MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	9220 Damascus Hills Lane, Damascus	**Meeting Date:**	5/4/2022
Resource:	Master Plan Site #11/21 (***Rezin Bowman Farm***)	**Report Date:**	4/27/2022
		Public Notice:	4/20/2022
Applicant:	Daniel Ferenczy (Sigi Koko, Agent)	**Tax Credit:**	Partial
Review:	HAWP	**Staff:**	Michael Kyne

Permit Number: 981848

PROPOSAL: Partial demolition, comprehensive rehabilitation, building alterations, new addition

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STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Master Plan Site #11/21, *Rezin Bowman Farm*
STYLE: Farmhouse Gothic/Vernacular
DATE: c. 1827-1939

Excerpt from *Damascus-Goshen Historic Resources Master Plan Amendment:*

> The Rezin Bowman Farm was established at the headwaters of Great Seneca Creek. The farmstead is significant for its collection of buildings that represent an evolution of construction. By 1850, Aden Bowman (1787-1868) owned 520 acres of land and resided on this farm. He built the bank barn sometime after he acquired this land in 1827. Typical of successful farmers of the era, he grew a principal crop of tobacco, had diverse livestock, and grew corn, oats and wheat. His son, Rezin H. inherited the farm that he maintained through the century. The center cross gable dwelling represents a house type that was popular in Montgomery County from the post-Civil War era through the early 20th century. Claude Burdette continued the farm by introducing dairy cows, housed in the 16-cow dairy barn built by 1939.

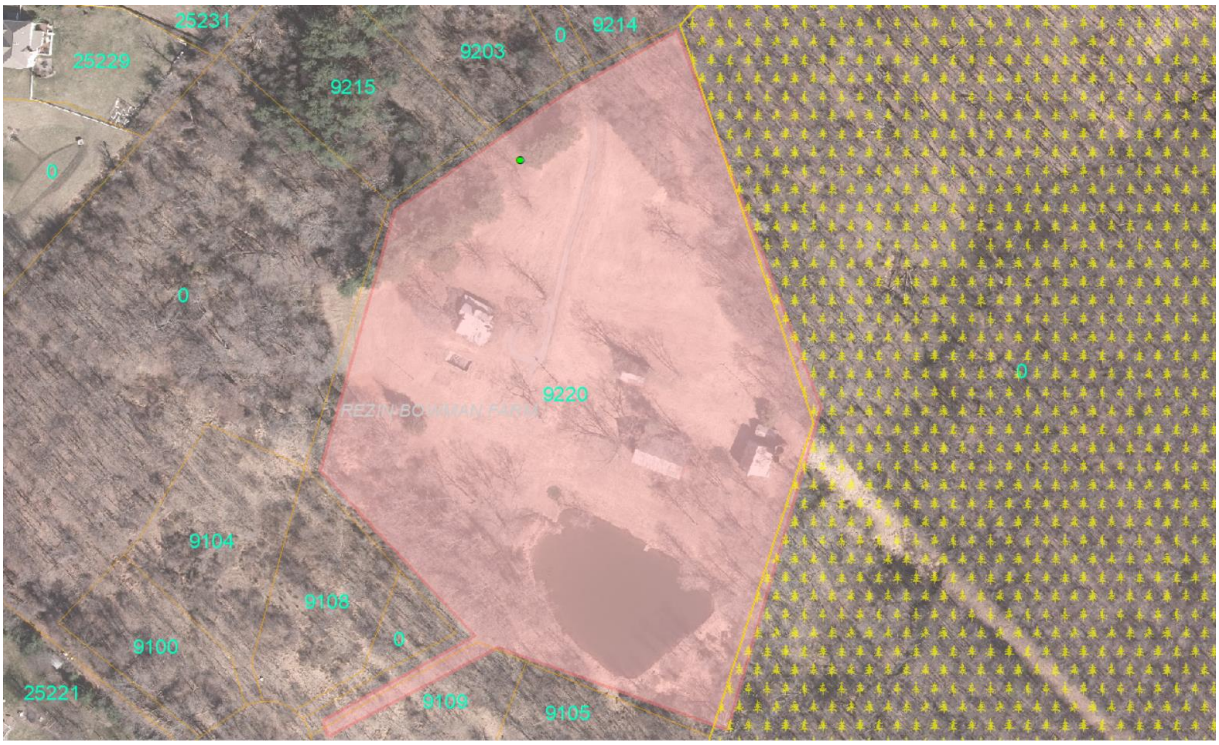


Fig. 1: Subject property.

BACKGROUND:

The applicant previously appeared before the Commission for a preliminary consultation at the March 2, 2022 HPC meeting.[1]

PROPOSAL:

The applicant proposes partial demolition, comprehensive rehabilitation, building alterations, and a new addition at the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction at Master Plan Sites several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the *Damascus-Goshen Historic Resources Master Plan Amendment (Amendment)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:

[1] Link to March 2, 2022 preliminary consultation staff report: https://montgomeryplanning.org/wp-content/uploads/2022/02/II.A-9220-Damascus-Hills-Lane-Damascus-Preliminary-Consultation.pdf
Link to March 2, 2022 HPC meeting audio/video transcript: http://mncppc.granicus.com/MediaPlayer.php?publish_id=f9e5e2b8-9b0e-11ec-972b-0050569183fa

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or

(4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or

(5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

(6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

(c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.

Damascus-Goshen Historic Resources Master Plan Amendment

The *Amendment* includes the following statement regarding the *Rezin Bowman Farm*:

> The setting includes the dwelling house, corn crib, bank barn, dairy barn, and milk house. Since the dwelling house has had many alterations, additional changes should be reviewed with leniency by the Historic Preservation Commission. The property may include a cemetery, described in Aden Bowman's 1868 will.

Secretary of the Interior's Standards for Rehabilitation:

> 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
>
> 9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
>
> 10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION:

The subject property (addressed 9190 Damascus Road, when designated to the Master Plan for Historic

Preservation as part of the *Damascus-Goshen Historic Resources Master Plan Amendment* in 2009) is an early 19th to early 20th century farmstead. The farmstead consists of a c. 1827 bank barn, c. 1939 dairy barn, corn crib, milk house, and a late 19th to early 20th century farmhouse. As stated in the *Amendment*, the house has experienced extensive previous alterations. Historic preservation staff worked with the County's Department of Housing and Community Affairs (DHCA) and Department of Permitting Services (DPS) to issue an abatement order for the house in Spring 2021. Housing code inspectors found nine (9) violations to be addressed. Notably, the house was condemned and found unfit for human habitation.

Fig. 2: Site map, with structures labeled.

The applicant purchased the property in Summer 2021, with the intention of rehabilitating the farmstead, including the condemned house.

The applicant previously appeared before the Commission at the March 2, 2022 HPC meeting for a preliminary consultation regarding alterations to the house. At the preliminary consultation, the Commission was generally supportive of the applicants' proposal, but they provided the following comments and recommendations to ensure compatibility and consistency with the applicable guidelines and *Standards*:

- Additional details and better drawings should be submitted with the formal HAWP submission to provide clarity on the proposed rear addition, the proposed addition's roof form, and the proposed green roofing.

- Although not specified in the previous submission, there were concerns about the proposed number of lites for the replacement windows on the house. 2-over-2 double-hung windows to match the existing/original windows were noted as the appropriate option.
- There were concerns regarding the proposed straw and lime plaster treatment on the original house, with some preferring in-kind replacement of the existing wood clapboard siding.
    - Several commented that the most significant character-defining feature of the historic house is its form and massing (including the traditional L-shaped configuration and the center cross gable on the front elevation), and they supported the proposed straw and lime plaster treatment throughout.
    - Alternative suggestions included retaining the wood clapboard siding on original house and only using the straw and lime plaster treatment on the addition, or applying wood clapboard siding to match the existing over the proposed lime plaster on the original house, if practicable.

The applicant has returned with a HAWP application for the following work items house:

- Extend the foundation of the existing rear addition 5' x 6' to accommodate a proposed new mudroom entrance.
- Replace the existing sheathing and wooden clapboard siding with lime plaster.
- Remove the existing rear addition roof and alter the rear addition, creating a two-story rear addition.
    - Materials for the proposed addition include a living (moss and succulent covered) roof, wood casement windows, wood trim, and lime plaster siding.
- Comprehensive rehabilitation of the historic house, including repair of the existing attic windows, installation of new two-over-two double hung TDL wood windows, installation of new wood paneled doors, and in-kind repair of the existing standing seam metal roof,

Staff notes that the proposed new deck noted in the application is not part of this proposal, and the applicant intends to submit a separate HAWP application for that work.

Staff supports applicant's proposal. As noted in the *Amendment*, the house "…has had many alterations, [and] additional changes should be reviewed with leniency by the Historic Preservation Commission." Regarding the proposed siding replacement, several Commissioners remarked that the most significant character-defining feature of the house is its form and massing (which will not be altered), and they supported the proposed straw and lime plaster treatment. Additionally, there is some evidence that the existing clapboard siding is not original. Namely, there is foam insulation installed over the studs on the outside of the house, with the clapboard siding installed over it. This foam insulation is stamped with the date 1979. The clapboard siding is also unfinished, with no evidence or having ever been painted. With this, staff concludes that the proposed siding replacement will not remove original materials.

Staff finds that the proposed work items, including the new addition, siding replacement, and use of alternative materials, will not alter or remove original and/or significant character-defining materials, features, or spaces of the subject property, in accordance with *Standards #2* and *#9*. Further, these alterations could be removed in the future, leaving the essential form and integrity of the historic property and its environment unimpaired, per *Standard #10*.

After full and fair consideration of the applicant's submission, staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), and (2), and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9,* and *#10,* as outlined above

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2), having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2*, *#9*, and *#10*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

FOR STAFF ONLY:
HAWP#_____
DATE ASSIGNED_____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Daniel Ferenczy E-mail: daniel.ferenczy@gmail.com

Address: 636 River Road City: Coxsackie, NY Zip: 12192

Daytime Phone: 907-750-8306 Tax Account No.: 03815944

AGENT/CONTACT (if applicable):

Name: Sigi Koko E-mail: sigikoko@buildnaturally.com

Address: 1376 W. Woodbine Road City: Fawn Grove, PA Zip: 17321

Daytime Phone: 202-302-3055 Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 11/021-000A

Is the Property Located within an Historic District? __Yes/District Name_____
__No/Individual Site Name Rezin Bowman Farm

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 9220 Street: Damascus Hills Lane

Town/City: Damascus Nearest Cross Street: Route 108 / Damascus Hills Lane

Lot: 119 Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- ☐ New Construction
- ☑ Addition
- ☐ Demolition
- ☐ Grading/Excavation
- ☑ Deck/Porch
- ☐ Fence
- ☐ Hardscape/Landscape
- ☑ Roof
- ☐ Shed/Garage/Accessory Structure
- ☐ Solar
- ☐ Tree removal/planting
- ☐ Window/Door
- ☑ Other: Siding

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Daniel P Ferenczy — Signature of owner or authorized agent

6 April 2022 — Date

Adjacent and Confronting Properties:

Gaithersburg, MD 20882

9105 Bonny Brook Court

9109 Bonny Brook Court

9108 Bonny Brook Court

9215 Damascus Hills Lane

9203 Damascus Hills Lane

9214 Damascus Hills Lane

Seneca Ridge Development, LLC 5313 Lee Highway 2nd Floor Arlington, VA 22207

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The 9.8 acre "Rezin Bowman Farm" property is one mile southeast of Damascus and adjoins the Great Seneca Stream Valley Park. The property is down a long driveway and encircled by forest land.

The terrain consists of gently sloping lawns and tree-lines to a large pond. The buildings include a 20th C dwelling, a 19th C bank barn and corn crib, and a 1930s dairy barn with milk house and silos.

The dwelling is an early 20th C vernacular farmhouse. It is a two story home with a cross-gable metal roof and wrap around porch. The foundation is in three parts: a small stone basement, larger stone crawlspace, and a newer cement block crawlspace.

Description of Work Proposed: Please give an overview of the work to be undertaken:

We intend to conduct a comprehensive rehabilitation of the entire site that returns the farm to proper order complete with restored barns, kitchen gardens, and pond.

For this HAWP we are proposing a complete farmhouse rehabilitation while retaining the original architectural features of the home. We will ensure the massing of the main block, front facade and historic windows are retained and clearly discernible. We will use a lime plaster exterior finish due to its hygroscopic nature that sucks moisture away from cellulosic materials (wood and straw) preventing rot.

Our architect is Sigi Koko, who has over 20 years experience in natural building. Our builder is Tim Stull, a local contractor with experience in natural building and working on historically preserved houses.

We are proposing the following:
1. Extend Rear Foundation by 30 sq ft for mudroom entrance, and re-attach a 12'x24' rear deck.
2. Remove deteriorated unpainted wood siding; Replace with traditional lime plaster.
3. Remove the patchy rear shed roof and rotted frame; replace with two-story frame / living roof.

Adjacent and Confronting properties:
Gaithersburg, MD 20882
9105 Bonny Brook Court
9109 Bonny Brook Court
9108 Bonny Brook Court
9215 Damascus Hills Lane
9203 Damascus Hills Lane
9214 Damascus Hills Lane

Work Item 1: Rear Addition

Description of Current Condition:	Proposed Work:
The foundation is pretty good. A deck used to exist there, but has since been removed.	Extend the rear kitchen foundation to accommodate an insulated mudroom entrance. Rebuild the former rear deck.

Work Item 2: Siding

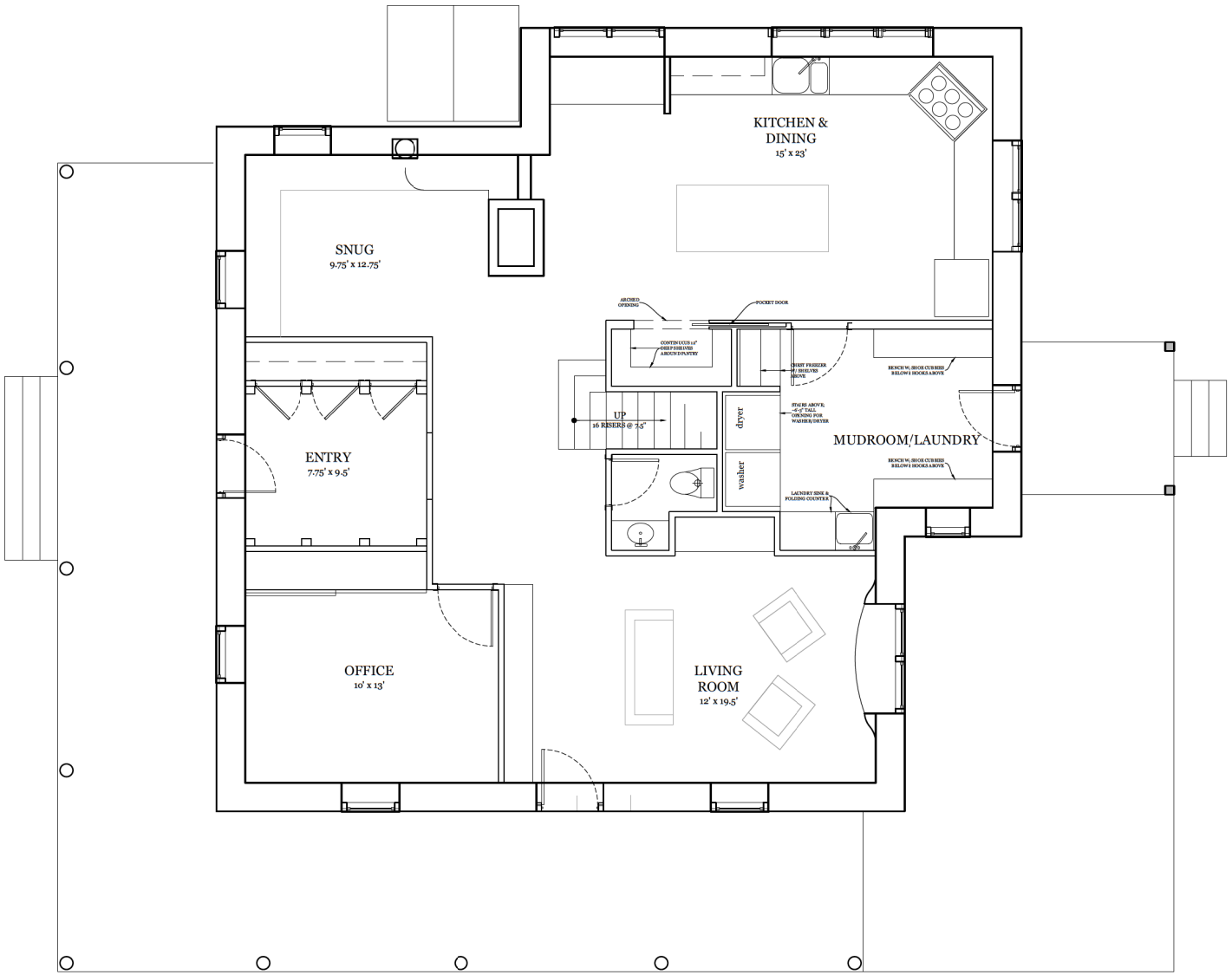
Description of Current Condition:	Proposed Work:
The wood siding and Celotex foam sheathing is in disrepair.	Replace the sheathing and wood siding with lime plaster. The lime plaster is an optimal exterior siding for natural building, as it is breathable and adheres excellently to organic structural and insulation material, such as wood, stone, and straw.

Work Item 3: Rear roof

Description of Current Condition:	Proposed Work:
Broken skylights and a hole from a removed chimney. The supporting frame of the back half of the house is mostly rotten.	Remove the rear roof and rotted frame and replace with a two-story structure and living roof.

HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



A LEVEL ONE PLAN
1/4"=1'-0"

DOWN TO EARTH DESIGN
natural building design + workshops
environmental consulting

Sigi Koko
202/302-3055 DC
215/540-2694 PA
sigikoko@buildnaturally.com
www.buildnaturally.com
1376 W. Woodbine Road | Pawn Grove, PA 17321

NOTES

1. Typical interior wall construction: 2x4 studs @ 16" O.C. with lath & clay plaster.
2. Typical exterior wall construction:
   2.1. Strawbale infill around framing elements (see detail sheets)
   2.2. Apply three coats clay plaster on interior (see specifications): slip coat to just coat straw in clay, thick base coat with high straw content to shape walls, allow to dry completely, apply finish plaster
   2.3. Apply three coats lime plaster on exterior (see specifications); each coat applied between 1/4" and 3/8" maximum; allow 10 days curing time above 40°F between coats; pigment finish coat as desired
3. Typical ceiling finish:
   3.1. exposed floor framing
   3.2. exposed underside of 2x subfloor
4.

DESIGN DEVELOPMENT

FERENCZY HOME
9220 Damascus Hills Lane | Damascus, MD 20882

100% DESIGN DEVELOPMENT

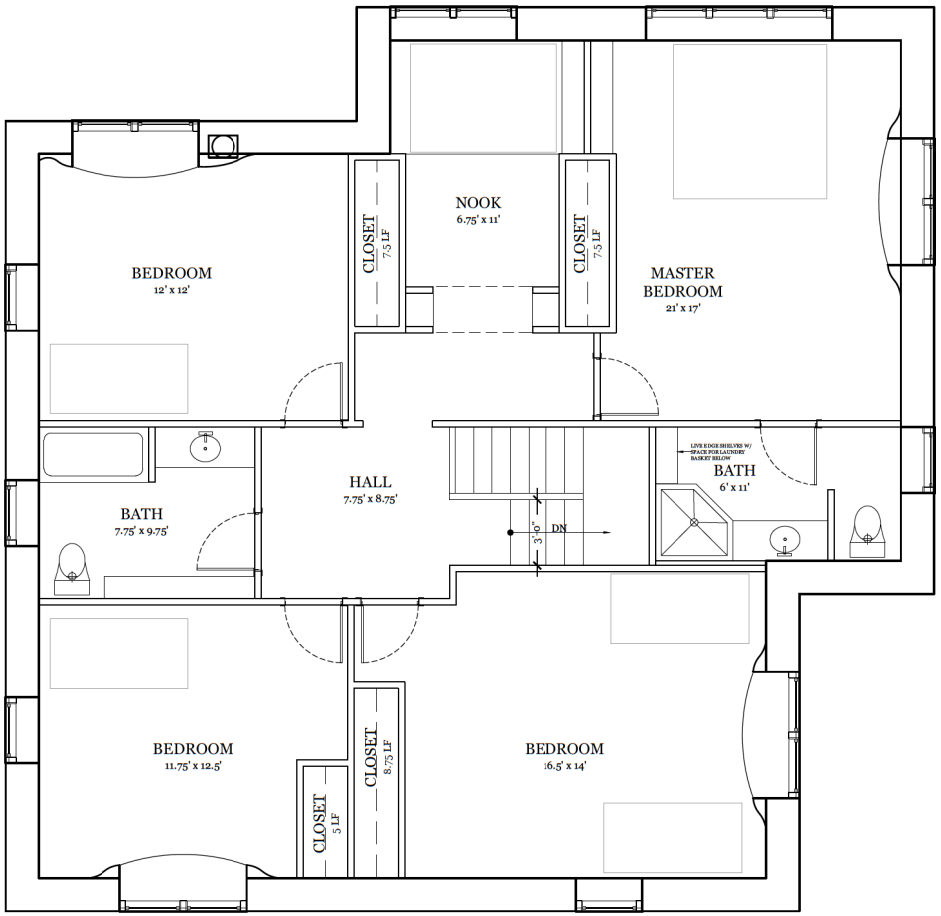
© Sigi Koko / Down to Earth Design, Inc.

SHEET TITLE

BUILDING PLANS:
FIRST FLOOR

DRAWN BY: SK
SCALE: 1/4"=1'-0"
DATE:

A-1.1



A LEVEL TWO PLAN
1/4"=1'-0"

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environmental consulting

Sigi Koko
202/302-3055 DC
215/540-2694 PA
sigikoko@buildnaturally.com
www.buildnaturally.com
1376 W. Woodbine Road | Pawn Grove, PA 17321

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DESIGN DEVELOPMENT

FERENCZY HOME
9220 Damascus Hills Lane | Damascus, MD 20882

100% DESIGN DEVELOPMENT

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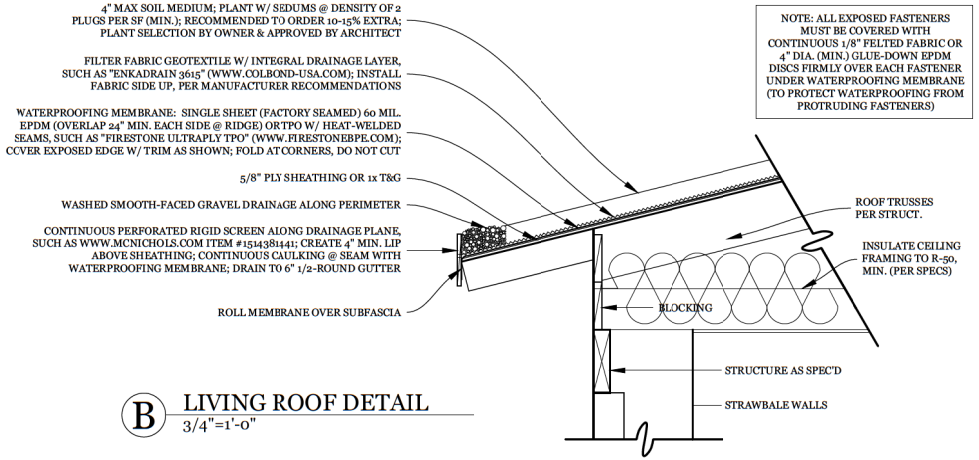
SHEET TITLE

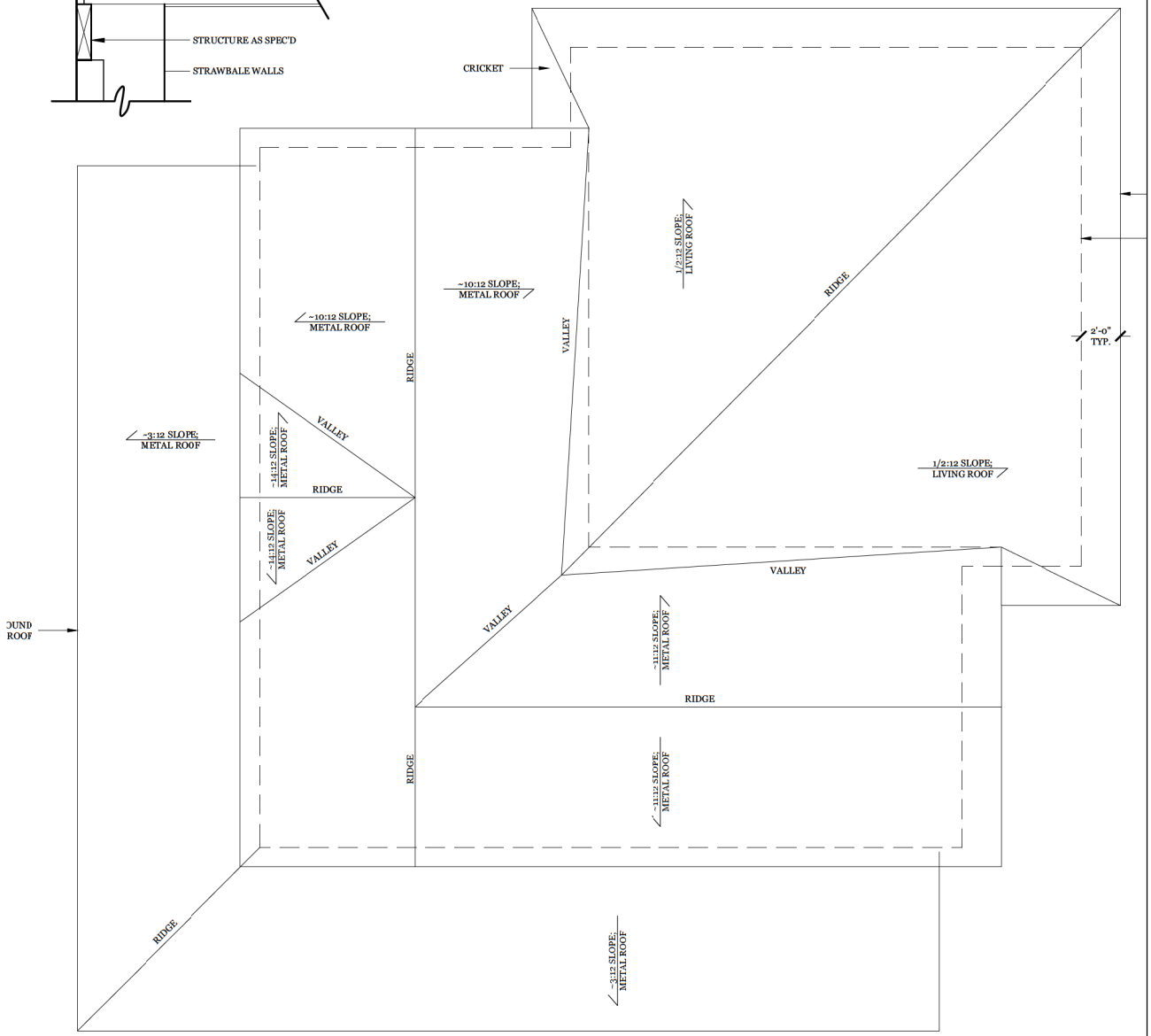
BUILDING PLANS:
2ND FLOOR & ROOF

DRAWN BY: SK
SCALE: 1/4"=1'-0"
DATE:

A-1.2



B LIVING ROOF DETAIL
3/4"=1'-0"



A ROOF PLAN
1/4"=1'-0"

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Sigi Koko
202/302-3055 DC
215/540-2694 PA
sigikoko@buildnaturally.com
www.buildnaturally.com
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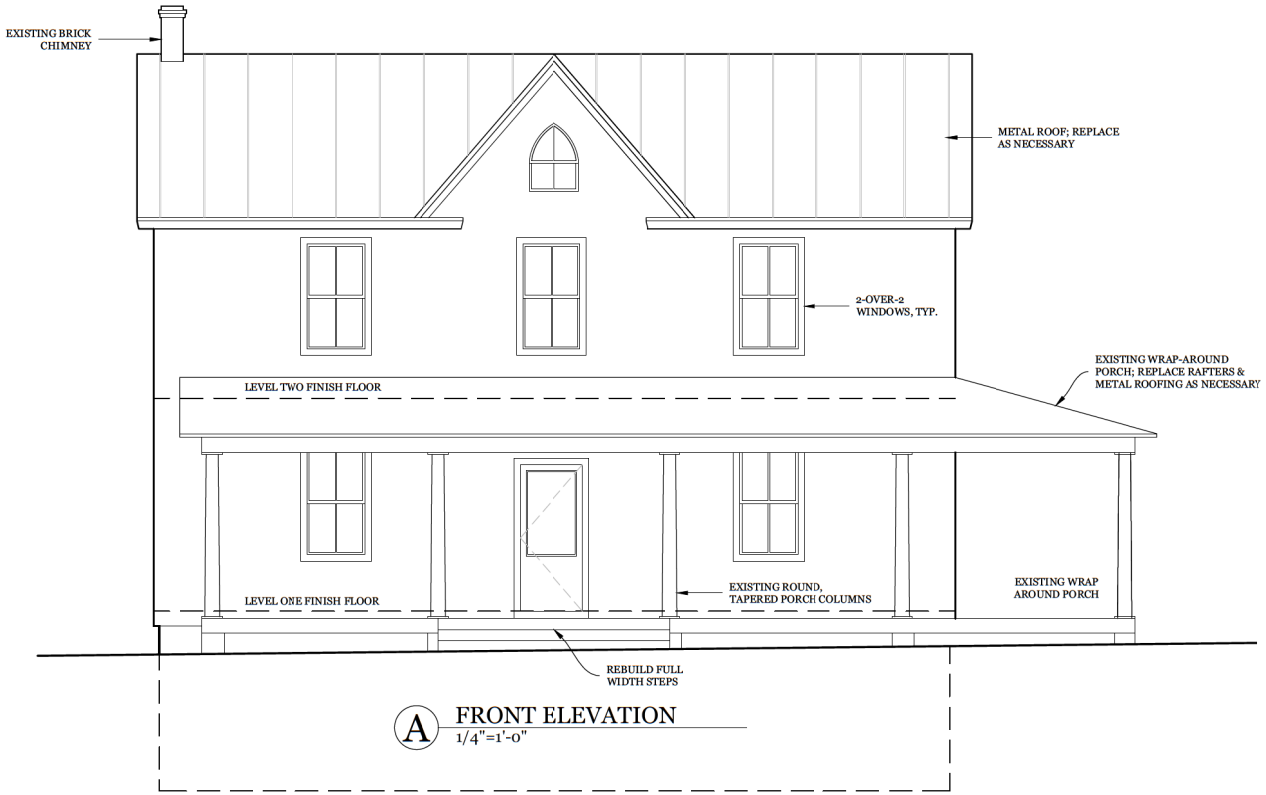
SHEET TITLE

ROOF PLAN & DETAILS

DRAWN BY: SK
SCALE: 1/4"=1'-0"
DATE:

A-1.3

B SIDE ELEVATION
1/4"=1'-0"



A FRONT ELEVATION
1/4"=1'-0"

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202/302-3055 DC
215/540-2694 PA
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www.buildnaturally.com
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NOTES

1. Typical exterior wall finish : (3) layers lime plaster, w/ pigment in final coat. Continue lime plaster over block crawl space walls; applied per written specifications.
2. Rot-resistant wood trim, typical at all doors and windows; owner to confirm painted or clear finish.
3. Replace existing metal roof & flashing as necessary.
4. Install living roof at rear addition as noted.
5. Porch ceilings: exposed rafters or stained beadboard.
6. Deck & porch to use naturally rot-resistant wood for railings and decking, such as black locust or sassafras.

DESIGN DEVELOPMENT

FERENCZY HOME
9220 Damascus Hills Lane | Damascus, MD 20882

100% DESIGN DEVELOPMENT

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SHEET TITLE

BUILDING:
ELEVATIONS

DRAWN BY: SK
SCALE: 1/4"=1'-0"
DATE:

A-2.1

B SIDE ELEVATION
1/4"=1'-0"

A REAR ELEVATION
1/4"=1'-0"

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NOTES

1. See A-2.1 for typical notes.

DESIGN DEVELOPMENT

FERENCZY HOME
9220 Damascus Hills Lane | Damascus, MD 20882

100% DESIGN DEVELOPMENT

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SHEET TITLE

BUILDING:
ELEVATIONS

DRAWN BY: SK
SCALE: 1/4"=1'-0"
DATE:

A-2.2

Farmstead front view near top of driveway

1

Farmstead rear view from below the pond

Dwelling North Front

Dwelling East Side

Dwelling Southeast Side

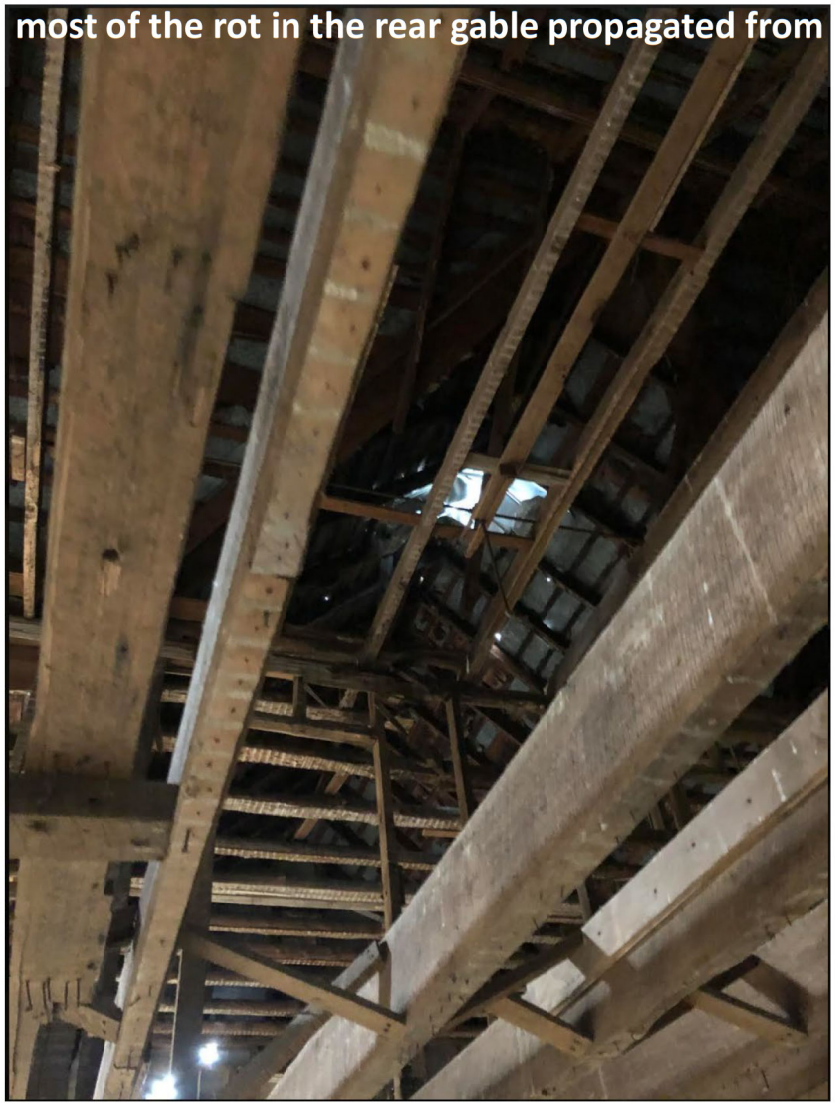
Dwelling Rear

Dwelling Southwest Side

Dwelling West Side

Interior Main Gable and Front Dormer

Interior Rear Gable – removed chimney is where most of the rot in the rear gable propagated from



Photos from 2002 MD Historical Trust
Inventory of Historic Properties

Photo from 1974. These surrounding fields are now dense 30+ year old forest

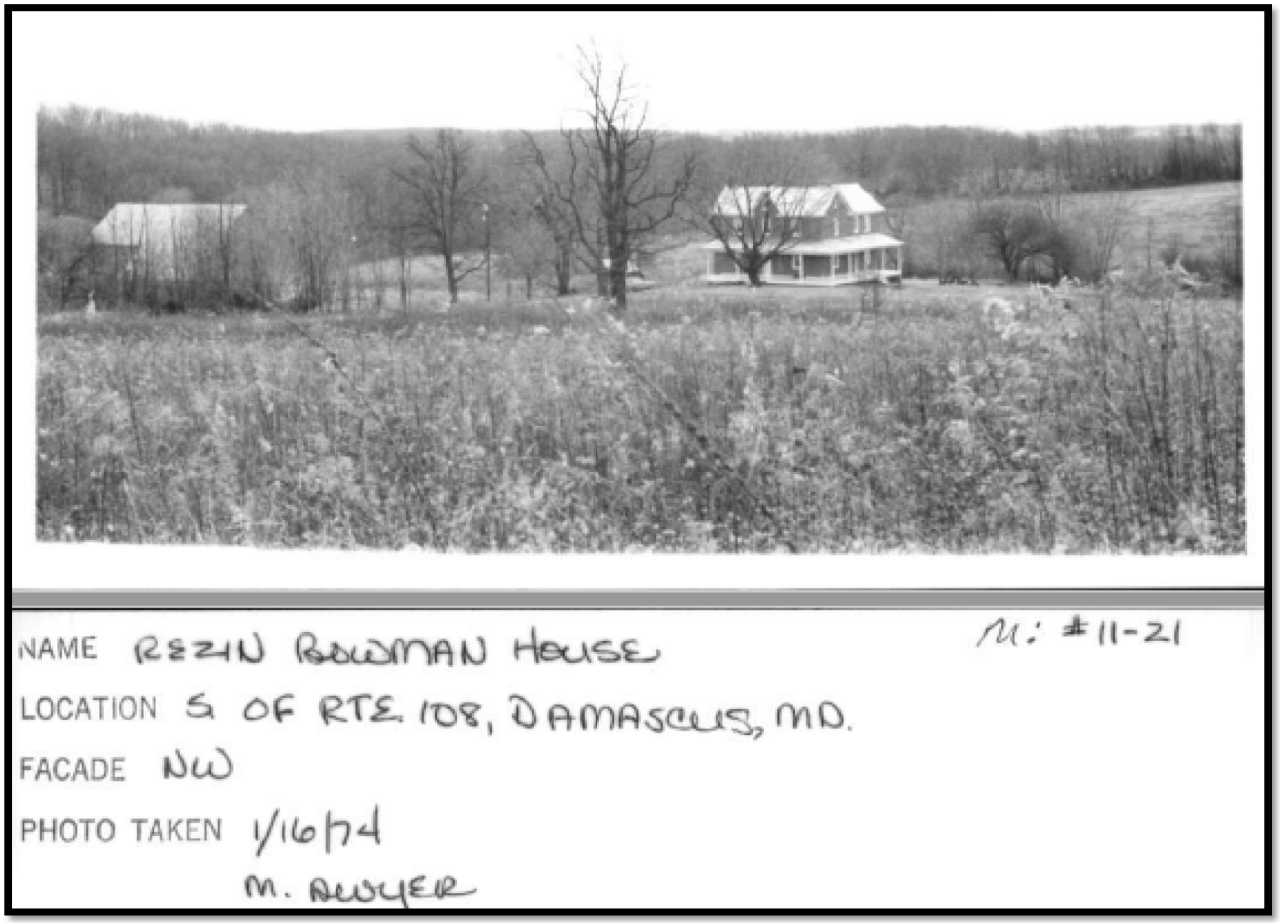


Exhibit in support of Plaster siding: a neighboring home at 27214 Ridge Road, Damascus MD is a circa 1900 cross-gable home with the same roofline, roof material, windows, and porch as our house.

Exhibit in support of Plaster siding: **Master Site M 23-90 Riverton in northern Montgomery County has Lime Stucco Pebbledash finish**

https://mht.maryland.gov/secure/medusa/PDF/Montgomery/M;%2023-90.pdf

EXAMPLE Natural Built home of timber, straw bales, clay and lime plaster

(1) It starts with the Foundation and Framing

(2) Installed Straw insulation

(3) Finished lime plaster siding

14

EXAMPLE “Straw Bale” insulated building

EXAMPLE Living Roof on straw bale homes. The living roof is eco-friendly

Plant life such as succulents and moss are perfectly adapted for living roofs

16

Natural Building: plasters are traditional surface finish materials used with timber, stone, and straw. Some of the oldest buildings in the world were built this way.

Prepare straw insulation

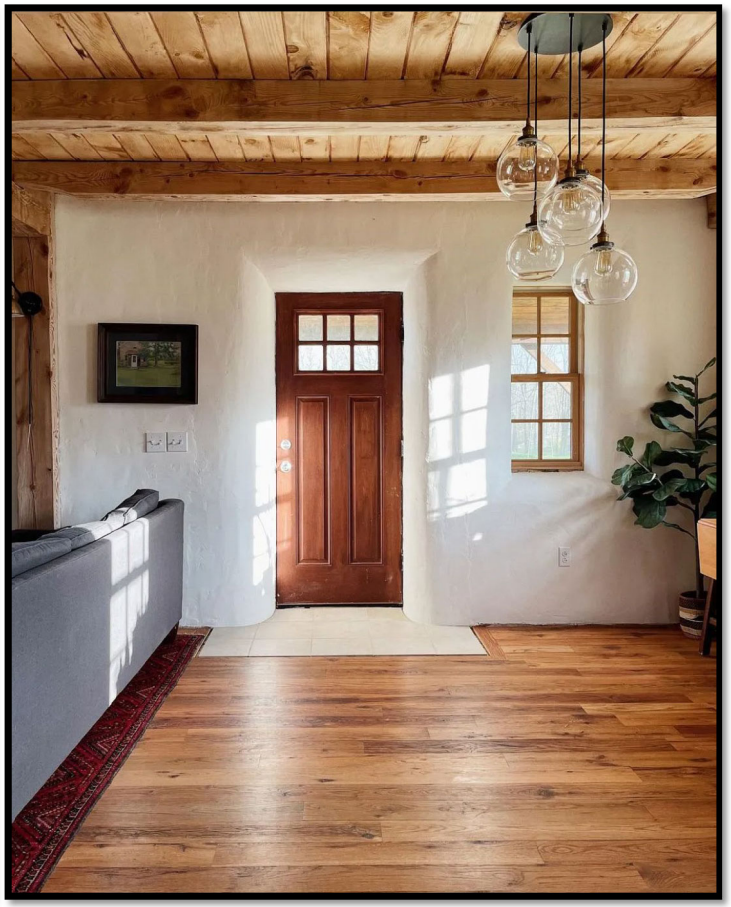
Mix plaster

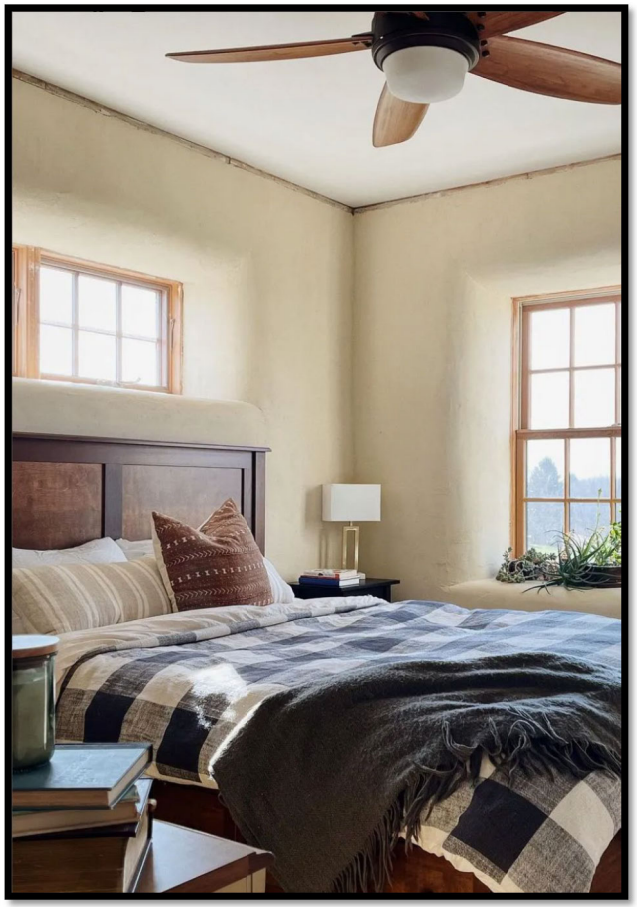
Apply skim coat

Apply finish coat

17

Natural Building material: Straw insulation provides deep walls with exceptional insulation. The plaster provides thermal mass that reduces temperature swings, as well as a vapor permeable barrier that regulates humidity.





18

PLAT NO. 25407

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS TRUE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY ERIC I. ANDERSON, TRUSTEE, SUBSTITUTE TRUSTEE TO SENECA RIDGE DEVELOPMENT, LLC, A MARYLAND LIMITED LIABILITY COMPANY BY SUBSTITUTE TRUSTEE'S DEED DATED SEPTEMBER 23, 2010 AND RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND IN LIBER 41869 AT FOLIO 368. AND ALSO A SUBDIVISION OF PART OF THE LAND CONVEYED BY ERIC A. ANDERSON TRUSTEE AND THOMAS E. HELF, TRUSTEE TO SENECA RIDGE DEVELOPMENT, LLC BY TRUSTEES' DEED DATED SEPTEMBER 23, 2010 AND RECORDED AMONG THE AFORESAID LAND RECORDS IN LIBER 41869 AT FOLIO 378.

I FURTHER CERTIFY THAT IF ENGAGED AS DESCRIBED IN THE OWNERS CERTIFICATE HEREON, ALL PROPERTY MARKERS AND OTHER BOUNDARY MARKERS SHOWN THUS—○—WILL BE SET IN ACCORDANCE WITH SECTION 50-24(e) OF THE MONTGOMERY COUNTY CODE. THE TOTAL AREA INCLUDED IN THIS PLAT OF SUBDIVISION IS 706701 SQUARE FEET OR 16.2236 ACRES OF WHICH NONE IS DEDICATED TO PUBLIC USE.

STATE OF MARYLAND · MITCHELL EDWARD GOODE · No. 444 · REGISTERED PROPERTY LINE SURVEYOR

6/12/18
DATE

MITCHELL E. GOODE
PROPERTY LINE SURVEYOR
MARYLAND REG. NO. 444
LICENSE EXPIRATION DATE: 12/10/2018

NOTES

1. PROPERTY ZONED RE2C AT DATE OF RECORDATION ALL EXISTING AND PROPOSED DEVELOPMENT ON THIS PROPERTY IS SUBJECT TO THE STANDARDS UNDER MONTGOMERY COUNTY ZONING.

2. ALL LOTS ARE TO BE SERVED BY PUBLIC WATER AND PRIVATE SEPTIC SYSTEM SEWER AND WATER CATEGORIES: S-6, W-3.

3. THIS PLAT IS LIMITED TO THE USES AND CONDITIONS AS REQUIRED BY PRELIMINARY PLAN NO. 120061180 ENTITLED "STERN PROPERTY" DATED 5-23-14 ANY PROPOSED CHANGES IN USE WILL REQUIRE FURTHER PLANNING BOARD REVIEW AND APPROVAL.

4. THE PROPERTY SHOWN HEREON IS SUBJECT TO THE REQUIREMENTS OF THE MONTGOMERY COUNTY FOREST CONSERVATION LAW OF 1992, INCLUDING APPROVAL OF A FINAL FOREST CONSERVATION PLAN AND APPROPRIATE AGREEMENTS PRIOR TO ISSUANCE OF SEDIMENT CONTROL PERMIT.

5. ALL TERMS, CONDITIONS, AGREEMENTS, LIMITATIONS, AND REQUIREMENTS ASSOCIATED WITH ANY PRELIMINARY PLAN, SITE PLAN, PROJECT PLAN, OR OTHER PLAN, ALLOWING DEVELOPMENT OF THIS PROPERTY, APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD ARE INTENDED TO SURVIVE AND NOT BE EXTINGUISHED BY THE RECORDATION OF THIS PLAT. THE OFFICIAL PUBLIC FILES FOR ANY SUCH PLAN ARE MAINTAINED BY THE PLANNING BOARD AND ARE AVAILABLE FOR PUBLIC VIEWING JURING NORMAL BUSINESS HOURS.

6. THIS PLAT IS NOT INTENDED TO SHOW EVERY MATTER AFFECTING OR RESTRICTING THE OWNERSHIP AND USE OF THE PROPERTY. THIS PLAT IS NOT INTENDED TO REPLACE AN EXAMINATION OF TITLE OR TO DEPICT OR NOTE ALL MATTERS AFFECTING TITLE.

7. THE PROPERTY SHOWN HEREON IS LOCATED ON MONTGOMERY COUNTY TAX MAP FX562 W.S.S.C. GRID 236NW09.

8. SEPTIC FIELD BUILDING RESTRICTION LINE IS SUBJECT TO CHANGE UPON REAFPROVAL BY THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES WELL AND SEPTIC SECTION.

9. LOT 119 IS APPROVED FOR A 4 BEDROOM HOUSE.

10. PARCEL I TO BE CONVEYED TO THE H.O.A.

11. THE ENTIRETY OF LOT :19 SHOWN HEREON COMPRISES THE ENVIRONMENTAL SETTING BOUNDARY OF THE REZIN/BOWMAN FARM (HISTORIC RESOURCE #11/21). ANY NEW CONSTRUCTION OR SITE MODIFICATION WITHIN THE AFORESAID ENVIRONMENTAL SETTING BOUNDARY ARE SUBJECT TO REVIEW AND APPROVAL BY THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION.

12. PARCEL I AND LOT 119 HEREON IS WITHIN AN APPROVED CLUSTER DEVELOPEMENT AND SUBDIVISION OR RESUBDIVISION IS NOT PERMITTED AFTER THE PROPERTY IS DEVELOPED.

13. PARCEL I SHOWN HEREON IS SUBJECT TO A DECLARATION OF OPEN SPACE COVENANT RECORDED IN LIBER 28045 AT FOLIO 578 AND LIBER 44779 FOLIO 284 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND.

PLAT TOTALS	
NUMBER OF LOTS, PARCELS	2
AREA OF LOTS, PARCELS	16.2236 ACRES
AREA OF DEDICATION	0.0 ACRES
TOTAL AREA SHOWN ON PLAT	16.2236 ACRES

OWNER'S CERTIFICATE

WE, THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT OF SUBDIVISION, ESTABLISH MINIMUM BUILDING RESTRICTION LINES AS PRESCRIBED BY THE MONTGOMERY COUNTY ZONING CODE.

FURTHER WE GRANT TO MONTGOMERY COUNTY, MARYLAND SLOPE EASEMENTS 25' WIDE OR AS MAY BE OTHERWISE SHOWN HEREON, ADJACENT, PARALLEL, AND CONTIGUOUS TO THE STREET RIGHT-OF-WAY LINES. SLOPE EASEMENTS SHALL BE AUTOMATICALLY EXTINGUISHED AFTER ALL REQUIRED PUBLIC IMPROVEMENTS ABUTTING SAME HAVE BEEN LAWFULLY COMPLETED AND HAVE BEEN ACCEPTED FOR MAINTENANCE BY MONTGOMERY COUNTY OR OTHER APPROPRIATE PUBLIC AGENCY.

FURTHER WE GRANT TO THOSE PARTIES LISTED IN THAT CERTAIN DECLARATION RECORDED IN LIBER 3834 AT FOLIO 457 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND, PUBLIC UTILITY EASEMENTS, DESIGNATED HEREON AS "P.U.E.", SUBJECT TO THE TERMS AND PROVISIONS FOR THE PUBLIC UTILITY EASEMENTS INDICATED WITHIN SAID DECLARATION.

FURTHER WE GRANT THE 15' TRAIL ACCESS EASEMENT AS SHOWN HEREON FOR THE BENEFICIARIES INDICATED HEREON.

FURTHER, WE AS THE OWNERS OF THIS SUBDIVISION, OUR SUCCESSORS AND ASSIGNS, WILL CAUSE ALL PROPERTY CORNER MARKERS AND ANY OTHER REQUIRED MONUMENTATION TO BE SET BY ENGAGING A LICENSED MARYLAND LAND SURVEYOR IN ACCORDANCE WITH SECTION 50-24(e) OF THE MONTGOMERY COUNTY CODE.

THERE ARE NO SUITS, ACTIONS AT LAW, LIENS, LEASES, MORTGAGES OR TRUSTS AFFECTING THE PROPERTY INCLUDED IN THIS PLAT OF SUBDIVISION, EXCEPT FOR A CERTAIN DEED OF TRUST RECORDED AMONG THE AFOSAID LAND RECORDS IN LIBER 42060 AT FOLIO 358 AND THE PARTIES IN INTEREST THERETO HAVE HEREON INDICATE THEIR ASSENT BELOW.

WITNESS
WE HEREBY ASSENT TO THIS PLAN OF SUBDIVISION
PB CAPITAL, LLC
WITNESS

6/14/18
DATE

BY SENECA RIDGE DEVELOPEMENT, LLC
BY STEPHEN J. KIDD, VICE PRESIDENT

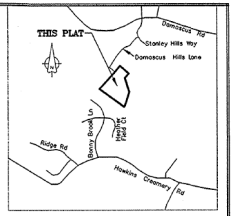
6/14/18
DATE

ERIC A. ANDERSON, TRUSTEE

220100580 120061180 RE-2C

THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION MONTGOMERY COUNTY PLANNING BOARD	MONTGOMERY COUNTY, MARYLAND DEPARTMENT OF PERMITTING SERVICES	
APPROVED: July 12, 2018	APPROVED: June 20, 2018	DATE:
CHAIRMAN / SECRETARY-TREASURER	DIRECTOR	PLAT NO.
M.N.C.P.& P.C. RECORD FILE NO. 640-47		

VICINITY MAP
SCALE: 1"= 3000'



BONNY BROOK LANE
(60' PUBLIC R/W)
PREVIOUSLY DEDICATED
PER PLAT NO. 21271

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	TANGENT	CHORD BEARING	CHORD LENGTH
C1	710.00'	10.00'	00°48'25"	5.00'	N 35°45'10" W	10.00'
C2	60.00'	25.31'	24°10'24"	12.85'	N 24°45'29" W	25.13'

0' 100' 200' 300'
DRAWING SCALE 1"=100'

SUBDIVISION RECORD PLAT
LOT 119 AND PARCEL "I"
SENECA SPRINGS
ELECTION DISTRICT 12
MONTGOMERY COUNTY, MARYLAND
SCALE 1"=100'
JUNE 2018

GOODE SURVEYS, LLC
P.O BOX 599
DAMASCUS, MD 20872
PHONE:(301)368-3700
FAX:(301)368-3703

P227381

MSA S1249-30954

640-47

35

MONTGOMERY COUNTY CIRCUIT COURT (Subdivision Plats, MO) Plat 25407, MSA_S1249_30954. Date available 2018/07/19. Printed 05/20/2021.