

BACKGROUND:

The applicants previously appeared before the Commission for a preliminary consultation at the March 2, 2022 HPC meeting.¹

PROPOSAL:

The applicants propose partial demolition and construction of new second story addition and deck at the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction at properties within the Linden Historic District, several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the *Linden Historic District Master Plan Amendment (Amendment)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

¹ Link to the March 2, 2022 preliminary consultation staff report: <https://montgomeryplanning.org/wp-content/uploads/2022/02/ILB-2106-Salisbury-Road-Silver-Spring-Preliminary-Consultation.pdf>
 Link to March 2, 2022 HPC meeting audio/video transcript:
http://mncppc.granicus.com/MediaPlayer.php?publish_id=f9e5e2b8-9b0e-11ec-972b-0050569183fa

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Linden Historic District Master Plan Amendment

The *Amendment* includes the following statement, which is relevant to this case:

Non-contributing Resources - should be given the most lenient level of scrutiny in reviewing proposed alterations and may be considered for demolition if requested by owner.

The first four of the following structures are all post-World War II, Ranch-style houses:

1. 2106 Salisbury Road
2. 2108 Salisbury Road
3. 2109 Salisbury Road
4. 2110 Salisbury Road
5. 2210 Linden Lane - house under construction [at the time of the 1993 amendment]

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

STAFF DISCUSSION:

The subject property is a 1959 Ranch-style Non-Contributing Resource within the Linden Historic District. The adjacent properties include two 1959 Ranch-style Non-Contributing Resources to the west (right of the subject property from the street) and an 1883 Queen Anne-style Outstanding Resource to the east (left of the subject property from the street). The confronting properties include two 1997 infill houses to the northeast, a 2014 house (which replaced a Ranch-style Non-Contributing Resource noted in the *Amendment* and was approved by the Commission at the April 10, 2013 HPC meeting) to the north, and a 1906 Colonial Revival-style Outstanding Resource to the northwest.

The applicants propose partial demolition and construction of new second story addition and deck at the subject property. The applicants previously appeared before the Commission for a preliminary consultation at the March 2, 2022 HPC meeting. At the preliminary consultation, the Commission was generally supportive of the scale and massing and design of the proposed second story expansion, but recommended the following:

- Reducing the size of the proposed side cross gables and treating them as true dormers.
- Lowering the proposed front gable to the same height as the proposed side gables for a more consistent massing and design.

- Exploring replacement of the existing windows on the front elevation or breaking up the proposed new windows on the front elevation for consistency and to reduce the heavy appearance of the second story expansion.
- Exploring ways to reduce the “heavy” appearance of the proposed front gable on top of, and in relation to, the existing first story.

The applicants have revised their proposal and returned with a HAWP application. Specifically, the depth of the soffits and rake overhangs of the main roof have been increased by 1’, and those of the dormers have been increased by 6”. As noted in the application, the intention of this revision is to provide additional roof surface, visually separating the dormers from the exterior walls below, and ensuring that the dormers are perceived as true dormers, per the Commission’s recommendations. The revisions also include simplified trim details, visually lightening the appearance of the addition. On the east (left) elevation, a window at the top of the stairs has also been removed from the proposal, in response to privacy concerns expressed by the neighbor to the east.

In response to the Commission’s recommendations regarding the height and “heavy” appearance of the proposed front gable, the applicants have stated that, given that the footprint of the existing house is very modest, and the proposed second floor and attic are slightly smaller than the first floor, any reduction in the height or footprint of the proposed second floor addition is very challenging. The applicants explored reducing the size of the second floor to address the Commission’s comments, but they encountered challenges regarding code compliance. Specifically, the code required landings on the stairs to the second floor would have to be eliminated, and the ceiling height at the top of the attic stair would not be code compliant. The application also states that any reductions to the proposed second floor would also significantly impact the functionality of the second floor bedrooms, bathrooms, and laundry room.

Staff finds that the proposed revisions appropriately respond to the Commission’s comments, where feasible.

As noted in the *Amendment*, the subject property is a Non-Contributing Resource, and “... should be given the most lenient level of scrutiny in reviewing proposed alterations and may be considered for demolition if requested by owner.” Accordingly, the only questions of appropriateness and compatibility are height, scale and massing, and design, in relation to the streetscape of the surrounding historic district. Staff finds that the applicants have demonstrated that the proposal is appropriate and compatible in these respects via the submitted streetscape studies and three-dimensional views from different vantage points along the public right-of-way.

Staff continues to support the proposed style, finding that leniency should be exercised in reviewing the proposed alterations to this Non-Contributing Resource, in accordance with the *Amendment*. While the *Amendment* states that the Linden Historic District “... is characterized by late-19th century and early-20th century frame dwellings representing Gothic Revival, Second Empire, Queen Anne, Colonial Revival, and Bungalow styles of architecture,” the historic district exhibits a degree of eclecticism, with other styles of architecture, including Post-WWII Ranch-style houses. Staff notes that the Commission did not express any specific concerns regarding style and/or taking cues from the existing houses in the historic district at the preliminary consultation.

Staff’s support for the proposed style is further supplemented by Montgomery County Code Chapter 24A8 (c) and (d), which state:

- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style; and,
- (d) In the case of an application for work on an historic resource located within an historic district,

the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would *seriously* [emphasis added] impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district.

Additionally, staff finds that new construction that replicates, or is heavily influenced by, any one architectural style or period could create a false sense of historical development, contrary to *Standard #3*.

Staff also supports the proposed materials, which include: dimensional asphalt shingle roofing; painted wood vertical siding on the proposed new second floor; painted horizontal wood siding in the proposed gables (expanded side gables and proposed front and rear gables); painted wood band boards (including one at the existing eaveline); painted wood casement windows; and a flat roof awning above the front door. The existing fenestration on the first floor and basement level will be retained, along with the existing horizontal wood siding on the north (front) and south (rear) elevations, brick veneer siding on the side elevations, cast stone base on the north (front) elevation, and exposed parged foundation on the south (rear) and west (right) elevations.

After full and fair consideration of the applicant's submission, staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), (c), and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2* and *#3*, and *Linden Historic District Master Plan Amendment* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), (c) & (d), having found that the proposal is consistent with the *Linden Historic District Master Plan Amendment*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2* and *#3*.

and with the general condition that the applicant shall present the 3 electronic permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 991353
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Peter & Alison Cairns
Address: 2106 Salisbury Rd.
Daytime Phone: 301-347-6604

E-mail: _____
City: Silver Spring Zip: 20910
Tax Account No.: 13-01399932

AGENT/CONTACT (if applicable):

Name: Muse Kirwan Architects
Address: 7401 Wisconsin Ave. #500
Daytime Phone: 301-718-8118

E-mail: qgiroux@musekirwan.com
City: Bethesda Zip: 20814
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? ☒ Yes/District Name Linden Historic District
_____ No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

NO

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information. NO

Building Number: 2106 Street: Salisbury Road
Town/City: Silver Spring Nearest Cross Street: Warren St.
Lot: 32 Block: _____ Subdivision: 0133 Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input checked="" type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Quinn Buryx
Signature of owner or authorized agent

4/26/2022

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Peter & Alison Cairns 2106 Salisbury Road Silver Spring, MD 20910	Owner's Agent's mailing address Muse Kirwan Architects 7401 Wisconsin Ave. Suite 500 Bethesda, MD 20814
Adjacent and confronting Property Owners mailing addresses	
Thomas M. Kristie 9310 Brookville Road Silver Spring, MD 20910	Brett & Jennifer Howard 2115 Salisbury Road Silver Spring, MD 20910
Seth & Beverly Sobel 2109 Salisbury Road Silver Spring, MD 20910	Robin E. Brady 2108 Salisbury Road Silver Spring, MD 20910
Margaret W. Byrns 9302 Brookville Road Silver Spring, MD 20910	

Description of Property:

From staff discussion at 3/2/2022 Preliminary Consultation:

“The subject property is a 1959 Ranch-style Non-Contributing Resource within the Linden Historic District. The adjacent properties include two 1959 Ranch-style Non-Contributing Resources to the west and an 1883 Queen Anne-style Outstanding Resource to the east. The confronting properties include two 1997 infill houses to the northeast, a 2014 house (which replaced a Ranch-style Non-Contributing Resource noted in the Amendment and was approved by the Commission at the April 10, 2013 HPC meeting) to the north, and a 1906 Colonial Revival-style Outstanding Resource to the northwest.”

Description of Work Proposed:

Proposal presented at 3/2/2022 Preliminary Consultation:

“The applicants propose the following work items at the subject property:

- Demolition of the existing roof on the subject property house and construction of a one-and-a-half story expansion above.
 - The proposed expanded house will be entirely within the existing footprint.
 - Two large cross gables (one at the north/front elevation, and one at the south/rear elevation) will extend from the existing eaveline to the proposed new ridgeline.
- Construction of a new wooden deck at the south/rear and southeast (rear/left, as viewed from the public right-of-way of Salisbury Road) corner of the house.

The proposed materials include dimensional asphalt shingle roofing, painted wood vertical siding on the proposed new second floor, painted horizontal wood siding in the proposed gables (expanded side gables and proposed front and rear gables), painted wood band boards (including one at the existing eaveline), and painted wood casement windows. A new flat roof awing is also proposed above the front door.”

Description of response to 3/2/2022 Preliminary Consultation:

In response to the HPC’s preliminary review of the proposal, we have made modifications to address several of the suggestions offered by the HPC to make this a more compatible alteration to this non-contributing resource. A few points we want to clarify for this submission:

- The footprint of the existing home is very modest and the proposed second floor and attic are slightly smaller than the first floor. Also, as our new exhibits will show, the proposed elevations are smaller in height and we believe a better scale when compared to the previously approved HAWP for this property. The modest size of the existing home and our proposal, that does not increase the footprint of the existing home, has made any reductions in the footprint of the second floor and reductions in the height of the proposed roof very challenging.
- We carefully studied reducing the size of the second floor to address some of the comments from the preliminary consultation, however we ran into issues with the new stairs to the second floor and attic not having code required landings at the top of each stair nor code required

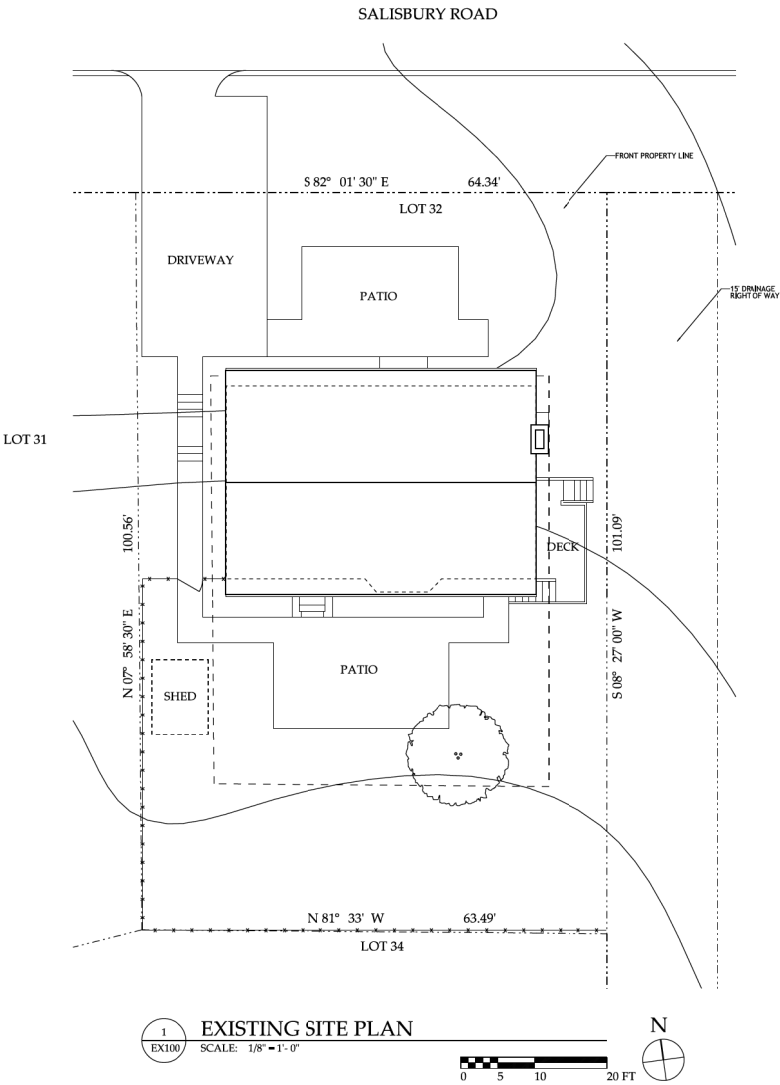
ceiling height at the top of the attic stair. In addition, reductions to the second floor also significantly impacted the functionality of the bedrooms, bathrooms, and the laundry room.

Thus we had to address the HPC's comments in alternative ways. The most significant changes to this revised design are that we have increased the depth of the soffits and rake overhangs of the main north-south roof by a foot, as well as the roofs and soffits of the dormers by six inches. We believe this results in the dormers reading more like dormers by visually separating them more from the existing first floor exterior walls with greater roof surface on the sides and below the dormers, as encouraged by the HPC during their deliberations at the preliminary consultation. We also have simplified some of the horizontal trim details which we believe visually lightens the facades also in response to the HPC's comments. Lastly we have removed the window on the East elevation at the top of the new stairs to the second floor in response to the East neighbor's concerns for visual privacy.

Also, in response to the HPC and staff recommendations we have provided three dimensional views of the proposal from different vantage points along Salisbury Road. We believe these illustrate the compatible nature of the proposal in the context of the new and historic two and a half to three story residences along Linden Lane as well as sets a compatible precedent for future proposals that may impact the height and scale of the remaining one story non-contributing homes on Linden Lane.

We want to thank the HPC and staff for their helpful comments that we believe have made this revised proposal an improvement on what was previously submitted. Our hope is that the revised proposal resolves most of the significant concerns the HPC raised at the preliminary consultation allowing the approval of a HAWP for this project.

RENOVATION & ADDITION TO 2106 SALISBURY RD. SILVER SPRING, MD, 20910



INDEX OF DRAWINGS

Sheet	Drawing Title
EX100	EXISTING SITE PLAN
EX101	EXISTING PLANS
EX201	EXISTING ELEVATIONS
D101	DEMOLITION PLANS

MUSE | KIRWAN
ARCHITECTS

ARCHITECTURE AND INTERIOR DESIGN
7401 Wisconsin Avenue, Suite 500, Bethesda, MD 20814
Phone 301.718.8118
www.musekirwan.com

RENOVATION OF & ADDITION TO THE
CAIRNS RESIDENCE

2106 SALISBURY RD. SILVER SPRING, MD, 20910

21.09

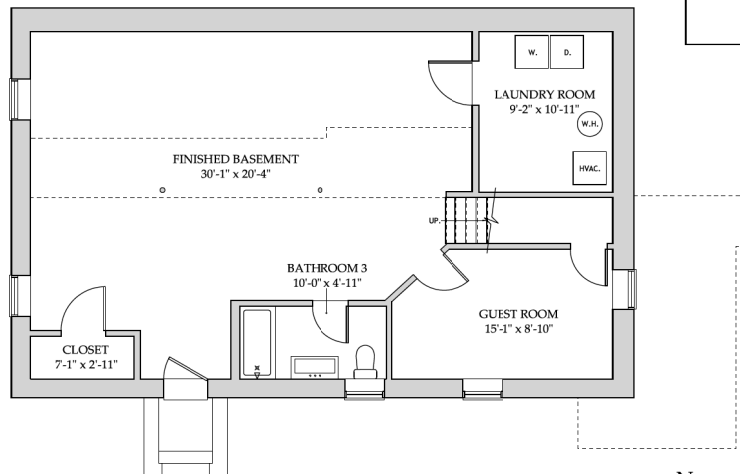
HAWP SUBMISSION
2022 APRIL 26

EXISTING SITE PLAN

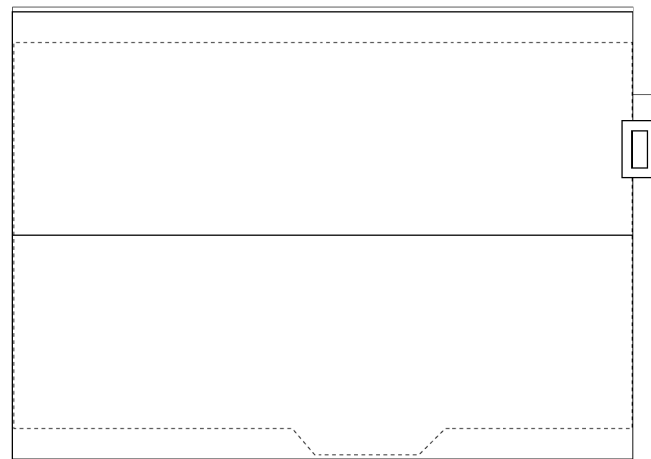
SCALE: AS NOTED

SHEET NO.

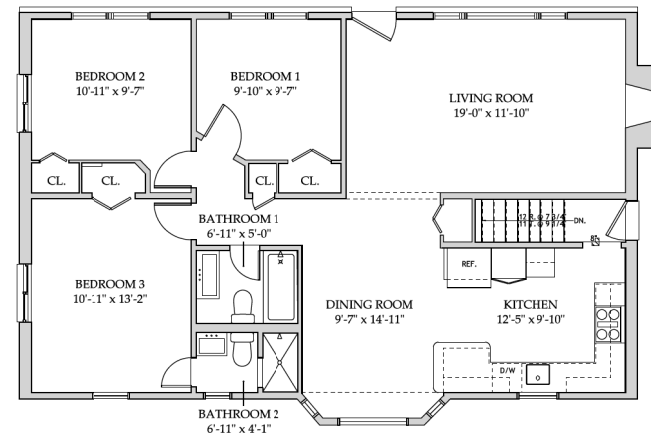
EX100



2 EXISTING BASEMENT PLAN
EX101 SCALE: 1/4" = 1'-0"



3 EXISTING ROOF PLAN
EX101 SCALE: 1/4" = 1'-0"

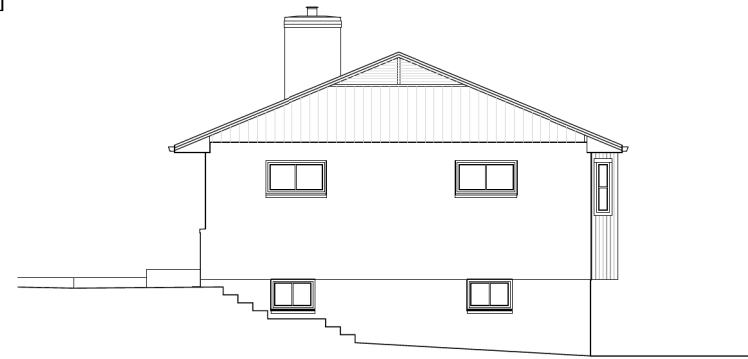


1 EXISTING FIRST FLOOR PLAN
EX101 SCALE: 1/4" = 1'-0"

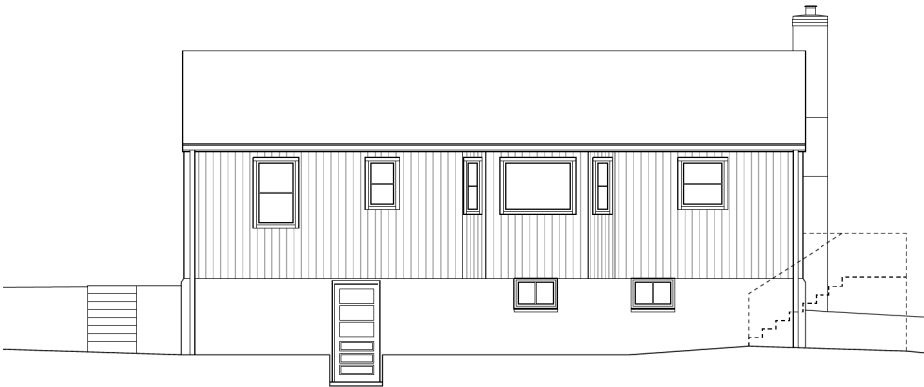




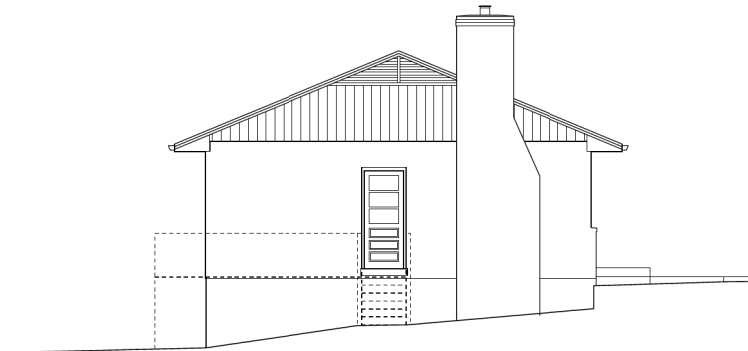
4
EX201
EXISTING ELEVATIONS - NORTH
SCALE: 1/4" = 1'-0"



3
EX201
EXISTING ELEVATION - WEST
SCALE: 1/4" = 1'-0"



2
EX201
EXISTING ELEVATIONS - SOUTH
SCALE: 1/4" = 1'-0"



1
EX201
EXISTING ELEVATION - EAST
SCALE: 1/4" = 1'-0"



RENOVATION & ADDITION TO
2106 SALISBURY RD.
SILVER SPRING, MD, 20910

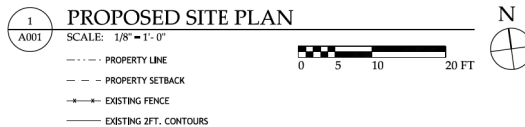
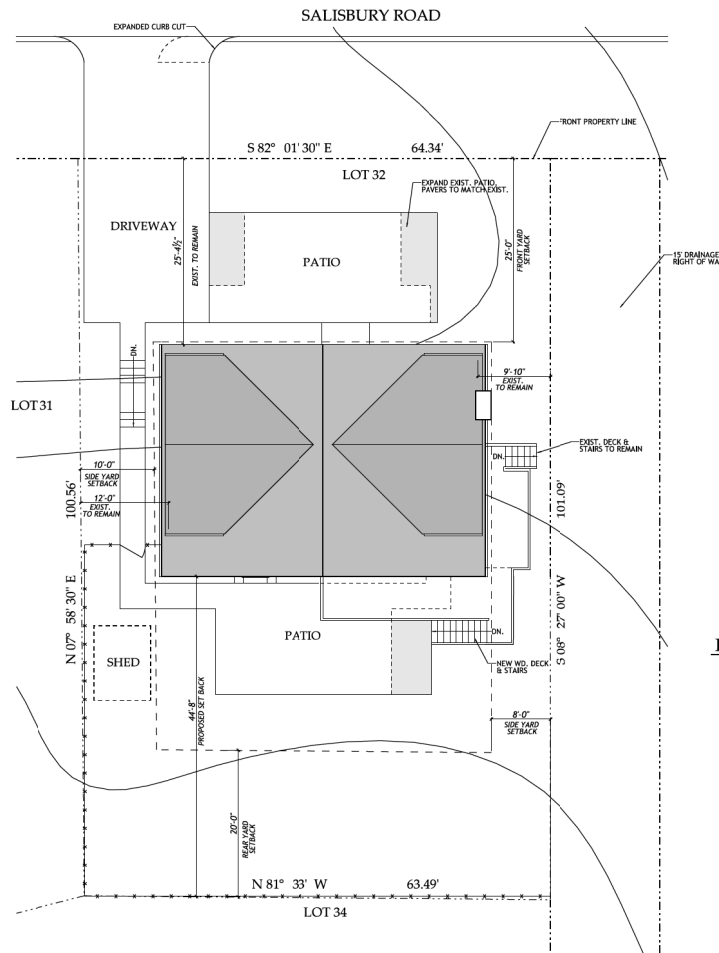
LIST OF ABBREVIATIONS

LOT DESCRIPTION: Tax Map GP61/ Subdivision 0058/ Block L/ Lot 6			
ADDRESS: 2106 Salisbury Rd., Silver Spring, MD 20910 (Montgomery)			
ZONE: R-60			
	ALLOWABLE	EXISTING	PROPOSED
LOT SIZE:	Min. 6,000 SF	6,444 SF	Existing to remain
LOT COVERAGE:	35% (2,648 SF)	20% (1,300 SF)	21.7% (1,400 SF)
PRINCIPAL BUILDING SETBACKS:	FRONT: 25 FT min.	26.38 FT.	Existing to remain
	SIDE: 8 FT min.	9.83 FT.	Existing to remain
	SUM OF SIDE SETBACKS: 20 FT min.	23.83 FT.	Existing to remain
PRINCIPAL BUILDING HEIGHT:	35 FT max. to highest point of roof, OR 30 FT max. to mean height level	15.75 FT.	31.75 FT.

LIST OF ABBREVIATIONS

Abbreviation	Item	Abbreviation	Item	Abbreviation	Item
@	At	FLR.	Floor	P.V., P.LWD	Plywood
A.F.F.	Above Finish Floor	F.O.	Face of	PTD.	Pressure Treated
ABV.	Above	F.O.S.	Face of Stud	R.	Rotten
A.H.U.	Air Handling Unit	F.O.M.	Face of Masonry	R.O.	Rough Opening
APPROX.	Approximate	FRM.	Framing	REINFT.	Reinforcing
BD.	Board (or Bead, if applicable)	FT.	Foot	SHG.	Sheathing
BLDG.	Building	FTG.	Footcub	SHL.	Standard
BLKG.	Blocking	GBLW.	Gypsum Wall Board	STD.	Steel
BN.	Beam	GLV.	Glass	STL.	Stainless Steel
C.	Concrete	HT.	Height / Heat	STRUC.	Structure
CL.	Center Line	H.W.	Hot Water	SW.	Switch
CLG.	Ceiling	HT.	Height / Heat	T	Treads
C.J.	Ceiling Joint	JL	Joist	T&G	Tongue and Groove
C.M.U.	Concrete Masonry Unit	JST.	Joint	T.J.	Truss Joists
COL.	Column	M.	Masonry	T.O.	Top of
CONC.	Concrete	MDO	Medium Density Overlay	T.O. ARCH	Top of Arch
CONT.	Continuous	MDF	Medium Density Fiberboard	T.O.W.	Top of Wall
CPR.	Copper	MEB.	Membrane	U.N.O.	Unless Noted Otherwise
DS.	Downspout	MECH.	Mechanical	W/	With
DWG.	Drawing	ML.	1/1000 Inch	WD.	Wood
EQ.	Equal	MN.	Minimum	WN.	Window
EX.	Existing	O.C.	On Center	WPF	Waterproofing
EXT.	Exterior	O.W.T.	Open Web Truss	WWF	Welded Wire Fabric
F.D.	Floor Drain				
FIN.	Finish				
FLASHG	Flashing				

VICINITY MAP

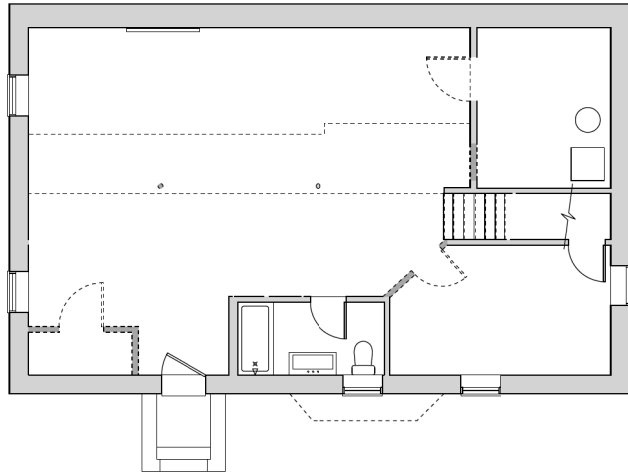


INDEX OF DRAWINGS

Sheet	Drawing Title
A001	COVER SHEET
D101	DEMOLITION PLANS
A002	SCHEDULES
A101	BASEMENT & 1ST FL PLANS
A102	2ND FL & ATTIC PLANS
A103	BASEMENT PLANS
A201	NORTH ELEVATIONS
A202	WEST ELEVATIONS
A203	SOUTH ELEVATIONS
A301	BUILDING SECTION
HPC-01	SURROUNDING CONTEXT
HPC-02	FAÇADE OVERLAY
HPC-03	PROPOSAL IMAGES

KEY TO MATERIALS AND SYMBOLS

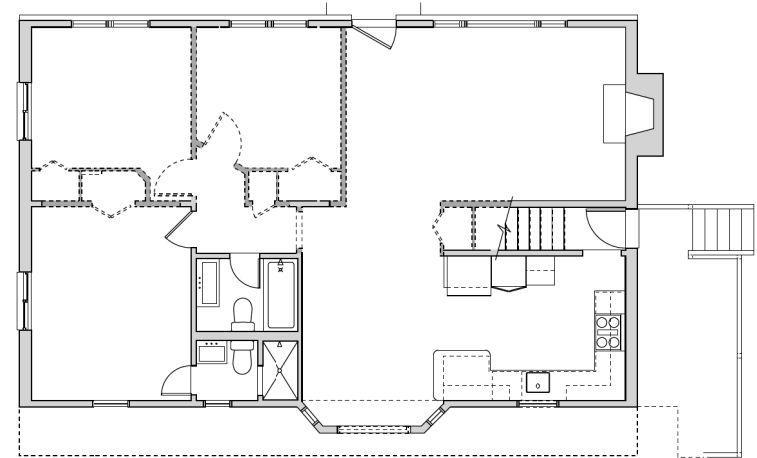
GRAVEL	ROOF INSULATION	WINDOW TYPE
CONCRETE	CONTINUOUS WOOD FRAMING	DOOR TYPE
BRICK	WOOD BLOCKING	APPLIANCE
CONCRETE MASONRY UNIT	FINISH WOOD	INTERIOR ELEVATION
WOOD FRAMED WALL	GYPSUM WALL BOARD	SMOKE DETECTOR
BATT / SPRAYFOAM INSULATION	PLYWOOD	REVISION NUMBER
FERROUS METAL	STONE	DETAIL
		SECTION
		ELEVATION
		PLUMBING FEATURE TYPE



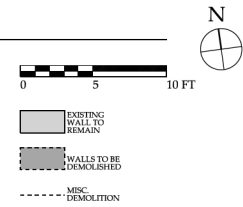
2 BASEMENT DEMO PLAN
D101 SCALE: 1/4" = 1'-0"



3 ROOF DEMO PLAN
D101 SCALE: 1/4" = 1'-0"



1 FIRST FLOOR DEMO PLAN
D101 SCALE: 1/4" = 1'-0"



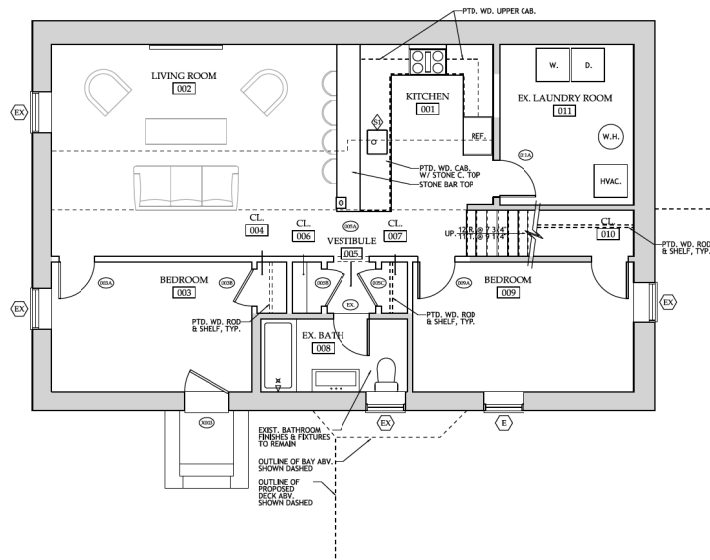
EXISTING
WALL TO
REMAIN
WALLS TO BE
DEMOLISHED
MISC.
DEMOLITION

INTERIOR DOOR SCHEDULE								
Mark	Location	Type / Material	Single / Pair	Size (each leaf / opening)	Tbd.	Hardware Set	Remarks	
BASEMENT	003A	Bedroom 003	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Set	
	003B	Bedroom 003	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Passage Set	
	005A	Ventilator 005	Cased Opening		2'-6" x 6'-8"			
	005B	Ventilator 005	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Passage Set	
	005C	Ventilator 005	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Passage Set	
	009A	Bedroom 009	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Passage Set	
FIRST FLOOR	011A	Ex. Laundry Room 011	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Set	
	101A	Ex. Living Room 101	Cased Opening		6'-0" x 6'-8"			
	102A	Office/Study 102	Sliding / Wood Panel	Pair	2'-6" x 6'-8" / 5'-0" x 6'-8"	1 1/2"	Sliding Passage Set	
	105A	Kitchen 105	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Set	Lockable from stairway.
	106A	Hall 106	Cased Opening		2'-6" x 6'-8"			
	106B	Hall 106	Hinged / Wood Panel	Single	2'-0" x 6'-8"	1 1/2"	Passage Set	
SECOND FLOOR	106C	Hall 106	Hinged / Wood Panel	Pair	1'-6" x 6'-8" / 3'-0" x 6'-8"	1 1/2"	Passage Set	
	109A	Bedroom 109	Hinged / Wood Panel	Pair	2'-0" x 6'-8" / 4'-0" x 6'-8"	1 1/2"	Passage Set	
	109B	Bedroom 109	Hinged / Wood Panel	Pair	2'-0" x 6'-8" / 4'-0" x 6'-8"	1 1/2"	Passage Set	
	203A	Hall Bath 203	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Set	
	204A	Bedroom 204	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Set	
	204B	Bedroom 204	Hinged / Wood Panel	Pair	2'-0" x 6'-8" / 4'-0" x 6'-8"	1 1/2"	Passage Set	
SECOND FLOOR	206A	Bedroom 206	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Set	
	206B	Bedroom 206	Hinged / Wood Panel	Pair	2'-0" x 6'-8" / 4'-0" x 6'-8"	1 1/2"	Passage Set	
	208A	Laundry 208	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Set	
	209A	Primary Bedroom 209	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Set	
	209B	Primary Bedroom 209	Sliding / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Sliding Set	
	209C	Primary Bedroom 209	Sliding / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Sliding Set	
ATTIC	211A	Primary Bath 211	Sliding / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Sliding Set	
	301A	Attic Room 301	Hinged / Wood Panel	Single	2'-6" x 6'-8"	1 1/2"	Privacy Set	
NOTES:								
1. Contractor to field verify all dimensions prior to placing order, typical.								
2. Finished door/window heads shall align w/ adjacent door/window heads, typical and as indicated in the drawings. GC shall verify that typical 5'-8" door height will accommodate alignment.								
3. Swing as indicated on plans and interior elevations.								
5. All interior paneled doors and pocket doors shall be 1 1/2" thick minimum, typical, solid core.								
6. Provide shop drawings for architect's review prior to placing an order.								
7. All hardware finish TBD, typical. Contractor shall verify with Owner and architect prior to placing an order. See allowances.								
8. Contractor shall coordinate all doors to receive jamb switching per electrical floor plans.								
9. Paint black all wood bored holes at door strikes, typ.								
10. Provide safety/tempered glass per IBC/IRC/local codes, typical.								

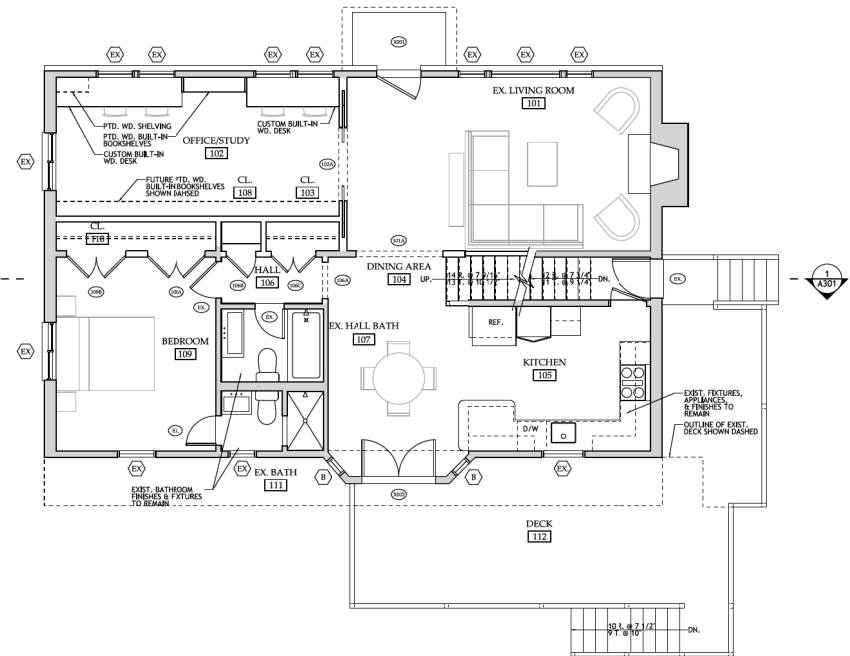
PLUMBING SCHEDULE - PRELIMINARY PRICING SET

Room	Mark	Fixture	Color	Fittings	Finish	Remarks			
BASEMENT	KITCHEN 001	S1		Kohler Understone Undermount Kitchen Sink, K-3025	SS	Rold Modern Kitchen Side Lever Pull-Down Kitchen Faucet, CV77L-2	Polished Chrome	Provide supplies, stops, and P-trap. Provide disposal with air switch in matching finish. See plans and interior elevations for alignment / dimensions. GC shall coordinate exact rough-in location for handpump & air switch w/ architect prior to installation.	
	BALL BATH 203	T1		Kohler Wellwater above bath, K-437	White	Waterworks UNIVERSAL 2 3/4" shower head w/ adjustable spray, UNSH18 Waterworks READSTER shower arm and flange, RD2800 Waterworks READSTER pressure balance control valve w/ metal lever handle, RD3050 Waterworks READSTER wall mounted shower tub spout, RD1580	Polished Chrome	Provide supplies, stops, P-trap, & shower drain to match fittings finish. See plans and interior elevations for drain & control wall locations. GC shall coordinate exact rough-in location w/ architect prior to installation.	
		WC1		Toto Drake two-piece toilet, 1.6gpf, round bowl, CST743S, w/ SoftClose seat, SS113	White	Trip lever	Polished Chrome	Provide supplies, stops, and P-trap in chrome finish. See plans for alignment / dimensions.	
		L1		Kohler Caxton Rectangle Undermount Bathroom Sink, K-2000	White	Waterworks READSTER faucet with lever handles, RD510	Polished Chrome	Provide supplies, stops, and P-trap in chrome finish. See plans for alignment / dimensions.	
SECOND FLOOR	PRIMARY BATH 211	L2		Kohler Caxton Rectangle Undermount Bathroom Sink, K-2000	White	Waterworks READSTER faucet with lever handles, RD510	Polished Chrome	Provide supplies, stops, and P-trap in chrome finish. See plans for alignment / dimensions.	
		WC2		Toto Drake two-piece toilet, 1.6gpf, round bowl, CST743S, w/ SoftClose seat, SS113	White	Trip lever	Polished Chrome	Provide supplies, stops, and P-trap in chrome finish. See plans for alignment / dimensions.	
		T2		Kohler Sunstroke Oval Freestanding Bath, K-6569	White	Rold Perrin & Rowe Door Exposed Tub Filler with lever handle, U1312LS-APC	Polished Chrome	Provide supplies, stops, and P-trap in chrome finish. See plans for alignment / dimensions.	
	SHOWER 212	SH1		Built-in full height toilet shower	-	Waterworks UNIVERSAL 2 3/4" shower head w/ adjustable spray, UNSH18 Waterworks READSTER wall mounted shower arm & flange, RD3010 Waterworks READSTER pressure control valve trim w/ metal lever handle, RDV500 Waterworks READSTER thermostatic control valve trim w/ metal lever handle, RD1010 Waterworks READSTER handshower on hook w/ metal handle, RD1500 Waterworks UNIVERSAL 2" shower drain, UNSD02	Polished Chrome	Provide supplies, stops, P-trap, & shower drain to match fittings finish. See plans and interior elevations for drain & control wall locations. GC shall coordinate exact rough-in location w/ architect prior to installation.	
		LAUNDRY 208	S3		Kohler Understone Undermount Kitchen Sink, K-3025	SS	Rold Modern Kitchen Side Lever Pull-Down Kitchen Faucet, CV77L-2	Polished Chrome	Provide supplies, stops, and P-trap. See plans and interior elevations for alignment / dimensions. GC shall coordinate exact rough-in location for handpump & air switch w/ architect prior to installation.
			ALTERNATE 1						
FIRST FLOOR	KITCHEN 105	S2		Kohler Understone Undermount Kitchen Sink, K-3025	SS	Rold Modern Kitchen Side Lever Pull-Down Kitchen Faucet, CV77L-2	Polished Chrome	Provide supplies, stops, and P-trap. Provide disposal with air switch in matching finish. See plans and interior elevations for alignment / dimensions. GC shall coordinate exact rough-in location for handpump & air switch w/ architect prior to installation.	
NOTES:									
1.	Contractor shall verify & confirm heights, locations, & alignments of all plumbing fixtures with architect prior to rough-in								
2.	Contractor shall coordinate all quantities of fixtures & fittings to achieve design intent shown on the drawings.								

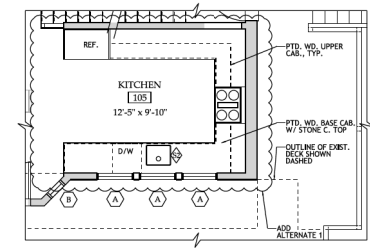
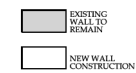
EXTERIOR WINDOW SCHEDULE				
Mark	Description	Frame Size/ M.O. Size	Unit R.O. Ht. Abv. Fin. Fl.	Remarks
A	Marvin Ultimate Casement UWCA3044	2'-6" x 3'-8 1/16"	Match 1st fl. head height	
B	Marvin Ultimate Casement (Custom size), direct set fixed	+/- 1'-8" x 5'-11" V.I.F.		Replace existing window, match existing width. Daylight opening to match adjacent door X002. Existing dimensions to be field verified.
C	Marvin Ultimate Casement UWCA3254 E	2'-8" x 4'-6 1/16"	Door & WDW. Trim to align @ 2nd fl.	
D	Marvin Ultimate Casement UWCA2644	2'-0" x 3'-8 1/16"	Door & WDW. Trim to align @ 2nd fl.	
E	Marvin Ultimate Casement UWCA3054	+/- 2'-6" x 4'-6 1/16" V.I.F.	Maintain existing head height of basement level.	Existing window opening to be field verified.
F	Marvin Ultimate Casement UWCA3244	+/- 2'-9 5/8" x 4'-7 7/8" V.I.F.		
EX	Existing Window	E.T.R.		
EXTERIOR DOOR SCHEDULE				
Mark	Description	Frame Size/ M.O. Size	Unit R.O. Ht. Abv. Fin. Fl.	Remarks
X001	Marvin Ultimate Inswinging French Door UWFD3068	+/- 3'-1 7/16" x 6'-10" V.I.F.		Replacement door. Dimensions to be field verified.
X002	Marvin Ultimate Inswinging French Door UWFD5068	5'-5/8" x 6'-10"		
X003	Marvin Ultimate Inswinging French Door UWFD3068	+/- 3'-1 7/16" x 6'-10" V.I.F.		Replacement door. Dimensions to be field verified.
EX	Existing Door	E.T.R.		
1. Contractor to verify all dimensions in field prior to placing order, typ.				
2. Contractor shall provide shop drawings for architect's review prior to placing order.				
3. Window/ door swings are indicated on plans/elevations.				
4. Provide safety/tempered glass where req'd by code.				
5. All windows to be glazed with manufacturer's low-E II and argon, insulated glass. Refer to Insulation Schedule for energy data. Furnish safety/tempered glass where required by code.				
6. All window units to be clear pine with factory primed interior and painted exterior, as made by Marvin or approved equal.				
7. Provide all window units with manufacturer's factory finish white screen frames.				
8. Provide all window units with manufacturer's white hardware.				
9. Contractor shall coord. wdw. & door rough opening locations to achieve trim alignments per int. elevations & finish schedule.				
10. Egress windows shall conform to min. net clear opening of 5.7 SF w/ bottom of clear opening no greater than 44" A.F.F.				



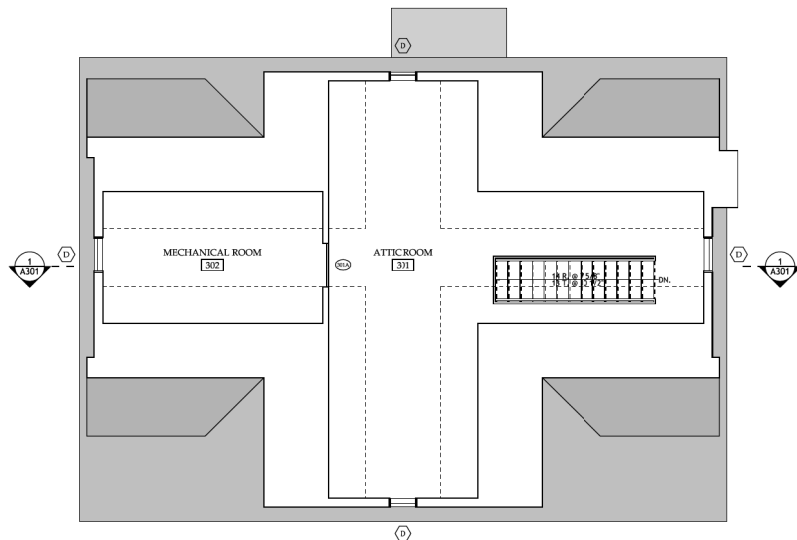
2 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



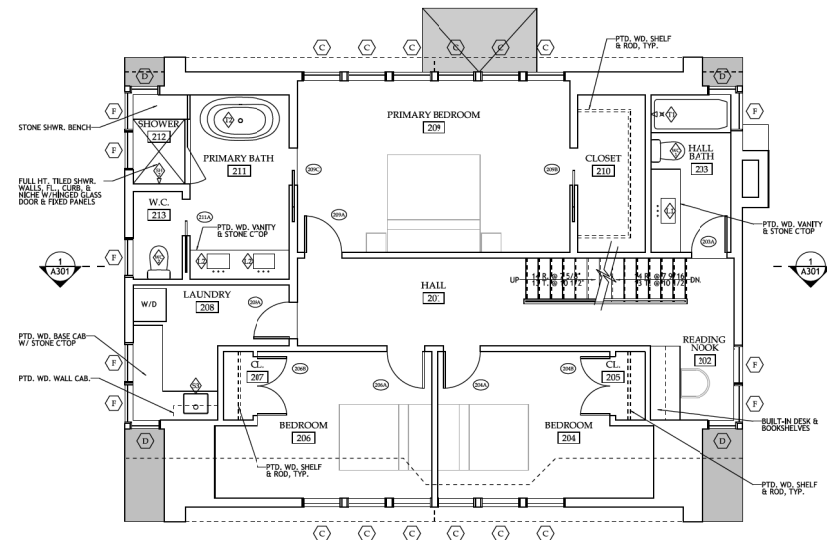
1 PROPOSED 1ST FL. PLAN
SCALE: 1/4" = 1'-0"



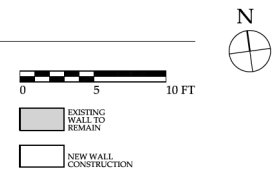
3 PROPOSED KITCHEN ADD ALT.
SCALE: 1/4" = 1'-0"

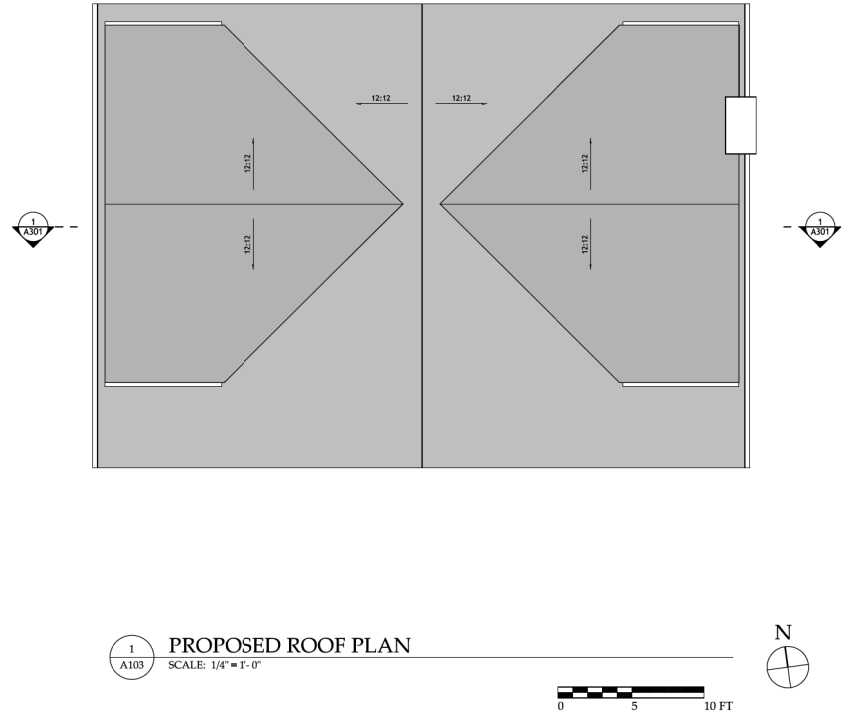


2 PROPOSED ATTIC PLAN
A102 SCALE: 1/4" = 1'-0"



1 PROPOSED SECOND FLOOR PLAN
A102 SCALE: 1/4" = 1'-0"





1
A103

PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"



SHEET NO.
A103

ROOF PLAN
SCALE: 1/4"=1'-0"

HAWP SUBMISSION
2022 APRIL 26

21.09
RENOVATION OF & ADDITION TO THE
CAIRNS RESIDENCE
2106 SALISBURY RD. SILVER SPRING, MD, 20910

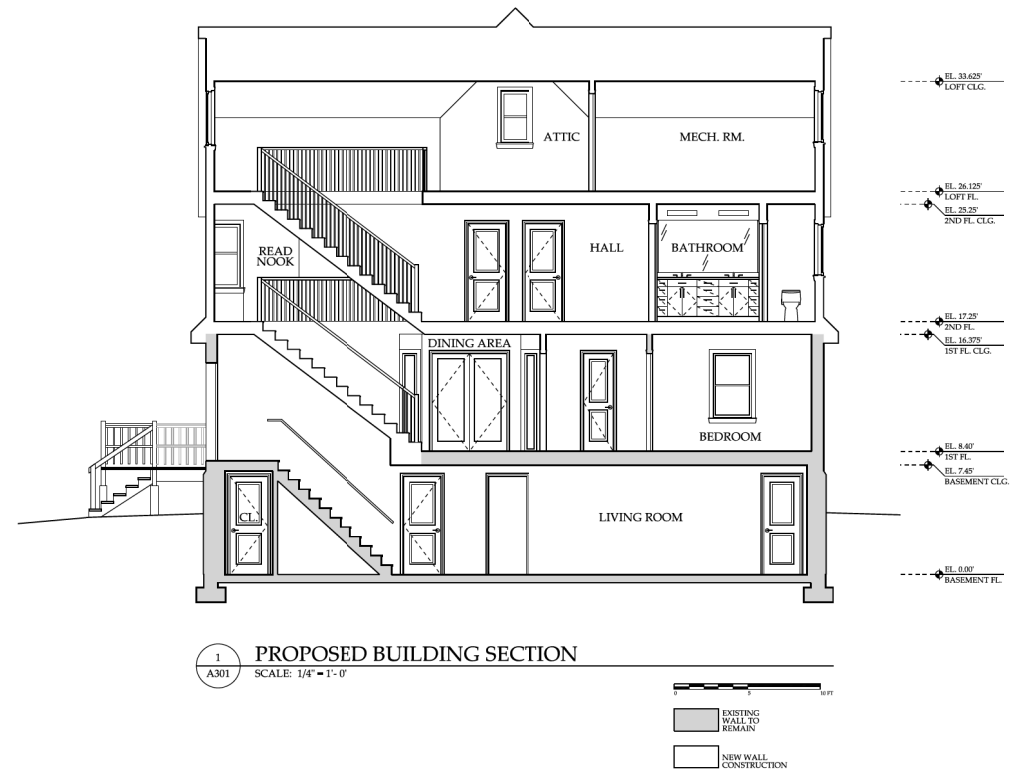
MUSE | KIRWAN
ARCHITECTS
ARCHITECTURE AND INTERIOR DESIGN
7401 Wisconsin Avenue, Suite 500, Bethesda, MD 20814
Phone 301.718.8118 www.musekirwan.com



2
A201
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



1
A201
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"





9
HPC-01
STREET ELEVATIONS SALISBURY ROAD
SCALE: 1/16" = 1'-0"

NEIGHBORING HOUSES



8
HPC-01
2102 SALISBURY RD.
SCALE: N.T.S.



7
HPC-01
9310 BROOKVILLE RD.
SCALE: N.T.S.



6
HPC-01
2108 SALISBURY RD.
SCALE: N.T.S.



5
HPC-01
2110 SALISBURY RD.
SCALE: N.T.S.

2106 SALISBURY ROAD



4
HPC-01
EXIST. NORTH ELEVATION
SCALE: N.T.S.



3
HPC-01
EXIST. WEST ELEVATION
SCALE: N.T.S.



2
HPC-01
EXIST. SOUTH ELEVATION
SCALE: N.T.S.



1
HPC-01
EXIST. EAST ELEVATION
SCALE: N.T.S.



1
HPC-02 OVERLAY - N. FACADE PROPOSED & PREVIOUSLY APPROVED HAWP (IN GRAY TONE)
SCALE: 1/4" = 1'-0"

MUSE | KIRWAN
ARCHITECTS
ARCHITECTURE AND INTERIOR DESIGN
7401 Wisconsin Avenue, Suite 500, Bethesda, MD 20814
Phone 301.718.8118 www.musekirwan.com

RENOVATION OF & ADDITION TO THE
CAIRNS RESIDENCE
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21.09
HAWP SUBMISSION
2022 APRIL 26

FACADE OVERLAY
SCALE: 1/4" = 1'-0"

SHEET NO.
HPC-02



4 EYE LEVEL VIEW FROM NORTH EAST
SCALE: N.T.S.



3 EYE LEVEL VIEW FROM NORTH
SCALE: N.T.S.



2 EYE LEVEL VIEW FROM NORTH WEST
SCALE: N.T.S.



1 VIEW FROM NORTH WEST
SCALE: N.T.S.

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21.09

HAWP SUBMISSION
2022 APRIL 26

PROPOSAL IMAGES

SCALE: 1/4"=1'-0"

SHEET NO.

HPC-03