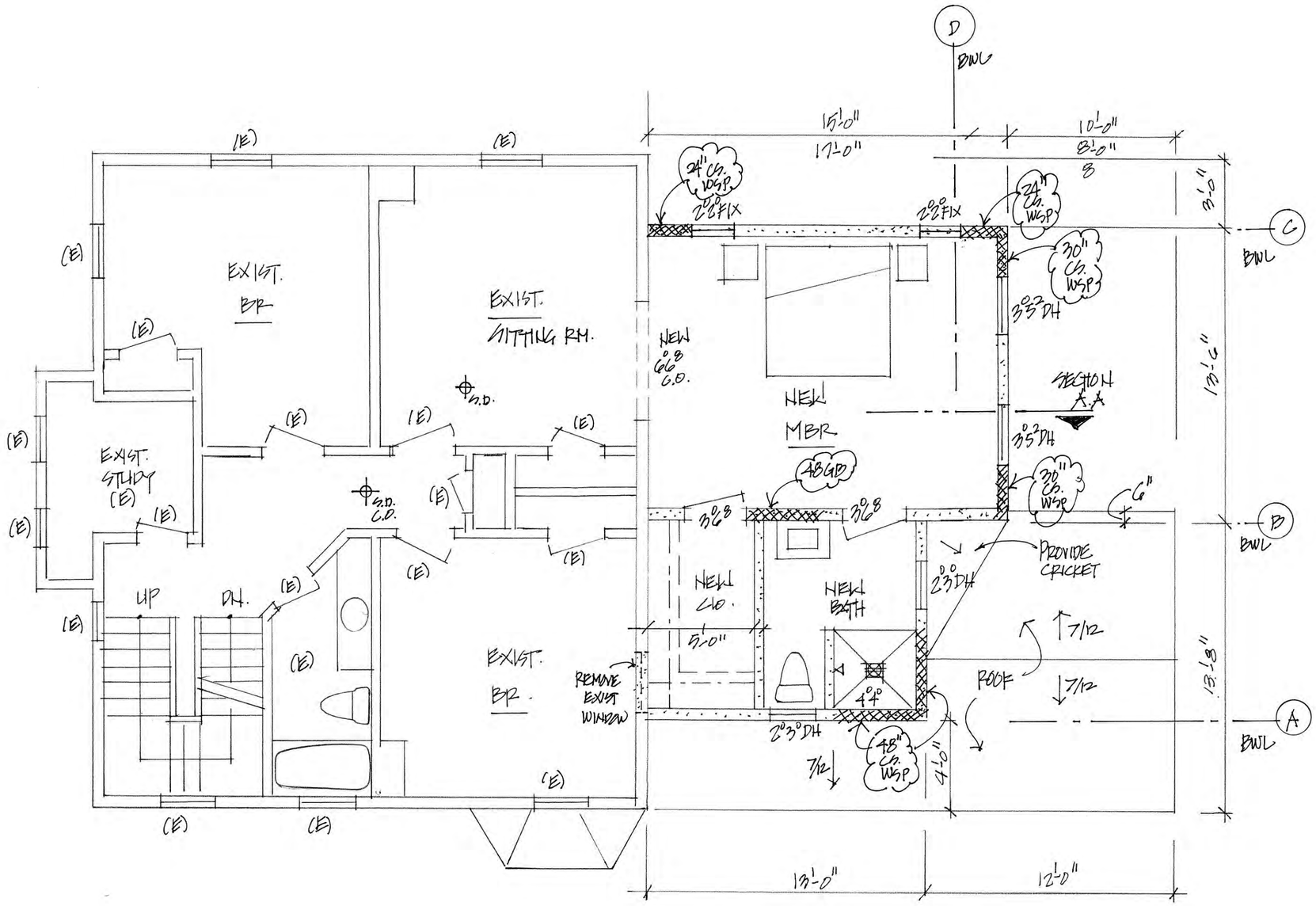
REAR ADDITION

3824 WARNER ST.

KENSINGTON, MARYLAND

A 2

MAIN FL PLAN



UPPER FLOOR PLAN

1/4" = 1'-0"

EXIST. 806 SF
NEW 357 SF

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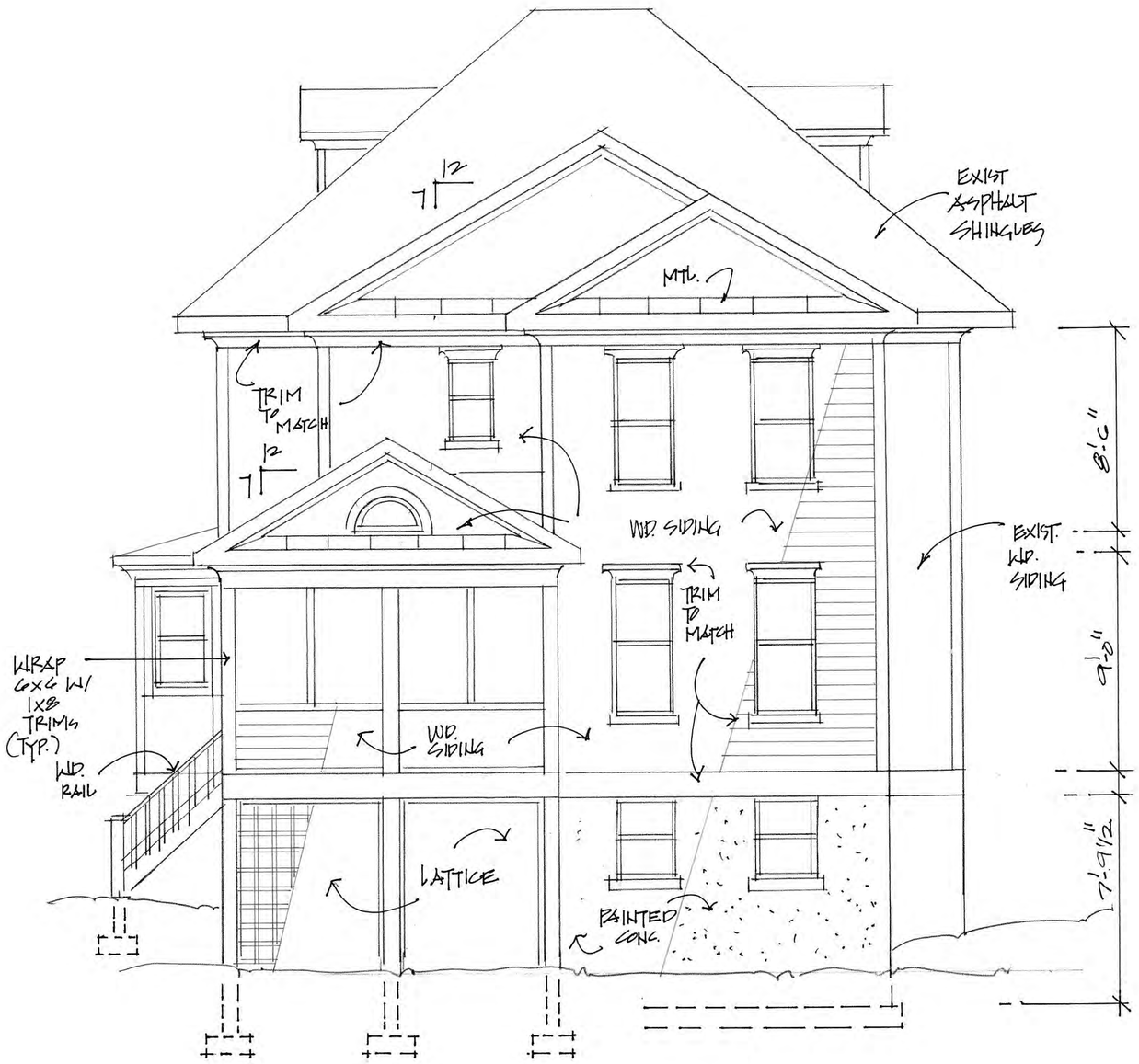
KENSINGTON, MARYLAND

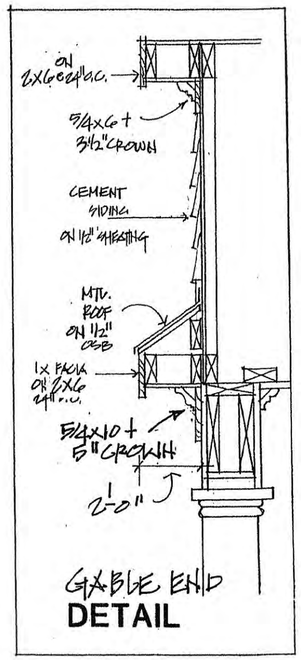
A 3

UPPER FL PLAN



REAR ELEVATION

1/4" = 1'-0"



GABLE END DETAIL

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REAR ELEV

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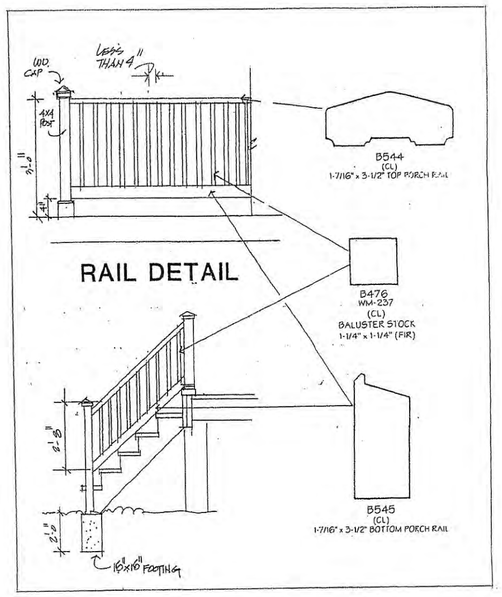
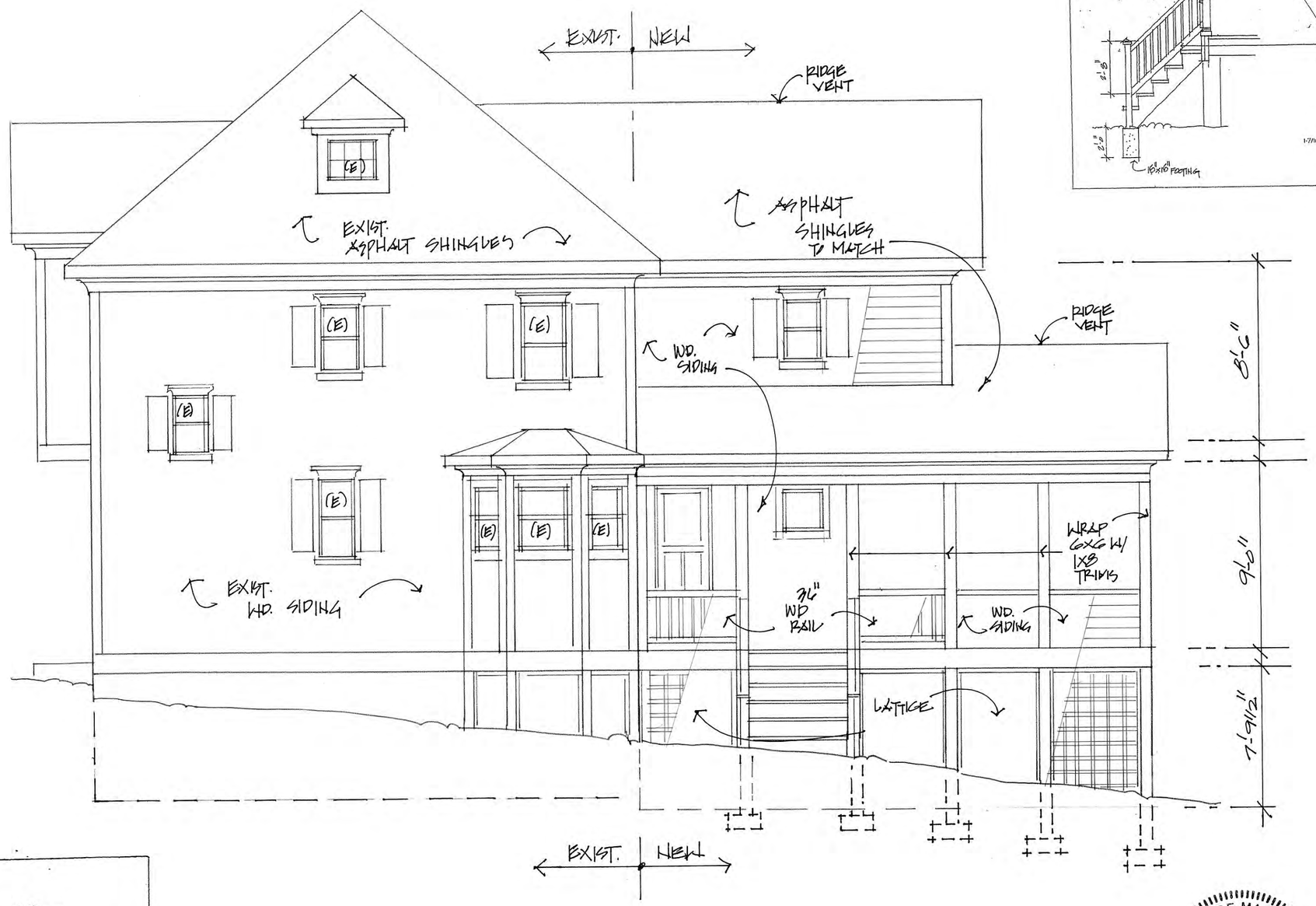
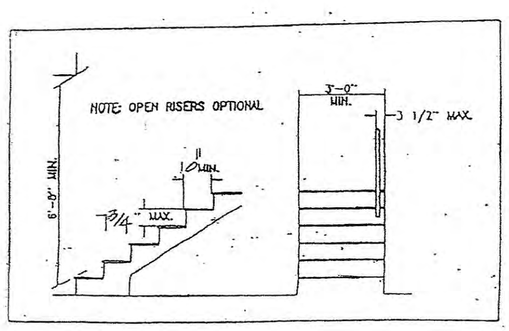
A 4







RIGHT SIDE ELEVATION

1/4" = 1'-0"

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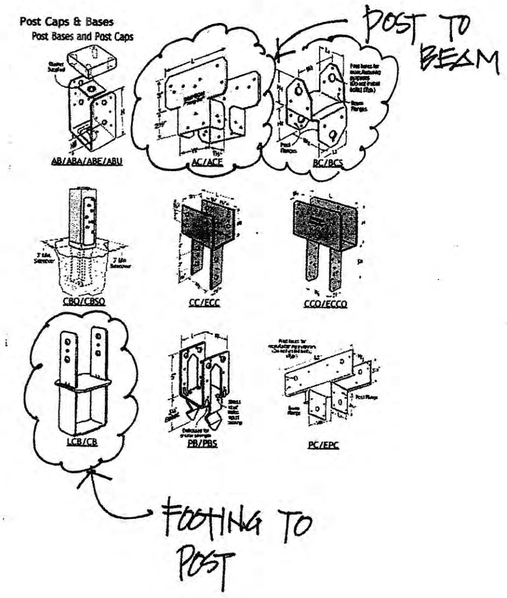
REAR ADDITION

3824 WARNER ST.

KENSINGTON, MARYLAND

A 5

RIGHT SIDE ELEV



LEFT SIDE ELEVATION

1/4" = 1'-0"

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REAR ADDITION

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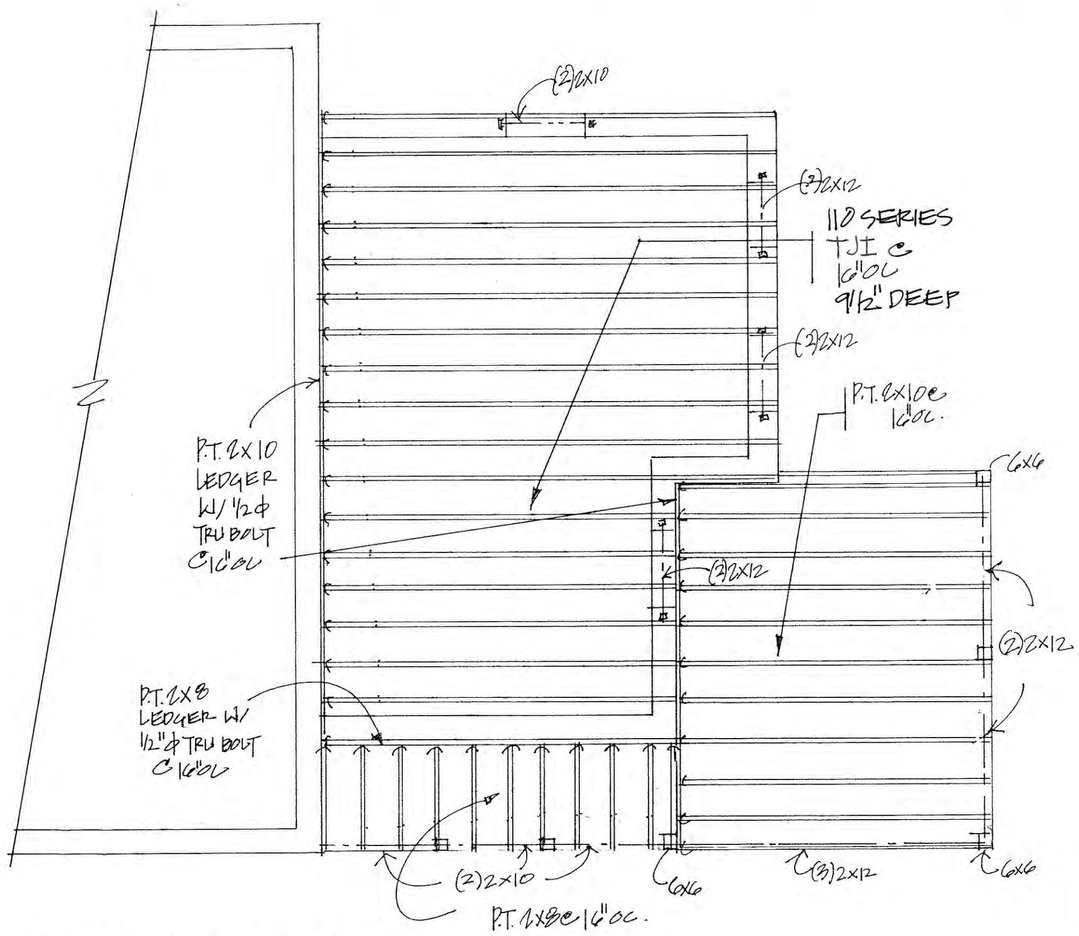
KENSINGTON, MARYLAND

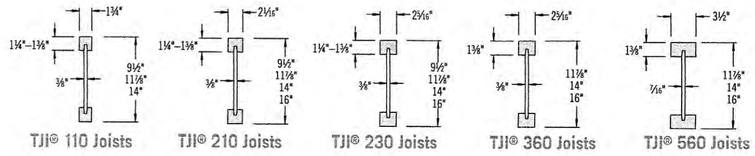
LEFT SIDE ELEV

A 7



FIRST FLOOR FRAMING

DESIGN PROPERTIES



TJI® 110 Joists | TJI® 210 Joists | TJI® 230 Joists | TJI® 360 Joists | TJI® 560 Joists

Some TJI® joist series may not be available in your region.

Contact your iLevel representative for information.

Design Properties (100% Load Duration)

Depth	TJI®	Basic Properties				Reaction Properties					
		Joist Weight (lbs/ft)	Maximum Resistive Moment[1] (ft-lbs)	Joist Only EI x 10⁶ (in.²-lbs)	Maximum Vertical Shear (lbs)	1¾" End Reaction (lbs)	3½" End Reaction (lbs)	3½" Intermediate Reaction (lbs)		5¼" Intermediate Reaction (lbs)	
								No Web Stiffeners	With Web Stiffeners	No Web Stiffeners	With Web Stiffeners
9½"	110	2.3	2,500	157	1,220	910	1,220	1,935	N.A.	2,350	N.A.
	210	2.6	3,000	186	1,330	1,005	1,330	2,145	N.A.	2,565	N.A.
	230	2.7	3,330	206	1,330	1,060	1,330	2,410	N.A.	2,790	N.A.
11⅞"	110	2.5	3,160	267	1,560	910	1,375	1,935	2,295	2,350	2,705
	210	2.8	3,795	315	1,655	1,005	1,460	2,145	2,505	2,565	2,925
	230	3.0	4,215	347	1,655	1,060	1,485	2,410	2,765	2,790	3,150
	360	3.0	6,180	419	1,705	1,080	1,505	2,460	2,815	3,000	3,360
	560	4.0	9,500	636	2,050	1,265	1,725	3,000	3,475	3,455	3,930
14"	110	2.8	3,740	392	1,860	910	1,375	1,935	2,295	2,350	2,705
	210	3.1	4,490	462	1,945	1,005	1,460	2,145	2,505	2,565	2,925
	230	3.3	4,990	509	1,945	1,060	1,485	2,410	2,765	2,790	3,150
	360	3.3	7,335	612	1,955	1,080	1,505	2,460	2,815	3,000	3,360
	560	4.2	11,275	926	2,390	1,265	1,725	3,000	3,475	3,455	3,930
16"	210	3.3	5,140	629	2,190	1,005	1,460	2,145	2,505	2,565	2,925
	230	3.5	5,710	691	2,190	1,060	1,485	2,410	2,765	2,790	3,150
	360	3.5	8,405	830	2,190	1,080	1,505	2,460	2,815	3,000	3,360
	560	4.5	12,925	1,252	2,710	1,265	1,725	3,000	3,475	3,455	3,930

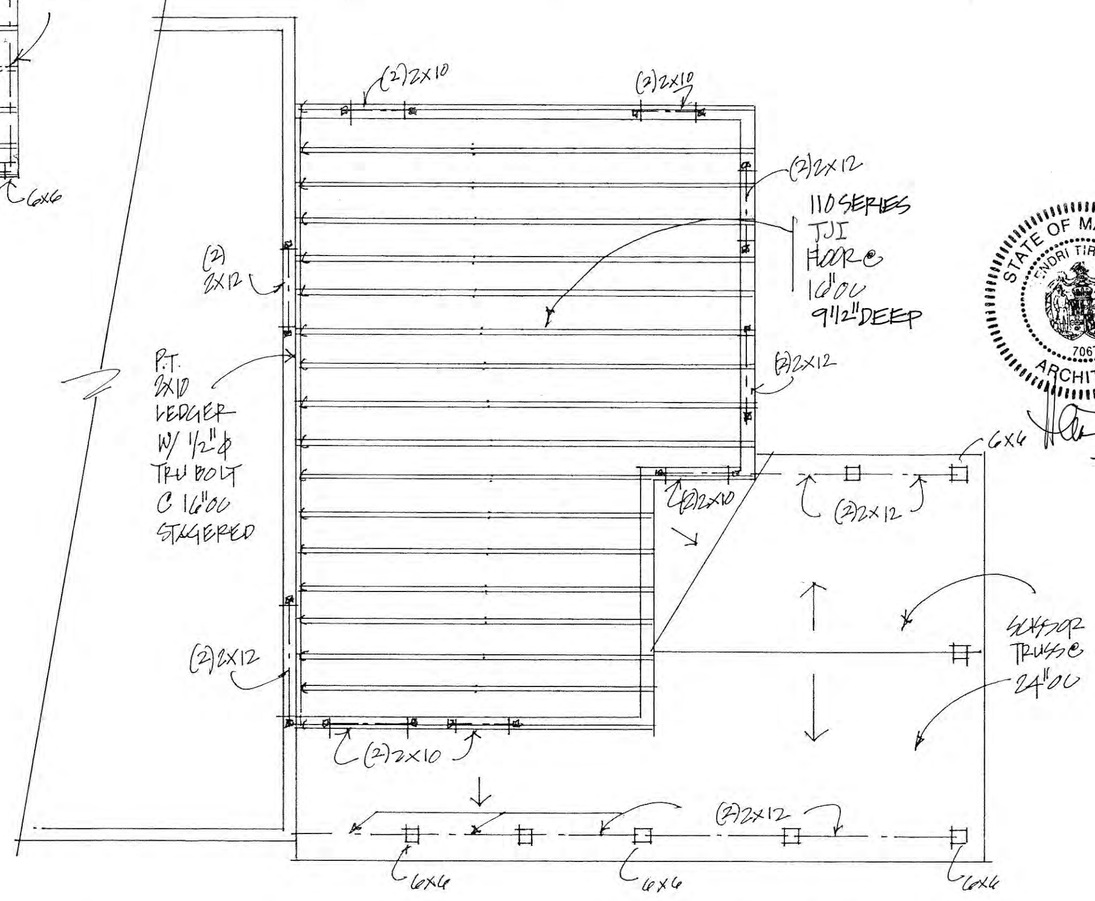
(1) **Caution: Do not** increase joist moment design properties by a repetitive member use factor.

L/480 Live Load Deflection

Depth	TJI®	40 PSF Live Load / 10 PSF Dead Load				40 PSF Live Load / 20 PSF Dead Load			
		12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.
9½"	110	16'-11"	15'-6"	14'-7"	13'-7"	16'-11"	15'-6"	14'-3"	12'-9"
	210	17'-9"	16'-3"	15'-4"	14'-3"	17'-9"	16'-3"	15'-4"	14'-0"
	230	18'-3"	16'-8"	15'-9"	14'-8"	18'-3"	16'-8"	15'-9"	14'-8"
11⅞"	110	20'-2"	18'-5"	17'-4"	15'-9"(1)	20'-2"	17'-8"	16'-1"(1)	14'-4"(1)
	210	21'-1"	19'-3"	18'-2"	16'-11"	21'-1"	19'-3"	17'-8"	15'-9"(1)
	230	21'-8"	19'-10"	18'-8"	17'-5"	21'-8"	19'-10"	18'-7"	16'-7"(1)
	360	22'-11"	20'-11"	19'-8"	18'-4"	22'-11"	20'-11"	19'-8"	17'-10"(1)
	560	26'-1"	23'-8"	22'-4"	20'-9"	26'-1"	23'-8"	22'-4"	20'-9"(1)
14"	110	22'-10"	20'-11"	19'-2"	17'-2"(1)	22'-2"	19'-2"	17'-6"(1)	15'-0"(1)
	210	23'-11"	21'-10"	20'-8"	18'-10"(1)	23'-11"	21'-1"	19'-2"(1)	16'-7"(1)
	230	24'-8"	22'-6"	21'-2"	19'-9"(1)	24'-8"	22'-2"	20'-3"(1)	17'-6"(1)
	360	26'-0"	23'-8"	22'-4"	20'-9"(1)	26'-0"	23'-8"	22'-4"(1)	17'-10"(1)
	560	29'-6"	26'-10"	25'-4"	23'-6"	***29'-6"***	***26'-10"***	25'-4"(1)	20'-11"(1)
16"	210	26'-6"	24'-3"	22'-6"(1)	19'-11"(1)	26'-0"	22'-6"(1)	20'-7"(1)	16'-7"(1)
	230	27'-3"	24'-10"	23'-6"	21'-1"(1)	***27'-3"***	23'-9"	21'-8"(1)	17'-6"(1)
	360	28'-9"	26'-3"	24'-8"(1)	21'-5"(1)	***28'-9"***	26'-3"(1)	22'-4"(1)	17'-10"(1)
	560	32'-8"	29'-8"	28'-0"	25'-2"(1)	***32'-8"***	***29'-8"***	26'-3"(1)	20'-11"(1)

L/360 Live Load Deflection (Minimum Criteria per Code)

Depth	TJI®	40 PSF Live Load / 10 PSF Dead Load				40 PSF Live Load / 20 PSF Dead Load			
		12" o.c.	16" o.c.	19.2" o.c.	24" o.c.	12" o.c.	16" o.c.	19.2" o.c.	24" o.c.
9½"	110	18'-9"	17'-2"	15'-8"	14'-0"	18'-1"	15'-8"	14'-3"	12'-9"
	210	19'-8"	18'-0"	17'-0"	15'-4"	19'-8"	17'-2"	15'-8"	14'-0"
	230	20'-3"	18'-6"	17'-5"	16'-2"	***20'-3"***	18'-1"	16'-6"	14'-9"
11⅞"	110	22'-3"	19'-4"	17'-8"	15'-9"(1)	20'-5"	17'-8"	16'-1"(1)	14'-4"(1)
	210	23'-4"	21'-2"	19'-4"	17'-3"(1)	***22'-4"***	19'-4"	17'-8"	15'-9"(1)
	230	24'-0"	21'-11"	20'-5"	18'-3"	***23'-7"***	20'-5"	18'-7"	16'-7"(1)
	360	25'-4"	23'-2"	21'-10"	20'-4"(1)	***25'-4"***	***23'-2"***	***21'-10"***(1)	17'-10"(1)
	560	28'-10"	26'-3"	24'-9"	23'-0"	***28'-10"***	***26'-3"***	***24'-9"***	20'-11"(1)
14"	110	24'-4"	21'-0"	19'-2"	17'-2"(1)	22'-2"	19'-2"	17'-6"(1)	15'-0"(1)
	210	26'-6"	23'-1"	21'-1"	18'-10"(1)	24'-4"	21'-1"	19'-2"(1)	16'-7"(1)
	230	27'-3"	24'-4"	22'-2"	19'-10"(1)	***25'-8"***	22'-2"	20'-3"(1)	17'-6"(1)
	360	28'-9"	26'-3"	24'-9"(1)	21'-5"(1)	***28'-9"***	***26'-3"***(1)	22'-4"(1)	17'-10"(1)
	560	32'-8"	29'-9"	28'-0"	25'-2"(1)	***32'-8"***	***29'-9"***	***26'-3"***(1)	20'-11"(1)
16"	210	28'-6"	24'-8"	22'-6"(1)	19'-11"(1)	26'-0"	22'-6"(1)	20'-7"(1)	16'-7"(1)
	230	30'-1"	26'-0"	23'-9"	21'-1"(1)	***27'-5"***	23'-9"	21'-8"(1)	17'-6"(1)
	360	31'-10"	29'-0"	26'-10"(1)	21'-5"(1)	***31'-10"***	***26'-10"***(1)	22'-4"(1)	17'-10"(1)
	560	36'-1"	32'-11"	31'-0"(1)	25'-2"(1)	***36'-1"***	***31'-6"***(1)	26'-3"(1)	20'-11"(1)



SECOND FLOOR FRAMING

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REAR ADDITION

3824 WARNER ST.

KENSINGTON, MARYLAND

A 8

FRAMING PLAN

8/8/22

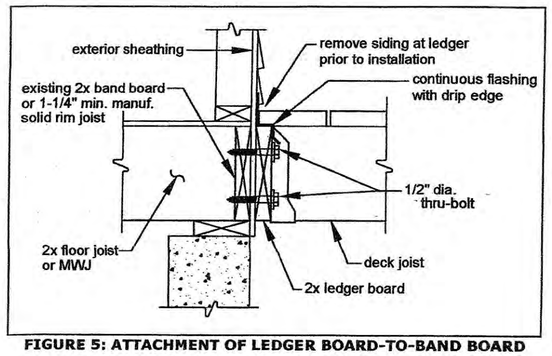
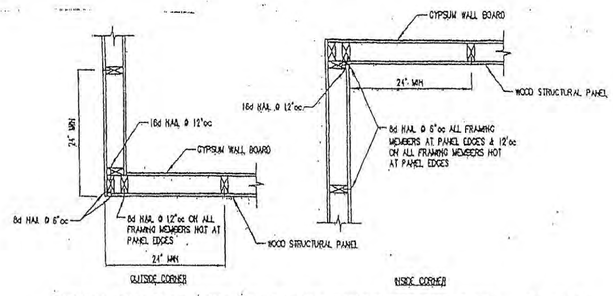
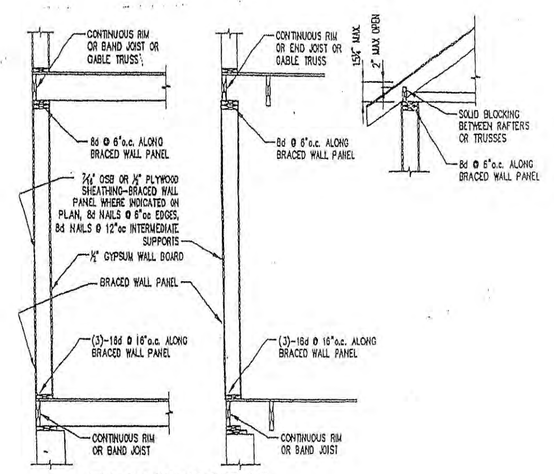


FIGURE 5: ATTACHMENT OF LEDGER BOARD-TO-BAND BOARD



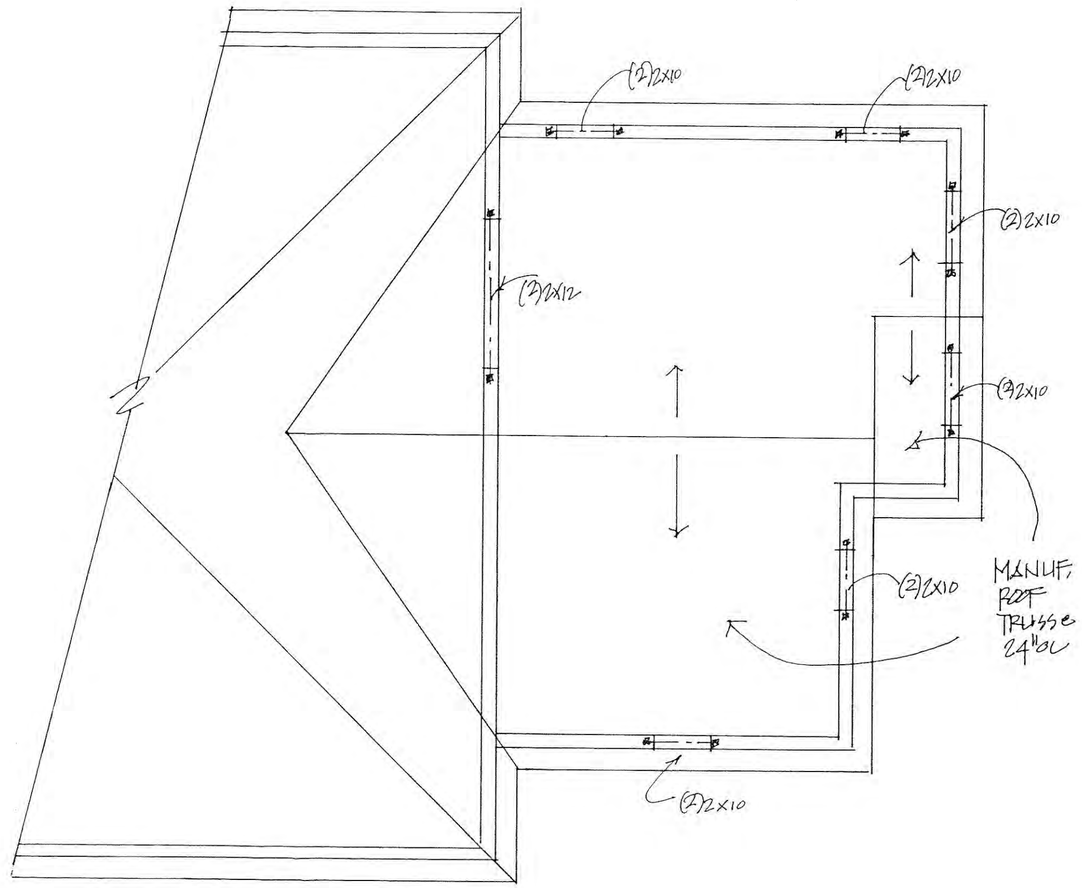
TYPICAL EXTERIOR CORNER DETAIL FOR CONTINUOUS SHEATHING - CS-WSP

3/4" PER FOOT

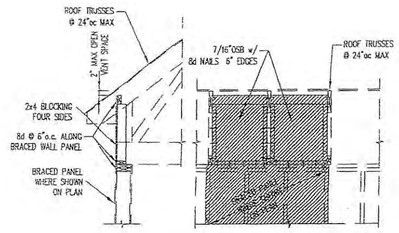


WSP FASTENING DETAILS

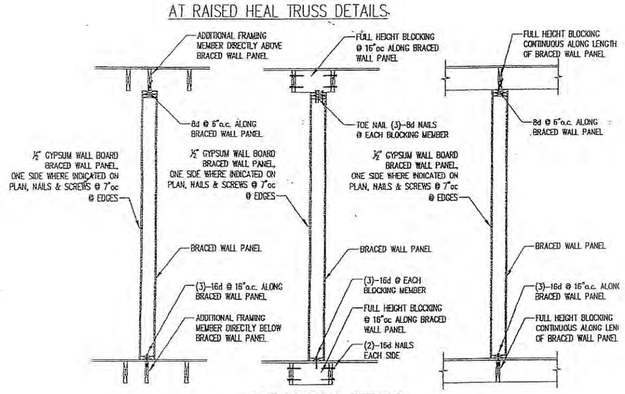
DETAIL APPLIES ONLY WHERE INDICATED ON PLAN "WSP #"



ROOF PLAN



BRACED WALL PANEL FASTENING AT RAISED HEAL TRUSS DETAILS



GB FASTENING DETAILS

DETAIL APPLIES ONLY WHERE INDICATED ON PLAN "GB #"

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ROOF PLAN

8/8/22

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REAR ADDITION

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KENSINGTON, MARYLAND

A 9

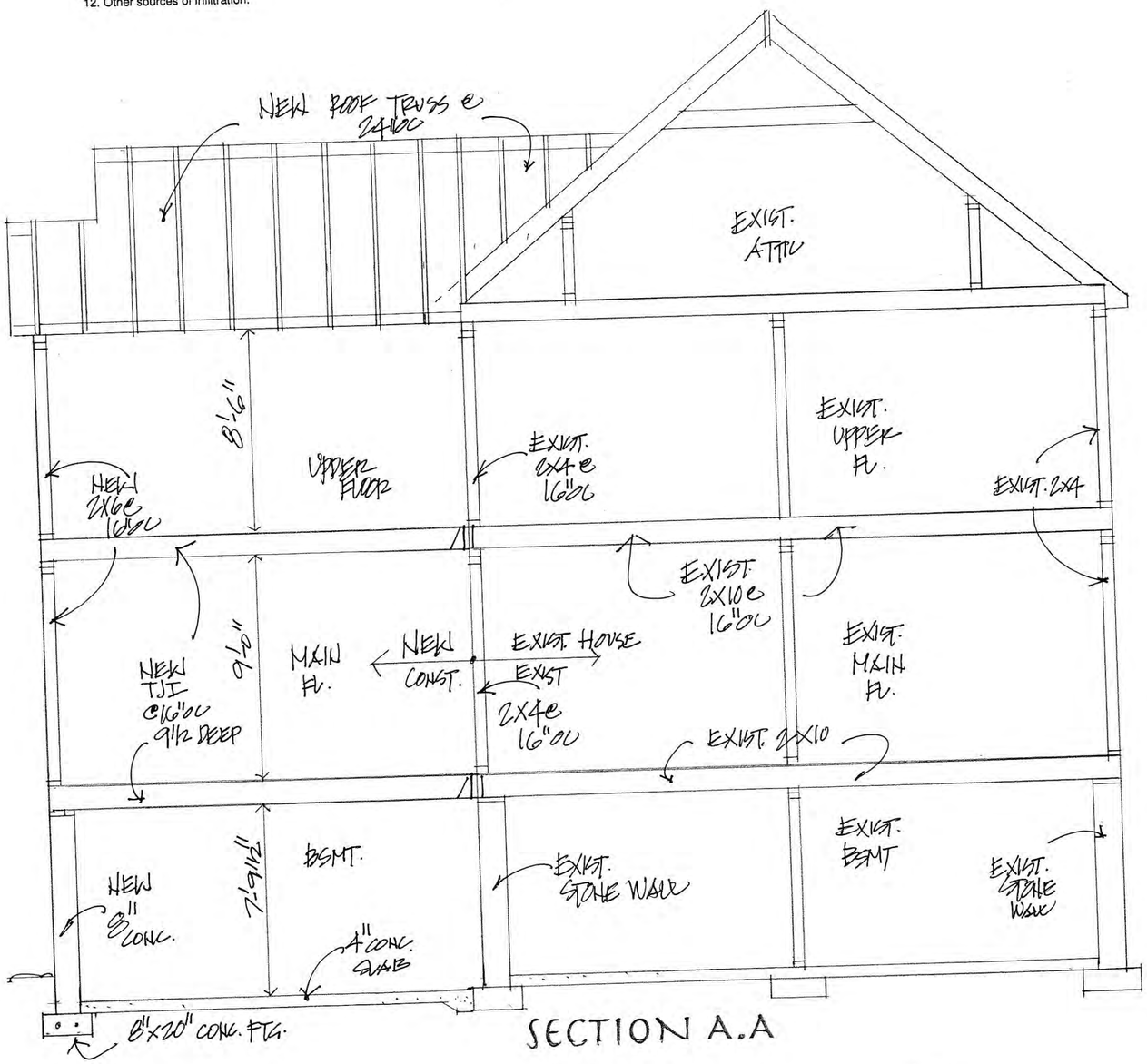
INSULATION NOTES :

Mandatory Requirements for both Methods

Air Leakage

Building thermal envelope. The building thermal envelope shall be durably sealed to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material:

1. All joints, seams and penetrations.
2. Site-built windows, doors and skylights.
3. Openings between window and door assemblies and their respective jambs and framing.
4. Utility penetrations.
5. Dropped ceilings or chases adjacent to the thermal envelope.
6. Knee walls.
7. Walls and ceilings separating a garage from conditioned spaces.
8. Behind tubs and showers on exterior walls.
9. Common walls between dwelling units.
10. Attic access openings.
11. Rim joist junction.
12. Other sources of infiltration.



SECTION A.A

1/4"=1'-0"

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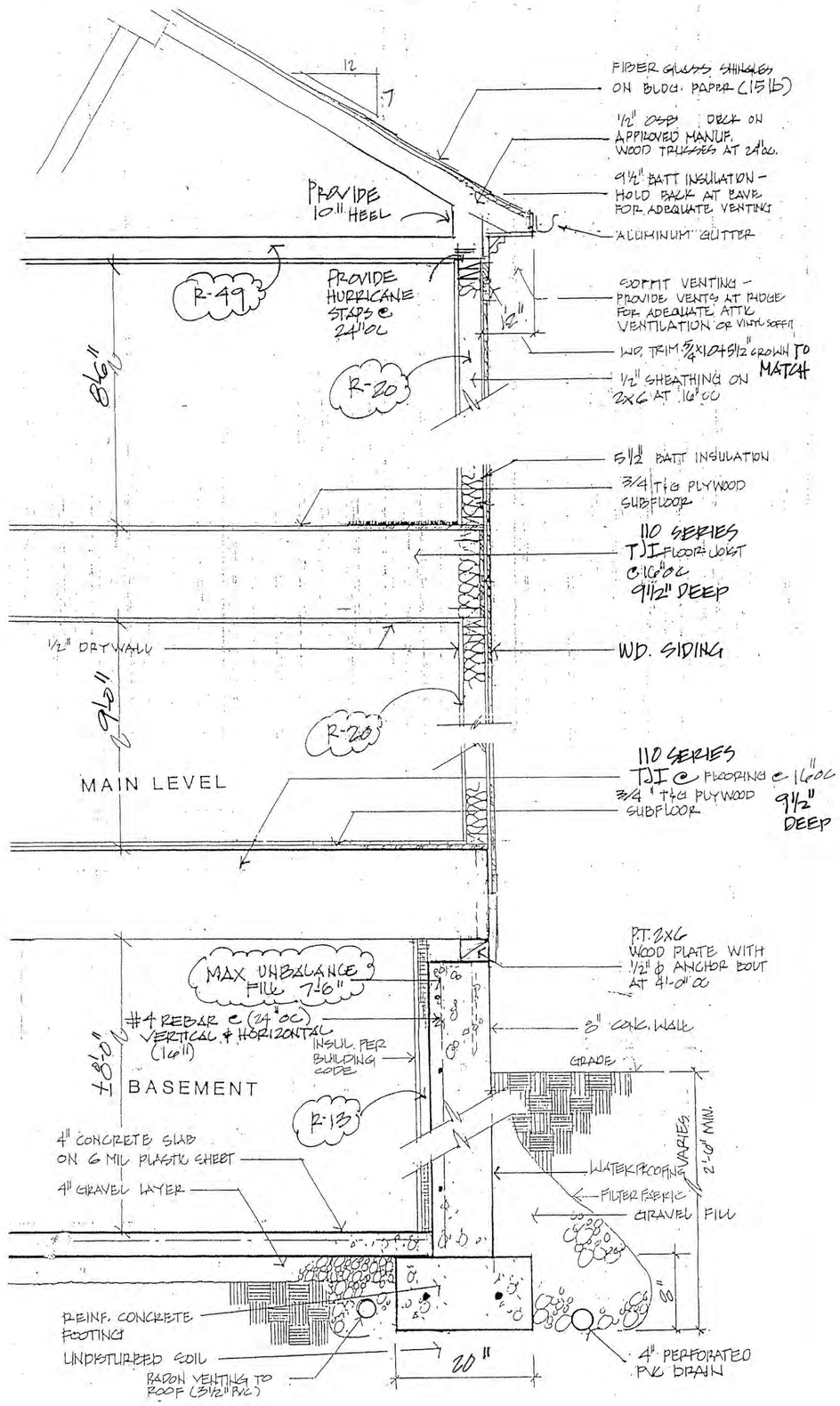

WALL SECTION

SECTION DETAIL

A10

8/8/22

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REAR ADDITION

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KENSINGTON, MARYLAND

RIGHT SIDE

FRONT

LEFT SIDE

3814 KLARNER ST.

htarchitect@gmail.com

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GAITHERSBURG, MARYLAND 20877

RIGHT SIDE & REAR


3824