

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	30 Hesketh Street, Chevy Chase	Meeting Date:	6/8/2022
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	6/1/2022
Applicant:	Kristen Donoghue and Jonathan Hacker (Neal Thomson, Architect)	Public Notice:	5/25/2022
Review:	HAWP	Tax Credit:	N/A
Permit Number:	936072 REVISION	Staff:	Michael Kyne
PROPOSAL:	Revisions to previously approved HAWP		

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource
 STYLE: Tudor Revival
 DATE: c. 1916-27

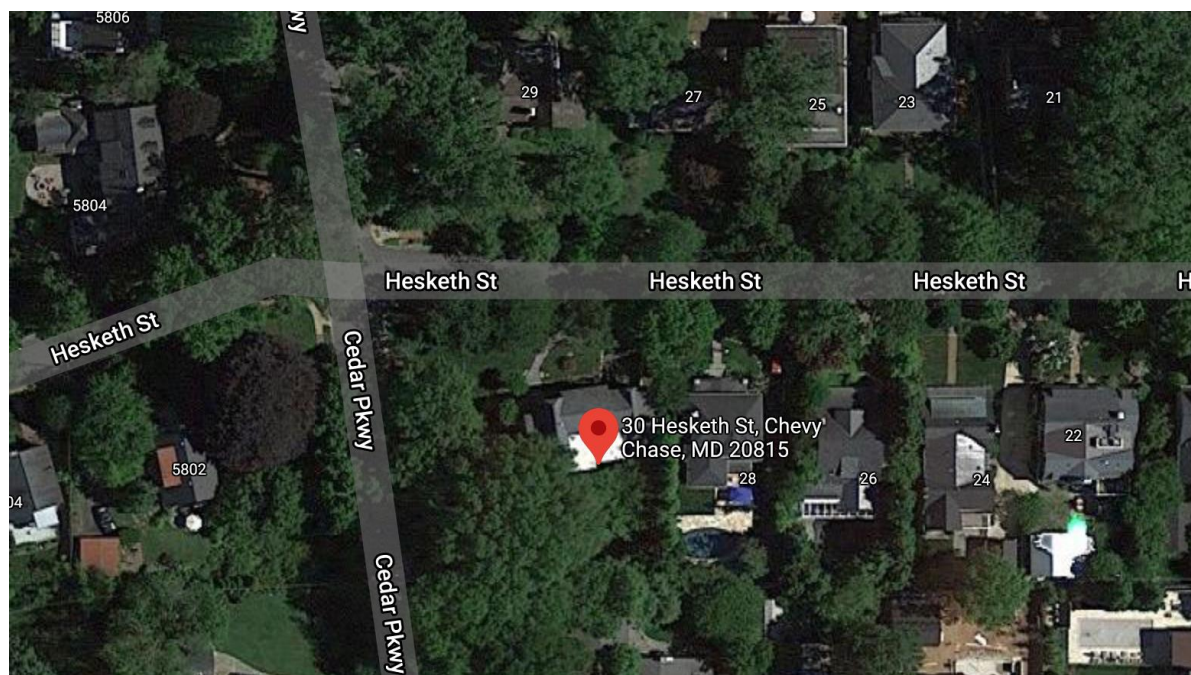


Fig. 1: Subject property at the south side of Hesketh Street.

BACKGROUND

The Commission approved a HAWP for partial demolition, roof replacement, fenestration alteration, and construction of a rear addition at the subject property at the January 6, 2021 HPC meeting.¹

PROPOSAL

The applicants propose to revise the previously approved HAWP.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Sec. 24A-8. Same-Criteria for issuance.

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; [emphasis added] or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

¹ Link to January 6, 2021 HAWP staff report: <https://montgomeryplanning.org/wp-content/uploads/2020/12/I.F-30-Hesketh-Street-Chevy-Chase.pdf>

Secretary of the Interior’s Standards for Rehabilitation:

#2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Chevy Chase Village Historic District Guidelines

The guidelines break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The Guidelines state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient

scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny if they are visible from the public right-of-way. Addition of compatible storm doors should be encouraged.

Major additions should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the street scape, it should be subject to moderate scrutiny for contributing resources, but strict scrutiny for outstanding resources.

Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed. Strict scrutiny should be applied to additions above existing front porches.

Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources. These guidelines recognize that for outstanding resources replacement in kind is always advocated. For example, replacement of slate roofs in kind is usually required. However, the application should be reviewed with consideration given to economic hardship. Furthermore, as technology continues to change and improve, other building materials may become available to provide an appropriate substitute for replacement in kind, and the reviewing agency should be open to consideration of these alternative solutions.

Siding should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if it is not. Artificial siding on areas visible from the public right-of-way should be discouraged where such materials would replace or damage original building materials that are in good condition. Vinyl and aluminum siding should be discouraged.

Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny. Addition of compatible exterior storm windows should be encouraged, whether visible from the public right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged. Addition of security bars should be subject to lenient scrutiny, whether visible from the public right-of-way or not.

STAFF DISCUSSION

The subject property is a 1916-27 Tudor Revival-style Contributing Resource within the Chevy Chase Village Historic District. The house is located on a corner lot, fronting on Hesketh Street to the north, with Cedar Parkway to the west. The house was originally a simple frame dwelling, which fronted on Cedar Parkway. The house, including the front door and an original basement-level garage, all faced Cedar Avenue. Since then, the house has experienced extensive alterations, including removal of the original basement-level garage, relocation of interior staircases, reconfiguration of the interior rooms, and relocation of the front entrance to face Hesketh Street. In the early 1960s, a large two-story addition was constructed at the east side of the house. In the late 1970s, a new basement-level two-car garage was also constructed at the east side of house (adjacent to the early 1960s addition). In 2005, the Commission approved a new two-story addition above the 1970s basement-level garage at the east side of the house.

At the January 6, 2021 HPC meeting, the Commission approved a HAWP application for partial demolition, roof replacement, fenestration alterations, and construction of a rear addition at the subject property. Specific work items included: partial removal of an existing two-story rear (south) addition;

construction of a new one-story addition to the rear (south), with dormer above to accommodate second floor space; raising of the roof ridge of the early 1960s east side addition, allowing the low sloped, flat seam metal roof above the existing two-story rear (south) addition to be removed and the altered roof slope to extend over the new one-story rear (south) addition; and replacement of the existing, non-original asphalt shingle roofing with Alaskan yellow cedar shingle roofing.

The applicant proposes to revise their previously approved HAWP application. The proposed revisions include: infilling the existing first floor open porch on the north side of the house (part of the 2005 two-story addition), using stucco to match the existing; replacement of the existing 1970s basement-level garage doors on the north side of the house; replacement of the existing, non-original entry door and sidelight on the north side (current front/Hesketh Street side) of the historic house; construction of a new one-story addition at the rear (south side) of the existing two-story rear addition, in lieu of the previously approved demolition of the two-story addition and construction of a new one-story addition with dormer in its place (consequently, the proposal to raise the roof ridge of the early 1960s east side addition has also been removed from the proposal); replacement of the low sloped, flat seam metal roofing on the existing two-story (rear) addition with flat seam copper roofing; and replacement of the windows, second floor door, roof, and rooftop railing on the enclosed porch at the rear (south side) of the historic house (originally an open side porch, when the house fronted on Cedar Parkway).

Staff supports the applicants' proposal, finding it consistent with the *Guidelines*. The proposed new one-story addition is in the preferred location at the rear, and, due to its minimal size and location, it will not be visible from the public right-of-way. Accordingly, the addition and the proposed materials should be reviewed with lenient scrutiny. Staff also finds the proposed addition materials to be appropriate and compatible with the subject property and surrounding streetscape.

Staff finds that the proposed alterations to the 2005 two-story addition (porch infilling and garage door replacement), non-original north side entry door, and rear (south side) enclosed porch are generally compatible with the subject property and surrounding streetscape. With the proposed alterations, the property will continue to contribute to the district, per the *Guidelines*.

In accordance with *Standards #2 and #9*, the proposal will not remove or alter character-defining features of the historic house or surrounding streetscape. Per *Standard #10*, the proposed addition and alterations can be removed in the future without impairing the essential form and integrity of the historic property and its environment.

After full and fair consideration of the applicant's submission staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-(b) 1 and 2 and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*, and the *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b) (1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable to Historic Preservation Commission (HPC) staff for review and stamping** prior to

submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit



FOR STAFF ONLY:
HAWP# 993672
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Jonathan Hacker & Kristen Donoghue
Address: 30 Hesketh St
Daytime Phone: 202-686-6583

E-mail: JHacker@OMM.com
City: Chevy Chase Zip: 20815
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: Henry Chuang
Address: 5155 MacArthur Blvd NW
Daytime Phone: 202-686-6583

E-mail: henry@thomsoncooke.com
City: Washington, DC Zip: 20016
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Chevy Chase Village
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 30 Street: Hesketh St
Town/City: Chevy Chase Nearest Cross Street: Cedar Pkwy
Lot: P9 Block: 24 Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>Revision</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Henry Chuang

2022-05-17

Signature of owner or authorized agent

Date

7

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
28 Hesketh Street Chevy Chase, MD 20815	27 Grafton Street Chevy Chase, MD 20815
25 Grafton Street Chevy Chase, MD 20815	29 Hesketh Street Chevy Chase, MD 20815
5802 Cedar Parkway Chevy Chase, MD 20815	

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____	
Description of Current Condition:	Proposed Work:
Work Item 2: _____	
Description of Current Condition:	Proposed Work:
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

THOMSON & COOKE ARCHITECTS

Permit 936072
30 Hesketh St
Revision Narrative
May 31, 2022

Dear Michael Kyne,

Please see the notes below for the scope of revisions to the original permit 936072.

1. At the back of the house, we were originally proposing a larger breakfast bay and modifying the second floor in response to the first floor addition. However, due to budget revisions, we have decided to keep much of the existing second floor and first floor exterior walls in an effort to simplify structural requirements. This can be viewed in plan on sheets A101/A102 and on the rear elevation on sheet A201.
2. The approved permit included new roof framing at the back of the house above the Master Bath, Bath 3, and Laundry. Due to the changes in Note 1, there no longer needs to be new roof framing at these locations. However, we are looking to replace the roofing material in kind - Cedar Shake, Standing Seam Copper, or Flat Seam Copper as noted on plans, to match what is currently on the house.
3. There is an existing covered porch at the front of the house on the Family Room side that was part of a 1970s addition. We are requesting that this porch be infilled to give more space to the family room and resolve any water infiltration issues above the garage below. The proposed walls will be finished in stucco and exterior details are to match the existing house. This can be viewed in plan on sheet A101 and in elevation on sheets A200/A201.
4. We are looking to replace the existing front door and sidelite in kind. This means that the style and construction will be exactly the same as what is currently in the house. The condition of the existing door has deteriorated greatly so replacement is necessary. Please see sheet 0004, attached, for reference.
5. In the original approved permit, there were new windows. The ones on the second floor addition no longer exist, but there are still new double hung and casement windows proposed. Please see sheet 0004, attached, for details of these new windows - they are the same the ones originally approved.

Best,
Henry Chuang

Product Features

- Style**
Traditional, Push Out and Mission® options.
- Standard Features**
- Neutral, clear Douglas Fir interior (on visible finger joints).
 - 4 1/2" x 10 mm joint construction
 - Low-E insulating glazing with 1/2" (13 mm) airspace
 - Push gas operator and concealed sash bolts
 - Extruded aluminum cladding in a variety of standard colors, or clear wood or clear L-shaped
 - Possible continuous weatherstripping system
 - Inward screens
 - Metal handle, cover and lock
- Hardware**
Multiple hardware type and finish choices are available. See the Hardware in Section A for more information.



	Traditional	Mission	Push Out	Push Out
Interior Style	✓	✓	✓	✓
Low-E Glazing	✓	✓	✓	✓
Push Gas	✓	✓	✓	✓
Exterior Color	✓	✓	✓	✓
Hardware	✓	✓	✓	✓
Low-E Glazing	✓	✓	✓	✓
Push Gas	✓	✓	✓	✓
Exterior Color	✓	✓	✓	✓
Hardware	✓	✓	✓	✓

82 | Technical Guide Casement Windows

Product Features

- Style**
Double Hung, Single Hung, Half-Hung, Top and Cottage options.
- Standard Features**
- Neutral, clear Douglas Fir interior (on visible finger joints)
 - 4 1/2" x 10 mm joint construction
 - Low-E insulating glazing with 1/2" (13 mm) airspace
 - Extruded aluminum cladding in a variety of standard colors, or clear wood or clear L-shaped
 - Possible continuous weatherstripping system
 - Inward screens
 - Metal handle
- Hardware**
Multiple hardware type and finish choices are available. See the Hardware in Section A for more information.



	Traditional	Mission	Push Out	Push Out
Interior Style	✓	✓	✓	✓
Low-E Glazing	✓	✓	✓	✓
Push Gas	✓	✓	✓	✓
Exterior Color	✓	✓	✓	✓
Hardware	✓	✓	✓	✓
Low-E Glazing	✓	✓	✓	✓
Push Gas	✓	✓	✓	✓
Exterior Color	✓	✓	✓	✓
Hardware	✓	✓	✓	✓

82 | Technical Guide Double-Hung Windows

Specifications

- Standard**
Most units have been tested by an independent laboratory for air and water infiltration, structural performance, and thermal performance requirements.
- Frame & Sash**
Manufactured in two Coastal Douglas Fir kiln-dried lumber with frame construction designed for a 3/16" (2 mm) joint. All wood exterior components are factory primed unless specified as clear exterior. Minor scratches or abrasions in the wood surface or primer are not considered defects.
- Alternate Species**
The entire Lower product line is also available in optional Mahogany.
- Weatherstripping**
All wood joints are clipped in approved preparations.
- Glazing**
With courtyard glazing configurations and Low-E coating options, we ensure that you can choose the perfect blend of protection and comfort.
- Insulating Glass**
Double or triple glass configurations with 1/2" (13 mm) air space.
- Low-E Systems**
Low-E glass describes the benefits of the product that incorporates glazing coatings and argon gas. Low-E systems help reduce heating and cooling costs, providing superior energy efficiency.
- Standard Double-Lite (SD)**
Standard SDL consists with snap-on grille, where available. Grille bars are permanently applied to the interior and exterior.
- Hardware Options**
Operator and sash locks are available in a variety of finishes. See section A.

Visit the Lower Pro® Sales website for a large collection of Lower product and specification information. For more information on our products, visit our website at www.lowerpro.com. For more information on our products, visit our website at www.lowerpro.com. For more information on our products, visit our website at www.lowerpro.com.

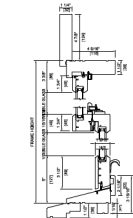
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- Standard Double-Lite (SD)**
Standard SDL consists with snap-on grille, where available. Grille bars are permanently applied to the interior and exterior.
- Hardware Options**
Operator and sash locks are available in a variety of finishes. See section A.

Visit the Lower Pro® Sales website for a large collection of Lower product and specification information. For more information on our products, visit our website at www.lowerpro.com. For more information on our products, visit our website at www.lowerpro.com. For more information on our products, visit our website at www.lowerpro.com.

Casement Section

NIS



Double Hung Section

NIS



EXISTING FRONT DOOR

Donoghue Hacker Residence

30 Western Street Chevy Chase MD 20815

CONSTRUCTION SET

© THOMASCOOK ARCHITECTS LLP

Fenestration Details

12-05-2019	Existing Conditions
09-16-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision

0004



APPROVED
Department of Permitting Services
Permit # BUILDING-948934
Date 05/25/21



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: February 9, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #936072: Partial demolition, roof replacement, fenestration alteration, and construction of a rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the January 6, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

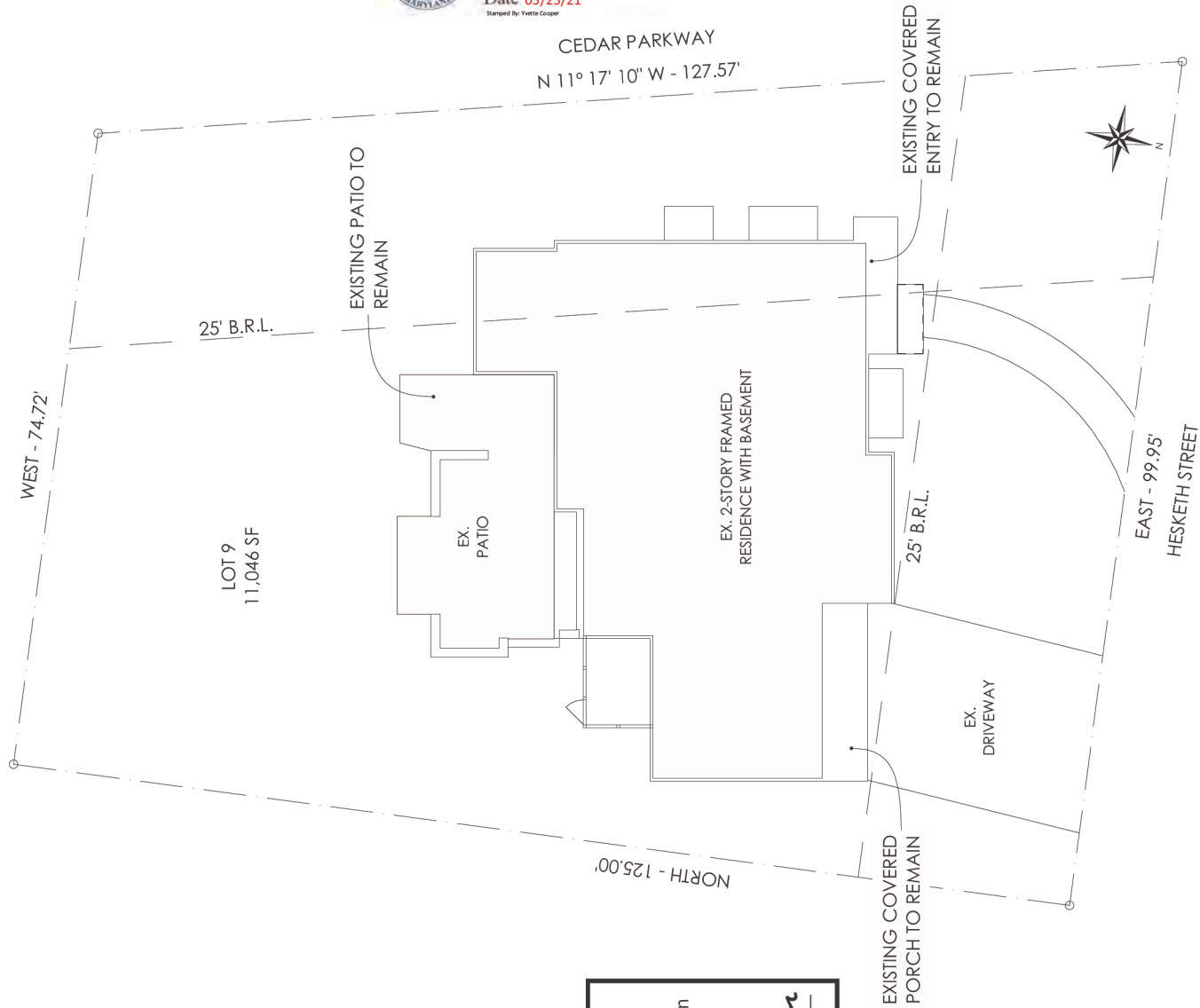
Applicant: Kristen Donoghue and Jonathan Hacker (Neal Thomson, Architect)
Address: 30 Hesketh Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





APPROVED
 Department of Permitting Services
 Permit # **BUILDING-948934**
 Date **05/25/21**
Stamped By: Yvette Cooper



REVIEWED

By Michael Kyne at 11:28 am, Feb 09, 2021

THOMSON & COOKE ARCHITECTS

5155 MACARTHUR BLVD NW
 WASHINGTON DC 20016
 202.686.6583
 WWW.THOMSONCOOKE.COM

APPROVED

Montgomery County
 Historic Preservation Commission

Sandra L. Heller

Project	Donoghue Hacker Residence 30 Hesketh Street Chevy Chase MD 20815	
Title	Existing Site Plan	
Scale	1" = 20'	Sheet Ref

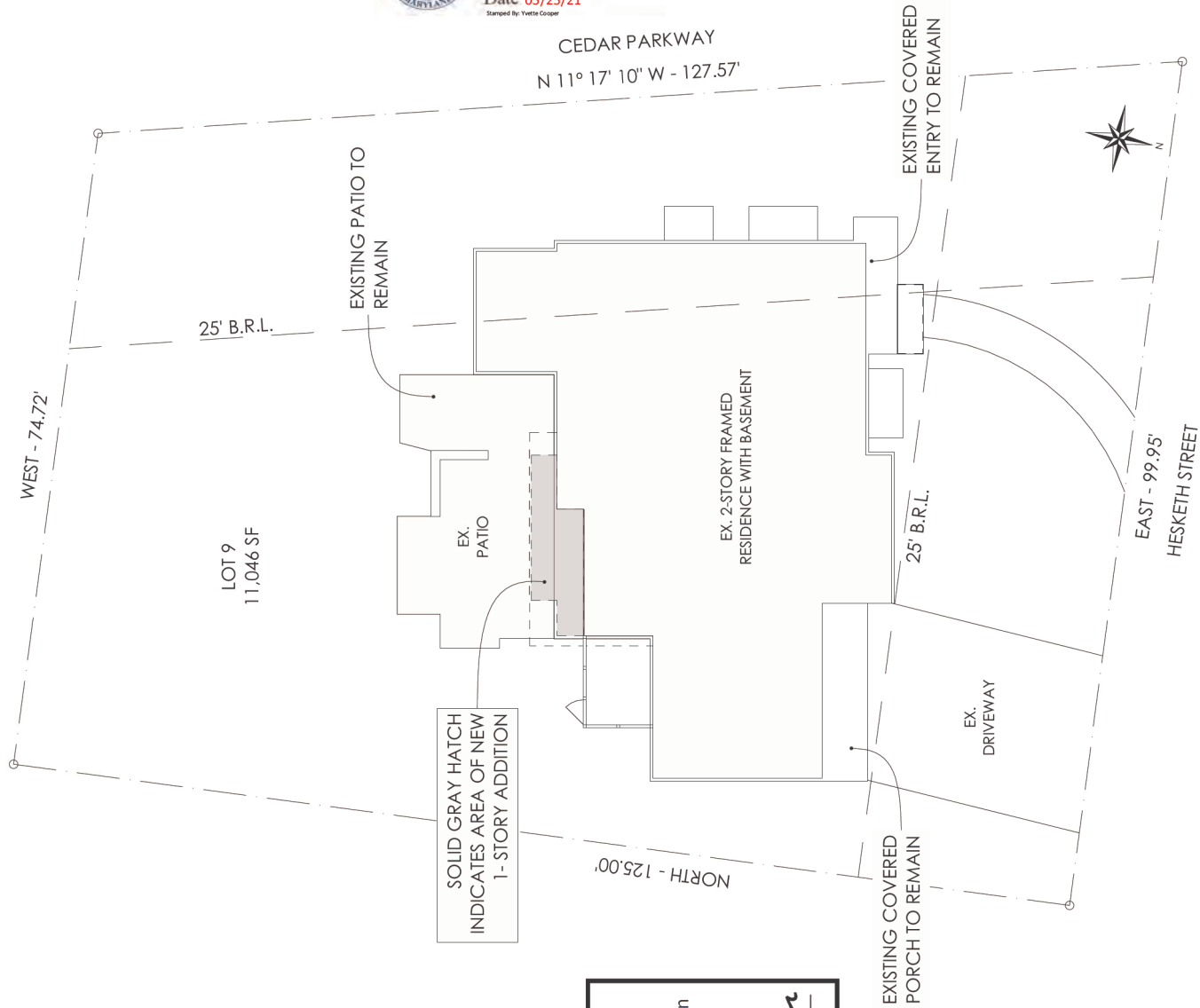
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Date 12/10/2020

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APPROVED
Department of Permitting Services
Permit # **BUILDING-948934**
Date **05/25/21**
Stamped By: Yvette Cooper



REVIEWED

By Michael Kyne at 11:28 am, Feb 09, 2021

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APPROVED

Montgomery County
Historic Preservation Commission

Sandra L. Heiler

Project Donoghue Hacker
Residence
30 Hesketh Street Chevy Chase MD 20815

Title Proposed Site Plan

Scale 1" = 20'

Sheet Ref

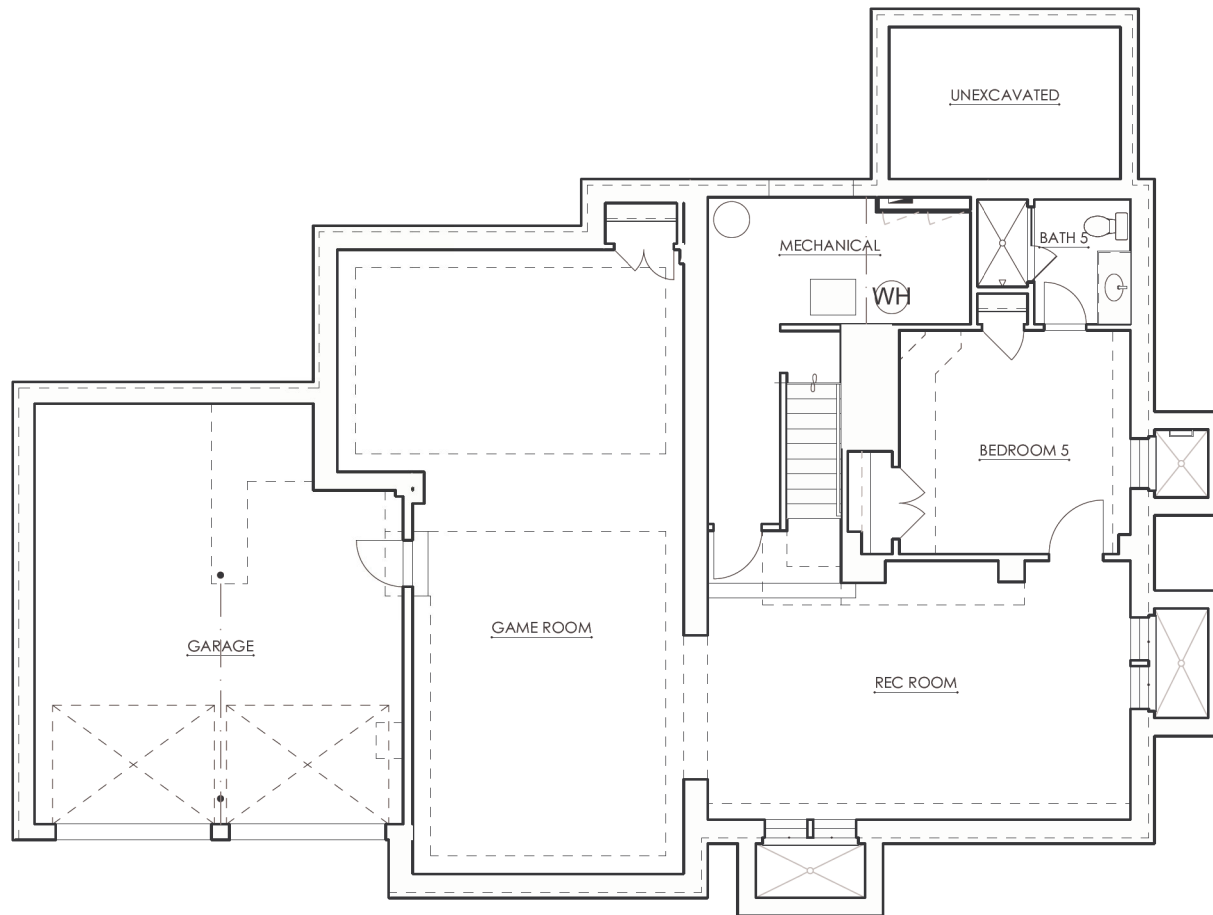
02

Date 12/10/2020

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APPROVED
Department of Permitting Services
Permit # **BUILDING-948934**
Date **05/25/21**
Stamped By: Yvette Cooper



REVIEWED

By Michael Kyne at 11:28 am, Feb 09, 2021

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APPROVED

Montgomery County
Historic Preservation Commission

Sandra L. Heller

Project Donoghue Hacker
Residence
30 Hesketh Street Chevy Chase MD 20815

Title Existing Basement

Scale 3/32" = 1'-0" Sheet Ref

03

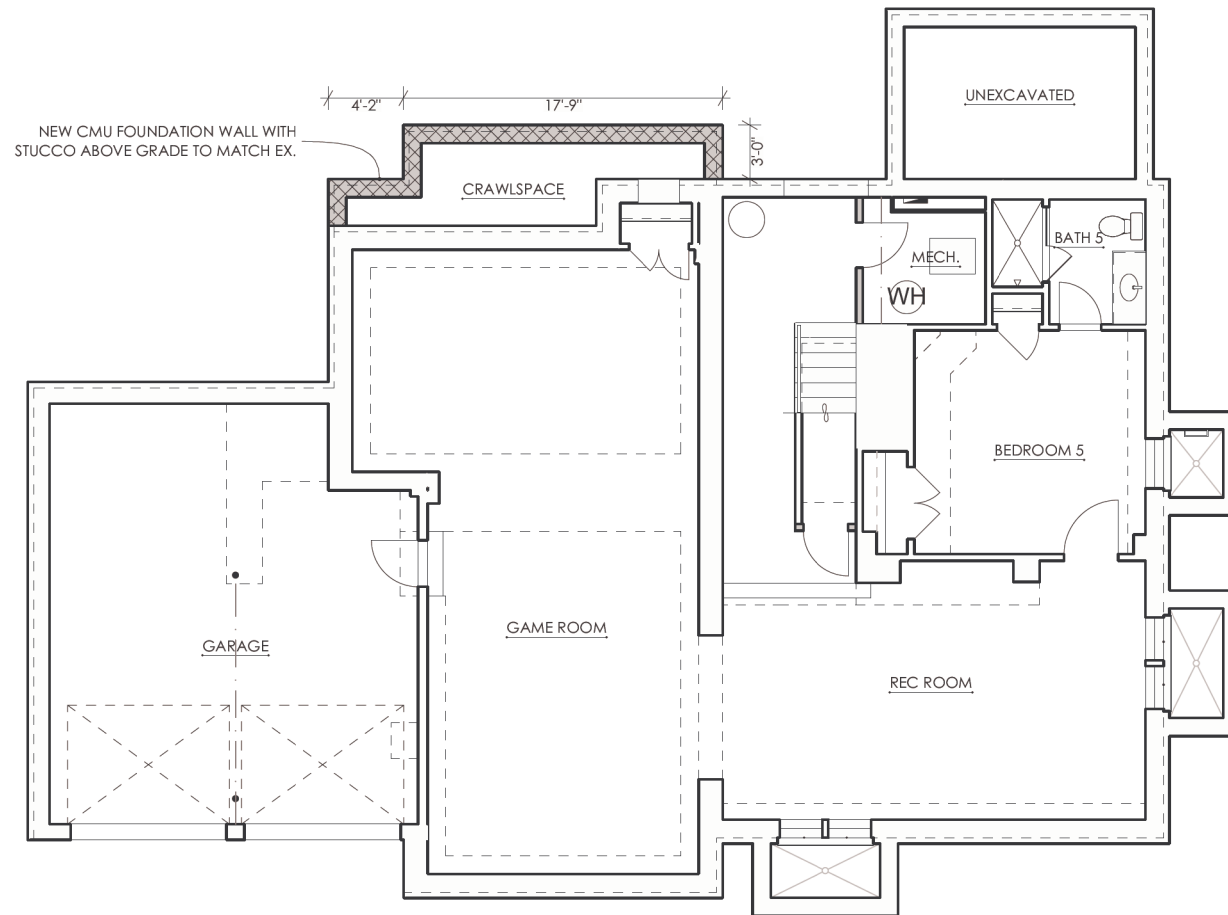
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Sandra L. Heller

Project Donoghue Hacker
Residence
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Title Proposed Basement

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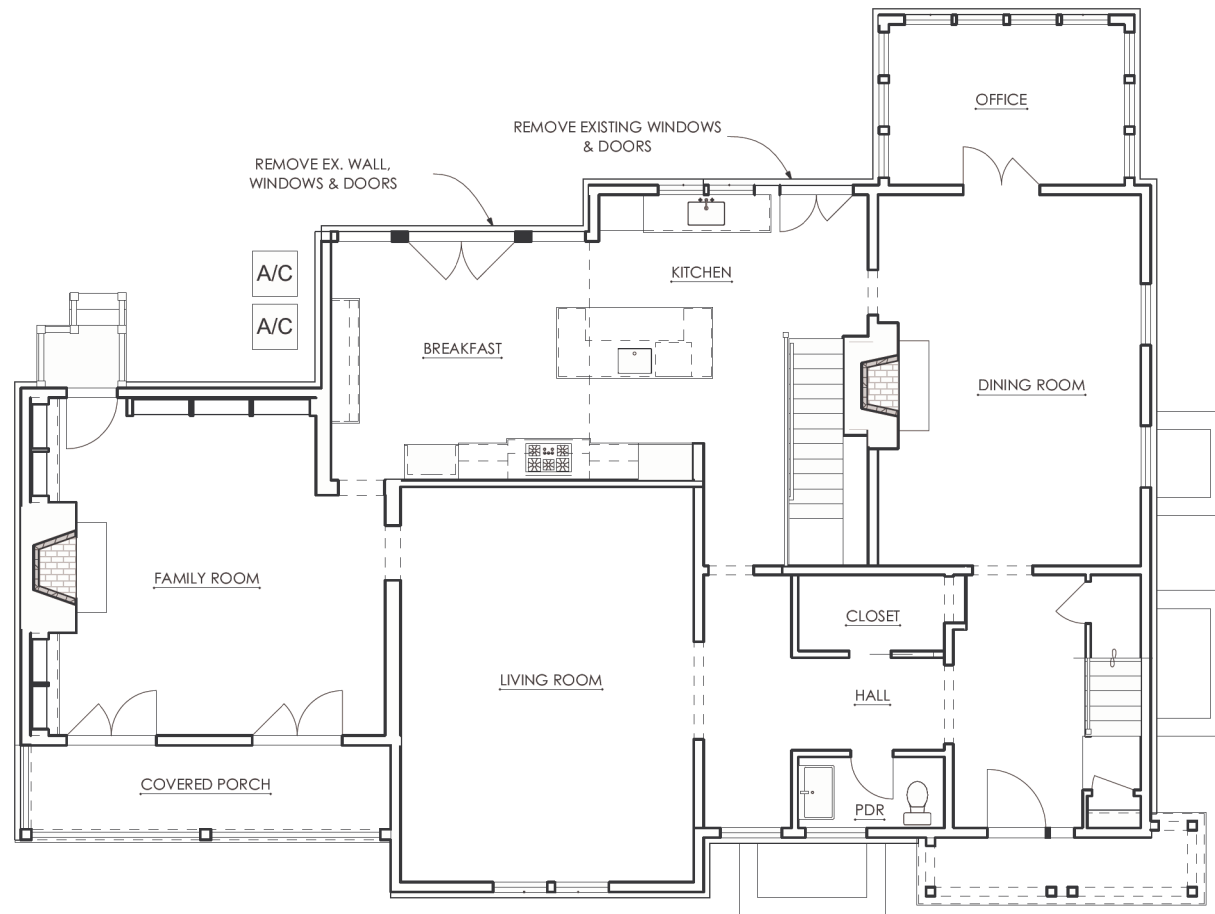
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Title Existing First Floor

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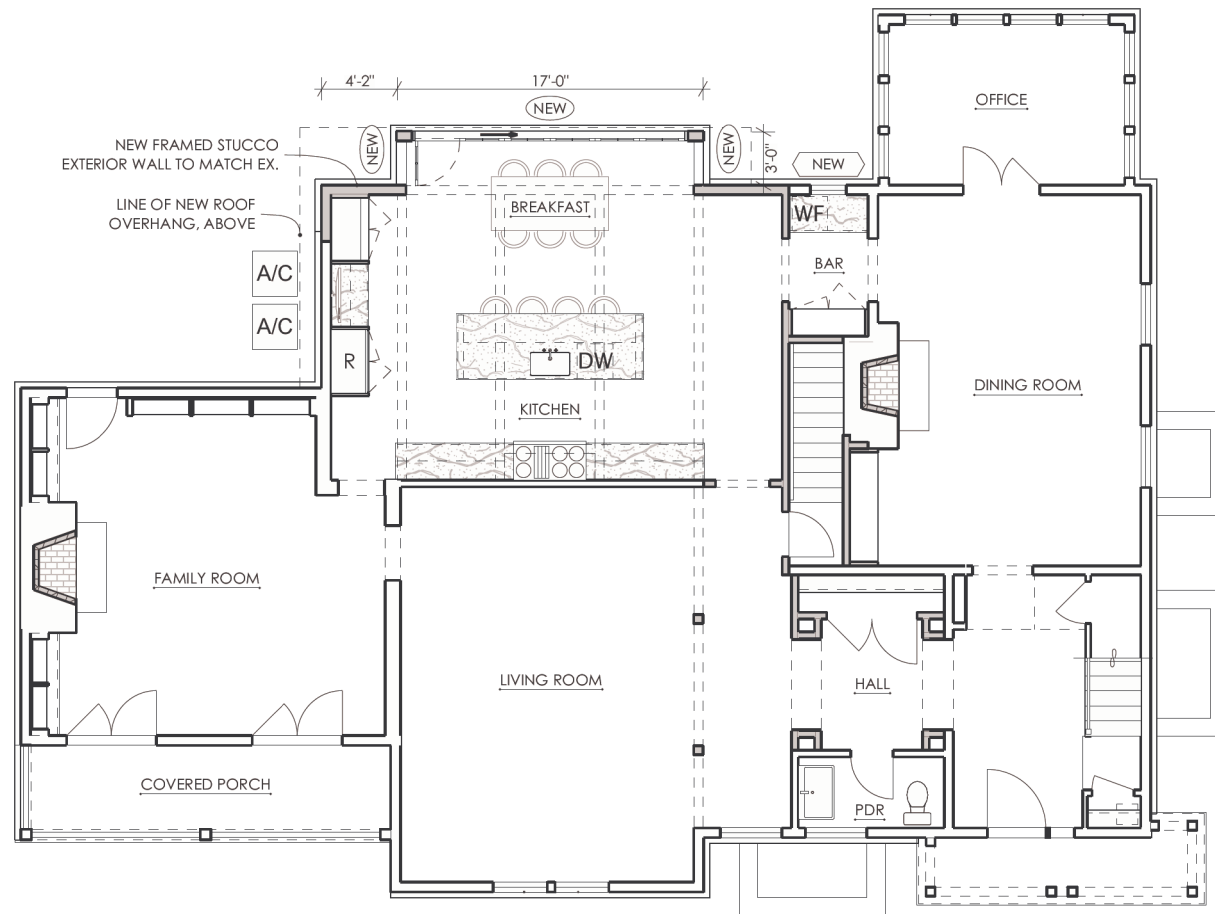
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Title Proposed First Floor

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06

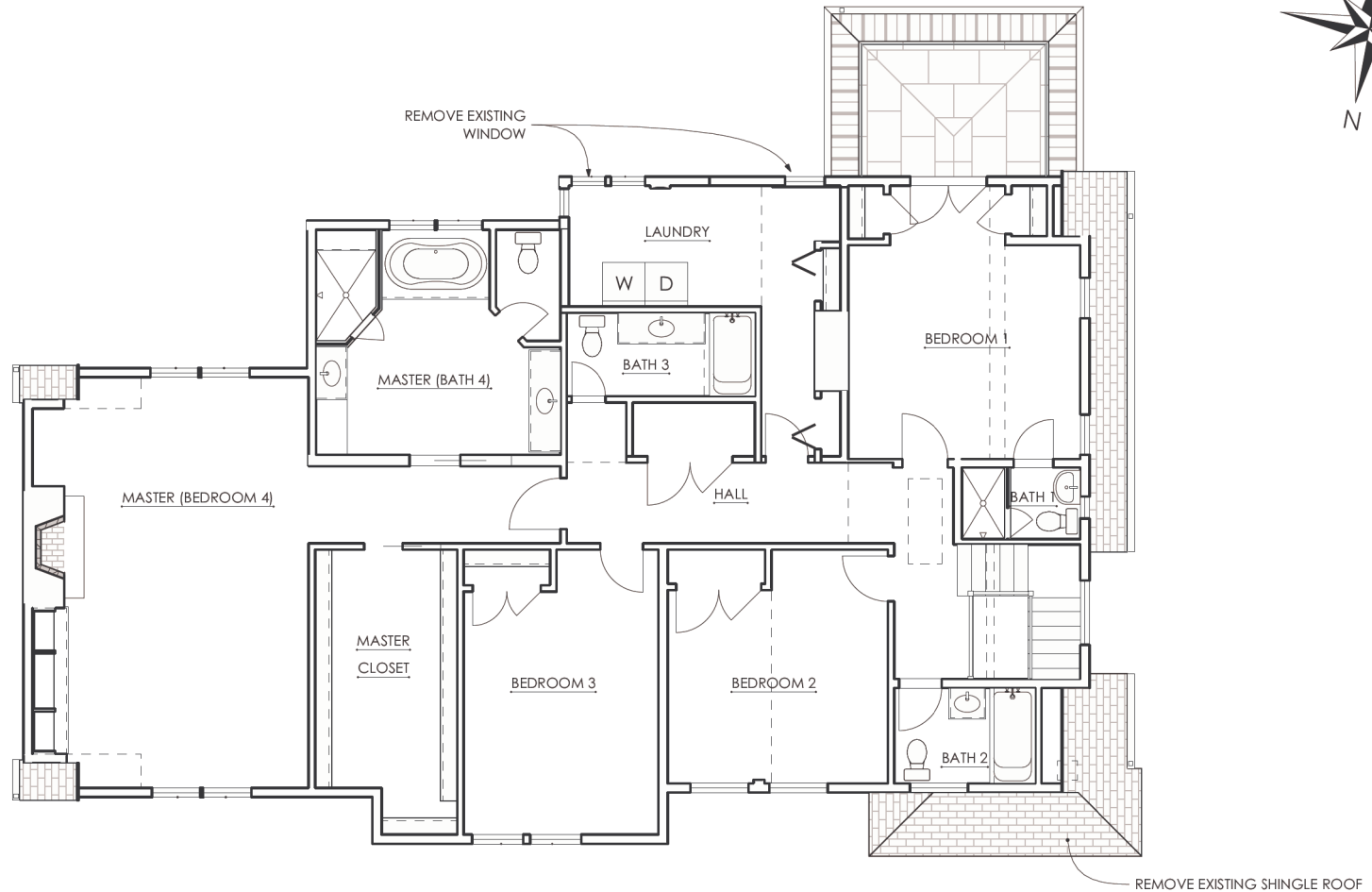
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 30 Hesketh Street Chevy Chase MD 20815

Title **Existing Second Floor**

Scale **3/32" = 1'-0"** Sheet Ref

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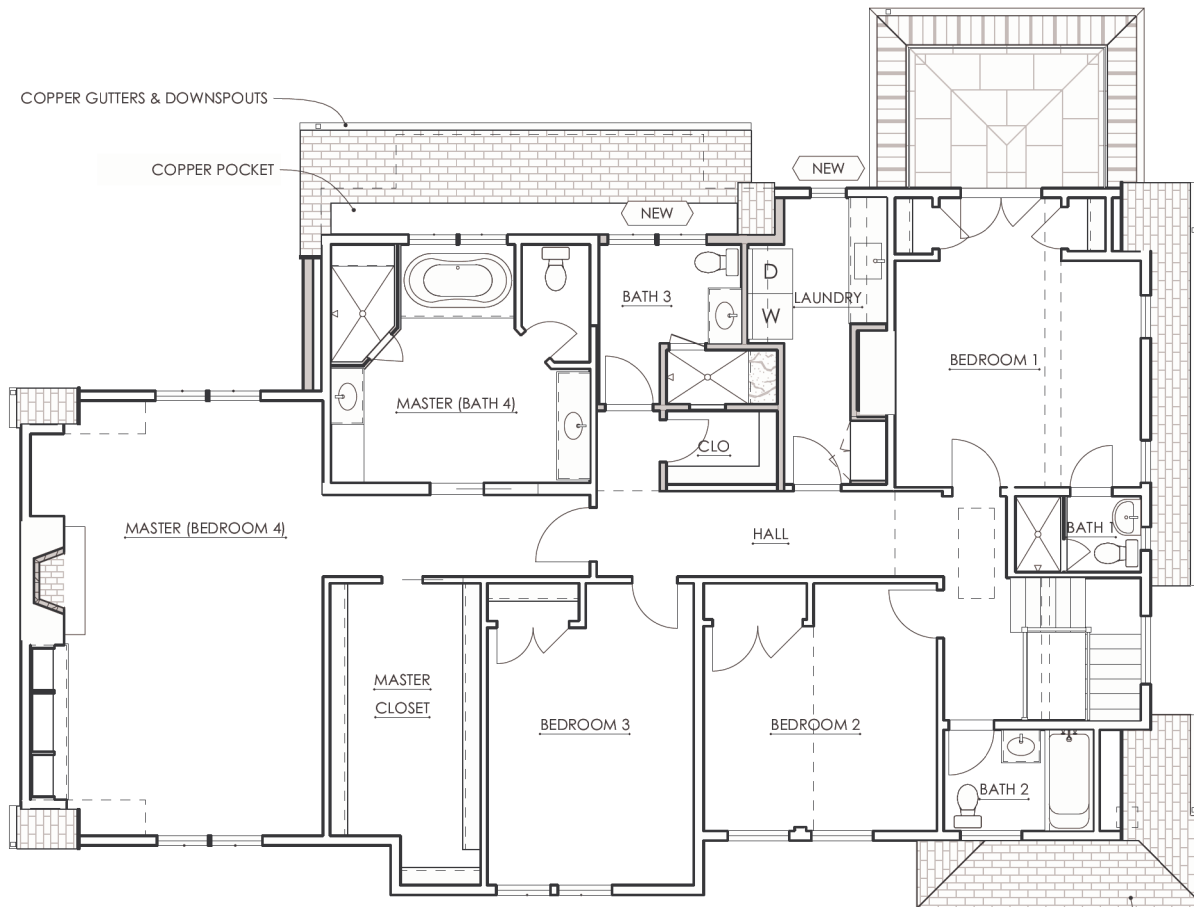
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NEW ALASKAN YELLOW CEDAR
SHINGLE ROOF -TYPICAL

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Title Proposed Second Floor

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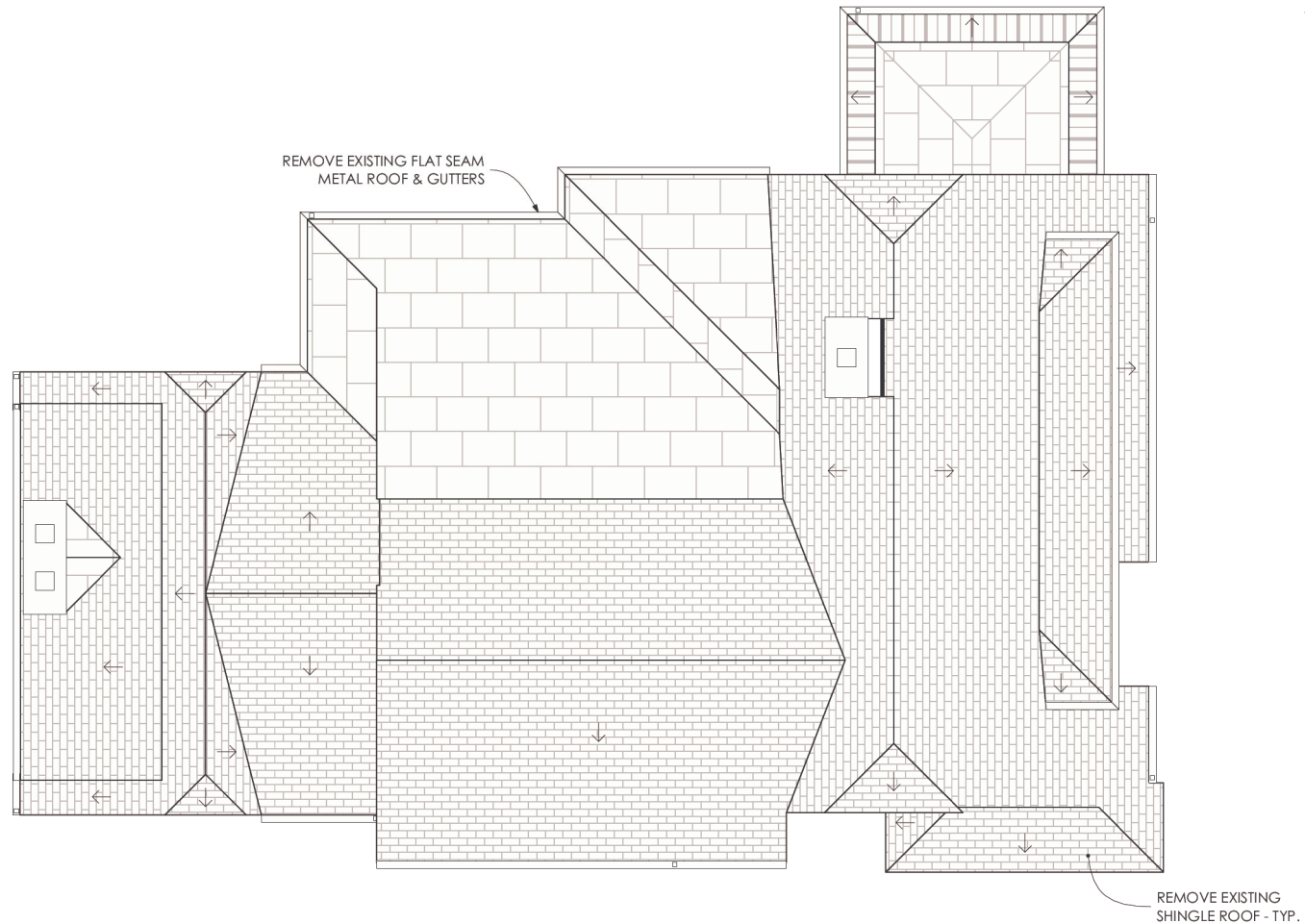
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Residence**
30 Hesketh Street Chevy Chase MD 20815

Title **Existing Roof Plan**

Scale **3/32" = 1'-0"** Sheet Ref

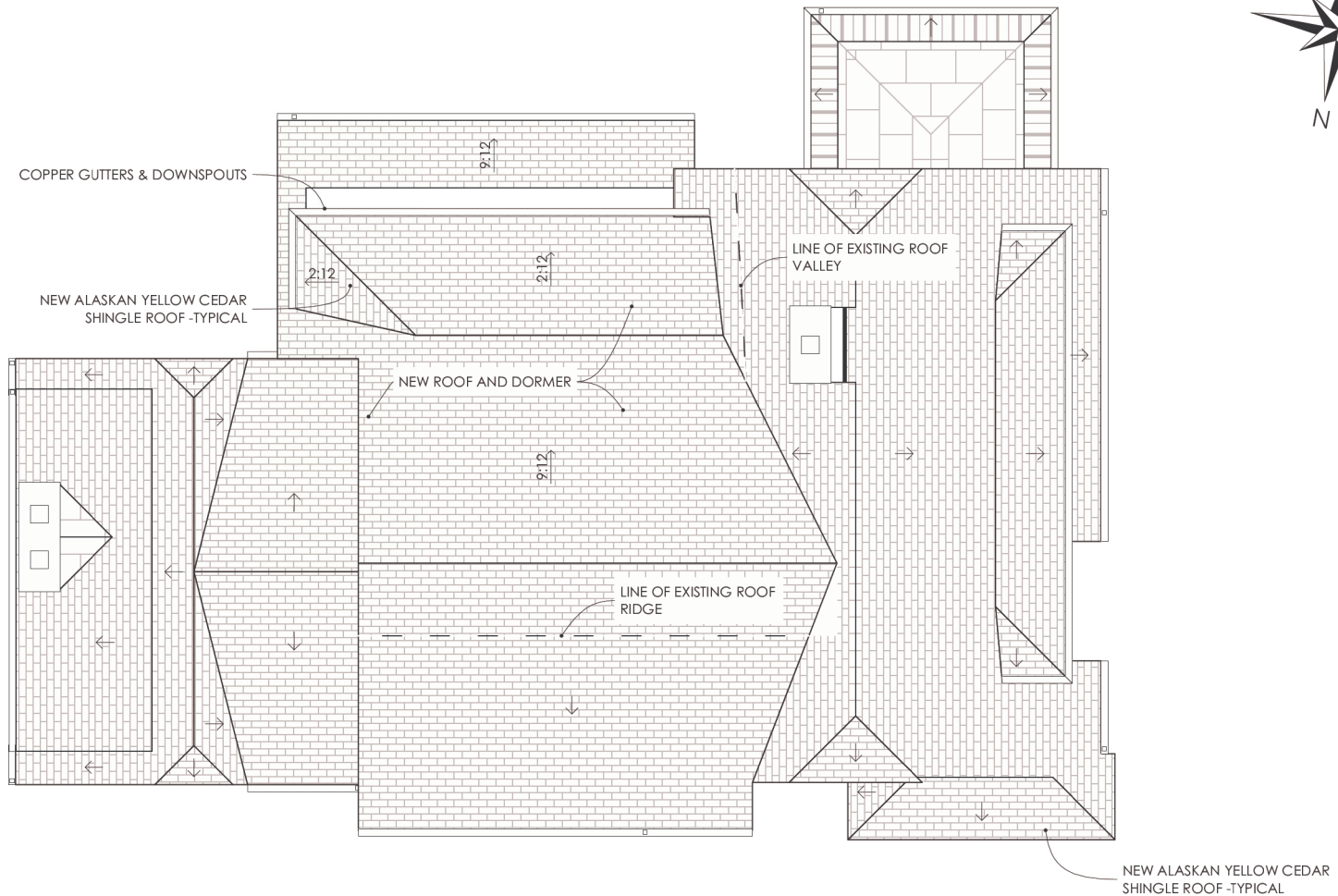
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Title	Proposed Roof Plan		Date 12/10/2020
Scale	3/32" = 1'-0"	Sheet Ref	

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	30 Hesketh Street Chevy Chase MD 20815				
Title	Existing Front Elevation			Date	12/10/2020
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Title	Proposed Front Elevation	Date 12/10/2020
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Project	Donoghue Hacker Residence 30 Hesketh Street Chevy Chase MD 20815	13
Title	Existing Left Elevation	Date 12/10/2020
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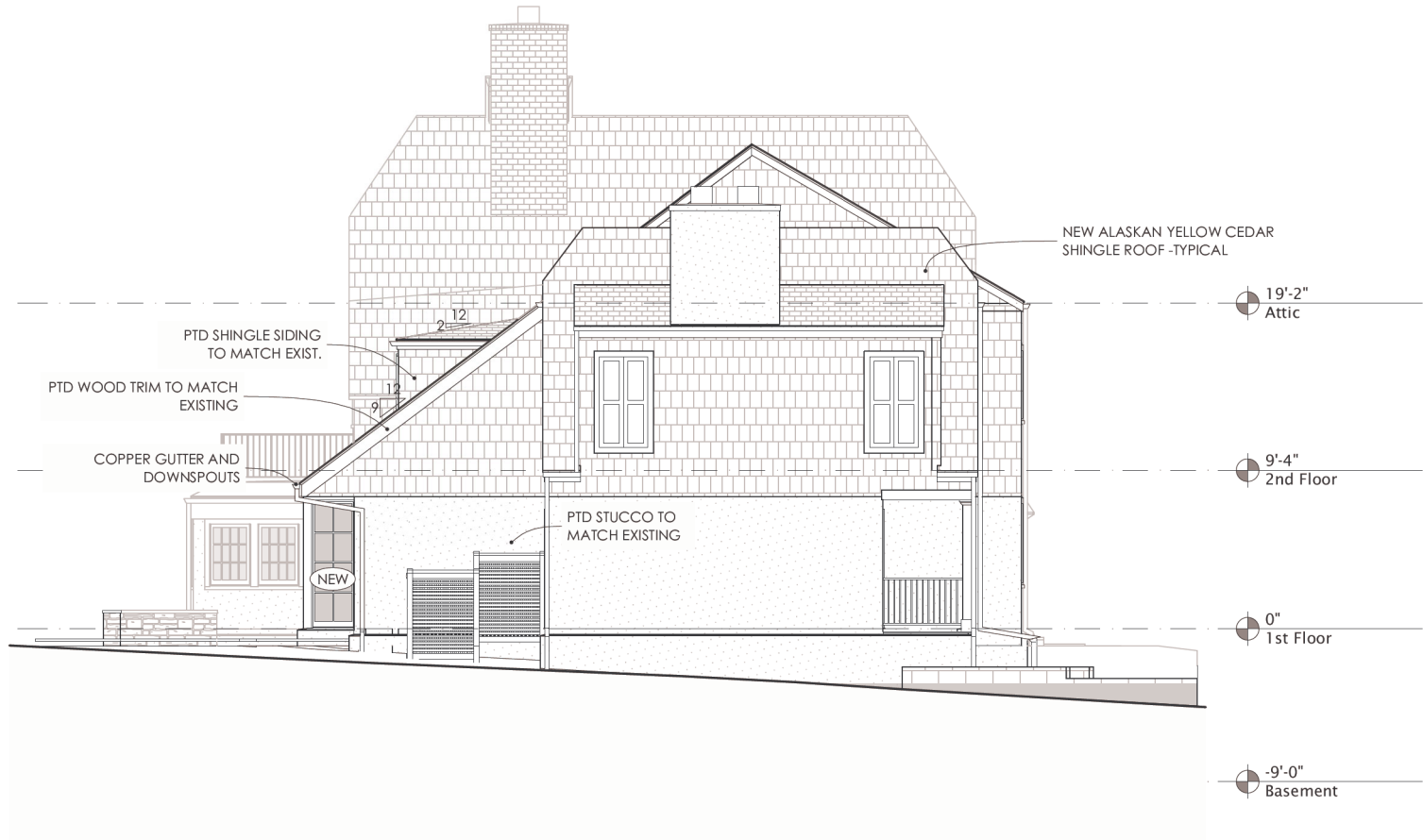
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Title	Proposed Left Elevation				Date	12/10/2020
Scale	3/32" = 1'-0"	Sheet Ref				

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Title	Existing Rear Elevation				Date	12/10/2020
Scale	3/32" = 1'-0"	Sheet Ref				

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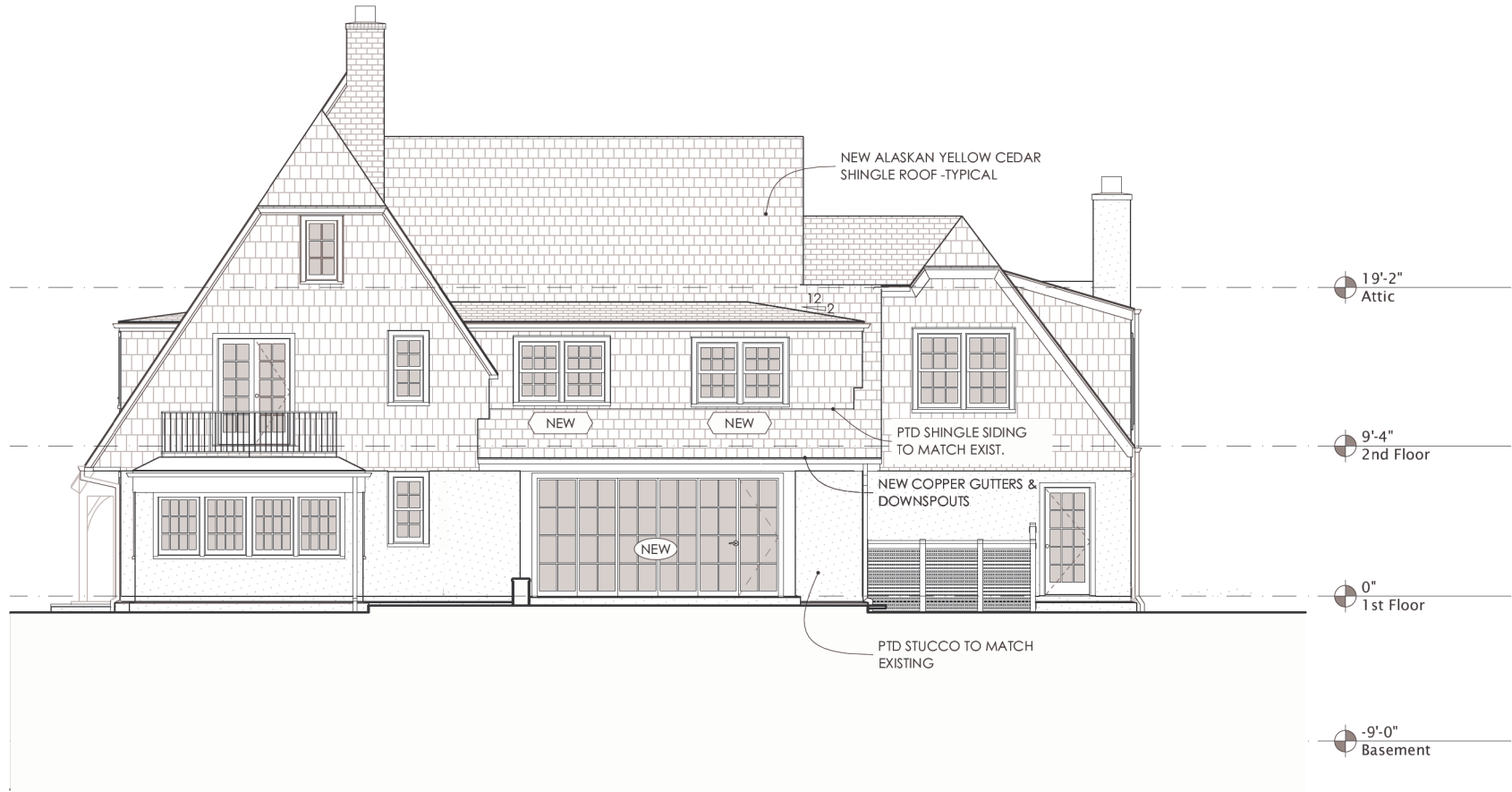
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Title	Proposed Rear Elevation	Date	
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Title	Existing Right Elevation	Date 12/10/2020
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Title	Proposed Right Elevation		Date	12/10/2020
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Date **05/25/21**
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Northeast Perspective - Existing



Northwest Perspective - Existing



Northeast Perspective - Proposed



Northwest Perspective - Proposed

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Title	Perspectives				
Scale		Sheet Ref			
				Date	12/18/2020

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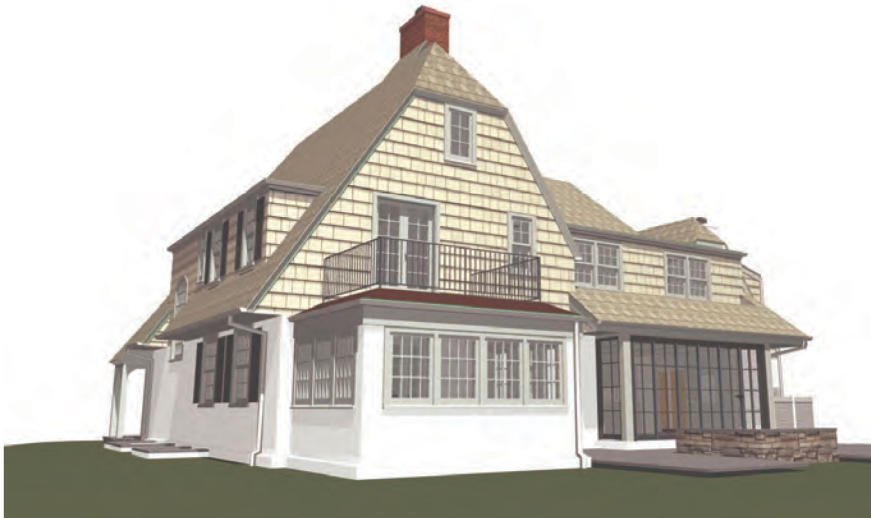
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Southwest Perspective - Existing



Southeast Perspective - Existing



Southwest Perspective - Proposed



Southeast Perspective - Proposed

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Title	Perspectives			Date	12/18/2020
Scale		Sheet Ref			

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View of Front Door



View of Side from Cedar Parkway



View of Rear Patio



View of Rear Entry

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Title	Existing Photos				Date	12/10/2020
Scale	1:15.2727	Sheet Ref				

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View of Front from Hesketh Street



View of Rear from Cedar Parkway



View of Front from Hesketh & Cedar
Parkway Intersection

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Title	Existing Photos		Date	12/10/2020
Scale	1:15.2727	Sheet Ref		



Donoghue Hacker Residence
30 Hesketh Street
Chevy Chase MD 20815

REVIEWED

By Michael Kyne at 11:30 am, Feb 09, 2021

December 10, 2020

PRELIMINARY SPECIFICATIONS

DESCRIPTION: Addition and renovation to existing two- story house with attic and basement:

First Floor: Ceiling height: 8'-2"
Foyer, Hallway, Living Room, Basement Stair, Kitchen, Bar, Dining Room & Family Room

Second Floor: Ceiling height: 8'-11-1/2"
Storage, Bath 3 & Laundry

Basement: Ceiling height: 8'-0"
Stair Hallway & Mechanical Room

Outdoor Space: Minimal repair work to existing paved patio due to damage created by rear addition construction.

UTILITIES AND SITE WORK

1. Landscaping:
 - a. All planting and final grading by owner.
 - b. Landscape plan TBD.
2. Utilities: General Contractor to coordinate and provide connection to existing utilities, to remain.
3. Electric:
 - a. Contractor to verify existing electrical panel and advise if replacement is required.
 - b. Provide and install outlets and switches, per code – dimmers throughout.
 - c. Provide \$6,000 decorative light fixture allowance.
 - d. Provide lamps and bulbs for all fixtures, per manufacturers' specifications.
 - e. Home security system, intercom and audio/visual system by Owner.
 - f. Provide telephone, cable, & CAT6 wiring at locations shown on plans.
 - g. Provide recessed lights and wall washers as shown, white trim & baffle. Provide allowance.
 - h. *Hafele Loox 2037* LED under cabinet strip lighting, utilitarian lighting and exhaust fans not included in above allowance.
4. Plumbing:
 - a. See individual rooms.
 - b. Provide supply pipes for indoors to match existing (above ground), and PVC supply pipes for under slab and underground; PVC waste pipes with cast iron stand pipes.
5. HVAC:
 - a. Extend existing systems, to remain, into renovated spaces. Provide allowance.
 - b. Hard metal duct shall be used; maximum of 4' length of flexible duct permitted.
 - c. Provide electric air filters/ unit.
 - d. All ceiling and wall registers to be by *Reggio Register*, painted aluminum with scroll design. All floor registers in hardwood floors to be matching wood and flush with floor. All floor registers in stone or tile floors to be by *Architectural Grille*.

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Skiles



THOMSON & COOKE ARCHITECTS

GENERAL

1. Exterior Walls: 2 x 6 stud walls 16" O.C. *Icynene* spray foam insulation to R-21 thickness or to meet performance method requirements of local jurisdiction and 1/2" plywood with *Block-It* house wrap. Exterior to be ptd. stucco or ptd shingle siding to match existing. Interior to be drywall. R-13 batt insulation at all Bathrooms, Laundry Room and Mechanical Room walls, all bedroom walls and floors for sound insulation. Note: Pilasters and trim details per elevations.
2. Foundation: 12" concrete walls with painted stucco to match existing above grade. Conditioned crawlspace.
3. Roof: Framing per structural with 5/8" plywood sheathing. Provide *Icynene* spray foam insulation to R-49 thickness. **See roof plan for augmented roof lines and Bid Summary Sheet for roofing options.**
4. Windows and Exterior Doors: New windows & doors to be *Loewen or equal* painted wood SDL w/ 3/4" grill, insulated glass, white jamb liners and screens with oil rubbed bronze hardware.
5. Exterior Trim: Ptd siding to match existing.
6. Interior Trim: Provide allowance on entire trim package as shown on plans. Match exist trim. Note: All painted interior trim, baseboard, crown, etc. to be clear poplar with no finger joints. Decorative beams where noted to be stain-grade solid wood or salvaged wood - provide allowance.

Note: See individual room descriptions for additional trim details.

7. Interior Doors: All new doors panels to be solid core finish and match existing. Door hardware to match existing, \$150 allowance per door.
8. Cabinet Hardware: Provide \$5,000 allowance for all cabinet hardware.
9. Stairs: New stained treads and painted risers to match existing. New continuous wall-mounted wood rails.
10. Gutters & Downspouts: Copper half round gutters and full round downspouts. Run all downspouts to cast iron sleeves connected to underground drain pipes.
11. Terrace(s): Repair and match existing.
12. Exterior Walks: Landscape plan TBD.
13. Painting: Low VOC spec. *Benjamin Moore* throughout.
14. Hardwood Floors: Match existing flooring- (3) coats oil based polyurethane, satin finish. Provide flooring no less than 4'-0" in length.
15. Allowances:
 - a. General:
 1. Contract sum shall include all allowances.
 2. Amount of allowances includes the following:
 - i. Cost of product to contractor, less any trade discounts.
 - ii. Delivery to site.
 - iii. Applicable taxes.
 3. In addition to amount of each allowance, contract sum shall include Contractor's costs for the following:
 - i. Labor for installation and finishing.
 - ii. Handling at site.
 - iii. Other expenses to complete installation.
 - iv. Contractor's and Subcontractor's overhead and profit.

REVIEWED

By Michael Kyne at 11:31 am, Feb 09, 2021





Front Elevation

GENERAL STRUCTURAL
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Exterior Door Schedule	
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ID	Qty	Type	Manufacturer	Model/Size	Lites	Transom		Location	Note
						Height	Lites		
D1 01	1	French	NanaWall or Eq	2-6x7-6	See Elevation			Kitchen	Tempered
D1 02	1	French	NanaWall or Eq	2-6x7-6	See Elevation			Kitchen	Tempered
D1 03	1	See Notes	NanaWall or Eq	15-4x7-6	See Elevation			Kitchen	Tempered (1) Active 2-6 x 7-6 (5) 2-6 x 7-6

Window Schedule

ID	Qty	Units	Model/Size	Type	Manuf.	Lites	Location	Note
W101	1	1	2-0x4-5	Double Hung	Loewen	2W2H/2W2H	Bar	
W101	1	1	2-0x4-5	Double Hung	Loewen	2W2H/2W2H	Laundry	
W202	1	2	2-8x4-1 2W	Double Hung	Loewen	3W2H/3W2H	Bath 3	

Interior Door Schedule

ID	Qty	Size	Type	Leaf Thickness	Lites	Operation	Hardware	Note
001	1	2-6x8-8	Sx Panel	1 3/4"		Swing		
002	1	2-6x8-8	Sx Panel	1 3/4"		Swing		
101	1	(112)-0x8-8	Sx Panel	1 3/4"		Pocket		
102	1	2-6x8-8	Sx Panel	1 3/4"		Swing		
201	1	2-8x8-8	Sx Panel	1 3/4"		Swing		
202	1	2-8x8-8	Cased Opening	0"				
203	1	2-6x8-8	Sx Panel	1 3/4"		Swing		
204	1	2-8x8-8	Sx Panel	1 3/4"		Swing		

Neal Thomson



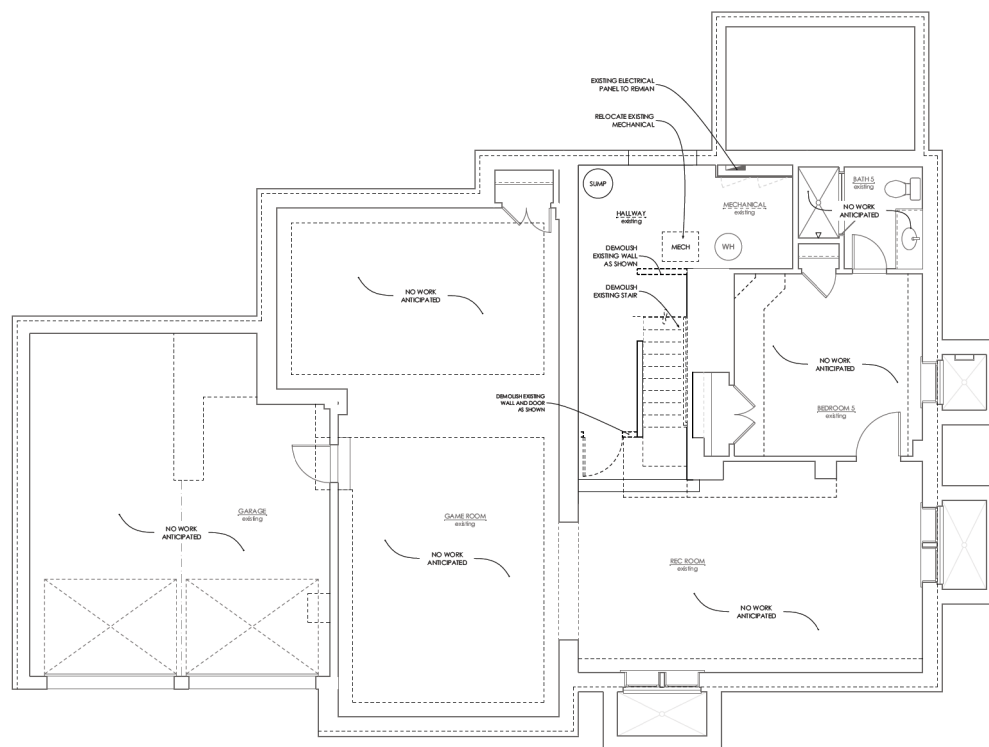
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30 Hesketh Street Chevy Chase MD 20815

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Window & Door Schedule

[illegible]

0003



**GENERAL STRUCTURAL
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 DENOTES EXISTING WALLS
 DENOTES PROPOSED WALLS
 DENOTES WALLS TO BE DEMOLISHED

**Near
Thomson**

Donoghue Hacker Residence
30 Hesketh Street Chevy Chase MD 20815

PERMIT SET

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Donoghue Hacker
Residence
Chevy Chase, Maryland
Architect:
Thomson-Corne Architects,
Inc.
Permit No.: 17973
Date Issued: 12-16-93

STATE OF MARYLAND
JAMES L. THOMSON
ARCHITECT
17973

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Existing
Basement Floor
Plan/Selective
Demo

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set

D000



1 Second
1/4" = 1'-0"

 DENOTES EXISTING WALLS
 DENOTES PROPOSED WALLS
 DENOTES WALLS TO BE DEMOLISHED

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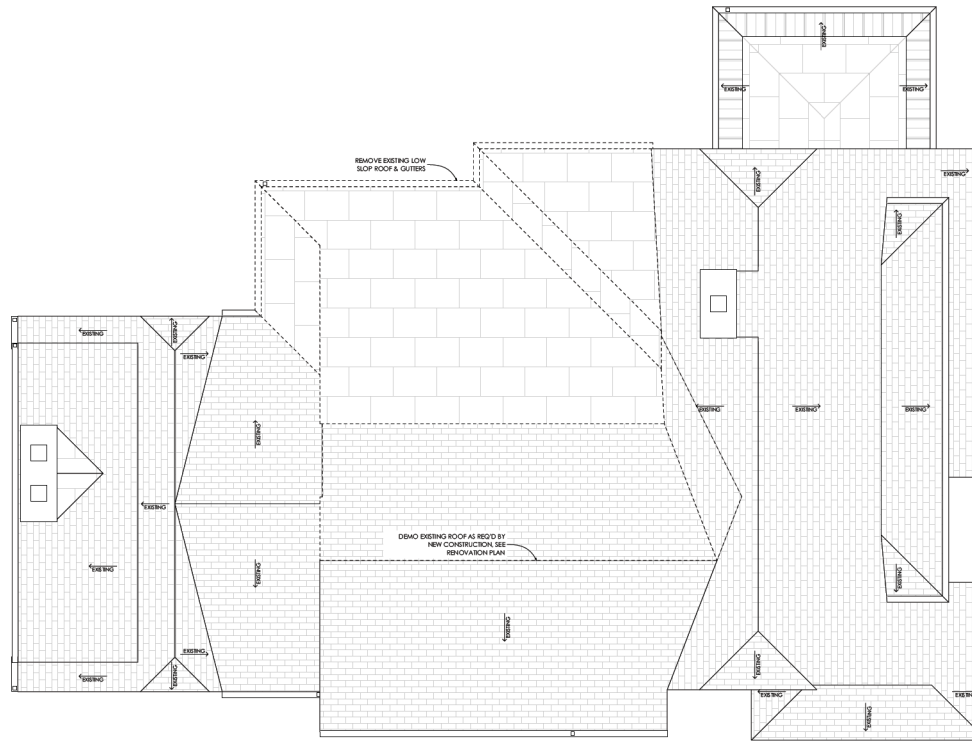
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Existing Second
Floor
Plan/Selective
Demo


12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set

[illegible]

D002



1 Roof Demolition Plan

 DENOTES EXISTING WALLS
 DENOTES PROPOSED WALLS
 DENOTES WALLS TO BE DEMOLISHED

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Architect
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STATE OF MARYLAND
DEPARTMENT OF GENERAL SERVICES
DIVISION OF ARCHITECTURE
1000 EIGHTH STREET
ANNAPOLIS, MARYLAND 21403
TEL: 410-261-7000
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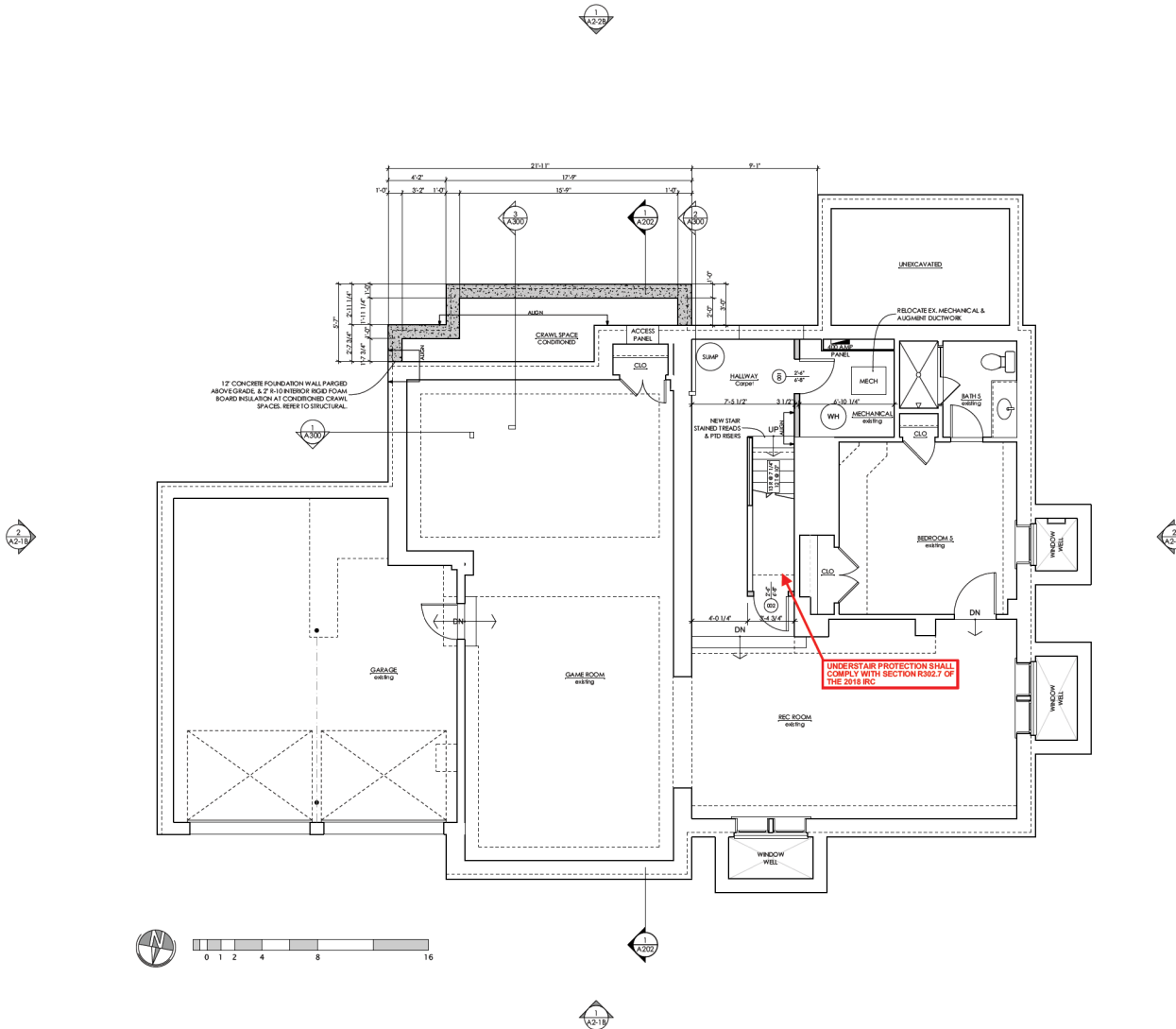
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17073, expiration date 09-04-2022

Existing Roof
Plan/Selective
Demo

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set

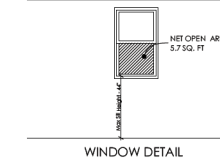
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D003



note *

ALL BEDROOM (E.S. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (E.C. 2018.310). THE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A CLEAR HEIGHT OF 24 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (E.C. 2018.310).



GENERAL NOTES:

1. UNLESS INDICATED OTHERWISE DIMENSIONS ARE TO FACE OF FRAMING.
2. VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
3. ALL SMOKE/CO CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DEDICATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP.
4. PROVIDE CARBON MONOXIDE ALARMS PER 831.5.
5. ALL STAIRS HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 803.1 AND 803.2 OF THE 2018 IRC.
6. SEE FRAMING PLANS FOR COORDINATION OF POST 2018 REQUIREMENTS.
7. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" MINIMUM.
8. ALL ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
9. REFER TO EXTERIOR ELEVATION & DOOR/WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS.
10. ALL DOOR DIMENSIONS GIVEN IN FEET AND INCHES.

- EXISTING WALLS
- EXISTING PROPOSED WALLS
- EXISTING WALLS TO BE DEMOLISHED

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

ALASKAN CEDAR SHAKES OVER CEDAR BREAKER ON 30 LB ROOFING FELT WITH CEILING AND WATER GUARD AT VALLEYS, DAVES, AND ALL SLOPES LESS THAN 4:12 ON 1/2" PLYWOOD WITH 1" CLIPS. SEE FRAMING PLANS FOR RAFTER SPACING. 8-4" OPEN CELL SPRAY FOAM INSULATION (EXCEPT AT PORCHES).

1B. TYP. LOW SLOPE METAL ROOF

STANDING SEAM PREFABRICATED METAL ROOF ON 30 LB ROOFING FELT WITH CEILING AND WATER GUARD AT VALLEYS, DAVES, AND ALL SLOPES LESS THAN 4:12 ON 1/2" PLYWOOD WITH 1" CLIPS. SEE FRAMING PLANS FOR RAFTER SPACING. 8-4" OPEN CELL SPRAY FOAM INSULATION (EXCEPT AT PORCHES).

2A. EXTERIOR WALL CONSTRUCTION A

CEMENTIOUS LAF BOARD ON 1/2" EXTERIOR SHEATHING WITH TYRAP OR EQUIVALENT HOUSEWRAP. 2x6 STUD WALL WITH 8-2" OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.

2B. EXTERIOR WALL CONSTRUCTION B

CEMENTIOUS LAF BOARD ON 1/2" EXTERIOR SHEATHING WITH TYRAP OR EQUIVALENT HOUSEWRAP. 2x6 STUD WALL WITH 8-2" OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.

3A. TYP. FLOOR CONSTRUCTION

3/4" T&G PLYWOOD SUBFLOOR ADHESIVE OR APPROVED EQUAL (GLUED AND NAILLED) 2x OR 1x WOOD JOISTS PER STRUCTURAL WITH 1/2" GYP. BOARD. SEE FRAMING PLANS FOR BEAM SPACING. 8-2" B FIBERGLASS BLOCKING AND 8-11" AT CANTILEVER OVERHANGS.

4. TYP. INTERIOR WALL CONSTRUCTION

1/2" GYPUM WALL BOARD ON 2x4 OR 2x6 STUDS (SEE PLANS) 8 1/2" O.C. (UNCO) PRESSURE TREATED 2x4 AT BATHROOM, KITCHEN, RESIDENT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

NOTE:

- SEE TABLE 1 ON SHEET 0001 FOR ALL INSULATION U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSULATED.
- SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSULATED.

GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION

Neal Thomson
Professional Engineer
State of Maryland
Professional Engineer License No. 10000000000000000000
06/20/2017-06/20/2027

Donoghue Hacker Residence
30 Hesketh Street Chevy Chase MD 20815
PERMIT SET
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Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17073, expiration date 09-04-2022

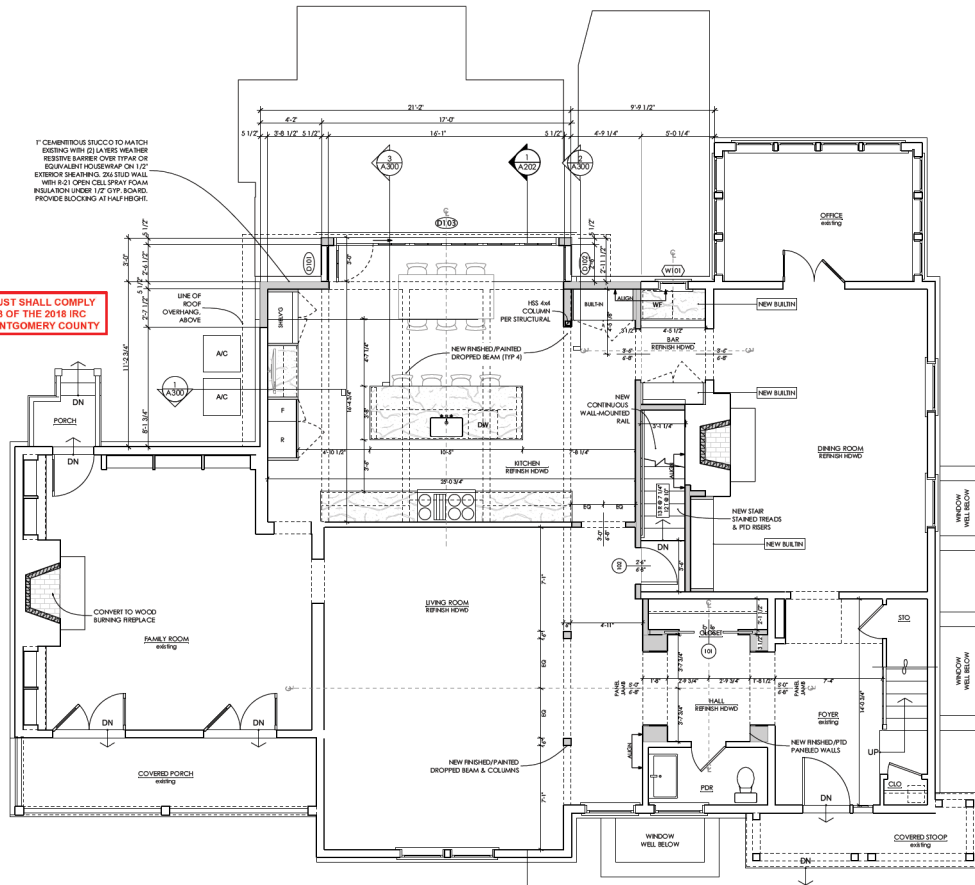
Proposed Basement Floor Plan/New Work

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set

1 Proposed Basement Plan/New Work
1/4" = 1'-0"

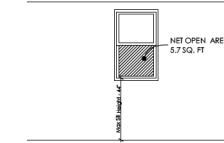
A100

RANGE HOOD EXHAUST SHALL COMPLY WITH SECTION M1503 OF THE 2018 IRC AS AMENDED BY MONTGOMERY COUNTY



note *

ALL BEDROOM (E.S. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (EC 2018.3.10). THE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT WITH A CLEAR HEIGHT OF 24 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (EC 2018.3.10).



WINDOW DETAIL

GENERAL NOTES:

1. UNLESS INDICATED OTHERWISE DIMENSIONS ARE TO FACE OF FRAMING.
2. VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
3. ALL SACK/CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DEDICATED CIRCUIT INTERCONNECTED & PROVIDED WITH BATTERY BACKUP.
4. PROVIDE CARBON MONOXIDE ALARMS PER 831.1.
5. ALL STAIRS HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 801.1 AND 801.2 OF THE 2018 IRC.
6. SEE FRAMING PLANS FOR COORDINATION OF POST 2018 REQUIREMENTS.
7. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" MINIMUM.
8. ALL ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
9. REFER TO EXTERIOR ELEVATIONS & DOOR/WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS.
10. ALL DOOR DIMENSIONS GIVEN IN FEET AND INCHES.

- EXISTING WALLS
- PROPOSED WALLS
- WALLS TO BE DEMOLISHED

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

ALASKAN CEDAR SHAKES OVER CEDAR BREAKER ON 30 LB ROOFING FELT WITH CEILING AND WATER GUARD AT VALLEYS, DAVES, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH 1" CLIPS. SEE FRAMING PLANS FOR RAFTER SPACING. 8-4" OPEN CELL SPRAY FOAM INSULATION (EXCEPT AT PORCHES).

1B. TYP. LOW SLOPE METAL ROOF

STANDING SEAM PREPRESSED METAL ROOF ON 30 LB ROOFING FELT WITH CEILING AND WATER GUARD AT VALLEYS, DAVES, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH 1" CLIPS. SEE FRAMING PLANS FOR RAFTER SPACING. 8-4" OPEN CELL SPRAY FOAM INSULATION (EXCEPT AT PORCHES).

2A. EXTERIOR WALL CONSTRUCTION A

CEMENTITIOUS LAP SIDING ON 1/2" EXTERIOR SHEATHING WITH TYPICAL EQUIVALENT HOUSEWRAP ON 1/2" EXTERIOR SHEATHING. 2x6 STUD WALL WITH 8-4" OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.

2B. EXTERIOR WALL CONSTRUCTION B

1" CEMENTITIOUS BRICK TO MATCH EXISTING WITH (2) LAYER WEATHER RESISTIVE BARRIER OVER TYPICAL EQUIVALENT HOUSEWRAP ON 1/2" EXTERIOR SHEATHING. 2x6 STUD WALL WITH 8-4" OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.

3A. TYP. FLOOR CONSTRUCTION

3/4" 18 LG PLYWOOD SUBFLOOR ADHESIVE OR APPROVED EQUAL (GLUED AND NAILLED) 2x OR 1x WOOD JOISTS PER STRUCTURAL WITH 1/2" GYP. BOARD. SEE FRAMING PLANS FOR BAY AND SPACING. 8-2" 8" PERIMETER BLOCKING AND 8-11" AT CANTILEVER OVERHANGS.

4. TYP. INTERIOR WALL CONSTRUCTION

1/2" GYPUM WALL BOARD ON 2x4 OR 2x6 STUDS (SEE PLANS) @ 16" O.C. (UNLESS OTHERWISE NOTED) ALL LAUNDRY, BATH, AND KITCHEN AREAS TO BE FINISHED WITH 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.

NOTE:

- SEE TABLE 1 ON SHEET 0001 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.
- SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

Neal
Thomson



Donoghue Hacker Residence
30 Heston Street Chevy Chase MD 20815

PERMIT SET

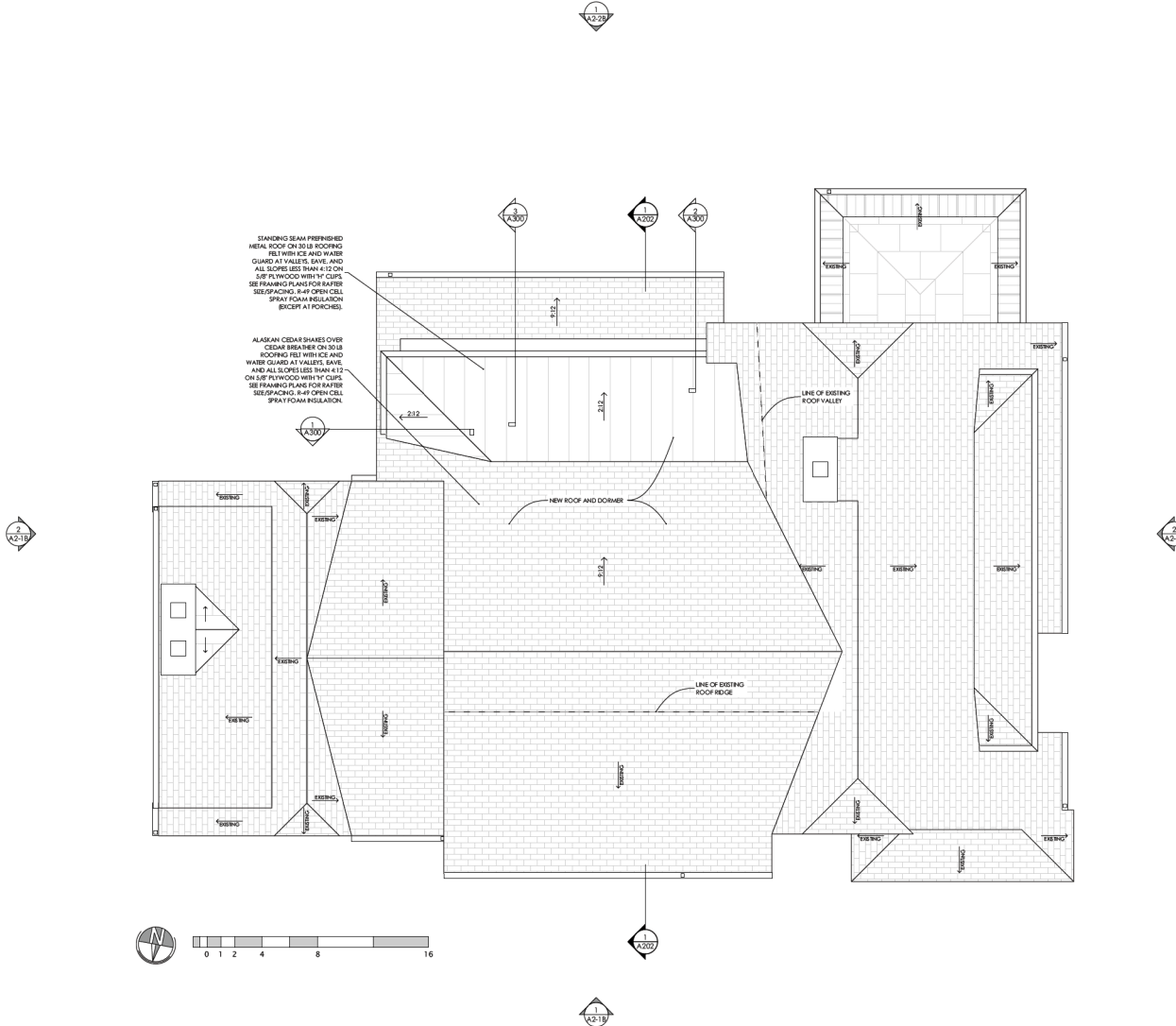
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17073, expiration date 04/2022.

Proposed First Floor Plan/New Work

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set

GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION

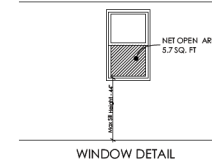
A101



1 Roof Plan
1/4" = 1'-0"

note *

ALL BEDROOM (E.S. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (E.C. 2018.310). THE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT WITH A CLEAR HEIGHT OF 24 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (E.C. 2018.310).



GENERAL NOTES:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING.
2. VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
3. ALL SACKS/CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DEDICATED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP.
4. PROVIDE CARBON MONOXIDE ALARMS PER E.C. 15.1.
5. ALL STAIRS HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 8011 AND 8012 OF THE 2012 IRC.
6. SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
7. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2\"

- EXISTING WALLS
- EXISTING PROPOSED WALLS
- EXISTING WALLS TO BE DEMOLISHED

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

ALASKAN CEDAR SHAKES OVER CEDAR BREAKER ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, DAVES, AND ALL SLOPES LESS THAN 4:12 ON 5/8\"

1B. TYP. LOW SLOPE METAL ROOF

STANDING SEAM PREFINISHED METAL ROOF ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, DAVES, AND ALL SLOPES LESS THAN 4:12 ON 5/8\"

2A. EXTERIOR WALL CONSTRUCTION A

CONTINUOUS LAP SIDING ON 1/2\"

2B. EXTERIOR WALL CONSTRUCTION B

1\"

3A. TYP. FLOOR CONSTRUCTION

3/4\"

4. TYP. INTERIOR WALL CONSTRUCTION

1/2\"

NOTE:

SEE TABLE 1 ON SHEET 0001 FOR ALL INSULATION U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSULATED.
SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSULATED.

Neal Thomson

Professional Engineer
License No. 10000000000000000000
Expiration Date 05/20/2020

Donoghue Hacker Residence

30 Heston Street Chevy Chase MD 20815

PERMIT SET

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Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17073, expiration date 09-04-2022

Proposed Roof Plan/New Work

12-05-2019 Existing Conditions

09-15-2019 Preliminary Pricing

04-13-2021 Permit Set

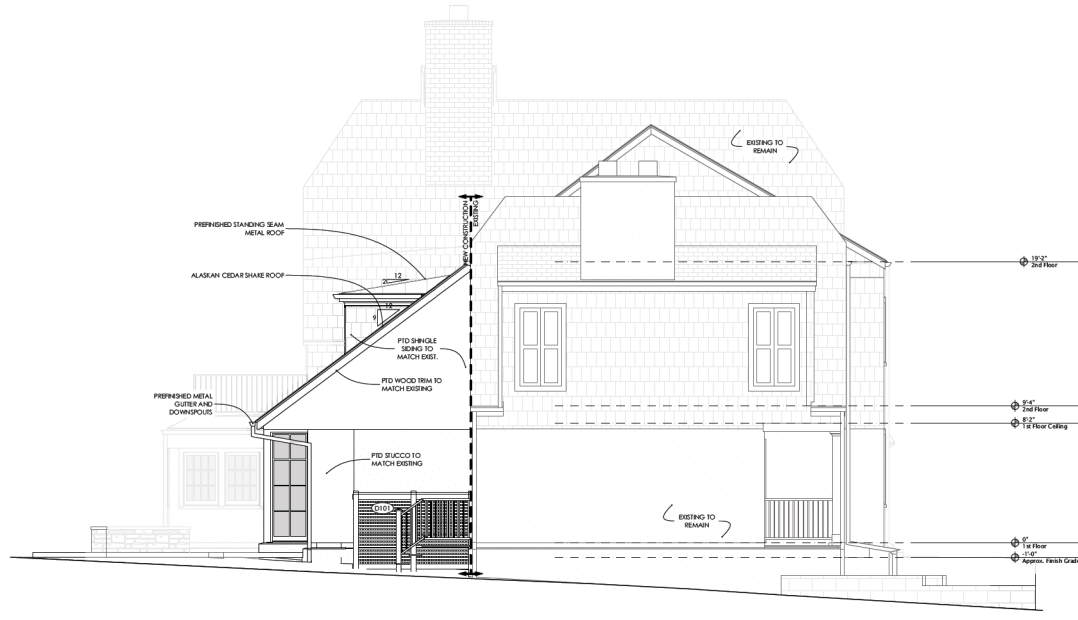
GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION

A103



1/4 = 10





ALASKIAN CEDAR SHAKE ROOF

STANDING SEAM PRE-FINISHED METAL ROOF

MATCH EXIST HEAD HEIGHT

MATCH EXIST HEAD HEIGHT

HEAD HEIGHT 7'-6" APX

NEW PREFINISHED METAL GUTTER & DOWNSPOUTS

PFD SHINGLE SIDING TO MATCH EXIST

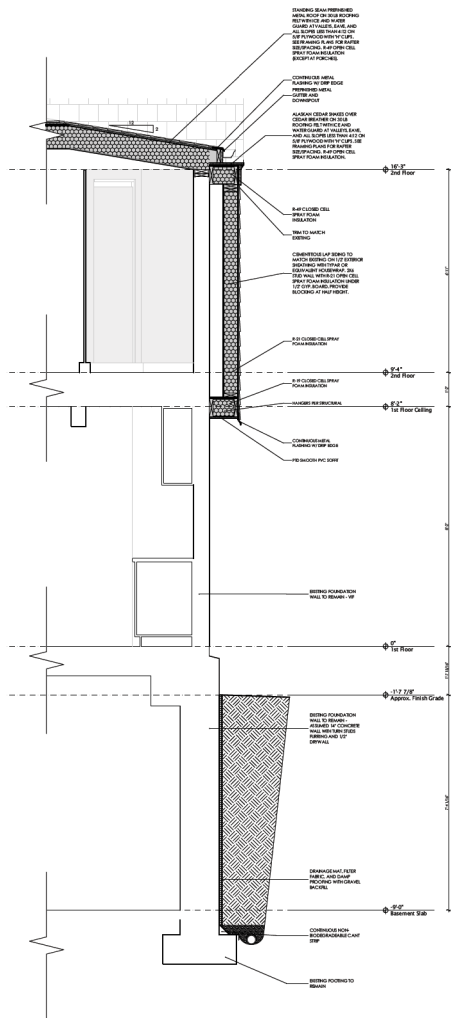
PFD STUCCO TO MATCH EXISTING

PFD BRICK TO MATCH EXISTING

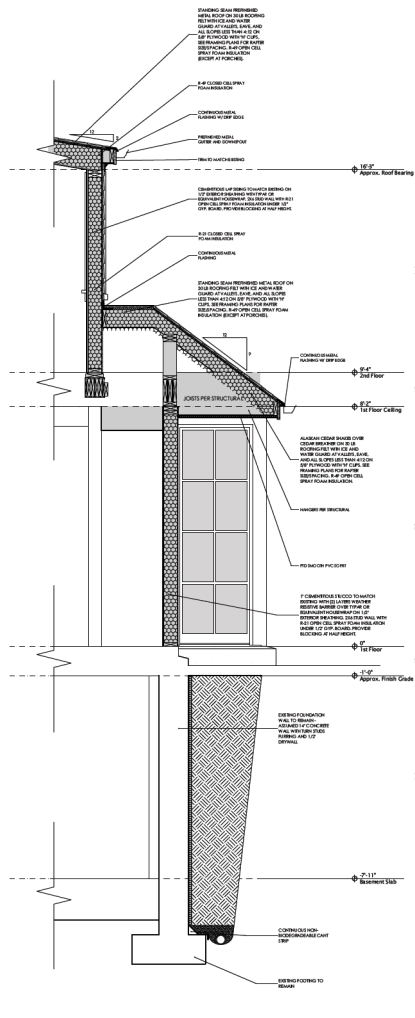
1st Floor

2nd Floor

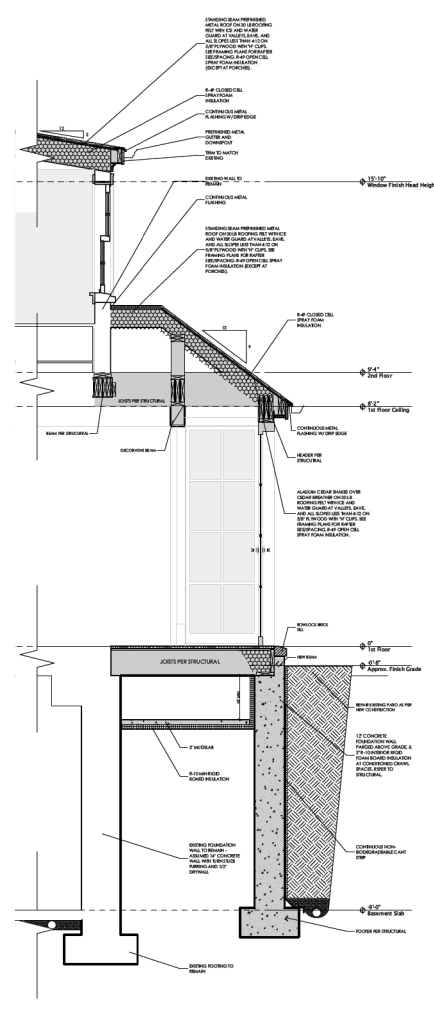
3rd Floor Ceiling



1 Typ Wall Section
1/2" = 1'-0"



2 Wall Section @ Typ Dormer



3 Wall Section @ Rear addition

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

ALASKAN CEDAR SHAKES OVER CEDAR BREATHER ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH 1" CLIPS. SEE FRAMING PLANS FOR RAFTER SIZE/SPACING, R-49 OPEN CELL SPRAY FOAM INSULATION.

1B. TYP. LOW SLOPE METAL ROOF

STANDING SEAM PREFINISHED METAL ROOF ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH "H" CLIPS. SEE FRAMING PLANS FOR RAFTER SIZE/SPACING. R-49 OPEN CELL SPRAY FOAM INSULATION (EXCEPT AT PORCHES).

2A. EXTERIOR WALL CONSTRUCTION A

CEMENTITIOUS LAP SIDING ON 1/2" EXTERIOR SHEATHING WITH TYPAR OR EQUIVALENT HOUSEWRAP. 2X6 STUD WALL WITH R-21 OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.

28. EXTERIOR WALL CONSTRUCTION B

1" CEMENTITIOUS STUCCO TO MATCH EXISTING WITH (2) LAYERS WEATHER RESISTIVE BARRIER OVER TYPAR OR EQUIVALENT HOUSEWRAP ON 1/2" EXTERIOR SHEATHING. 2X6 STUD WALL WITH R-21 OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.

3A. TYP. FLOOR CONSTRUCTION

3/4" T&G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILED) 2X OR 2.8 WOOD JOISTS PER STRUCTURAL WITH 1/2" GYP (SEE FRAMING PLANS FOR SIZE AND SPACING) R-21 @ PERIMETER BLOCKING AND R-19 AT CANTILEVERS/OVERHANGS.

4. TYP. INTERIOR WALL CONSTRUCTION

1/2" GYPSUM WALL BOARD ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C.
(J.N.O) PRESSURE TREATED SILL AT BASEMENT, MOISTURE RESISTANT (GREEN
BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS
CALLED OUT ON PLANS.

NOTE:
SEE EXTERIOR ELEVATIONS FOR WINDOW & DOOR HEIGHTS

NOTE:
SEE TABLE 1 ON SHEET 0001 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.

SEE TABLE 2 ON SHEET 0001 FOR ALL PENETRATION U FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

AIR SEALING NOTES:

GLUE DRYWALL TO TOP PLATE OF WALL
GLUE SHEATHING TO TOP AND BOTTOM PLATE OF WALL
GLUE SHEATHING TO SILL PLATE
INSTALL SILL PLATE ON SILL GASKET
SEAL ALL SEAMS ON EXTERIOR SHEATHING
SEE TABLE 3 ON SHEET 0001 FOR ADD'L AIR SEALING NOTES

Neal Thomson

Ingénieur Ingénieur d'Etat
 DSI - 015 12 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1035 1036 1037 1038 1039 1040 1041 1042 1043 1044 1045 1046 1047 1048 1049 1050 1051 1052 1053 1054 1055 1056 1057 1058 1

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09-15-2019	
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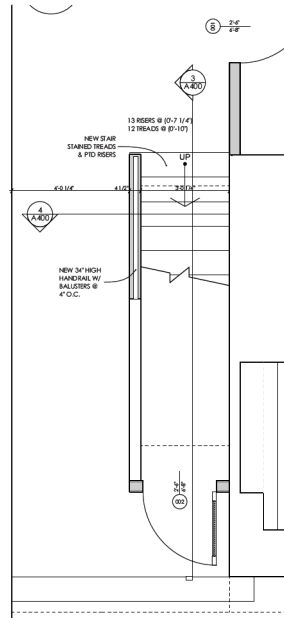
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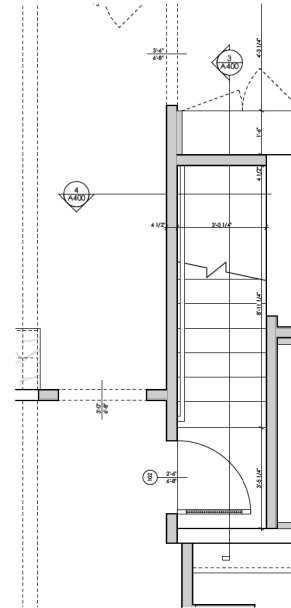
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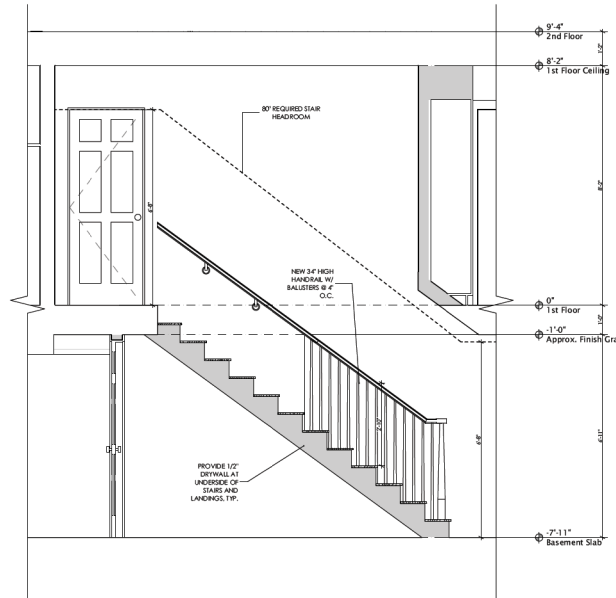
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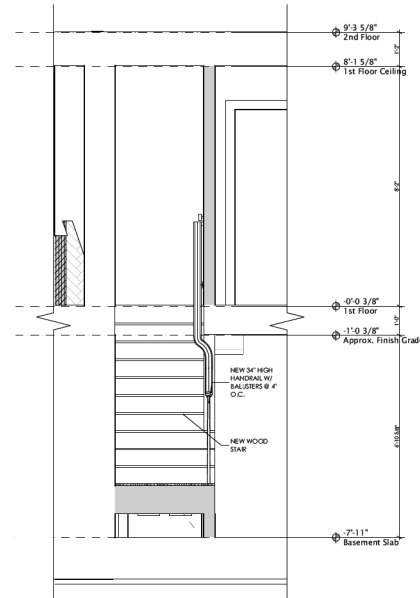
1 Basement Enlarged Plan
1/2" = 1'-0"



2 First Floor Enlarged Plan
1/2" = 1'-0"



3 Stair Section 1
1/2" = 1'-0"



4 Stair Section 2
1/2" = 1'-0"

Neal
Thomson

Professional Seal
Architect
17073, expiration date 09-04-2022



Donoghue Hacker Residence
30 Hesketh Street Chevy Chase MD 20815

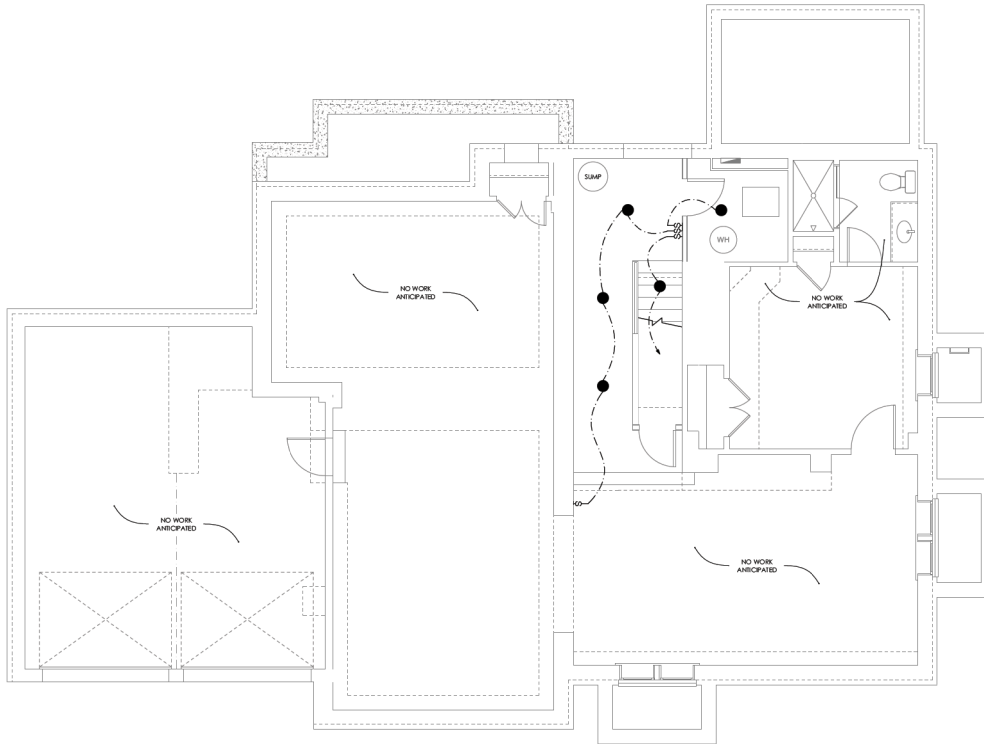
PERMIT SET
© THOMSON/COOPER ARCHITECTS, LLC

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17073, expiration date 09-04-2022.

New Stairs Plan
Details and
Sections

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set

A400


















Electrical Notes

1. ELECTRICAL CONTRACTOR SHALL SIZE AND ARRANGE ALL CIRCUITS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AS WELL AS ALL LOCAL CODES.
2. WALL OUTLETS ARE TO BE MOUNTED 1'-0" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE
3. SWITCHES ARE TO BE MOUNTED 4'-0" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE
4. MOUNTING AT WARDROBE AND WALL PANEL FINISH ROOMS SHALL BE LOCATED IN REAR
5. MOUNTING HEIGHTS ARE TO BE VERTICAL CENTER OF THE EQUIPMENT TO THE FINISHED LEVEL OF THE FLOOR.
6. ALL NEW SWITCH & OUTLET STUDIES ARE TO BE APPROVED BY OWNER PRIOR TO INSTALLATION
7. PROVIDE HARDWIRED INTERCONNECTED SMOKE DETECTORS W/ BATTERY BACKUP PER IFC SECTION R013 & LOCAL JURISDICTION AMENDMENTS
8. ALL INTERIOR LIGHTS SHALL HAVE DIMMERS
EXCEPTION: ALL BATHROOM FIXTURES UNO.
EXCEPTION: ALL CLOSET FIXTURES UNO
9. ALL PHOTON DATA LOCATIONS ARE TO BE UNDER 1' COMMON FACEPLATE
10. ELECTRICIAN TO LOCATE ALL FIXTURES, SWITCHES, OUTLETS (BLUE MARKERS) TO BE PLACING HINGE, OWNER, ELECTRICIAN & ARCHITECT TO MEET TO REVIEW LOCATIONS.
11. SOLID BOLD FOR 100.0LB PENDANT FIXTURE AT ALL PENDANT LOCATIONS.
12. ALL BEDROOMS AND LIVING SPACES TO BE AFC-FAULT PROTECTED.



Dimming Controls

LIGHTTOUWER MULTI-SET PRO NETWORKABLE PRESET DIGITAL DIMMER

Electrical Symbols

	SURFACE/ PENDANT LIGHT FIXTURE
	WALL LIGHT FIXTURE (CHOICE)
	RECESSED LIGHT
	WALL MOUNTED STEP LIGHT
	WATERPROOF RECESSED FIXTURE
	BATH FAN
	SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
	HUMIDITY SENSING FAN LIGHT
	UNDER-CABINET LIGHTING PRESS TO MATCH CABINETS
	TELEPHONE, CABLE, ETHERNET JACK
	WALL RECEPTACLE DUPLEX/GUARD/220
	FLOOR RECEPTACLE DUPLEX/GUARD
	GFI RECEPTACLE AFCI RECEPTACLE
	SWITCH DIMMER SWITCH
	CEILING FAN

Light Fixture Schedule

	Housing DMF OneFrame DRDH-N-JD	Module DMF OneFrame DRDM-08-9-3W-FL-W-L	Trim DMF OneFrame DRDZT-8-JD-S-WH
	Housing DMF OneFrame DRDH-N-JD	Module DMF OneFrame DRDZ2X-08-9-3W-FL-W	Trim DMF OneFrame DRDZT-8-JD-S-WH

Electrical Plan Notes

1	DEDICATED OUTLET FOR REFRIGERATOR
2	OUTLET FOR DISHWASHER
3	OUTLET BELOW SINK FOR GARBAGE DISPOSAL
4	DEDICATED OUTLET FOR WASHER/ DRYER
5	DEDICATED OUTLET FOR RANGE/ OVEN

1 Basement Electrical Plan

Donoghue Hacker Residence
30 Hesketh Street Chevy Chase MD 20815



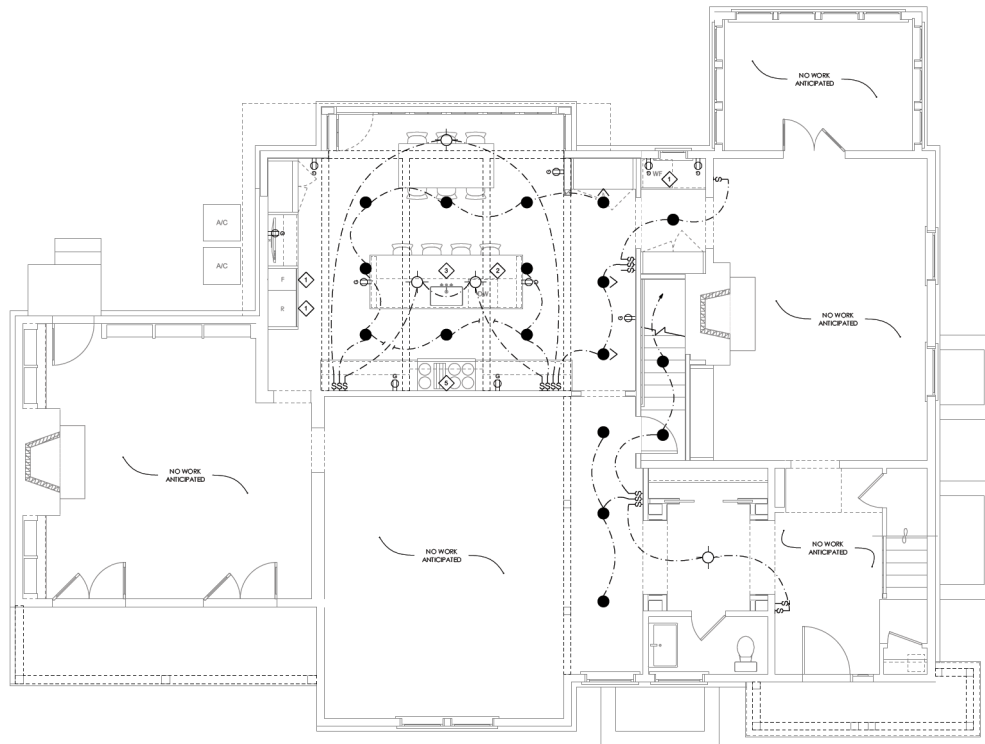
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Basement
Electrical Plan

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E000



Electrical Notes

1. ELECTRICAL CONTRACTOR SHALL SIZE AND ARRANGE ALL CIRCUITS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AS WELL AS ALL LOCAL CODES
2. WALL OUTLETS ARE TO BE MOUNTED 1'-6" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE
3. SWITCHES ARE TO BE MOUNTED 4'-0" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE
4. WALL OUTLETS AT WAREHOOT AND WALL PANEL FINISH ROOMS SHALL BE LOCATED IN BASE BOARD
5. MOUNTING HEIGHTS ARE TO BE VERTICAL CENTER OF THE EQUIPMENT TO THE FINISHED ELEVATION OF THE FLOOR
6. ALL NEW SWITCH & OUTLET STYLES ARE TO BE APPROVED BY OWNER PRIOR TO INSTALLATION
7. PROVIDE HARDWIRED INTERCONNECTED SMOKE DETECTORS W/ BATTERY BACKUP PER IRC SECTION R313 & LOCAL JURISDICTION AMENDMENTS
8. ALL INTERIOR LIGHTS SHALL HAVE DIMMERS
EXCEPTION: ALL BATHROOM FIXTURES UNO.
EXCEPTION: ALL CLOSET FIXTURES UNO
9. ALL PHONE/DATA LOCATIONS TO BE UNDER 1 COMMON FACEPLATE
10. ELECTRICIAN TO LOCATE ALL FIXTURES, SWITCHES, OUTLETS (BLUE BOXES) PRIOR TO RUNNING WIRING. OWNER, ELECTRICIAN & ARCHITECT TO MEET TO REVIEW LOCATIONS.
11. SOLID BLOCK FOR 100LBS PENDANT FIXTURE AT ALL PENDANT LOCATIONS.
12. ALL BEDROOMS AND LIVING SPACES TO BE AFCI-FAULT PROTECTED.

Dimming Controls

LIGHTFOUR MULTI-SET PRO NETWORKABLE PRESET DIGITAL DIMMER

Electrical Symbols

	SURFACE/ PENDANT LIGHT FIXTURE
	WALL LIGHT FIXTURE (SCONCE)
	RECESSED LIGHT
	WALL MOUNTED DEEP LIGHT
	WATERPROOF RECESSED FIXTURE
	BATH FAN
	SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
	HUMIDITY SENSING FAN LIGHT
	UNDER-CABINET LIGHTING RECESS TO MATCH CABINETS
	TELEPHONE, CABLE, ETHERNET JACK
	WALL RECEPTACLE, DUPLEX/GUARD
	FLOOR RECEPTACLE, DUPLEX/GUARD
	GFCI RECEPTACLE, AFCI RECEPTACLE
	SWITCH, DIMMER SWITCH
	SWITCH, FAN
	CEILING FAN

Light Fixture Schedule

Room	Quantity	Notes
Housing	1	Module
Dark OneFrame	1	Dark OneFrame
DEB-HH-JD	1	DEB-HH-JD-3-WH
Housing	1	Module
Dark OneFrame	1	Dark OneFrame
DEB-HH-JD	1	DEB-HH-JD-3-WH

Electrical Plan Notes

1	DEDICATED OUTLET FOR REFRIGERATOR
2	OUTLET FOR DISHWASHER
3	OUTLET BELOW SINK FOR GARBAGE DISPOSAL
4	DEDICATED OUTLET FOR WASHER/ DRYER
5	DEDICATED OUTLET FOR RANGE/ OVEN

1 First Floor Electrical Plan
1/4" = 1'-0"

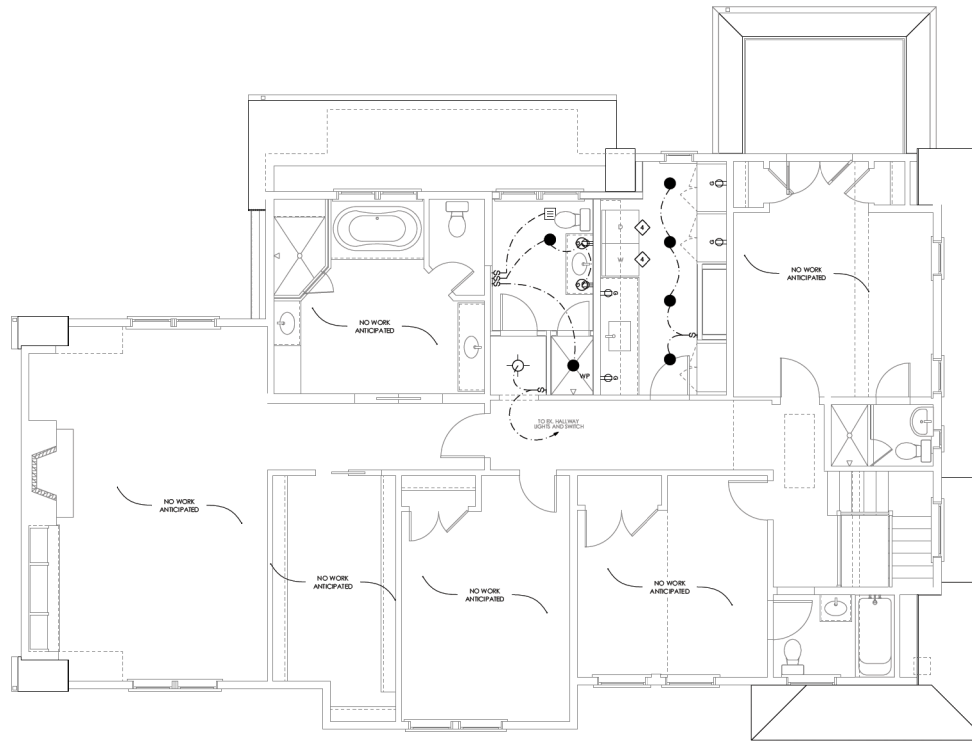
Neal Thomson
Donoghue Hacker Residence
30 Hesketh Street Chevy Chase MD 20815
PERMIT SET
6 THOMASLOOKE ARCHITECTS, LLC

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17073, expiration date 09-04-2022

First Floor
Electrical Plan

Date	Revision
12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set

E001



Electrical Notes

1. ELECTRICAL CONTRACTOR SHALL SIZE AND ARRANGE ALL CIRCUITS IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AS WELL AS ALL LOCAL CODES
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5. MOUNTING HEIGHTS ARE TO BE VERTICAL CENTER OF THE EQUIPMENT TO THE FINISHED ELEVATION OF THE FLOOR
6. ALL NEW SWITCH & OUTLET STYLES ARE TO BE APPROVED BY OWNER PRIOR TO INSTALLATION
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EXCEPTION: ALL CLOSET FIXTURES UNO
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11. SOLID BLOCK FOR 100LBS PENDANT FIXTURE AT ALL PENDANT LOCATIONS.
12. ALL BEDROOMS AND LIVING SPACES TO BE AFC-Fault PROTECTED.

Dimming Controls

LIGHTFOUR MULTI-SET PRO NETWORKABLE PRESET DIGITAL DIMMER

Electrical Symbols

	SURFACE/ PENDANT LIGHT FIXTURE
	WALL LIGHT FIXTURE (SCONCE)
	RECESSED LIGHT
	WALL MOUNTED SFP LIGHT
	WATERPROOF RECESSED FIXTURE
	BATH FAN
	SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
	HUMIDITY SENSING FAN LIGHT
	UNDER-CABINET LIGHTING RECESS TO MATCH CABINETS
	TELEPHONE, CABLE, ETHERNET JACK
	WALL RECEPTACLE DUPLEX/GN/220
	FLOOR RECEPTACLE DUPLEX/GN/220
	GFCI RECEPTACLE AFCI RECEPTACLE
	SWITCH, DIMMER SWITCH
	SWITCH, FAN
	CEILING FAN

Light Fixture Schedule

Room	Module	Item
Housing Dish/Dish/Dish	Dish/Dish/Dish	Dish/Dish/Dish
Housing Dish/Dish/Dish	Dish/Dish/Dish	Dish/Dish/Dish
Housing Dish/Dish/Dish	Dish/Dish/Dish	Dish/Dish/Dish

Electrical Plan Notes

1. DEDICATED OUTLET FOR REFRIGERATOR
2. OUTLET FOR DISHWASHER
3. OUTLET BELOW SINK FOR GARBAGE DISPOSAL
4. DEDICATED OUTLET FOR WASHER/ DRYER
5. DEDICATED OUTLET FOR RANGE/ OVEN

1 Second Floor Electrical Plan
1/4" = 1'-0"

Neal
Thomson
Donoghue Hacker Residence
30 Hesketh Street Chevy Chase MD 20815
PERMIT SET
6 THOMASLOODE AVENUE, JAL

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17073, expiration date 09-04-2022

Second Floor
Electrical Plan

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set

E002

DESIGN NOTES

I. DESIGN LIVE LOADS FOR NEW WORK

A. ROOF LIVE LOAD

1. $P_g = 30 \text{ PSF}$, MIN ROOF DESIGN LOAD + 30 PSF
2. $P_g = 21 \text{ PSF}$ + DRIFTING

B. FLOOR LIVE LOAD

1. BEDROOMS = 30 PSF
2. DWELLING AREAS = 40 PSF

C. WIND LOAD

1. $V_{ult} = 130 \text{ mph}$ (150 mph) = 115 MPH
2. VENTRO (150 mph) = 75 MPH

D. SEISMIC LOAD

1. LATERAL FORCE SYSTEM: BRACED WOOD PANELS
2. SEISMIC USE GROUP = I
3. SITE CLASS = D
4. NO DESIGN REQUIRED PER IRC R21.2.2

E. CODE: THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH 2018 IRC

F. ASSUMED SOIL PARAMETERS

1. P AT REST = 60H
2. PACTIVE = 40H
3. P PASSIVE = 200H

G. DEAD LOADS

1. ROOF = 15 PSF
2. TYPICAL FLOOR = 12 PSF
3. TELEPHONE FLOORS = 30 PSF

H. WOOD

ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE PINE FIR NO. 2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS). ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 15% MAXIMUM MOISTURE CONTENT.

MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:

1. WOOD LUMBER JOISTS AND BEAMS
a) FLEXURE: $F_b = 875 \text{ PSI}$
b) SHEAR: $F_v = 135 \text{ PSI}$
c) MODULUS OF ELASTICITY = 1,400,000 PSI
2. WALL STUDS: STUD GRADE
a) FLEXURE: $F_b = 475 \text{ PSI}$
b) COMPRESSION PARALLEL: $F_c = 725 \text{ PSI}$
c) MODULUS OF ELASTICITY = 1,200,000 PSI

B. ALL FRAMING EXPOSED TO WEATHER IN ACCORDANCE WITH IRC SECTION 2303.2.4 TREATED IN ACCORDANCE WITH AHPA 11. THESE MEMBERS SHALL BE PRESURE TREATED SOUTHERN PINE NO. 2 PER THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". NDS. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF THE "AMERICAN SOFTWOOD LUMBER STANDARDS". MINIMUM PROPERTIES SHALL BE IN ACCORDANCE WITH TABLE 4B IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". PRESURE TREATED WOOD MEMBERS "PT" SHALL BE PROVIDED WHEN:

1. WOOD JOISTS OR THE BOTTOM OF A WOOD STRUCTURAL FLOOR IS CLOSER THAN 15 INCHES TO GRADE OR WHEN A WOOD GROUND BEAM IS CLOSER THAN 15 INCHES TO GRADE IN EXPOSED CRAWL SPACES OR UNDECKED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING (AHPA USE CATEGORY: UC3)
2. WOOD FRAMING MEMBERS REST ON A CONCRETE OR MASONRY EXTERIOR FOUNDATION WALL AND ARE LESS THAN 3 INCHES ABOVE THE EXPOSED EXTERIOR GRADE (AHPA USE CATEGORY: UC4)

3. WOOD SIDING, SHEATHING AND WALL FRAMING IN THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6 INCHES FROM THE GROUND OR LESS THAN 2 INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS OR SIMILAR HORIZONTAL SURFACES EXPOSED TO THE WEATHER (AHPA USE CATEGORY: UC4)

C. ALL EXTERIOR WALL STUDS ARE TO BE SPACED AT 16" O.C. (N.D.S.). PLACE DOUBLE STUDS AT END OF WALLS AND TRIPLE STUDS AT INTERSECTIONS AND CORNERS. ALL MULTIPLE STUD POSTS SHALL BE FASTENED AS FOLLOWS: DOUBLE STUDS SHALL BE NAILED TOGETHER WITH 16" AT 6" O.C. TRIPLE STUDS SHALL BE NAILED TOGETHER WITH 30" AT 6" O.C. EACH SIDE.

D. PROVIDE SIMPSON STRONG-TIE (OR APPROVED EQUAL) POST CAPS AT ALL BEAM OR POST BEARING LOCATIONS NOT LOCATED WITHIN STUD WALLS. U.N.O.

E. ROOF SHEATHING SHALL BE 5/8 INCH CDX APA STRUCTURAL (RATED SHEATHING EXPOSURE 1) PER THE "AMERICAN WOOD ASSOCIATION". SHEATHING SHALL BE FASTENED WITH 8 IN NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 15 INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.

F. WALL SHEATHING SHALL BE 3/8 INCH CDX APA STRUCTURAL (RATED SHEATHING EXPOSURE 1) PER THE "AMERICAN WOOD ASSOCIATION". SHEATHING SHALL BE FASTENED WITH 8 IN NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 15 INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.

G. ALL FLOOR SUPERIMPOSED SHALL BE 30 INCH TRIPLE T&G APA RATED 3016 ADVANTAGE SHEATHING OR STUD-L&OOK 20 C RATED SHEATHING SHALL BE NAILED WITH 8 IN NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 15 INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.

H. LAMINATED VENEER LUMBER (LVL) SHALL BE INSTALLED AND FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:

1. FLEXURE: $F_b = 2,800 \text{ PSI}$
2. SHEAR: $F_v = 265 \text{ PSI}$
3. MODULUS OF ELASTICITY: $E = 2,000,000 \text{ PSI}$

CONTRACTOR SHALL PROVIDE MANUFACTURER'S PRODUCT SHEETS FOR APPROVAL FOR ALL LVL BEAMS

I. PARALLEL STRAND LUMBER (P.S.L.) SHALL BE INSTALLED AND FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS. MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS FOR P.S.L. POSTS:

- FLEXURE: $F_b = 2,800 \text{ PSI}$
• COMPRESSION: $F_c = 2,800 \text{ PSI}$
• MODULUS OF ELASTICITY: $E = 1,800,000 \text{ PSI}$

CONTRACTOR SHALL PROVIDE MANUFACTURER'S PRODUCT SHEETS FOR APPROVAL FOR ALL PSL POSTS AND BEAMS

J. PROVIDE MIN. 2" BEARING FOR ALL LAMINATED VENEER AND STANDARD LUMBER BEAMS. NO JOIST OR BEAM BEARING SHALL OCCUR ON MASONRY VENEER WALLS

K. ALL WALL SHEATHING SHALL BE CONTINUOUS BETWEEN TOP PLATES AND BOTTOM PLATE OF WALL ABOVE. ALL PLYWOOD PANELS EDGES SHALL BE CONTINUOUSLY BLOCKED AND NAILED.

L. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH THE FOLLOWING NAILS AND SIMPSON STRONG-TIE (OR APPROVED EQUAL) USING THE FASTENER-TO-FASTENER SPACING NOTED WITH EACH ROW OF FASTENERS. ALL FASTENERS SHALL BE INSTALLED IN THE QUANTITY OF ROWS SPECIFIED IN A STAGGERED PATTERN:

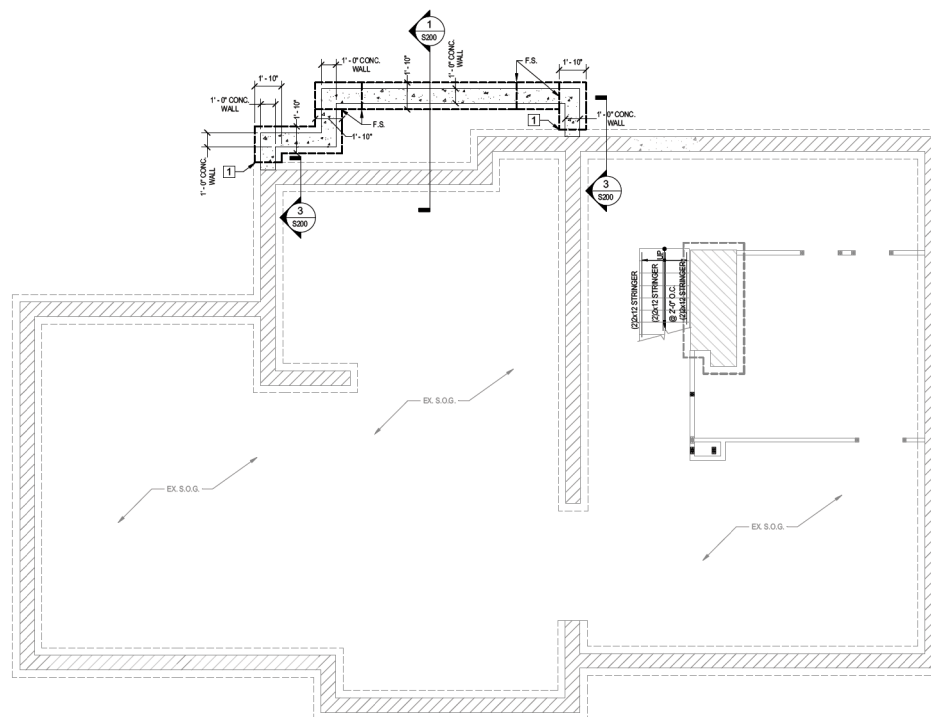
PLIES	DEPTH	FASTENERS	SPACING	ROWS
(1)-12"	6'-12"	16d NAILS	12" O.C.	2
(1)-12"	6'-12"	16d NAILS	16" O.C.	2"
(1)-12"	6'-12"	30d 14d NF	12" O.C.	2"
(1)-14"	6'-12"	12d NAILS	16" O.C.	2"
(1)-14"	6'-12"	30d 14d NF	12" O.C.	2"
(1)-14"	6'-12"	30d 14d NF	12" O.C.	2"

* ALL TRIPLE AND QUADRUPLE PLY MEMBERS SHALL BE FASTENED FROM BOTH SIDES WITH THE NUMBER OF ROWS AND FASTENERS SPECIFIED. SIDE-TO-SIDE SPACING SHALL ALSO BE STAGGERED.

M. PROVIDE SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL BEARING POINTS.

N. ALL MISCELLANEOUS WOOD CONNECTIONS SHALL BE FASTENED PER 2018 IRC "FASTENING SCHEDULE" (902.3.1)

O. NAILS INDICATED IN THE DRAWINGS, DETAILS AND NOTES SHALL BE DEFINED AS FOLLOWS: 16d 12d 14d 16d 18d 20d 22d 24d 26d 28d 30d 32d 34d 36d 38d 40d 42d 44d 46d 48d 50d 52d 54d 56d 58d 60d 62d 64d 66d 68d 70d 72d 74d 76d 78d 80d 82d 84d 86d 88d 90d 92d 94d 96d 98d 100d 102d 104d 106d 108d 110d 112d 114d 116d 118d 120d 122d 124d 126d 128d 130d 132d 134d 136d 138d 140d 142d 144d 146d 148d 150d 152d 154d 156d 158d 160d 162d 164d 166d 168d 170d 172d 174d 176d 178d 180d 182d 184d 186d 188d 190d 192d 194d 196d 198d 200d 202d 204d 206d 208d 210d 212d 214d 216d 218d 220d 222d 224d 226d 228d 230d 232d 234d 236d 238d 240d 242d 244d 246d 248d 250d 252d 254d 256d 258d 260d 262d 264d 266d 268d 270d 272d 274d 276d 278d 280d 282d 284d 286d 288d 290d 292d 294d 296d 298d 300d 302d 304d 306d 308d 310d 312d 314d 316d 318d 320d 322d 324d 326d 328d 330d 332d 334d 336d 338d 340d 342d 344d 346d 348d 350d 352d 354d 356d 358d 360d 362d 364d 366d 368d 370d 372d 374d 376d 378d 380d 382d 384d 386d 388d 390d 392d 394d 396d 398d 400d 402d 404d 406d 408d 410d 412d 414d 416d 418d 420d 422d 424d 426d 428d 430d 432d 434d 436d 438d 440d 442d 444d 446d 448d 450d 452d 454d 456d 458d 460d 462d 464d 466d 468d 470d 472d 474d 476d 478d 480d 482d 484d 486d 488d 490d 492d 494d 496d 498d 500d 502d 504d 506d 508d 510d 512d 514d 516d 518d 520d 522d 524d 526d 528d 530d 532d 534d 536d 538d 540d 542d 544d 546d 548d 550d 552d 554d 556d 558d 560d 562d 564d 566d 568d 570d 572d 574d 576d 578d 580d 582d 584d 586d 588d 590d 592d 594d 596d 598d 600d 602d 604d 606d 608d 610d 612d 614d 616d 618d 620d 622d 624d 626d 628d 630d 632d 634d 636d 638d 640d 642d 644d 646d 648d 650d 652d 654d 656d 658d 660d 662d 664d 666d 668d 670d 672d 674d 676d 678d 680d 682d 684d 686d 688d 690d 692d 694d 696d 698d 700d 702d 704d 706d 708d 710d 712d 714d 716d 718d 720d 722d 724d 726d 728d 730d 732d 734d 736d 738d 740d 742d 744d 746d 748d 750d 752d 754d 756d 758d 760d 762d 764d 766d 768d 770d 772d 774d 776d 778d 780d 782d 784d 786d 788d 790d 792d 794d 796d 798d 800d 802d 804d 806d 808d 810d 812d 814d 816d 818d 820d 822d 824d 826d 828d 830d 832d 834d 836d 838d 840d 842d 844d 846d 848d 850d 852d 854d 856d 858d 860d 862d 864d 866d 868d 870d 872d 874d 876d 878d 880d 882d 884d 886d 888d 890d 892d 894d 896d 898d 900d 902d 904d 906d 908d 910d 912d 914d 916d 918d 920d 922d 924d 926d 928d 930d 932d 934d 936d 938d 940d 942d 944d 946d 948d 950d 952d 954d 956d 958d 960d 962d 964d 966d 968d 970d 972d 974d 976d 978d 980d 982d 984d 986d 988d 990d 992d 994d 996d 998d 1000d 1002d 1004d 1006d 1008d 1010d 1012d 1014d 1016d 1018d 1020d 1022d 1024d 1026d 1028d 1030d 1032d 1034d 1036d 1038d 1040d 1042d 1044d 1046d 1048d 1050d 1052d 1054d 1056d 1058d 1060d 1062d 1064d 1066d 1068d 1070d 1072d 1074d 1076d 1078d 1080d 1082d 1084d 1086d 1088d 1090d 1092d 1094d 1096d 1098d 1100d 1102d 1104d 1106d 1108d 1110d 1112d 1114d 1116d 1118d 1120d 1122d 1124d 1126d 1128d 1130d 1132d 1134d 1136d 1138d 1140d 1142d 1144d 1146d 1148d 1150d 1152d 1154d 1156d 1158d 1160d 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NOTES:

1. ALL POSTS SHOWN ARE (2)2x6 UP IN 2x6 WALLS AND (2)2x4 UP IN 2x4 WALLS U.N.O.
2. EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR
3. F.S. DESIGNATES FOOTING STEP PER 45200.

KEYED NOTES (FOR DWG 1/S100):

1 MATCH BOTTOM OF FTG. W/BOTTOM OF EX. FTG.; SEE 3/S200

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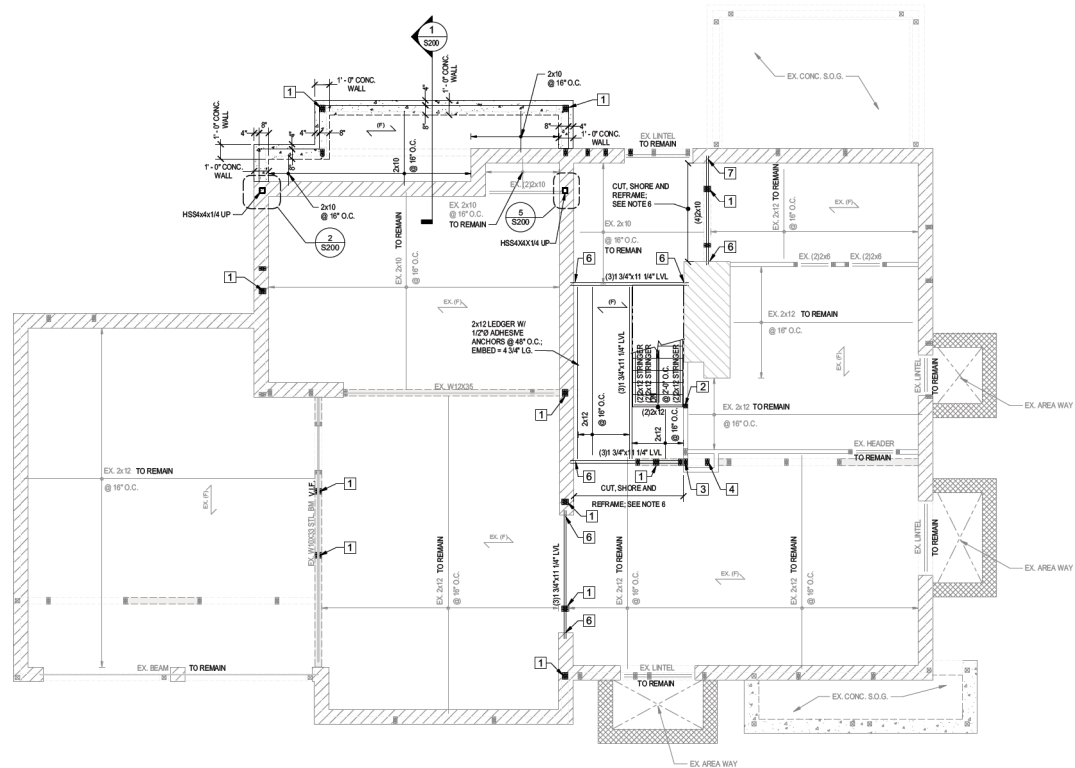
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FOUNDATION PLAN






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1 FIRST FLOOR FRAMING PLAN
S101 SCALE: 1/4" = 1'-0"

NOTES:

1. ALL POSTS SHOWN ARE (2024) UP IN 24 WALLS AND (2024) UP IN 24 WALLS S.N.O.
2. PROVIDE WOOD BEAM/POST HANGERS PER THE STRUCTURAL DESIGN REQUIREMENTS.
3.  DESIGNATES THE SPAN DIRECTION OF 3" X 16' FLOOR SHEATHING PER THE STRUCTURAL DESIGN NOTES.
 DESIGNATES THE SPAN DIRECTION OF EX. FLOOR SHEATHING.
4. DASHED LINES INDICATE DROPPED BEAM HEADERS. SOLID LINES INDICATE FLUSH FRAMED BEAM HEADERS.
5. EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
6. PROVIDE TEMPORARY SHORING TO SUPPORT STRUCTURE AS NEEDED FOR NEW CONSTRUCTION AS DESIGNATED ON PLAN.
7.  DESIGNATES 3" X 12' X 12' FLOOR J. BEG.
 DESIGNATES 3" X 12' X 12' FLOOR J. BEG.
 DESIGNATES 3" X 12' X 12' FLOOR J. BEG.
8. SEE 65300 FOR CRUMPLE STUD DET. BENEATH ALL POST UP LOCATIONS.

KEYED NOTES (FOR DWG 1/S101):

- 1 (3)2x6 UP
- 2 (2)2x6 DN
- 3 (2)2x6 DN
- 4 (2)2x6 UP/DN
- 5 (3)2x4 UP
- 6 POCKET BEAM INTO EX. MASONRY WALL PER DETAIL 8/S301
- 7 ADD SIMPSON GA-1 ON EA. SIDE OF (4)2x10

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FIRST FLOOR FRAMING
PLAN

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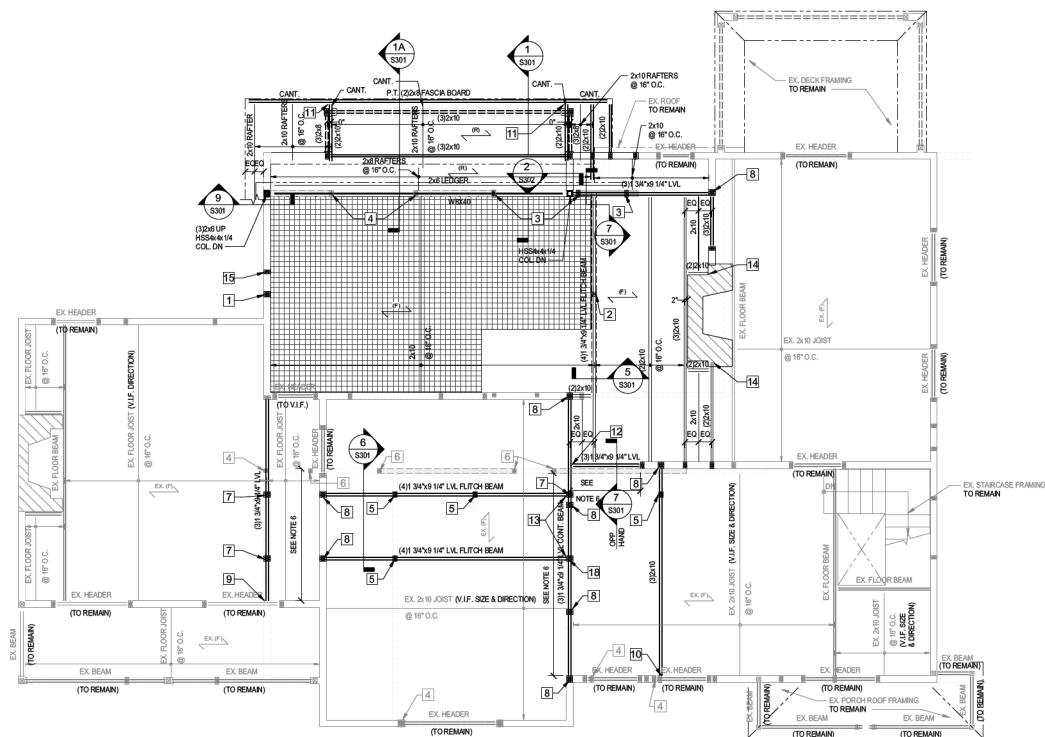
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S101



1 SECOND FLOOR FRAMING PLAN
S102 SCALE: 1/4" = 1'-0"

NOTES:

1. ALL POSTS SHOWN ARE (22x24 UPOWEN IN 2x6 WALLS AND 22x24 UPOWEN IN 2x4 WALLS U.S.O.)
2. PROVIDE WOOD BEAM/JOIST HANGERS PER THE STRUCTURAL DESIGN NOTES.
3.  DESIGNATES THE SPAN DIRECTION OF 5th FLOOR SHEATHING PER THE STRUCTURAL DESIGN NOTES.
4.  DESIGNATES THE SPAN DIRECTION OF 3rd FLOOR SHEATHING PER THE STRUCTURAL DESIGN NOTES.
5.  DESIGNATES THE SPAN DIRECTION OF EX FLOOR SHEATHING.
6. DASHED LINES INDICATE DROPPED BEAMS/SHALLERS, SOLID LINES INDICATE FLUSH FRAMED BEAMS/HANGERS.
7. EXISTING NOTATIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
8. PROVIDE TEMPORARY SHORING OF EXISTING STRUCTURE AS NEEDED FOR NEW CONSTRUCTION AS DESIGNATED ON PLAN.
9.  TEMPORARY AREA OF FLOOR TO RECEIVE TIE/STERN PER ARCH. DRAWINGS.

KEYED NOTES (FOR DWG 1/S102):

- 1 (D)2H UPON
- 2 3 1/2" x 3 1/2" PSL UP
- 3 (D)2H UP
- 4 EX. (D)2H UP, SEE NOTE 5
- 5 (D)2H UP
- 6 EX. (D)2H UP, SEE NOTE 5
- 7 (D)2H UP
- 8 (D)2H DN
- 9 SIMPSON HB5.509.25 TOP FLANGE HANGER
- 10 SIMPSON HT72T.3 TOP FLANGE HANGER
- 11 SIMPSON LUS22.0
- 12 SIMPSON QLTV5.509.25 TOP FLANGE HANGER
- 13 SIMPSON HW TOP FLANGE HANGER (W = 7 1/2"; D = 9 1/4")
- 14 POCKET BAW INTO EX. MASONRY WALL PER DETAIL 9301
- 15 (D)2H UPON
- 16 (D)2H DN

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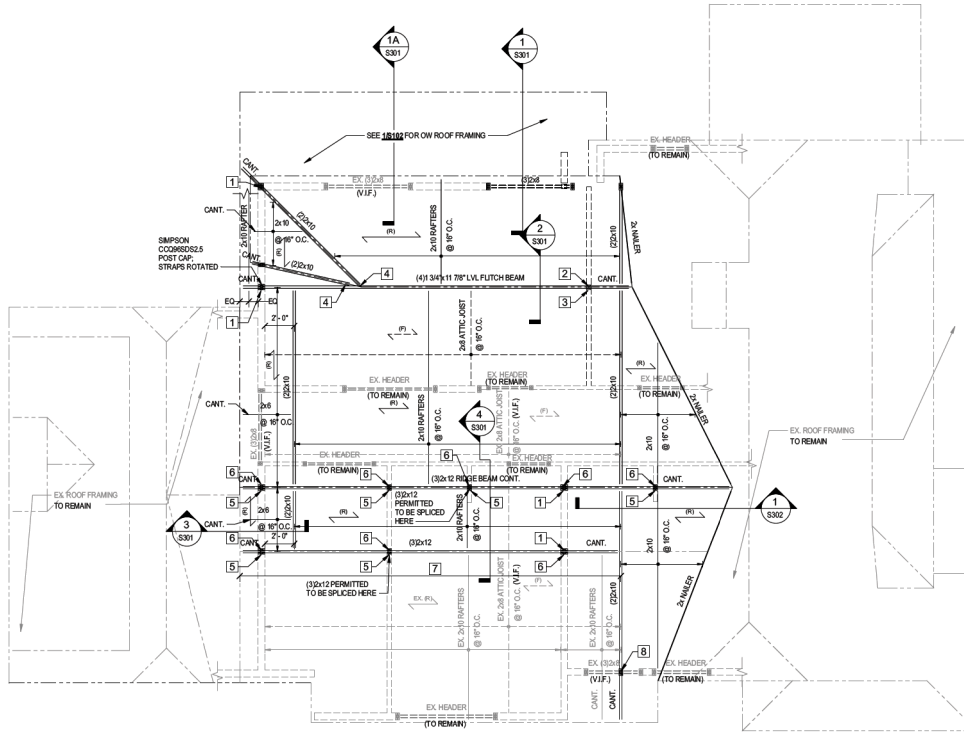
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SECOND FLOOR
FRAMING PLAN

04-12-2021	Permit Set
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S102



1 ROOF FRAMING PLAN
S103 SCALE: 1/4" = 1'-0"

S103 SCALE: 1/4" = 1'-0"

NOTES:

1. ALL FLOORS SHOWN ARE 2'2d DOWN IN 2'6 WALLS AND 2'2d DOWN IN 2'4 WALLS U.N.O.
2. PROVIDE WOOD BEAM/AFTER HANDERS PER THE STRUCTURAL DESIGN NOTES.
3.  DESIGNATES THE SPIN DIRECTION OF 5/8" ROOF SHEATHING PER THE STRUCTURAL DESIGN NOTES.
4.  DESIGNATES THE SPIN DIRECTION OF 3/4" FLOOR SHEATHING PER THE STRUCTURAL DESIGN NOTES.
5.  DESIGNATES THE SPIN DIRECTION OF EX. ROOF SHEATHING.
6.  DESIGNATES THE SPIN DIRECTION OF EX. ATTIC FLOOR SHEATHING.
7. DASHED LINES INDICATE DROPPED BEAM/HEADERS, SOLID LINES INDICATE FLUSH FRAMED BEAM/HEADERS.
8. EXISTING CONDITIONS SHOWN ARE ASSUMED AND SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR.
9. PROVIDE TEMPORARY SHORING OF EXISTING STRUCTURE AS NEEDED FOR NEW CONSTRUCTION AS DESIGNATED ON PLAN.

KEYED NOTES (FOR DWG 1/S103):

- 1 (3)2x6 DN
- 2 3 1/2" x 3 1/2" PSLDN
- 3 SIMPSON CCM4 POST CAP
- 4 SIMPSON HUZ10.2 SLOPED + SKEWED FACE MOUNT HANGERS
- 5 (3)2x4 DN
- 6 SIMPSON CCM4.62-4.62 SDS POST CAP; STRAPS ROTATED
- 7 SHORE EX. RAFTERS TO REMAIN, REMOVE EX. RIDGE BEAM & RESUPPORT EX. RAFTERS ON NEW RIDGE BEAM; SEE PLAN NOTE 6
- 8 (2)2x6 STUD POST W/ SIMPSON PC4Z POST CAP

**GENERAL STRUCTURAL
ARRANGEMENT APPROVED
SUBJECT TO FURTHER
APPROVAL OF CONSTRUCTION**

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 23310. Expiration Date: 7/9/2022.



Unton Engineering, L.L.C.
48090 Lake Center Plaza
Suite 309
Potomac Falls, VA 20165
(P) 571.323.0320

LE Project# 21-049 LE Project Engineer: OT

LE Project# 21-049

63

THOMSON & COOKE ARCHITECTS

Donoghue Hacker Residence
30 Hesketh Street Chevy Chase MD 20815

WASHINGTON DC 20015
202.656.6053
WWW.HOMSONCOOK.COM

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ROOF FRAMING PLAN

[illegible]

S103

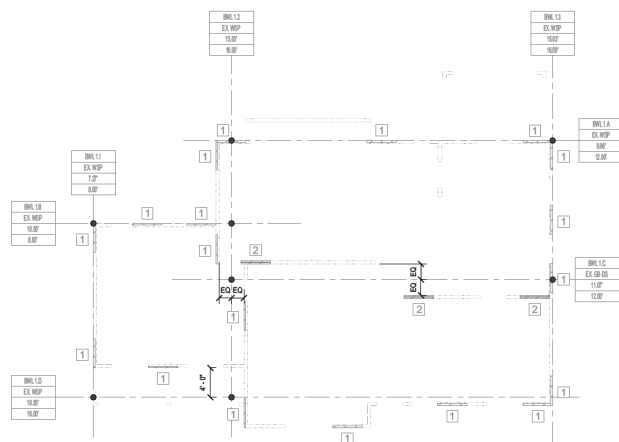


Figure 10 illustrates a building layout with a central corridor and multiple rooms. The layout is symmetrical around a central vertical corridor. The rooms are labeled with their IDs and dimensions. The layout is as follows:

- Room 1.1** (top left): 1.00' x 1.00'
- Room 1.2** (top center): 1.00' x 1.00'
- Room 1.3** (top right): 1.00' x 1.00'
- Room 1.4** (middle left): 1.00' x 1.00'
- Room 1.5** (middle center): 1.00' x 1.00'
- Room 1.6** (middle right): 1.00' x 1.00'
- Room 1.7** (bottom left): 1.00' x 1.00'
- Room 1.8** (bottom center): 1.00' x 1.00'
- Room 1.9** (bottom right): 1.00' x 1.00'

The central corridor is labeled 'CORRIDOR'.

NOTES FOR WIND BRACING PANELS
(DESIGNED PER IRC 2018, SECTION R602.10.1)

1. ——— ——— INDICATES A BRACED WALL LINE WITH BRACED WALL PANELS AS INDICATED BY PANEL CALLOUT (B) AND THE BRACED WALL PANEL CALLOUT KEY.
2. ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH CORNER NAILING PER DETAIL 2018.04
3. ● DESIGNATES THE END OF A BRACED WALL LINE
4. ALL BRACED WALL PANELS TO BE SECURED TO THE STRUCTURE ABOVE AND BELOW PER DETAILS
5. ALL BRACED WALL PANELS ARE 4'-0" U.N.O.

BRACED WALL LINE CALLOUT KEY

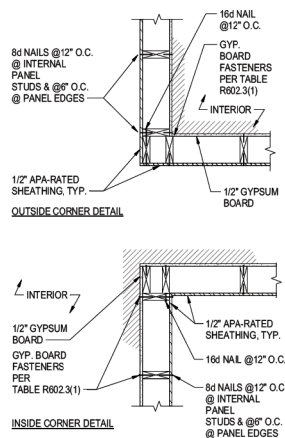
BWL LABEL
PRESCRIPTIVE BRACING METHOD USED
LENGTH OF BWL REQUIRED
LENGTH OF BWL PROVIDED

ABBREVIATIONS

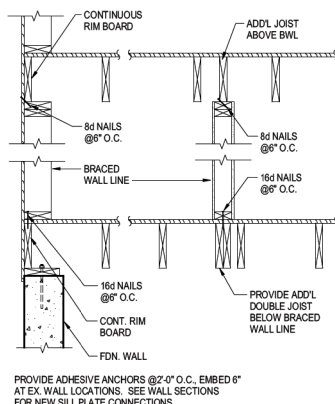
WSP = WOOD STRUCTURAL PANEL
DS-G8 = DOUBLE SIDED GYPSUM BOARD PANEL

BRACED WALL PANEL CALLOUT KEY

1 = WSP PANEL PER DETAIL 6/S104
2 = DS-GB PANEL PER DETAIL 7/S104



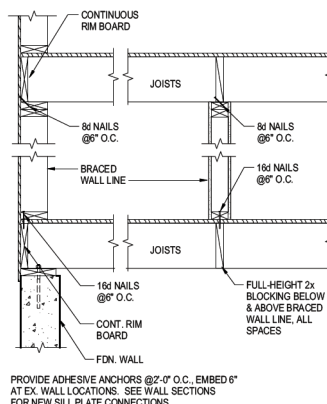
TYP. CORNER FRAMING DET. W/
FASTENERS



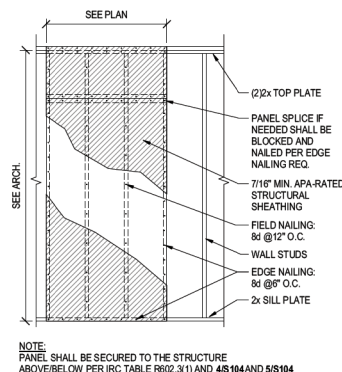
4
S104

TYP. BRACED WALL LINE JOIST
PARALLEL

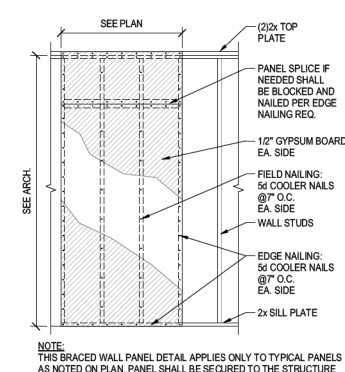
SCALE: 1" = 1'-0"



TYP. BRACED WALL LINE JOIST
PERPENDICULAR



6 TYP. BRACED WALL PANEL DET. (WSP)
S104 SCALE: 1/2" = 1'-0"



TYP. BRACED WALL PANEL
DET. (GB)
SCALE: 1/2" = 1'-0"

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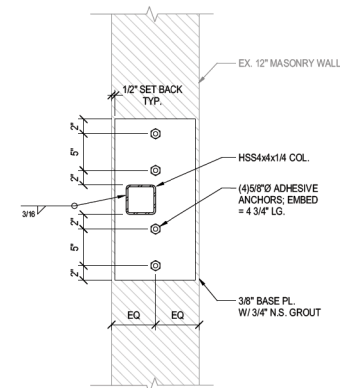
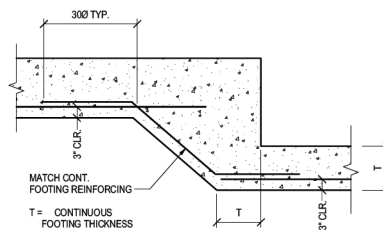
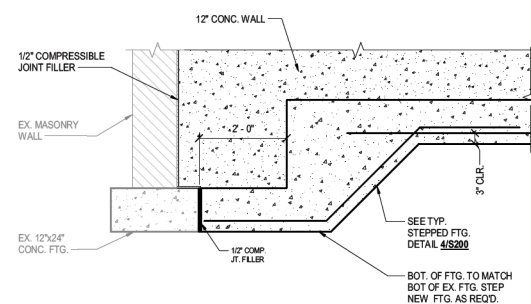
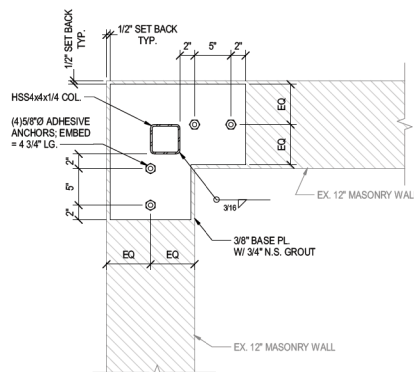
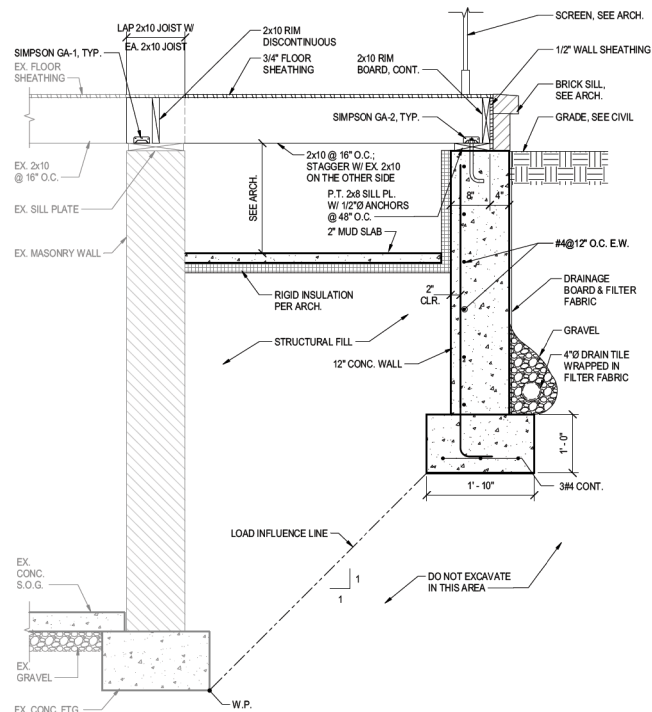
Donoghue Hacker Residence
30 Hesketh Street Chevy Chase MD 20815

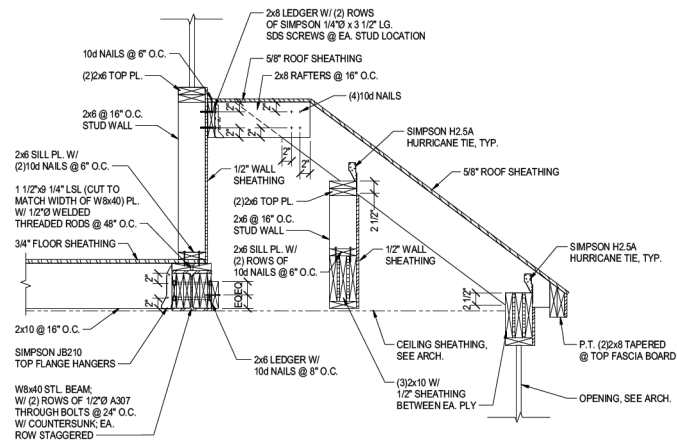
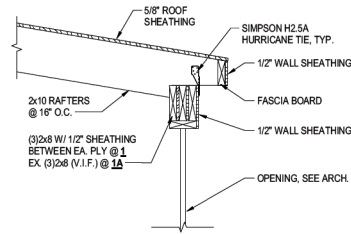
NOT FOR CONSTRUCTION

WIND BRACING PLANS

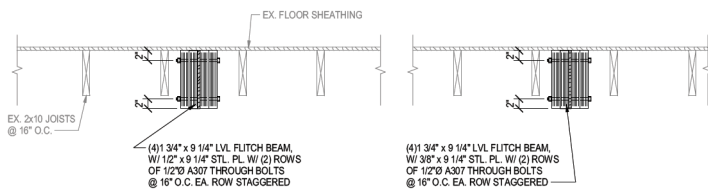
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S104

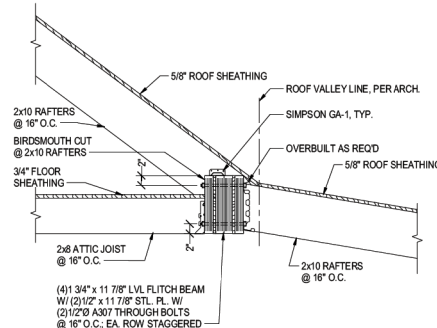




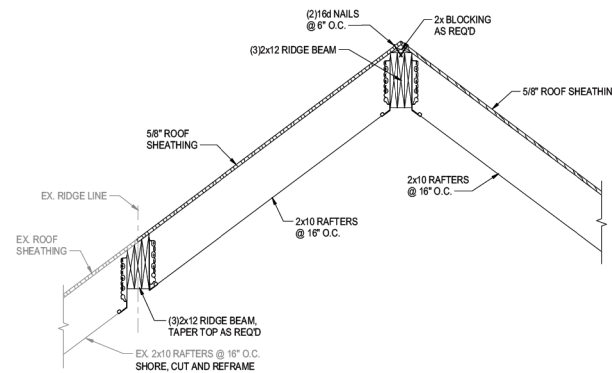
1,1A SECTION
S301 SCALE: 1" = 1'-0"



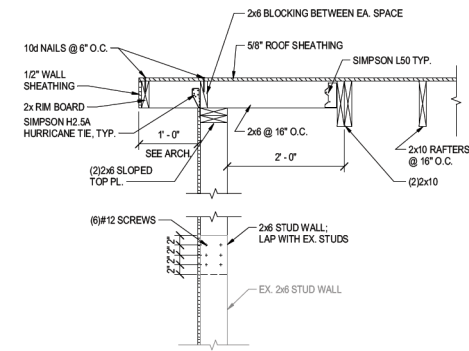
6 SECTION
S301 SCALE: 1" = 1'-0"



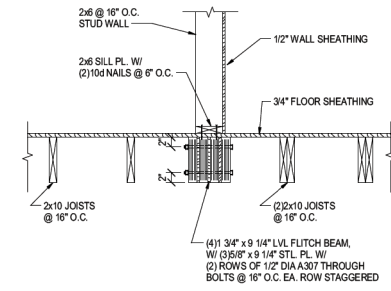
2 SECTION
S301 SCALE: 1" = 1'-0"



4 SECTION
S301 SCALE: 1" = 1'-0"

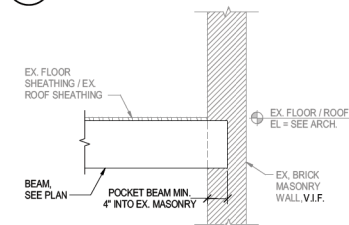


3 SECTION
S301 SCALE: 1" = 1'-0"



5 SECTION
S301 SCALE: 1" = 1'-0"

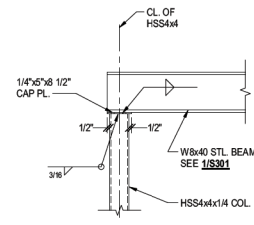
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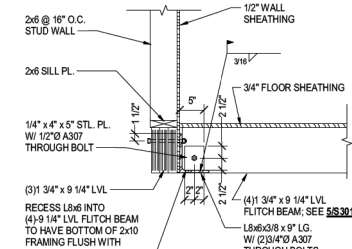
8
S301

TYP. WOOD BEAM BRG. DET. AT
MASONRY WALL

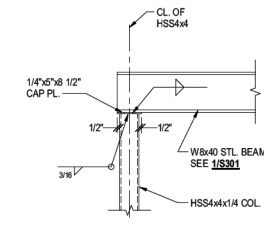
SCALE: 1" = 1'-0"



9 SECTION
S301 SCALE: 1" = 1'-0"



7 SECTION
S301 SCALE: 1" = 1'-0"



9 SECTION
S301 SCALE: 1" = 1'-0"

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Potomac Falls, VA 20165
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LE Project # 21-049 LE Project Engineer: CF

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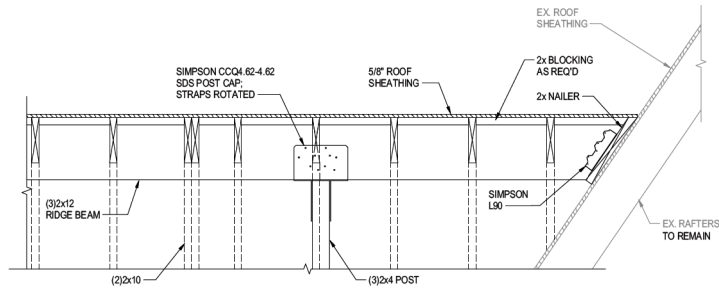
Donoghue Hacker Residence
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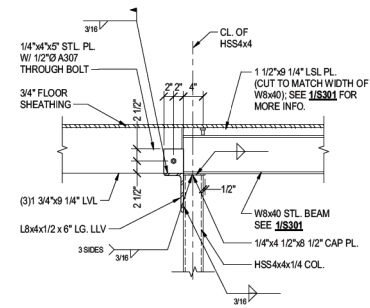
FRAMING SECTIONS

[illegible]

S301



1 SECTION
S302 SCALE: 1" = 1'-0"



2 SECTION
S302 SCALE: 1" = 1'-0"

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SECTIONS AND DETAILS

[illegible]

S302

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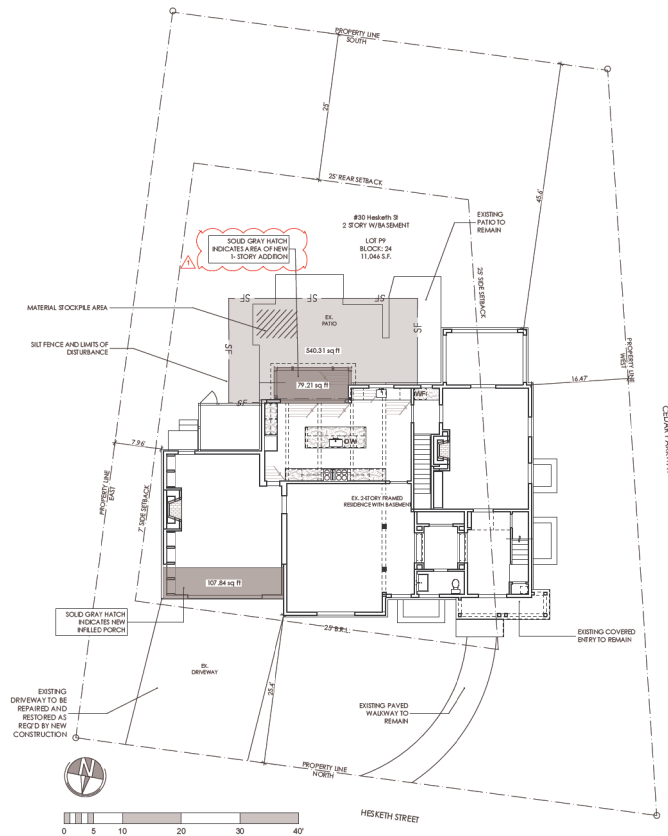
Chevy Chase, MD 20815



Front Elevation

EXECUTIVE REGULATION 31-19.

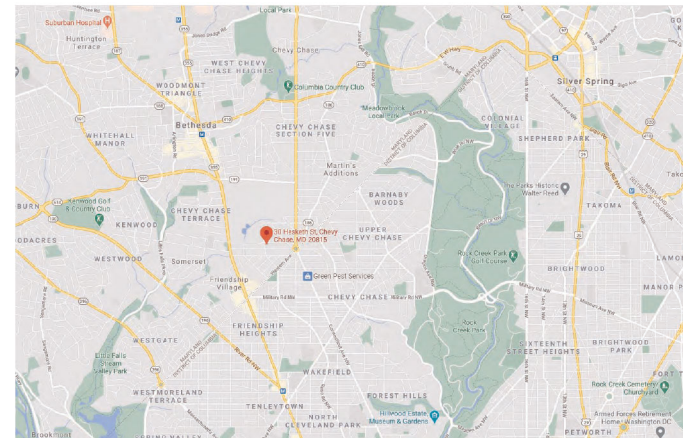
[illegible]



BUILDING COVERAGE:
 EXIST BUILDING COVERAGE: 2,130 SF
 PROPOSED BUILDING ADDITION: + 98 SF
 PROPOSED BUILDING COVERAGE: 2,228 SF
 PROPOSED BLDG COV. PERCENTAGE = 20% (35% MAX)
 NET INCREASE BUILDING COVERAGE: 98 SF
 EXIST: 66% (7,289 SF)
 PROPOSED: 65% (7,171 SF)

GENERAL NOTES:

ADDRESS: 30 Hesketh Street
 Chevy Chase, MD 20815
 LOCATION: LOT 24, BLOCK 3, CHEVY CHASE SECTION 3
 PLAT NUMBER: 106
 ZONING: R-60
 SETBACKS ALLOWED: FRONT - 25'
 LEFT SIDE - 7' RIGHT SIDE - 25' SETBACK
 (ABUTTING LOT FRONTS ON THE SIDE STREET)
 REAR - 25' SETBACK PER CHEVY CHASE
 VILLAGE (SECTION 2 REGULATION)
 SETBACKS PROVIDED: SEE PLAN
 LOT AREA: 11,046 SF
 BUILDING HEIGHT: 31'-1" TO PEAK OF ROOF
 25'-1" TO MEAN ROOF HEIGHT
 AREA OF DISTURBANCE: 540 SF
 VOLUME OF EXCAVATION: 24 CUBIC YARDS (216 CUBIC FEET)
 NOTE: NO CHANGE TO EXISTING GRADING



Vicinity Map

Donoghue Hacker Residence
 30 Hesketh Street Chevy Chase MD 20815

CONSTRUCTION SET
 © THEODORE BOCKE ARCHITECTS LLP

Site Plan

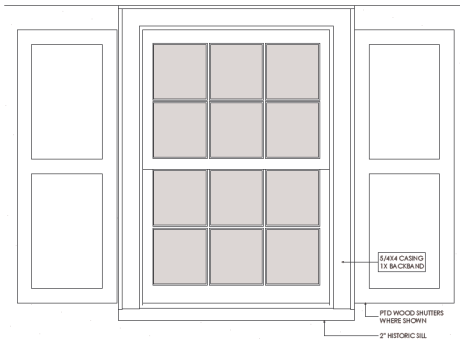
12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	YE Pricing Set
05-17-2022	Permit Revision

0002

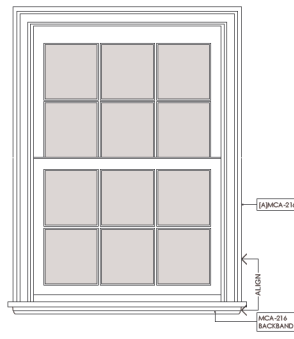
Interior Door Schedule							
ID	Qty	Size	Type	Leaf Thickness	Lites	Operation	Note
E101	1	(22-0x6-8	Two Panel	1 3/4"		Pocket	
E103	1	5-0x6-8	Cased Opening	1 3/4"			
E104	1	5-0x6-8	Cased Opening	1 3/4"			
E106	1	5-0x6-8	Cased Opening	1 3/4"			
E109	1	5-0x6-8	Cased Opening	1 3/4"			
E110	1	5-0x6-8	Cased Opening	1 3/4"			
E201	1	2-8x6-8	Two Panel	1 3/4"		Swing	
E202	1	2-8x6-8	Cased Opening	1 3/4"			
E203	1	2-4x6-8	Two Panel	1 3/4"		Swing	
E204	1	2-8x6-8	Two Panel	1 3/4"		Swing	
E204	1	2-4x6-8	Two Panel	1 3/4"		Swing	
E205	1	2-2x6-8	Shower	2-3/8"			
E102	1	2-4x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E105	1	2-4x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E106	1	2-4x4-4	Two Panel	1 3/4"		Swing	Replacement V.F.
E107	1	(22-2x6-8	French	1 3/4"	2W4H	Swing	Replacement V.F.
E206	1	3-0x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E207	1	3-0x6-8	Two Panel	1 3/4"		Pocket	Replacement V.F.
E208	1	2-2x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E209	1	2-4x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E210	1	(22-0x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E211	1	2-8x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E212	1	2-4x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E213	1	2-4x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E214	1	2-4x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E215	1	2-8x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.
E216	1	(22-6x6-8	Two Panel	1 3/4"		Swing	Replacement V.F.

Exterior Door Schedule								
ID	Qty	Type	Manufacturer	Model/Size	Lites	Transom Height	Lites	Note
D101	1	French	Loewen	2-6x7-6	See Elevation			Kitchen
D102	1	French	Loewen	2-6x7-6	See Elevation			Kitchen
D104	1	French	Loewen	2-10x6-9	3W3H			Family Room
D105	1	Glazed/Paneled	Loewen	3-3x6-9	3W3H			Entry
D106	1	French	Loewen	2-6x7-6	2W4H			Breakfast
D107	1	French	Loewen	2-6x7-6	2W4H			Breakfast
D108	1	French	Loewen	2-6x7-6	2W4H			Breakfast
D201	1	French	Loewen	(22-3x6-8	See Elevation			Bedroom 1
D101	1	Glazed/Paneled		4W2H				Garage
D102	1	Glazed/Paneled		4W2H				Garage

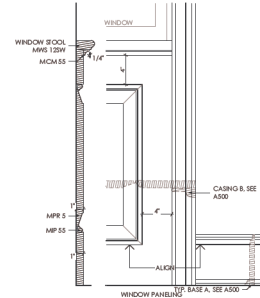
Window Schedule							
ID	Qty	Units	Model/Size	Type	Manuf.	Lites	Note
W101	1	1	20x4-5	Casement	Loewen	2W4H	Bar
W102	1	2	20x4-5 2W	Casement	Loewen	2W4H	Bar
W104	1	3	25x5-11 3W	Double Hung		4W3H	Office
W105	1	4	28x5-11 4W	Double Hung		4W3H	Office
W106	1	3	25x5-11 3W	Double Hung		4W3H	Office
W201	1	1	20x4-5	Double Hung	Loewen	2W2H/2W2H	Laundry
W202	1	1	20x4-5	Double Hung	Loewen	2W2H/2W2H	Laundry



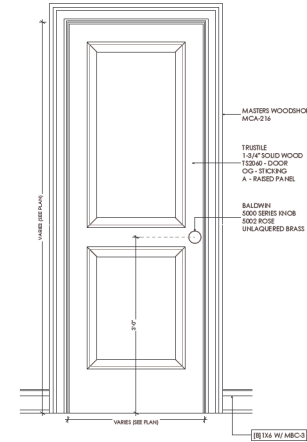
5 Typ. Window - Ext.
1" = 1'-0"



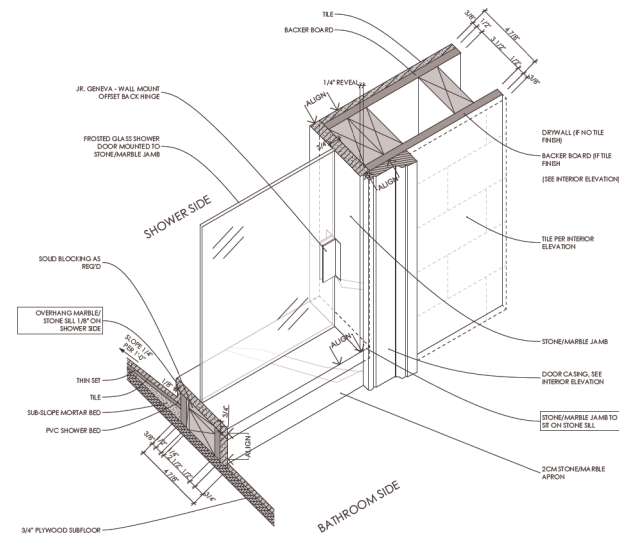
4 Typ. Window - Int.
1" = 1'-0"



3 Window Panel Detail
1 1/2" = 1'-0"



2 Typ. Interior Door
1" = 1'-0"



1 Shower Jamb Detail
3" = 1'-0"

Donoghue Hacker Residence
30 Hesketh Street Chevy Chase MD 20815

CONSTRUCTION SET
© THOMASLODGE PARTIALS 2019

Window &
Door Schedule

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision

0003

DESIGN NOTES

I. DESIGN LIVE LOADS FOR NEW WORK

A. ROOF LIVE LOAD

1. $P_g = 30 \text{ PSF}$; MIN ROOF DESIGN LOAD = 30 PSF

B. FLOOR LIVE LOADS

1. BEDROOMS = 30 PSF

C. WIND LOAD

1. $V_{100} = 13$ (3-second gust) = 115 MPH

D. SEISMIC LOAD

1. LATERAL FORCE SYSTEM: BRACED WOOD FRAMES

E. ASSUMED SOIL PARAMETERS

1. P AT REST = 80H

F. DEAD LOADS

1. ROOF = 15 PSF

G. WIND LOAD

1. TYPICAL FLOOR = 12 PSF

H. WOOD

1. ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE-PINE-FIR NO. 1 AND 2 PER

I. WOOD STUDS

1. WOOD STUDS SHALL BE SPRUCE-PINE-FIR STUD GRADE

J. WOOD FRAMING

1. WOOD FRAMING MEMBERS REST ON A CONCRETE OR MASONRY

K. WOOD DOING

1. WOOD DOING, SHEATHING AND WALL FRAMING IN THE EXTERIOR OF A

L. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

M. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

N. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

O. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

P. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

Q. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

R. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

S. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

T. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

U. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

V. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

W. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

X. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

Y. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

Z. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AA. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AB. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AC. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AD. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AE. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AF. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AG. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AH. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AI. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AJ. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AK. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AL. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AM. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AN. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AO. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AP. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AQ. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AR. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AS. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AT. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AU. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

AV. WOOD STUDS

1. WOOD STUDS SHALL BE 1 1/2 INCH DOCK APA STRUCTURAL (UNITED

I. PARALLEL STRAND LUMBER (P.S.L.) SHALL BE INSTALLED AND FASTENED PER THE

J. PROVIDE MIN. 3 BEARING FOR ALL LAMINATED VENEER AND STANDARD LUMBER

K. ALL WALL SHEATHING SHALL BE CONTINUOUS BETWEEN TOP PLATES AND

L. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH THE FOLLOWING

M. PROVIDE SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL BEARING

N. ALL MISCELLANEOUS WOOD CONNECTIONS SHALL BE FASTENED PER 2018 RC

O. NAILS INDICATED IN THE DRAWINGS, DETAILS AND NOTES SHALL BE DEFINED

P. DOUBLE JOISTS SHALL BE LOCATED BENEATH ALL PARTITIONS WHEN THE LENGTH

Q. JOIST HANDERS SHALL BE SIZED ACCORDING TO THE FOLLOWING SCHEDULE

R. 12" PRE-DRILL NOTCH CORNERS WITH A 1/4" CHAMFER TO REDUCE STRESS

S. SOME HANDERS MAY REQUIRE 156 NAILS - REFER TO THE SIMPSON

T. ALL NOTCHED STAR STRINGERS SHALL HAVE AN EFFECTIVE MINIMUM DEPTH OF

U. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI

V. REINFORCING STEEL SHALL BE DEFORMED BULET STEEL CONFORMING TO ASTM

W. CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE

X. ALL SLABS AND FOUNDATION WALLS EXPOSED TO WEATHER SHALL HAVE A

Y. PROVIDE CORNER BARS AT ALL WALL INTERSECTIONS WITH SIZE AND SPACING TO

Z. GROUT SHALL BE NON-SHRINKABLE, NON-METALLIC CONFORMING TO ASTM 1107

AA. PROVIDE KEYED JOINTS BETWEEN ALL NON-CONCRETE INTERSECTING

AB. PROVIDE COWLS WITH STANDARD BAR HOOK IN FOOTING TO MATCH DIAMETER

AC. CONCRETE PATCHWORK TOTALING LESS THAN 8 CUBIC YARDS MAY UTILIZE A

AD. BAGGED CONCRETE MIX WITH THE PRIOR WRITTEN APPROVAL OF THE

AE. CONCRETE PATCHWORK TOTALING LESS THAN 8 CUBIC YARDS MAY UTILIZE A

AF. BAGGED CONCRETE MIX WITH THE PRIOR WRITTEN APPROVAL OF THE

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IV. STRUCTURAL STEEL

A. ALL STRUCTURAL STEEL SHALL BE ASTM FABRICATED AND ERECTED IN

B. WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE STRUCTURAL

C. NO OPENINGS IN BEAMS OR COLUMNS ARE PERMITTED WITHOUT PRIOR

D. SPACING OF STRUCTURAL STEEL MEMBERS WHERE NOT DETAILED ON THE

E. ALL MISCELLANEOUS STEEL CONNECTIONS SHALL BE WELDED ALL AROUND WITH

F. PROVIDE A MINIMUM BEARING LENGTH OF 6" FOR ALL BEAMS SUPPORTED ON

G. ALL WORK SHALL COMPLY WITH THE AISC CODE "CODE OF STANDARD PRACTICE

H. ALL MEANS AND METHODS OF SAFELY REMOVING ALL EXISTING CONSTRUCTION

I. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL TEMPORARY SHORING

J. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN OF AND CONSTRUCTION OF THE REQUIRED

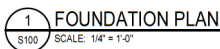
K. INSPECTION AND TESTING OF ALL NEW STRUCTURAL FILL WITH REGISTERED

L. SUBMITTED TO ARCHITECT STATING COMPLIANCE OR NONCOMPLIANCE WITH

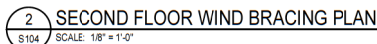
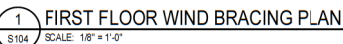
M. IF FOOTINGS ARE NOT TO BE POURED THE DATE OF EXCAVATION, FOOTING

N. TRENCHES SHALL BE BACKFILLED WITH CLEAN CONCRETE IMMEDIATELY UPON

O. PERMITTER DRAW THE SHALL CONSIST OF 4-INCH DIAMETER CORRUGATED



\$100

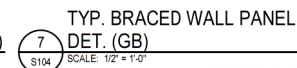
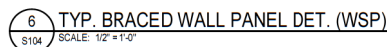
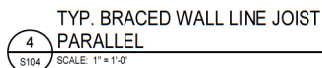
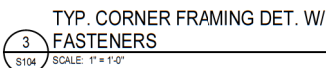


1. ——— INDICATES A BRACED WALL LINE WITH BRACED WALL PANELS AS INDICATED BY PANEL CALLOUT (B) AND THE BRACED WALL PANEL CALLOUT KEY.
2. ALL EXTERIOR WALLS SHALL BE CONTINUOUSLY SHEATHED WITH CORNER NAILING PER DETAIL 32104
3. ● DESIGNATES THE END OF A BRACED WALL LINE
4. ALL BRACED WALL PANELS TO BE SECURED TO THE STRUCTURE ABOVE AND BELOW PER DETAILS
5. ALL BRACED WALL PANELS ARE 4'-0" U.O.

BWL LABEL
PRESCRIPTIVE BRACING METHOD USED
LENGTH OF BWP REQUIRED
LENGTH OF BWP PROVIDED

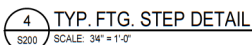
WSP = WOOD STRUCTURAL PANEL
DS-GB = DOUBLE SIDED GYPSUM BOARD PANEL

1 = WSP PANEL PER DETAIL 6/S104



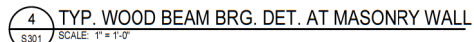
Linton Engineering, L.L.C.
46090 Lake Center Plaza
Suite 309
Potomac Falls, VA 20165
(P) 571.323.0320

S104



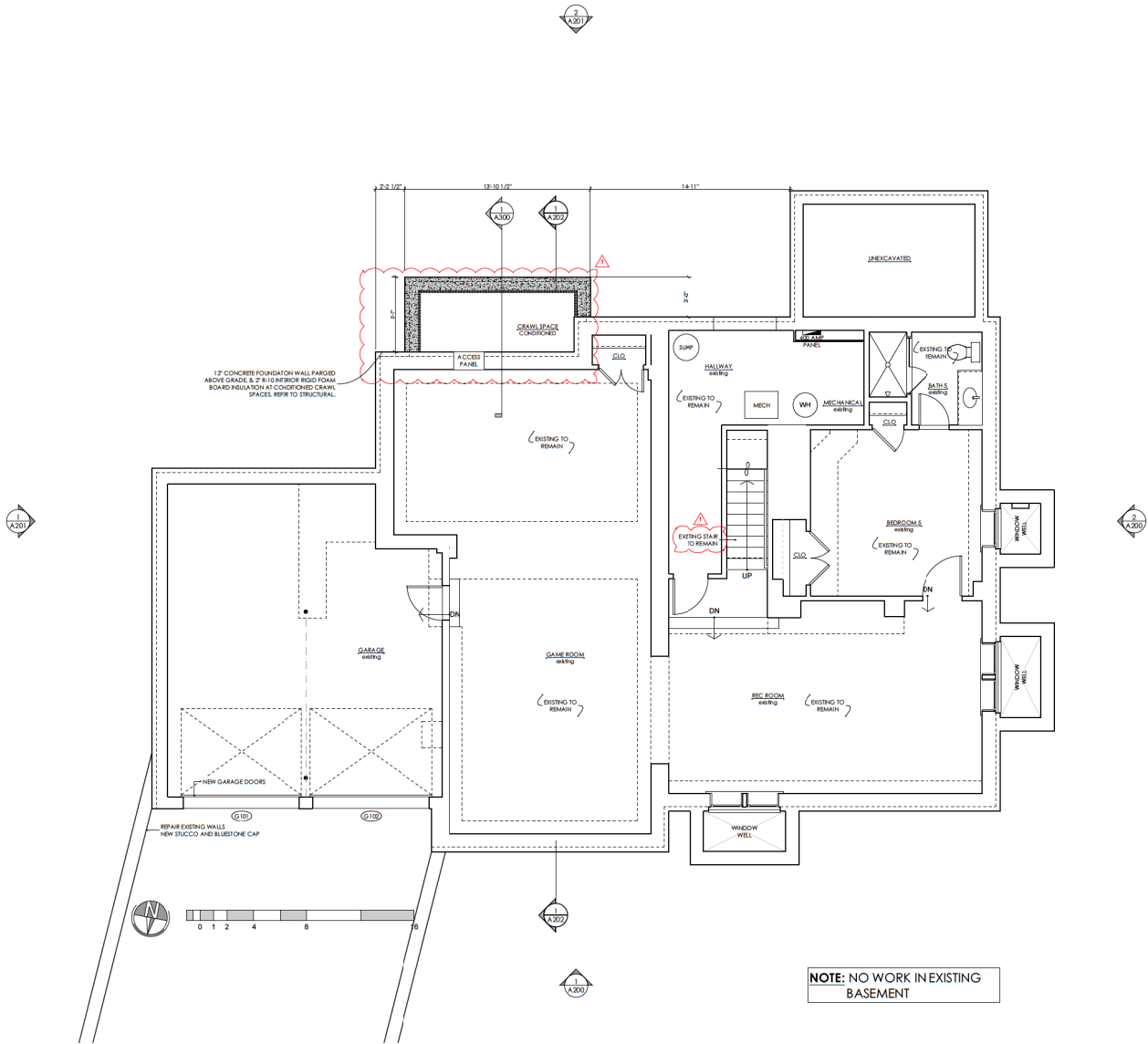
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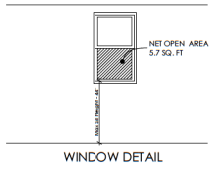
LE Project # 21-042 LE Project Engineer: GJ

80



note *

ALL BEDROOM (i.e. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (IEC 2015.3.10). THE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A CLEAR HEIGHT OF 20 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (IEC 2015.3.10).



- GENERAL NOTES:**
1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING.
 2. VERIFY ALL EXISTING RISER AND TREAD DIMENSIONS IN THE FIELD.
 3. ALL SMOKE/CO CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DISCONNECT CIRCUIT WHEN CONNECTED & PROVIDED WITH BATTERY BACKUP.
 4. PROVIDE CARBON MONOXIDE ALARMS PER RES.1.
 5. ALL STAIRS HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R31.1 AND R31.2 OF THE 2015 IBC.
 6. SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
 7. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" REQUIREMENTS.
 8. ALL ANGLES ARE 90 AND OR 45 UNLESS NOTED OTHERWISE.
 9. REFER TO EXISTING ELEVATIONS & ROOM WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS.
 10. ALL DOOR DIMENSIONS GIVEN IN FEET AND INCHES.
 11. ALL INTERIOR DOORS & CASED OPENINGS THAT ARE NOT DIMENSIONED TO CENTER LINE SHALL BE CENTERED IN THE WALL OR HELD MIN. DISTANCE FROM CORNER FOR COMPLETE CAPPING UNDO.
- DENOTES EXISTING WALLS
--- DENOTES PROPOSED WALLS

- TYPICAL CONSTRUCTION NOTES**
- 1A. TYP. ROOF/CEILING CONSTRUCTION**
ALASKAN CEDAR SHAKES OVER CEDAR BREATHER ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD A VALETS EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH 1/4" CLIPS. SEE FRAMING PLANS FOR RAFTER SIZE/SPACING. 8-4" OPEN CELL SPRAY FOAM INSULATION.
- 1B. TYP. LOW SLOPE METAL ROOF**
STANDING SEAM FINISHED METAL ROOF ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALETS EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH 1/4" CLIPS. SEE FRAMING PLANS FOR RAFTER SIZE/SPACING. 8-4" OPEN CELL SPRAY FOAM INSULATION (EXCEPT AT FORCHES).
- 2A. TYP. EXTERIOR WALL CONSTRUCTION A**
CEMENTITIOUS LAP SIDING ON 1/2" EXTERIOR SHEATHING WITH TYPAR OR EQUIVALENT HOUSEWRAP. 2X6 STUD WALL WITH 8-1/2" OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.
- 2B. EXTERIOR WALL CONSTRUCTION B**
1" CEMENTITIOUS STUCCO TO MATCH EXISTING WITH (2) LAYERS WEATHER RESISTIVE BARRIER OVER TYPAR OR EQUIVALENT HOUSEWRAP ON 1/2" EXTERIOR SHEATHING. 2X6 STUD WALL WITH 8-1/2" OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.
- 2C. TYPICAL FOUNDATION WALL**
1" CEMENTITIOUS STUCCO TO MATCH EXISTING WITH (2) LAYERS WEATHER RESISTIVE BARRIER OVER TYPAR OR EQUIVALENT HOUSEWRAP ON 1/2" EXTERIOR SHEATHING. 2X6 STUD WALL WITH 8-1/2" OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.
- 3A. TYP. FLOOR CONSTRUCTION**
3/4" 18G PLYWOOD SUBFLOOR ADVANTRECH OR APPROVED EQUAL (GLUED AND NAILING) 2X OR 1X WOOD JOISTS FOR STRUCTURAL WITH 1/2" GYP. SHE FRAMING PLANS FOR SIZE AND SPACING. 8-1/2" 18 FRAMING BLOCKING AND 8-1/4" AT CANTILEVER/OVERHANGS.
- 4. TYP. INTERIOR WALL CONSTRUCTION**
1/2" GYP. WALL BOARD ON 2X OR 2X 1/2 STUDS (SEE PLANS) @ 16" O.C. (UNCL) PRESSURE TREATED 2X AT BATHROOM. MOISTURE RESISTANT GREEN BOARD AT ALL BATHROOM, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

NOTE:

SEE TABLE 1 ON SHEET 0001 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.

SEE TABLE 2 ON SHEET 0002 FOR ALL PENETRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

NOTE: NO WORK IN EXISTING BASEMENT

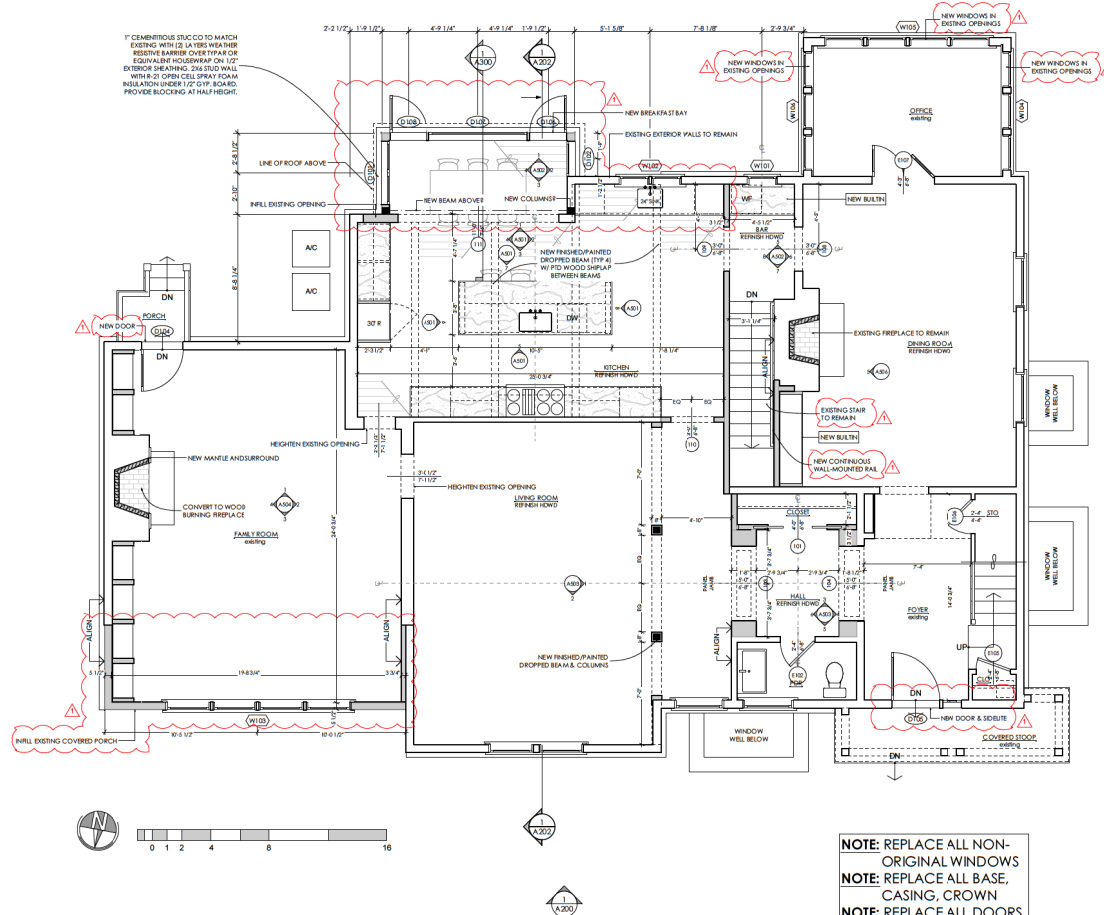
1 Proposed Basement Plan/New Work
1/4" = 1'-0"

Donoghue Hacker Residence
30 Hestern Street Chevy Chase MD 20815

CONSTRUCTION SET
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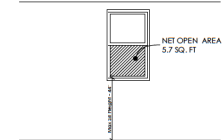
Proposed Basement Floor Plan/New Work	
12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision

A100



NOTE: *

ALL BEDROOM (E. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (RC 2015.3.10). THE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A CLEAR HEIGHT OF 20 INCHES AND A CLEAR WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (RC 2015.3.10).



GENERAL NOTES:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING.
2. VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
3. ALL SMOKE/CO CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DISCONNECT CIRCUIT WHEN CONNECTED & PROVIDED WITH BATTERY BACKUP.
4. PROVIDE CARBON MONOXIDE ALARMS PER RES. 1.
5. ALL STAIRS HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R101 AND R102 OF THE 2015 IRC.
6. SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
7. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" X 4" ANGLES ARE 90 AND 45 UNLESS NOTED OTHERWISE.
8. REFER TO EXTERIOR ELEVATIONS & DOOR/WINDOW SCHEDULE FOR WINDOW HEAD HEIGHTS.
9. ALL DOOR DIMENSIONS GIVEN IN FEET AND INCHES.
10. ALL INTERIOR DOORS & CASED OPENINGS THAT ARE NOT DIMENSIONED TO CENTER LINE SHALL BE CENTERED IN THE WALL OR HELD MIN. DISTANCE FROM CORNER FOR COMPLETE CASING UNDO.

--- EXISTING WALLS

--- PROPOSED WALLS

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

ALASKAN CEDAR SHAKES OVER CEDAR BREATHER ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD. VALLEY, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH 1/4" CLIPS. SEE FRAMING PLANS FOR RAFTER SIZE/SPACING. 8-41" OPEN CELL SPRAY FOAM INSULATION (EXCEPT AT PORCHES).

1B. TYP. LOW SLOPE METAL ROOF

STANDING SEAM FINISHED METAL ROOF ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEY, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8" PLYWOOD WITH 1/4" CLIPS. SEE FRAMING PLANS FOR RAFTER SIZE/SPACING. 8-41" OPEN CELL SPRAY FOAM INSULATION (EXCEPT AT PORCHES).

2A. EXTERIOR WALL CONSTRUCTION A

CEMENTITIOUS LAF SIDING ON 1/2" EXTERIOR SHEATHING WITH TYPAR OR EQUIVALENT HOUSEWRAP. 2X6 STUD WALL WITH 8-21" OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.

2B. EXTERIOR WALL CONSTRUCTION B

1" CEMENTITIOUS STUCCO TO MATCH EXISTING WITH (2) LAYERS WEATHER RESISTIVE BARRIER OVER TYPAR OR EQUIVALENT HOUSEWRAP ON 1/2" EXTERIOR SHEATHING. 2X6 STUD WALL WITH 8-21" OPEN CELL SPRAY FOAM INSULATION UNDER 1/2" GYP. BOARD. PROVIDE BLOCKING AT HALF HEIGHT.

2C. TYPICAL FOUNDATION WALL

1" CONCRETE FOUNDATION WALL FARGED ABOVE GRADE, & 2'-0" INTERIOR RIGID FOAM BOARD INSULATION AT CONDITIONED CRAWL SPACES. REFER TO STRUCTURAL.

3A. TYP. FLOOR CONSTRUCTION

3/4" 18G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILFAST) 2X OR 1X WOOD JOISTS FOR STRUCTURAL WITH 1/2" GYP. BOARD. SEE FRAMING PLANS FOR SIZE AND SPACING. 8-21" R PERIMETER BLOCKING AND 8-19" AT CANTILEVER/OVERHANGS.

4. TYP. INTERIOR WALL CONSTRUCTION

1/2" GYP. WALL BOARD ON 2X OR 2X4 STUDS (SEE PLANS) @ 16" O.C. (UNLESS OTHERWISE NOTED). ALL INTERIOR MOUNTED RESISTANT GREEN BOARD AT ALL BATHROOM, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

NOTE:

SEE TABLE 1 ON SHEET 002 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.

SEE TABLE 2 ON SHEET 002 FOR ALL PENETRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

NOTE: REPLACE ALL NON-ORIGINAL WINDOWS

NOTE: REPLACE ALL BASE, CASING, CROWN

NOTE: REPLACE ALL DOORS

Donoghue Hacker Residence

30 Hickory Street Chevy Chase MD 20815

CONSTRUCTION SET

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Proposed First Floor Plan/New Work

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision

A101



NOTE: REPLACE ALL NON-ORIGINAL WINDOWS
NOTE: REPLACE ALL BASE, CASING, CROWN
NOTE: REPLACE ALL DOORS

Diagram illustrating a window detail. The window is shown with a shaded area labeled "NET OPEN AREA 5.7 SQ. FT." and a dimension line indicating the "SILL HEIGHT = 48".

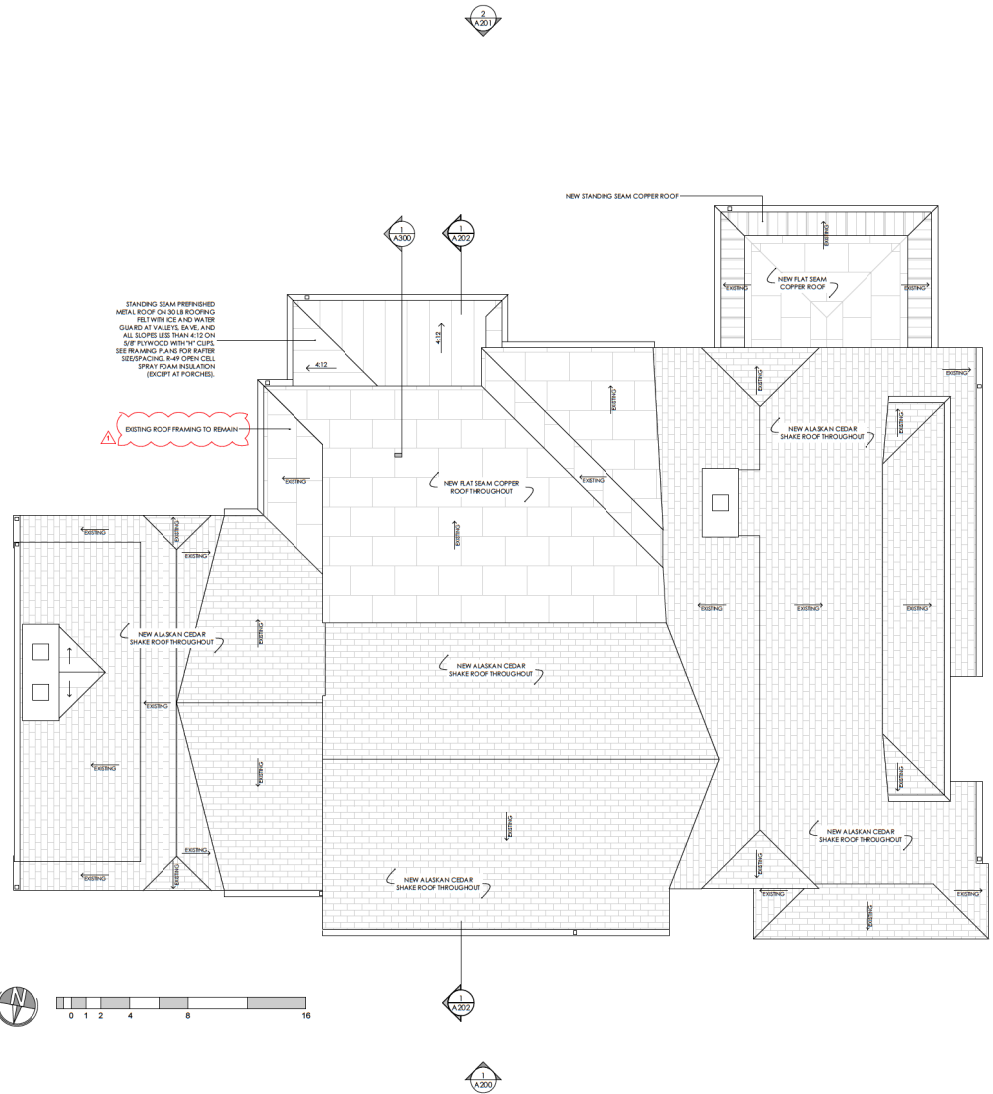
1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING.
2. VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
3. ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HAND-HELD OR DECEASED CIRCUIT, INTERCONNECTED & PROVIDED WITH BATTERY BACKUP.
4. PROVIDE CARBON MONOXIDE ALARM PER R315.1.
5. ALL STAIR HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R310.1 AND R312.2 OF THE 2015 IBC.
6. SEE FRAMING PLANS FOR COORDINATION OF POST SUBMITTANCE.
7. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2" X 8" AND ANGLES ARE 90 OR 45 UNLESS NOTED OTHERWISE.
8. REFER TO EXTERIOR ELEVATIONS & DOOR / WINDOW SCHEDULE FOR FINISHES.
9. ALL DOOR DIMENSIONS GIVEN IN FEET AND INCHES.
10. ALL INTERIOR DOORS & CASED OPENINGS THAT ARE NOT DIMENSIONED TO CENTER LINE SHALL BE CENTERED IN THE WALL OR HELD MAIL DISTANCE FROM CORNER FOR COMPLETE CASING, U.S.O.

[illegible]

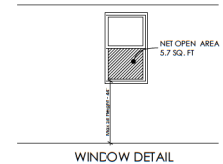
NOTE:
SEE TABLE 1 ON SHEET 0001 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.
SEE TABLE 2 ON SHEET 0002 FOR ALL PENETRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

Proposed Second Floor Plan/New Work	
12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision

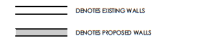
A102



NOTE *
ALL BEDROOM (E. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (IRC 2015.3.10). THE WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. WITH A CLEAR HEIGHT OF 20 INCHES AND A CLEAR WIDTH OF 57 INCHES. THE MAXIMUM HEIGHT OF THE CLEAR OPENING FROM THE FLOOR IS 44 INCHES (IRC 2015.3.10)



- GENERAL NOTES:**
1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING.
 2. VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
 3. ALL SMOKE/CO CARBON MONOXIDE DETECTORS TO BE HARDWIRED TO DISCONNECT CIRCUIT WHEN CONNECTED & PROVIDED WITH BATTERY BACKUP.
 4. PROVIDE CARBON MONOXIDE ALARMS PER KBLS.
 5. ALL STAIRS HANDRAILS AND GUARDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R51.1 AND R51.2 OF THE 2015 IRC.
 6. SEE FRAMING PLANS FOR COORDINATION OF POST REQUIREMENTS.
 7. ALL INTERIOR PARTITIONS NOT DIMENSIONED SHALL BE 3 1/2\"/>



- TYPICAL CONSTRUCTION NOTES**
- 1A. TYP. ROOF/CEILING CONSTRUCTION**
ALASKAN CEDAR SHAKE OVER CEDAR BREATHER ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8\"/>

1B. TYP. LOW SLOPE METAL ROOF
STANDING SEAM PREFINISHED METAL ROOF ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 5/8\"/>

2A. EXTERIOR WALL CONSTRUCTION A
CEMENTITIOUS LAF SIDING ON 1/2\"/>

2B. EXTERIOR WALL CONSTRUCTION B
1\"/>

2C. TYPICAL FOUNDATION WALL
1\"/>

3A. TYP. FLOOR CONSTRUCTION
3/4\"/>

4. TYP. INTERIOR WALL CONSTRUCTION
1/2\"/>

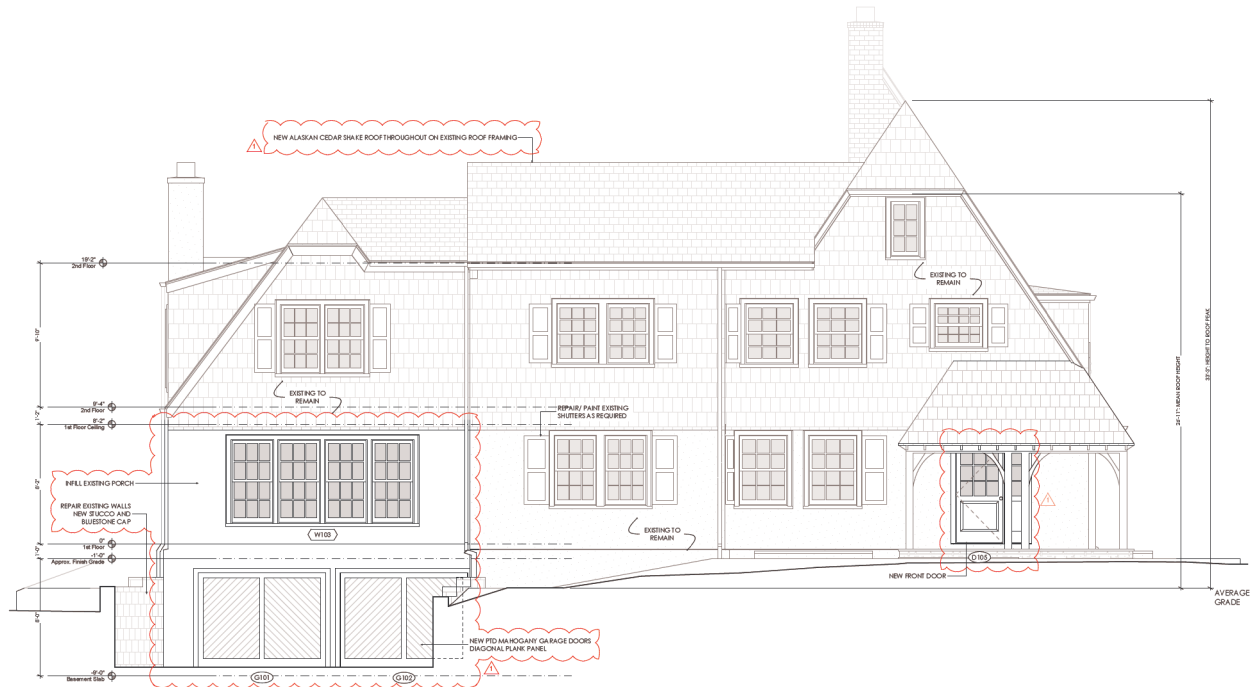
NOTE:
SEE TABLE 1 ON SHEET 0001 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.
SEE TABLE 2 ON SHEET 0002 FOR ALL PENETRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

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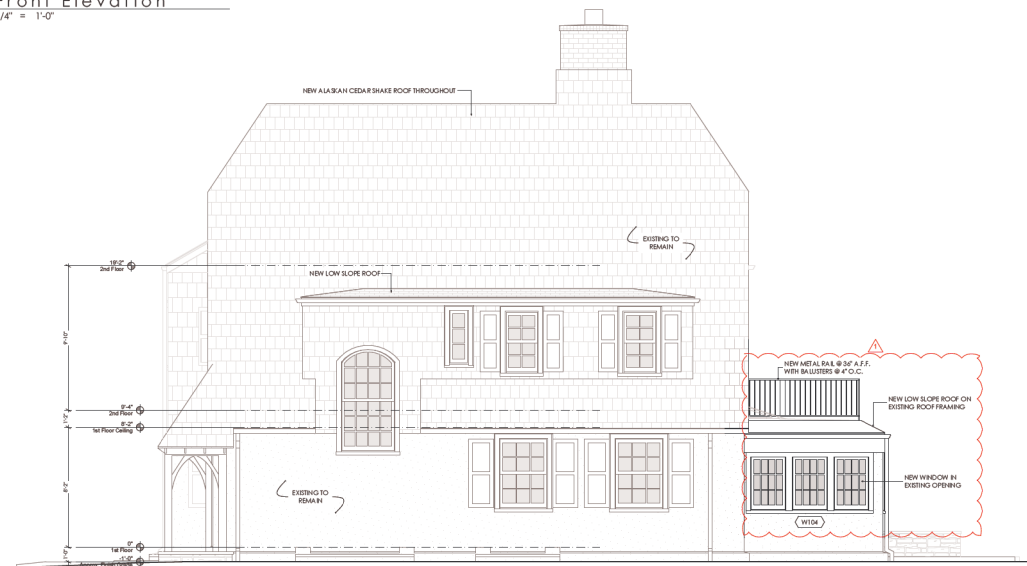
CONSTRUCTION SET
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Proposed Roof Plan/New Work

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
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01-04-2022	VE Pricing Set
05-17-2022	Permit Revision



1 Front Elevation
1/4" = 1'-0"



2 Right Elevation
1/4" = 1'-0"

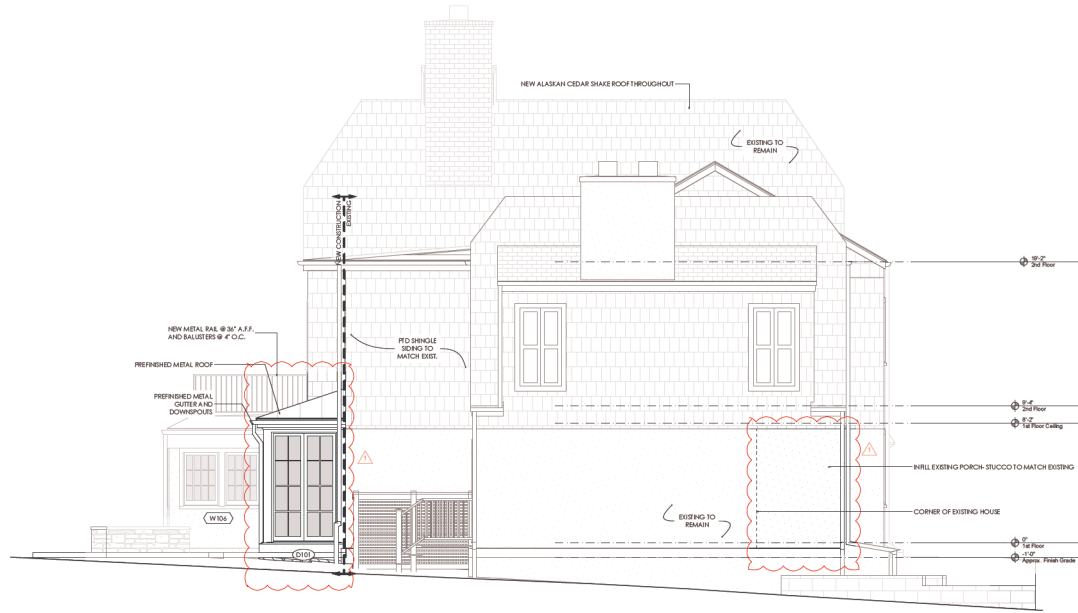
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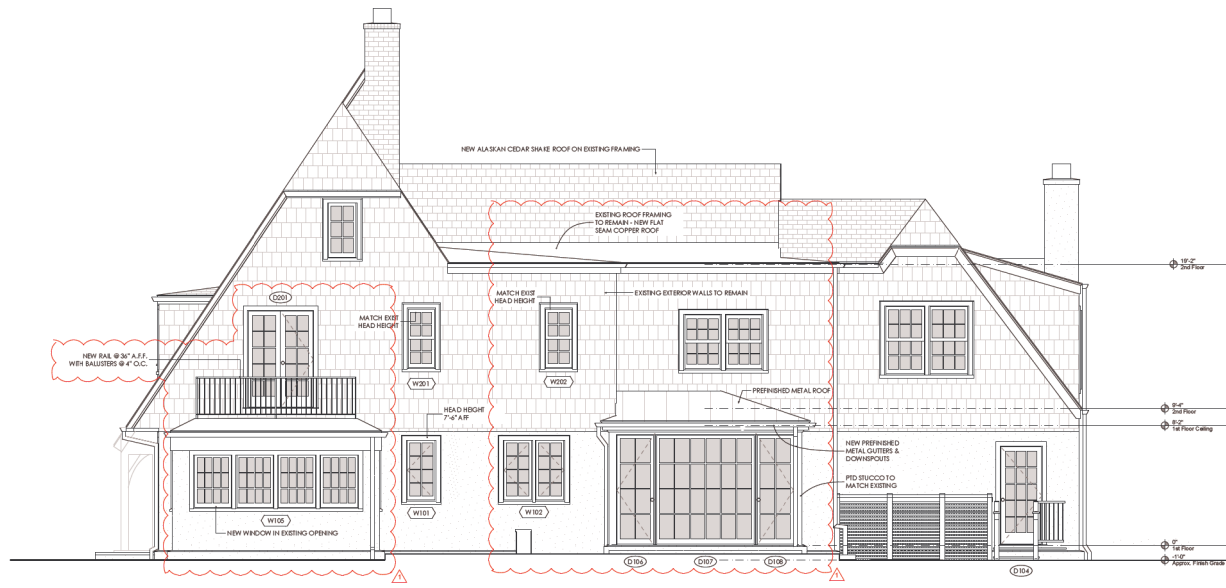
Proposed
Northwest &
Northeast
Elevation

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	YE Pricing Set
05-17-2022	Permit Revision

A200



1 Left Elevation
1/4" = 1'-0"



2 Rear Elevation
1/4" = 1'-0"

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Proposed
Southwest &
Southeast
Elevation

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	YE Pricing Set
05-17-2022	Permit Revision

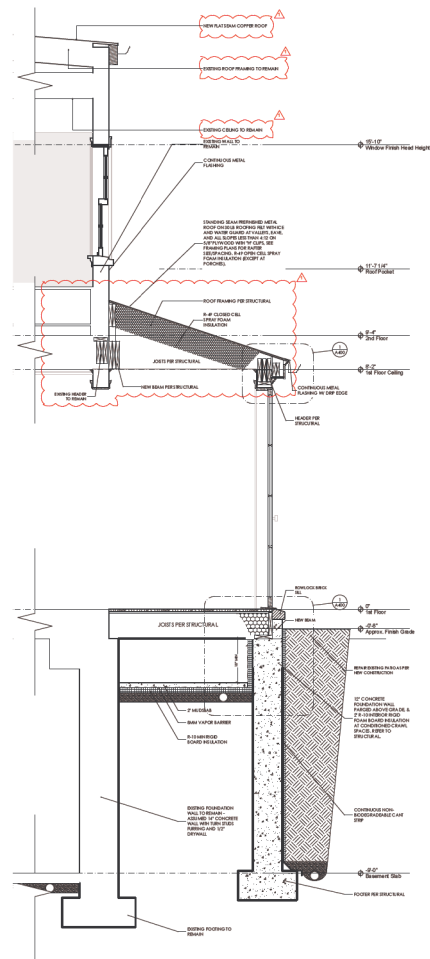
A201



SEE TABLE 1 ON SHEET 0X01 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.

SEE TABLE 2 ON SHEET 0X02 FOR ALL PENETRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

A202



1 Wall Section @ Rear Addition
1/2" = 1'-0"

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

ALASKAN CEDAR SHAKES OVER CEDAR BREATHER ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 8\"/>

1B. TYP. LOW SLOPE METAL ROOF

STANDING SEAM PREPARED METAL ROOF ON 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVE, AND ALL SLOPES LESS THAN 4:12 ON 8\"/>

2A. EXTERIOR WALL CONSTRUCTION A

CEMENTIOUS LAP SIDING ON 1/2\"/>

2B. EXTERIOR WALL CONSTRUCTION B

1\"/>

2C. TYPICAL FOUNDATION WALL

12\"/>

3A. TYP. FLOOR CONSTRUCTION

3/4\"/>

4. TYP. INTERIOR WALL CONSTRUCTION

1/2\"/>

NOTE:

SEE EXTERIOR ELEVATIONS FOR WINDOW & DOOR HEIGHTS

NOTE:

SEE TABLE 1 ON SHEET 0001 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.

SEE TABLE 2 ON SHEET 0001 FOR ALL FENESTRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

AIR SEALING NOTES:

GLUE DOWNS TO TOP PLATE OF WALL
GLUE BREATHING TO TOP AND BOTTOM PLATE OF WALL
GLUE BREATHING TO ALL PLATE
SEAL ALL PLATE ON GILL CASSET
SEAL ALL SEAMS ON INTERIOR SHEATHING
SEE TABLE 3 ON SHEET 0001 FOR ADD'L AIR SEALING NOTES

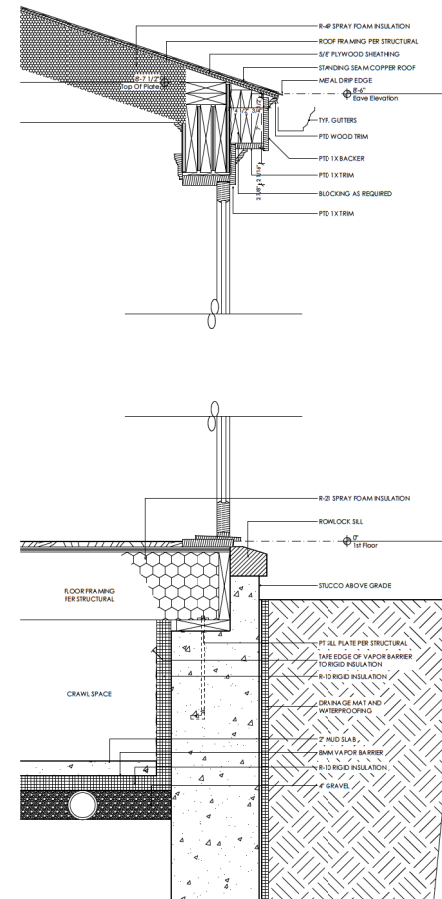
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Wall Sections

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision

A300



1 Breckfast Bay Detail
1 1/2" = 1'-0"

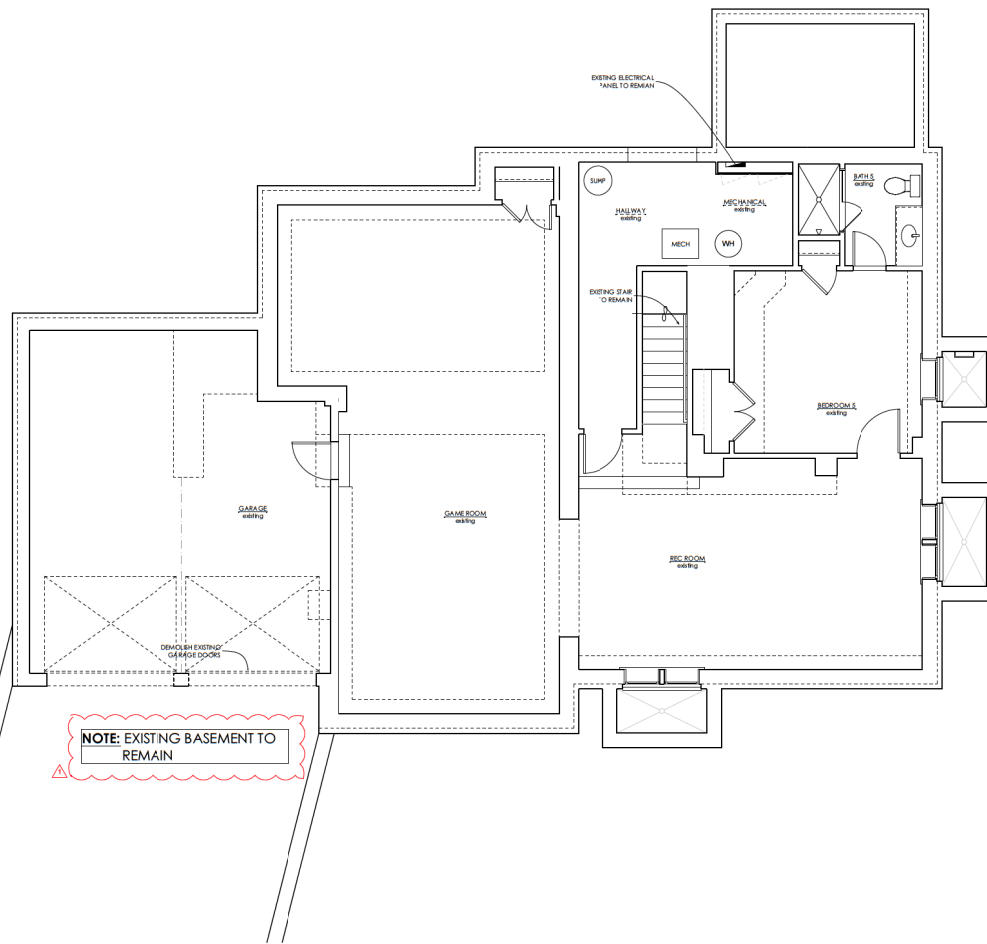
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Exterior Details

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision

A400



1 Basement Demolition Plan
1/4" = 1'-0"

	DEMOTES EXISTING WALLS
	DEMOTES WALLS TO BE DEMOLISHED

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CONSTRUCTION SET
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Existing Basement Floor Plan/Selective Demo	
12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
04-13-2021	Permit Set
05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision

D000

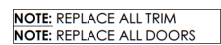


 DENOTES EXISTING WALLS
 DENOTES WALLS TO BE DEMOLISHED

CONSTRUCTION SET

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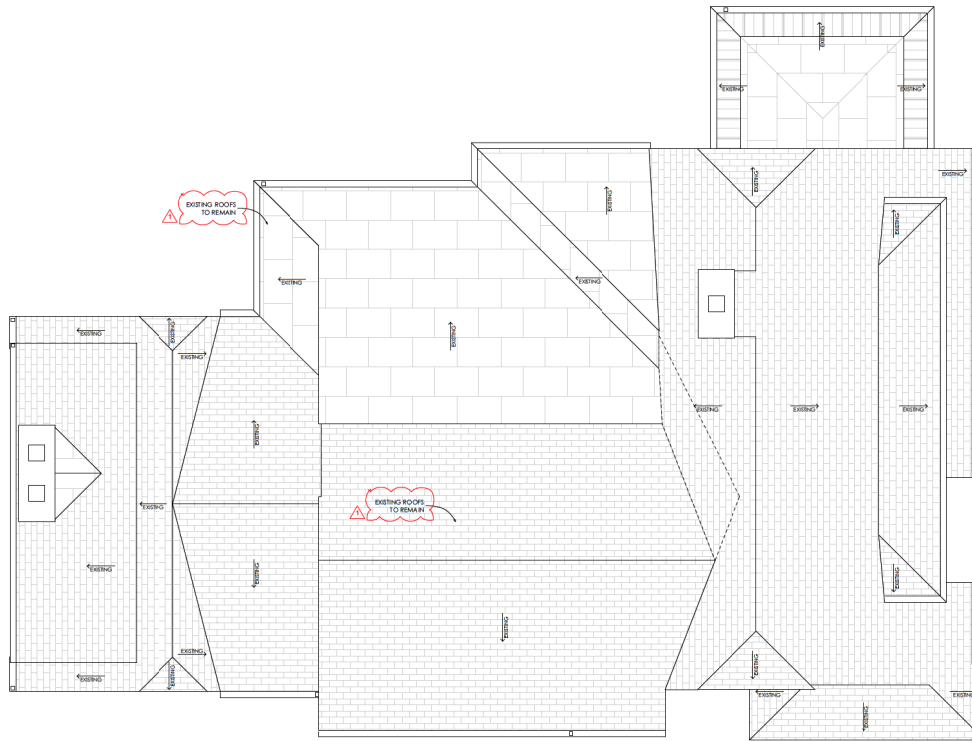
D001



 DENOTES EXISTING WALLS
 DENOTES WALLS TO BE DEMOLISHED

Existing Second Floor Plan/ Selective Demo	
05-2019	Existing Conditions
05-2019	Preliminary Pricing
03-2021	Permit Set
08-2021	CD Set
04-2022	VE Pricing Set
07-2022	Permit Revision

D002



1 Roof Demolition Plan
1/4" = 1'-0"

DEMOTES EXISTING WALLS

DEMOTES WALLS TO BE DEMOLISHED

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Existing Roof Plan/Selective Demo

12-05-2019	Existing Conditions
09-15-2019	Preliminary Pricing
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05-28-2021	CD Set
01-04-2022	VE Pricing Set
05-17-2022	Permit Revision

D003