

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8000 Meadowbrook Lane, Chevy Chase	Meeting Date:	4/20/2022
Resource:	Master Plan Site #36/90 <i>Rock Creek Recreation Center</i>	Report Date:	4/13/2022
Applicant:	M-NCPPC Parks (Pam Guevarra-Johnson, Agent)	Public Notice:	4/6/2022
		Tax Credit:	No
Review:	HAWP	Staff:	Michael Kyne
Permit Number:	988239		

PROPOSAL: Site and building alterations, new hardscape, and tree removals

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #36/90, *Rock Creek Recreation Center*
DATE: 1940



Fig. 1: Subject property building and proposed project area, as provided by the applicant.

PROPOSAL:

This applicant proposes site and building alterations, new hardscape, and tree removals at the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction at Master Plan Sites several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the *Amendment to the Master Plan for Historic Preservation: M-NCPPC Park Resources (Amendment)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Amendment to the Master Plan for Historic Preservation: M-NCPPC Park Resources

- The Rock Creek Recreation Center, more recently known as the Meadowbrook Recreation Center, is one of the earliest public recreation buildings in the county, designed and constructed specifically for recreational use. Located along Rock Creek in the Meadowbrook Local Park, this rustic stone and timber lodge was constructed by the Civilian Conservation Corps in 1940, replacing a mid-1930s open-air shelter destroyed by fire.
- The resource is a fine example of a type of rustic park building known as “parkitecture.” By using natural building materials, recreational facilities could more easily blend into the surrounding landscape. First built by the National Park Service during the Great Depression, this style of architecture continued to influence M-NCPPC park building design as late as the 1950s. Rock Creek Recreation Center is constructed of multi-colored granite and mica schist, with the rock-faced stone arranged in a random pattern. An attached picnic pavilion, sheltered by an open king post truss roof, has heavy framed wooden timbers that are bolted and/or pegged and a flagstone patio.
- Rock Creek Recreation Center was designed by Howard W. Cutler and Katherine Cutler, a father-daughter architectural firm. Howard Cutler is best known for the early 20th century schools which he designed for Montgomery County in classical revival and early modernist styles.
- This building provides a tangible example of the early infrastructure of the Montgomery County Parks system, and continues to function as a recreation center. It also retains strong integrity. The Meadowbrook Recreation Building meets the following criteria of the Preservation Ordinance,

Section 24A-3:

- 1(a) has character, interest, or value as part of the development, heritage, or cultural characteristics of the County, State, or Nation;
 - 1(d) exemplifies the cultural, economic, social, political, or historic heritage of the County and its communities;
 - 2(a) embodies the distinctive characteristics of a type, period, or method of construction.
- The recommended environmental setting encompasses that portion of Parcel P122 that lies within the Meadowbrook Local Park, as depicted on the map [see *Fig. 2* below], excluding the Master Planned Right of Way for Beach Drive. Site changes that are considered normal park operations, including installation of playground equipment, may be done through staff-level review and do not require a historic area work permit.

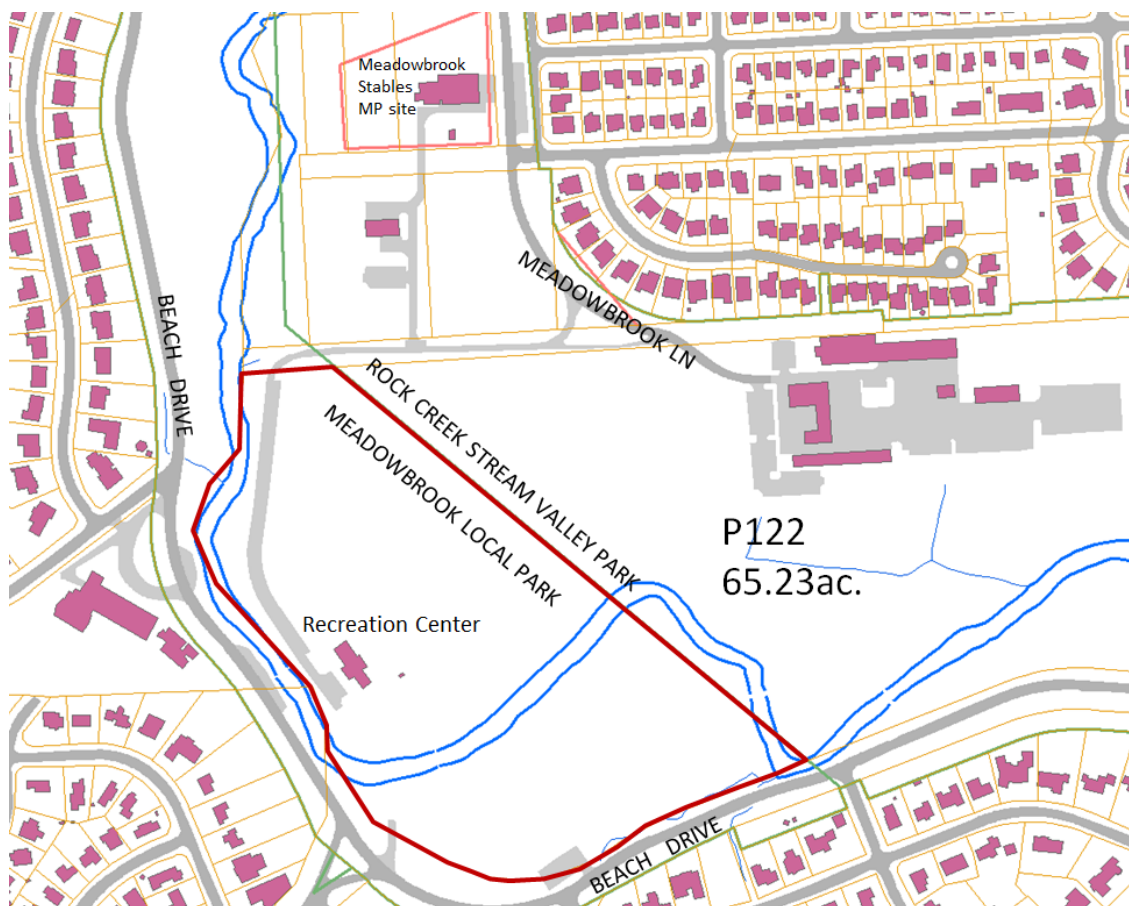


Fig. 2: Environmental setting map from the Amendment.

Secretary of the Interior's Standards for Rehabilitation:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of

the property and its environment.

STAFF DISCUSSION:

The subject property is the Rock Creek Recreation Center, one of the earliest public recreation buildings in the County, designed and constructed by the Civilian Conservation Corps in 1940 specifically for recreational use. The property is located along Rock Creek in the Meadowbrook Local Park.

The applicant proposes the following work items at the subject property:

Building Alterations

There are public restrooms at the north side of the building, which are accessed via two exterior doors. As noted in the application, the 1940s floorplan indicates the original location of the exterior restroom doors, which were relocated sometime after 1987 to accommodate interior renovations. The applicant proposes to remove the existing, non-original doors, frames, hardware, and casings and to infill the openings, using painted exterior wood siding to match the existing and create a contiguous appearance after the door removal. The proposal will allow the restrooms to be reconfigured for ADA compliance and they will be accessible only from the interior of the building.

Exterior Building Security Light Fixtures

The existing exterior building security light fixtures are proposed to be replaced, due to age and discoloration. The proposed replacements will be energy efficient LED fixtures of the same size and same style, but with a thinner profile. The applicant intends to mount the proposed new light fixtures using the same holes, but the holes will be patched and painted to match the exterior, if they cannot be reused.

ADA Site Improvements

The applicant proposes various site alterations for ADA compliance. These alterations include trail realignments, new crosswalk markings, replacement and/or alteration of non-ADA compliant steps and ramps, railing installation, and resurfacing of pedestrian access, where necessary. Additionally, new site amenities, including benches, bike racks, the replacement/upgrade of an existing drinking fountain, and grill replacement are proposed.

Tree Removals

The applicant proposes to remove a total of five trees (two at the west side of the building, and three at the south side of the building) from the subject property to accommodate the proposed site improvements. All trees to be removed will be replaced with native trees suitable for the environmental setting.

Staff fully supports of the applicant's proposal. The existing exterior restroom doors at the north side of the building were moved to their current location sometime after 1987, so removing and infilling them will not remove or alter character-defining features or spaces of the subject property, per *Standards #2* and *#9*. Staff finds that the proposal to replace the existing exterior building security light fixtures will have a negligible effect, at best, so that it could be considered routine maintenance and/or in-kind replacement. Regarding the proposed site alterations and associated tree removals, the *Amendment* states that "[s]ite changes that are considered normal park operations, including installation of playground equipment, may be done through staff-level review and do not require a historic area work permit." Accordingly, staff finds that these aspects of the proposal should be approved, as a matter of course.

After full and fair consideration of the applicant's submission, staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9, as outlined above

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:

HAWP# 988239

DATE ASSIGNED 3/29/2022

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Pam Guevarra-Johnson

E-mail: pam.guevarra-johnson@montgomeryparks.org

Address: 2425 Reddie Dr, 11th Flr

City: Wheaton Zip: 20902

Daytime Phone: 301-495-3588

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: M-NCPPC

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____

No/Individual Site Name Meadowbrook LP and Park Activity Building

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 8000 Street: Meadowbrooke Lane

Town/City: Chevy Chase Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|---|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Hardscape/Landscape | <input checked="" type="checkbox"/> Tree removal/planting |
| <input checked="" type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

3/30/2022

Signature of owner or authorized agent

Date

7

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Please see attachment

Description of Work Proposed: Please give an overview of the work to be undertaken:

Please see attachment

Work Item 1: _____	
Description of Current Condition:	Proposed Work:
Work Item 2: _____	
Description of Current Condition:	Proposed Work:
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	* X	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*	X	*	*	*	*
Grading/Exc avation/Land scaing	*	*	X	*	X	X	X
Tree Removal	*	*	X	*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	* X	*	*	X	* X
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

Written Description of Project—Meadowbrook LP and Park Activity Building

1a. Description of existing structure, environmental setting, including their historical features and significance

Summary: The Rock Creek Recreation Center (MHT #36-90), more recently known as the Meadowbrook Recreation Center, is located along Rock Creek in the Meadowbrook Local Park. This rustic lodge was constructed by the Civilian Conservation Corps in 1940, replacing a mid-1930s open-air rustic shelter that burned down. It is one of the earliest known buildings of its type in the county, constructed specifically for recreational use, and provides a tangible example of the early infrastructure of the Montgomery County Parks system. The building still functions as a recreation center. (See Images #1, #2).

Environmental Setting: The Meadowbrook Recreation Building is located in Meadowbrook Local Park, off of Beach Drive, south of East-West Highway. The 44.763-acre park has also been known as “Candy Cane City,” a name derived from an adjacent playground equipment once adorned with red and white stripes. The recreation center is a one-story, cruciform structure built in the tradition of the National Park Service’s early rustic “parkitecture” style. It sits on a small knoll with steps leading up to the entries, and in one area, a handicapped accessible ramp provides entry into the building.

Exterior Description: Spanning over 4,476 square feet, the Meadowbrook Recreation Building consists of three distinct sections, all completed at approximately the same time. The gable-fronted main block is constructed of smooth ashlar masonry with a poured concrete foundation. There are two frame wings. The main and south sections have gabled roofs with asbestos shingles. The north section has a gabled seamed metal roof. The exterior’s east and west facades are two bays wide by three-bays long, each separated by a large stone chimney.

The main (east) façade, which is approximately 33 feet wide, is constructed of multi-colored granite and mica schist, with rock-faced stone arranged in a random pattern. The stones are laid with irregular coursing, with deep incised rake joints. The one-story, two-bay wide façade has two entry points, separated by a 7-foot wide granite-mica schist chimney. Both entryways are original to the façade, and measure 3 feet x 6 feet x 8 feet. Two half-glazed, wood doors are flanked by sidelights.

The west façade of the main building historically matched the east façade, with its two entryways separated by the prominent stone chimney. For safety reasons, however, Park officials sealed the areas where the original rear doors were, exchanging them for two modern sliding-glass windows. These windows were replaced in July 2010 to provide more historically accurate design. The new wooden windows are energy efficient, true divided light 2/4 triple casement windows. These windows sit on dressed stone sills.

The north side of the Meadowbrook Recreation Building features a wood-frame, four-bay section that was originally living quarters for Park staff. The gabled, seamed metal roof extends outward to provide shelter around the section and is supported by a colonnaded rustic portico. The covered walkway measures ten-feet wide and is surrounded by a double-rail wood fence. The space measures 27.3-feet wide by 38.4-feet long. Two ventilation shafts are placed over the gabled end of the addition, while a furnace flue sits on the opposite end.

The south side of the building features an attached pavilion constructed of heavy framed wooden timbers. Twelve wooden pillars support the gabled roof, and the framing members are bolted and/or pegged, contributing to the rustic appearance of the building. The roof has an open king post truss system. The flagstone patio measures 38 feet long by 27.6 feet wide and has provided protection for picnic tables since its construction.

1b. General description of the project and its effect on the resources.

Project Description:

Exterior building: On the north side under the covered walkway, the existing men's and women's restrooms are only accessed from the exterior and Montgomery Parks intends to reconfigure the restrooms to be ADA compliant and to be accessed from the interior only. The two exterior doors, frames, door hardware are proposed to be removed and walled over to match the exterior siding. Additionally, all of the exterior building security light fixtures are proposed to be replaced with new energy efficient LED lights fixtures of the same size and similar style.

- A. Exterior Doors: The original 1940's building floor plan as well as the 1987 renovation indicate the original location of the doors (See Drawing #1, red arrows). Sometime between 1987 (Drawing #2) and the current plan (Drawing #3), the doors were relocated as part of another interior renovation. M-NCPPC does not have any record, nor drawings of when this door change may have occurred. The proposed project will remove these doors, frames, door hardware, and wood door casing and wall them over to match the same painted exterior wood siding (See Image #3 and Drawings #4, #5, #6). The intent is for the façade to be contiguous after the door removal.
- B. Exterior Building Security Light Fixtures: Due to the age and discoloration, the proposed project will replace the exterior building security light fixtures with new energy efficient LED fixtures of the same size and same style, except for a thinner profile. (See Images #4, #5, #6, #7, #8, #9). The new fixtures are intended to be mounted using the same holes, but if the old holes are not compatible with the new fixtures, then the holes will be properly patched and painted, if applicable, to match the existing exterior materials.

ADA Site Improvements: Vehicular access to the building, playground and courts, tennis and basketball, and sports fields is located immediately north and west of the building (See Attachment C - Site Plan). A footbridge (not included in the environmental settings map) currently provides pedestrian access from Beach Drive to a pathway connecting to the Rock Creek Trail and to the walkways in the immediate vicinity of the activity building. The existing paved surfaces consist of either concrete or asphalt. The existing parking area and trail is located within close proximity to Rock Creek and the existing vegetative buffer. The proposed project will remove existing impervious areas and realign the trail closer to the parking lot and activity building (See Site Plan and Image #A). New crosswalk striping will be provided from the footbridge to the existing sidewalk. The trail relocation south of the building will reduce impervious cover while enabling a larger vegetative buffer along the stream. (See Image #B).

The surfaces around the building consist of several different types of material including concrete, stamped concrete, or flagstone (See Images #C and #D). Of the existing 6 series of steps and 2 ramp systems around the building, all but 1 do not comply with the current code requirements. The improvements include:

- On the west side of the building (main entry) the existing ramp and 2 sets of steps will be eliminated, resulting in an increase in green space as well as a more user -friendly approach to activity building (See Image #E). The other series of steps will remain in place, albeit code compliant railings will be provided (See Drawing #11).
- The ramp on the east side of the building (See Image #F), will be rebuilt to comply with the 2010 DOJ ADA Standards for Accessible Design; the proposed design eliminates the need for any walls along the length of ramp (See Drawing #10).
- At the tennis courts, a new ramp will be provided, as well as bike racks and a bench (See Image #J).
- The surfaces immediately adjacent to the activity are not affected by nor or will be modified.
- The color of all railings will match the exterior building trim.

Pedestrian access to the playground, the grilling area adjacent to the covered patio, both series of courts and a soccer field east of the activity building does not comply with the ADA Standards (See Images #G, H and J). Standard concrete and/or asphalt surfaces will be employed to provide access.

Several site amenities will be provided to enhance the use and park setting including the additional of several benches, bike racks, and the replacement/upgrade of the existing drinking fountain near the basketball courts and the grills near the covered patio. (See Images #K, L, M, N).

Effect on Environmental Setting:

Two deciduous trees are located on the west side of the activity building. These trees will be removed (TBR, as referenced on the Site Plan), in conjunction with the parking lot and front entry improvements and to increase the vegetated buffer along Rock Creek. These trees will be replaced with native trees suitable for its environmental setting.

Three pine trees are located south of the activity building. These trees will be removed since the existing trail will be widened and improved as part of the effort to increase the vegetated buffer along Rock Creek and to reduce the overall impervious area. A drainage inlet and pipe are proposed to alleviate localized flooding (See Drawing #9). These trees will be replaced with native trees suitable for its environmental setting.

Effect on Historic Resources:

The project will not have any adverse effects on the historic character defining features of the building, nor will the ADA site improvements have any adverse effects. The materials proposed are consistent with those currently in use. The reduction in impervious areas, especially west of the building should enhance the environmental setting. (See Maps #1 and #2 - Environmental Settings Map)

2. Site Plan: See Attachment C

3. Plans and Elevations: See Drawings #1 through #6

4. Materials Specification: See Drawings #7 through #11

5. Photographs: See Images #1 thru #8 and Images #A thru #N

6. Tree Survey: Included in Attachment C

7. Addresses of Adjacent and Confronting Property Owners:

- Hull, Steven and Susan; 3109 Brooklawn Terr, Chevy Chase, MD 20815
- Farrow, Jeffrey & Elizabeth Oliver-Farrow; 3107 Brooklawn Terr, Chevy Chase, MD 20815
- Boltansky, Howard & Merrill, Lavine; 3105 Brooklawn Terr, Chevy Chase. MD 20815
- Mouallem Marc and Carol; 3101 Brooklawn Terr, Chevy Chase, MD 20815
- Zohlman, Robert & Zohlman, Susan Kann Res Tr; 3115 Rolling Rd, Chevy Chase, MD 20815
- Laxminarayan, Ramanan; 3113 Rolling Rd, Chevy Chase, MD 20815
- Griffey, Michael and Alisha; 3111 Rolling Rd, Chevy Chase, MD 20815

- Lynch Brian and Kimberly; 3109 Rolling Rd, Chevy Chase, MD 20815
- Gillman, Lydia; 3107 Rolling Rd, Chevy Chase, MD 20815
- Government of Jamaica, c/o Office of Embassy; 3103 Rolling Rd, Chevy Chase, MD 20815
- Helminski, Gary and Jennifer; 3101 Rolling Rd, Chevy Chase, MD 20815



Map #1 – Meadowbrook LP and Park Activity Building Environmental Settings map



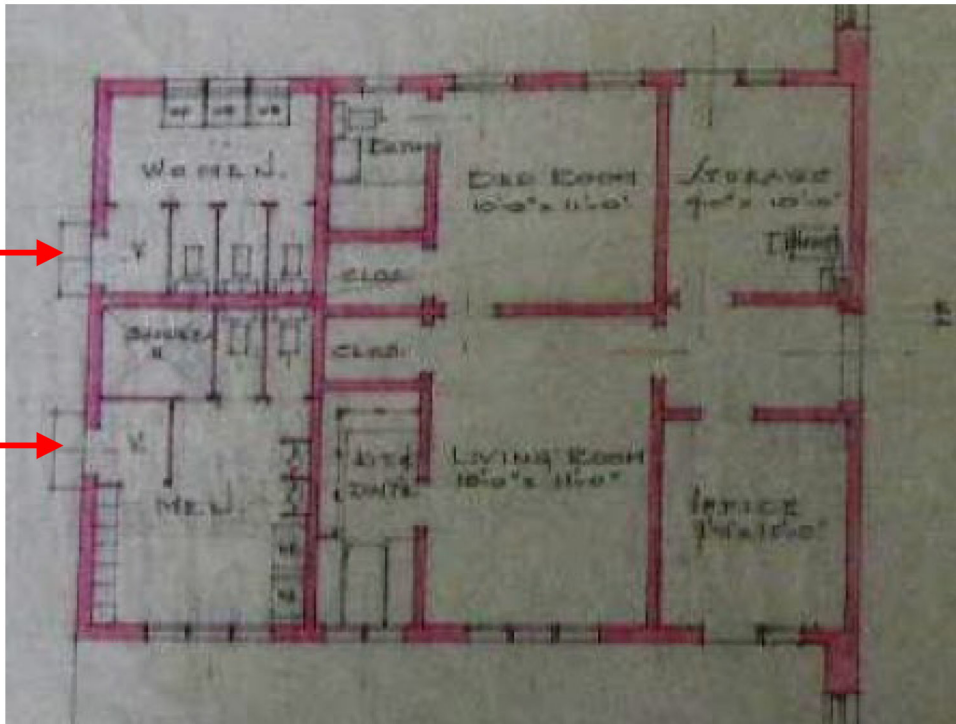
Map #2 – Environmental Settings map – Enlarged area of proposed project



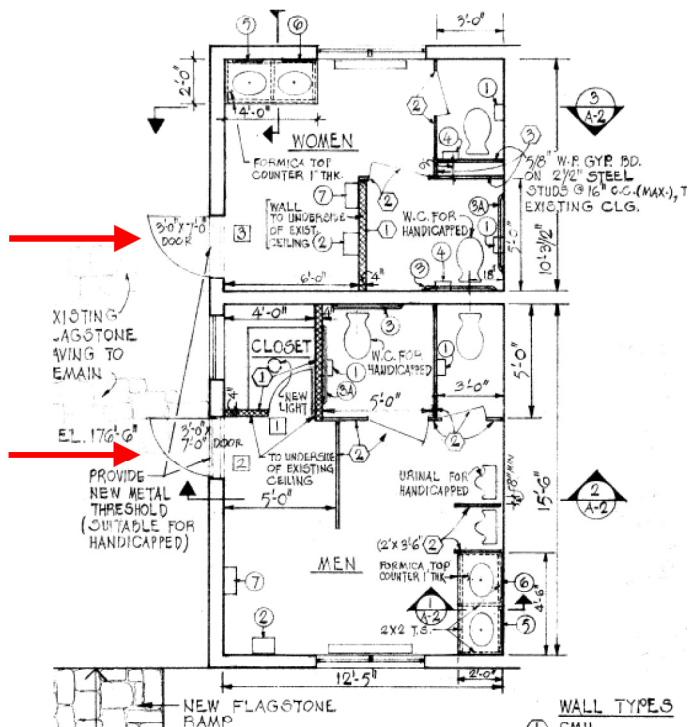
Image #1: c.1940s Rock Creek Recreation Center, now known as Meadowbrook Park Activity Building (PAB)



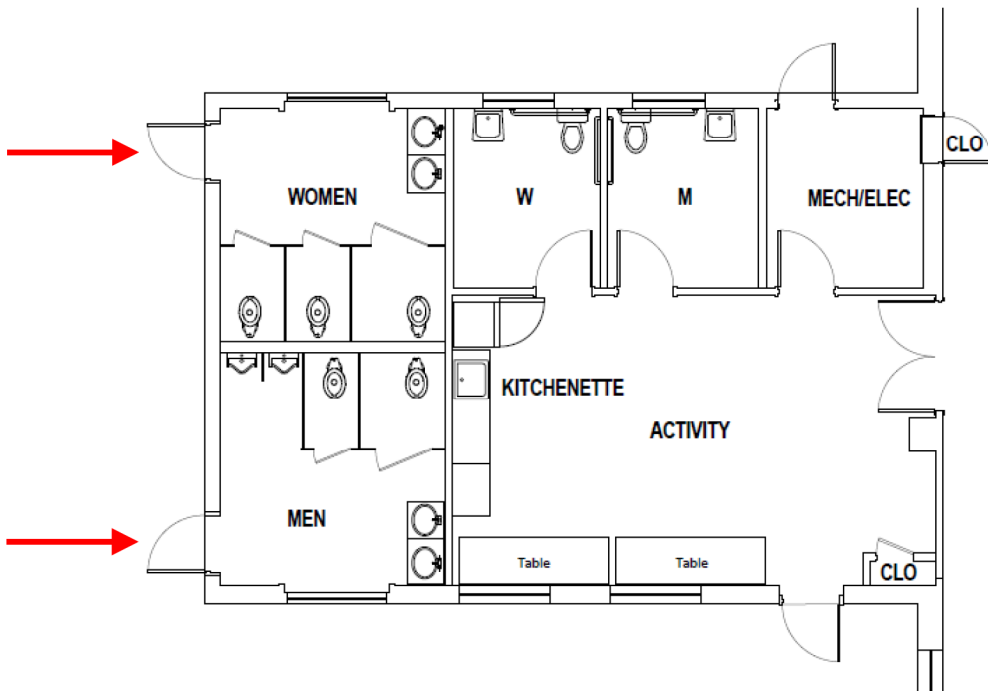
Image #2: Current image of Meadowbrook Park Activity Building (PAB)



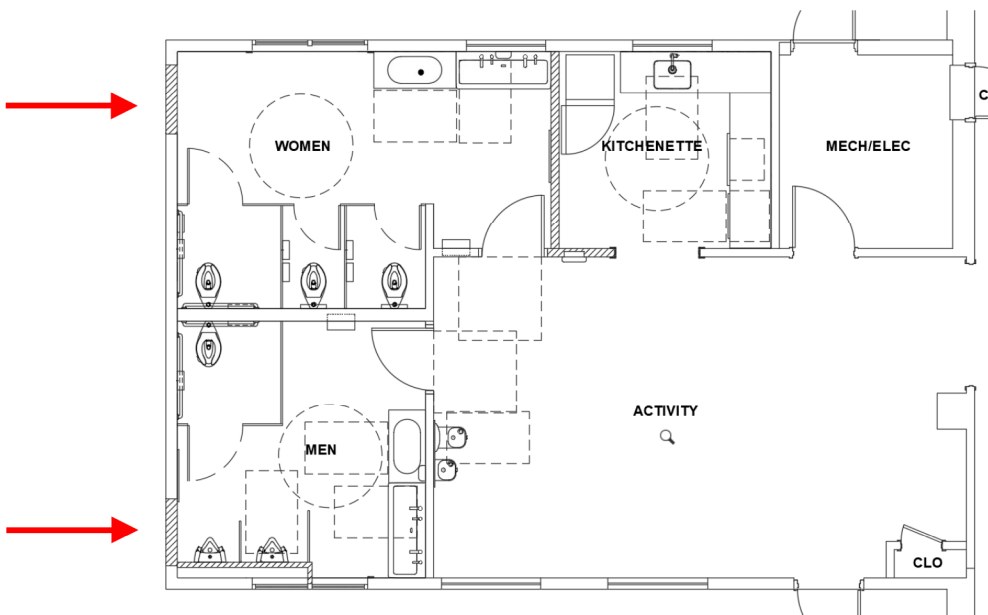
Drawing #1: c.1940s original floor plan of Parks' staff living quarters and original door locations



Drawing #2: 1987 renovation floor plan with original door locations



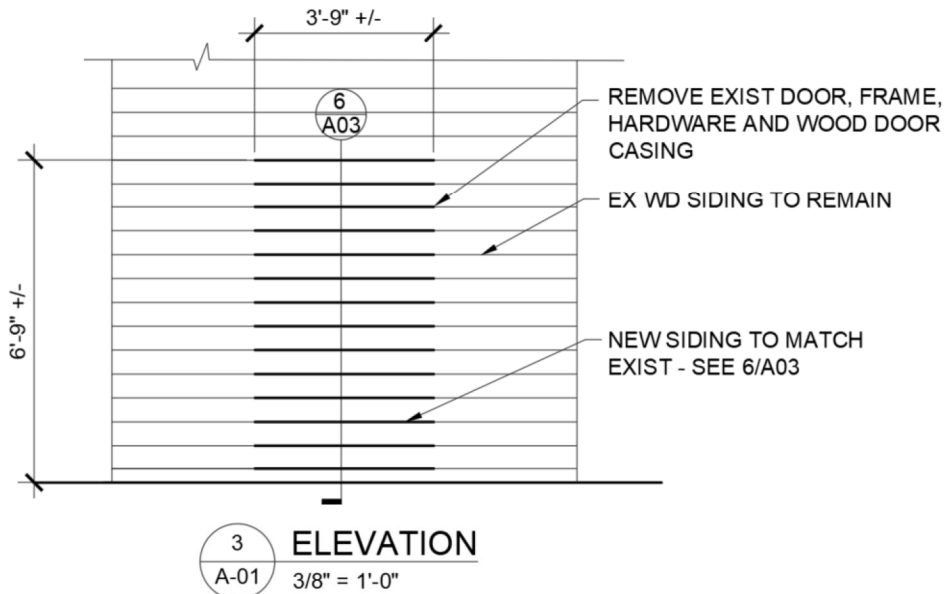
Drawing #3: Current floor plan – door locations have been changed but it is unknown when this occurred



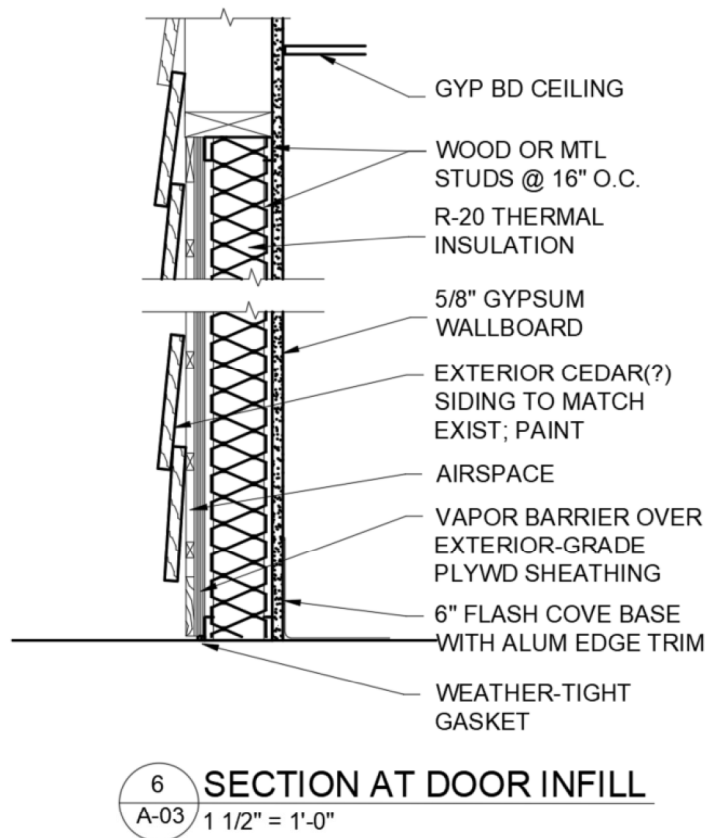
Drawing #4: Proposed new floor plan – doors/frames will be removed and walled over to match existing wood siding



Image #3: Exterior men's and women's restroom doors to be removed and walled in to match exterior wood siding



Drawing #5: Exterior men's and women's restroom doors to be removed and walled in to match exterior wood siding



Drawing #6: Exterior door infill section at men's and women's restrooms



Image #4: Existing building security lighting to be replaced



Image #5: Existing building security lighting to be replaced



Image #6: Existing building security lighting to be replaced



Image #7: Existing building security lighting to be replaced



Image #8: Existing building security lighting to be replaced



Image #9: Proposed new exterior building security lighting – same size, same style, except thinner profile



Image #A – Remove existing impervious area and existing railing



Image #B – Remove impervious area and increase vegetated buffer



Image # C – Existing Stamped Concrete to remain



Image # D – Existing Flagstone steps – new railing will be added for code compliance;
Existing drinking fountain to be replaced (See Image #N)



Image #E – Steps to be removed at main entrance; Parking and sidewalk raised with code-complaint slopes for sidewalks and accessible parking



Image #F – Replace in-kind new ramp and railing – regrade and eliminate ramp walls



Image #G – Existing grilles to be replaced with ADA-compliant grilles (See Image #K)



Image #H – Create ADA access to courts and replace old water fountain (See Image #N)

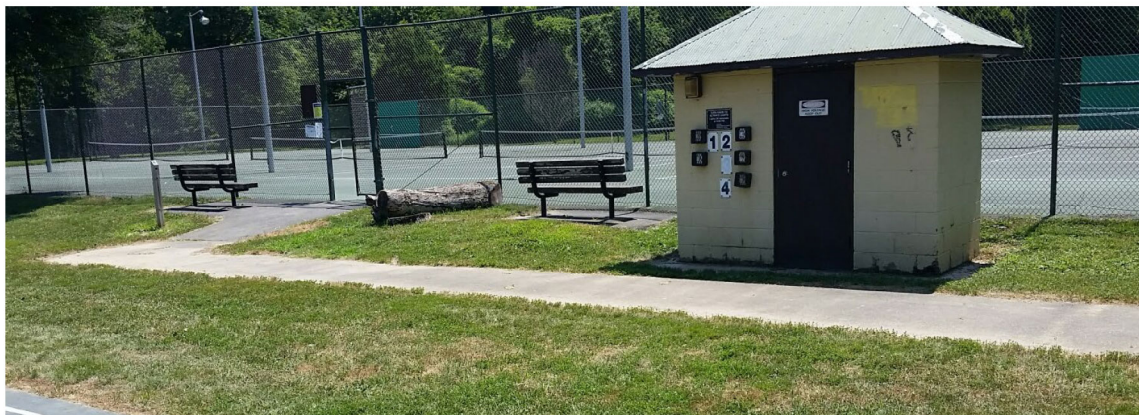


Image #J – A new ramp will be provided for ADA access to the tennis courts



Image #K – New accessible grille



Image #L- New bike racks

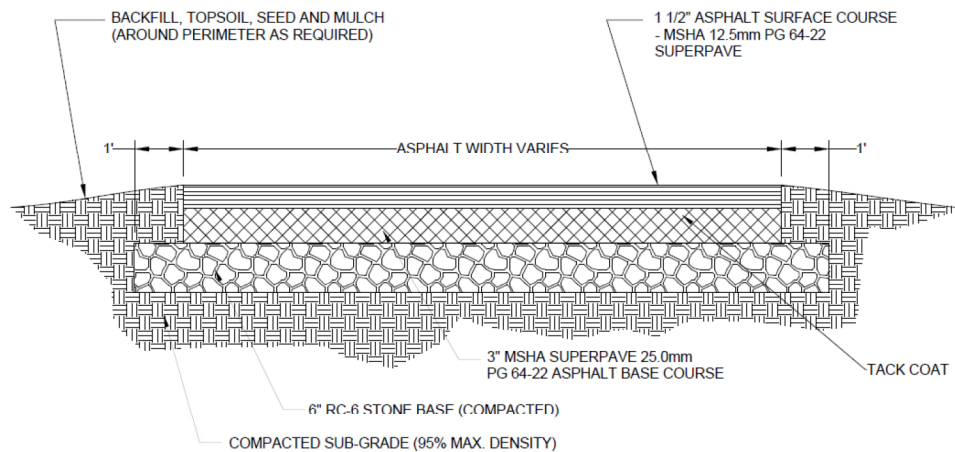


Image #M – New bench



Model GYV34 Shown

Image #N – New drinking fountain w/ bottle filler



- NOTE:
1. FOR SUB BASE PREPARATION, SEE SPECIFICATION 200 - EXCAVATION FILLING AND GRADING.
 2. SLOPE ASPHALT PAVEMENT TO ENSURE POSITIVE DRAINAGE. SEE PLANS.



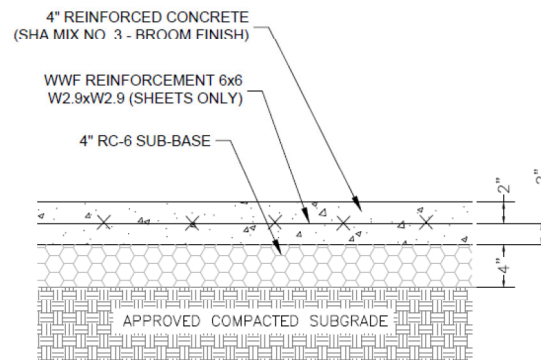
ASPHALT PAVEMENT - PARKING LOT
SECTION

JANUARY 2021

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks

No. 502

Drawing # 7 – Asphalt Pavement



SCALE: 1" = 10'

NOTES:

1. CROSS-SLOPE SHALL NOT EXCEED 1.5%.
2. REFER TO SHA STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS (LATEST EDITION).
3. PLACE GEOGRID AS REQUIRED BY THE M-NCPPC CM



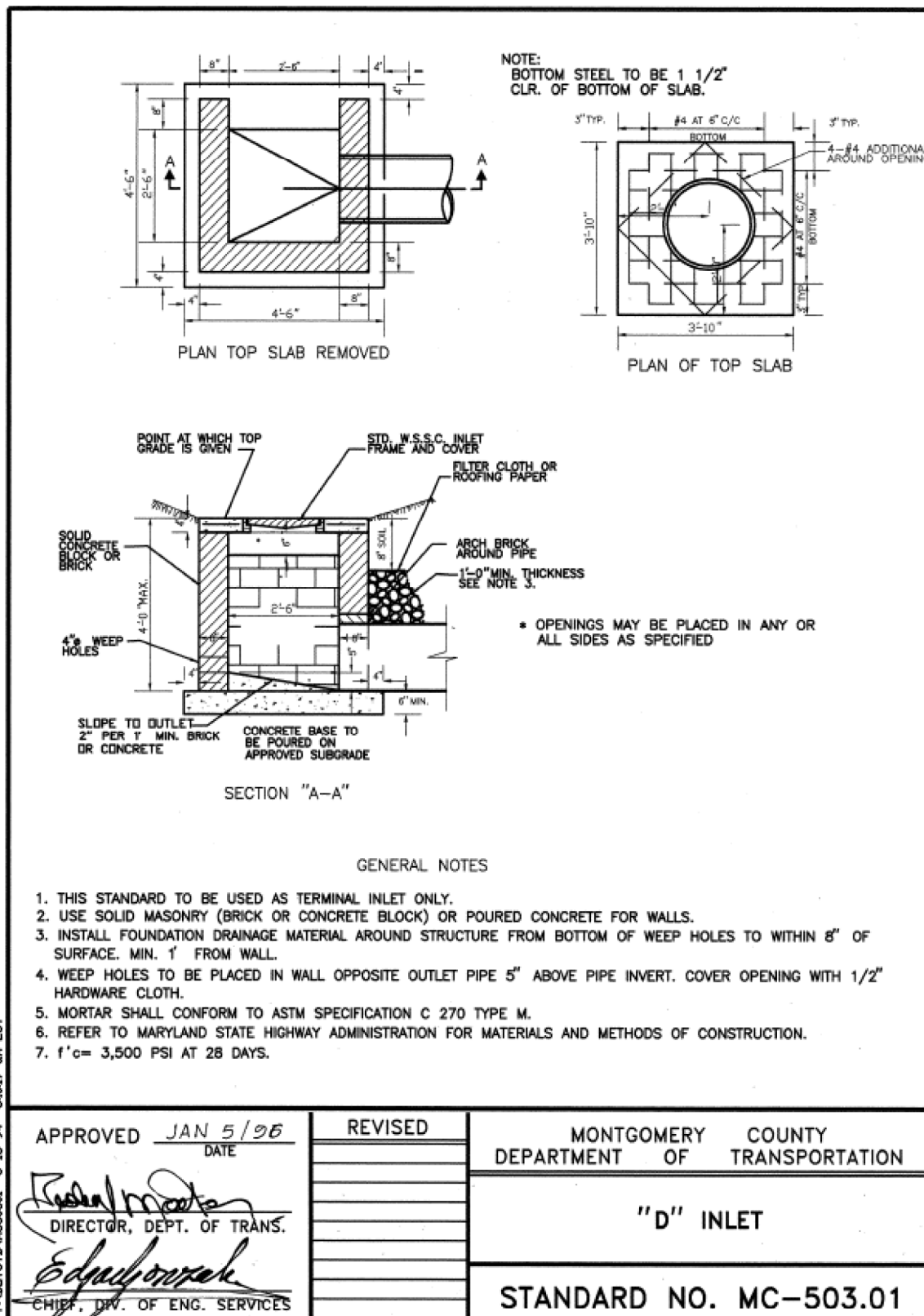
CONCRETE PAVEMENT - PEDESTRIAN WALKWAYS
SECTION

JANUARY 2021

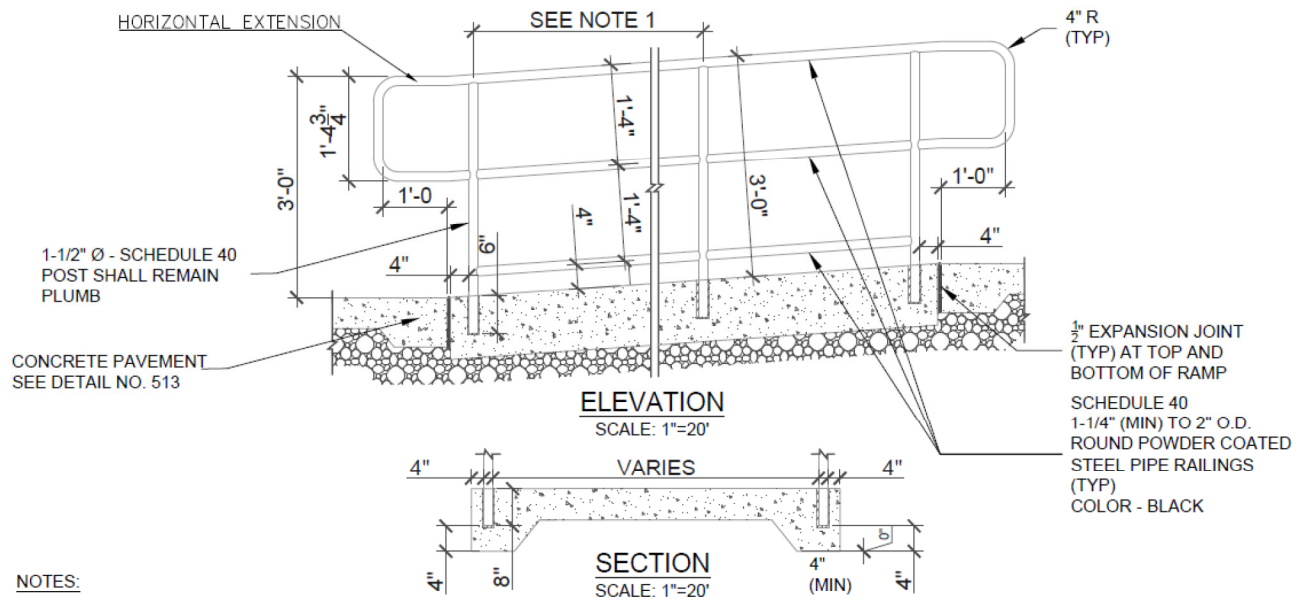
The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks

No. 513

Drawing #8 – Concrete Pavement



Drawing #9 – Stormwater Inlet



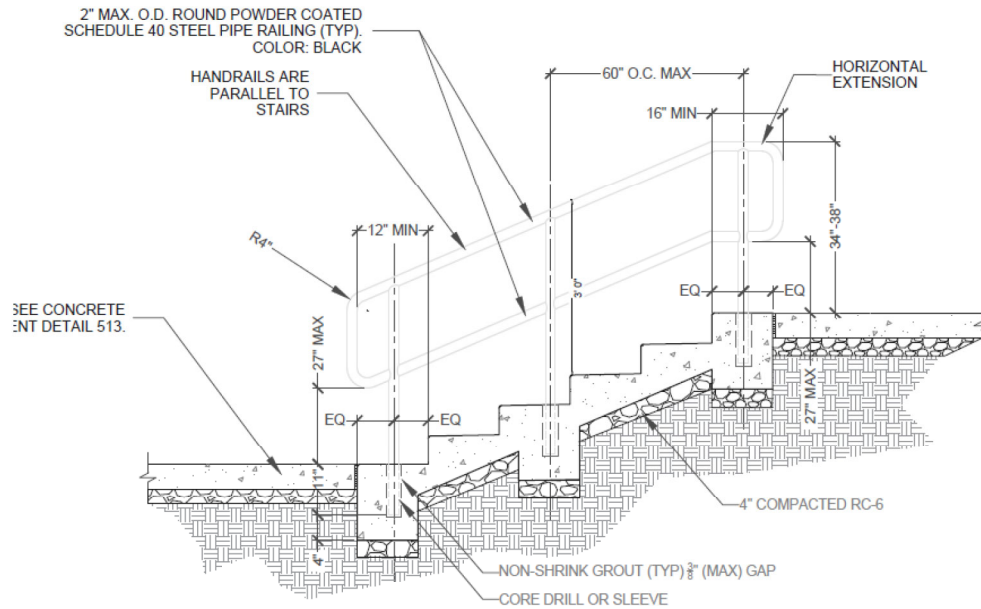
RAMP WITH HANDRAIL - ADA COMPLIANT

JANUARY 2021

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks

No. 561

Drawing #10 – Ramp with Handrail



NOTES:

SCALE: $\frac{1}{2}" = 1'-0"$

1. SLOPE STAIR TREADS @ $\frac{1}{4}"$ IN 16" TO PROVIDE POSITIVE DRAINAGE.
2. ALL PIPE JOINTS TO BE WELDED AND GROUND SMOOTH.
3. GRIPPING SURFACE MUST BE CONTINUOUS ALONG THE HANDRAIL LENGTH AND SHALL NOT BE OBSTRUCTED.
4. HANDRAILS SHALL BE PROVIDED ON BOTH SIDES OF STAIRS
5. PROVIDE SHOP DRAWING FOR REVIEW BY M-NCPPC CONSTRUCTION MANAGER.
6. FINISH: POWDER COAT. COLOR: BLACK (UNLESS OTHERWISE NOTED).
7. CONCRETE SLEEVES MAY BE USED IN LIEU OF CORE DRILLING.



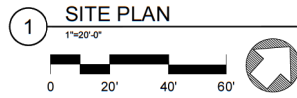
CONCRETE STAIR WITH HANDRAIL (2 OF 2)
SECTION

JANUARY 2021

The Maryland-National Capital Park and Planning Commission
Montgomery County Department of Parks

No. 562

Drawing #11 – Stair with Handrail



		DESIGN		Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.						REVIEW AND APPROVAL		ISSUED FOR PROCUREMENT ON		HISTORIC AREA WORK PERMIT		DWG #																															
Designer's Name	Landscape Architect	Checked By:		Architect		PROFESSIONAL STAMP		The Maryland-National Capital Park and Planning Commission Montgomery County Department of Parks 9500 Brunet Avenue Silver Spring, Maryland 20901 (301) 495-2535		Project Manager: _____ Date: _____ Construction Manager _____ Date: _____ Park Manager _____ Date: _____		<table><tr><th colspan="3">REVISIONS</th></tr><tr><th>Rev. No.</th><th>Date</th><th>Description</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>		REVISIONS			Rev. No.	Date	Description																									HISTORIC AREA WORK PERMIT MEADOWBROOK LOCAL PARK (F08) 7901 Meadowbrook Lane, Chevy Chase, Md 20815 SITE PLAN SCALE: 1"= 20' - 0" Date: March 2022		SHEET # <u>1</u> of <u>1</u>	
REVISIONS																																															
Rev. No.	Date	Description																																													
Address	Engineer	Checked By:																																													
City/State/Zip	Drawn by	Checked By:																																													
Telephone Number	Date	Checked By:																																													
				License No. _____																																											
				Expiration Date _____																																											