

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	5633 Lambeth Rd., Bethesda	Meeting Date:	4/6/2022
Resource:	Contributing Resource Greenwich Forest Historic District	Report Date:	3/30/2022
Applicant:	Jane & Steve Jepson David Merrick, Agent	Public Notice:	3/23/2022
Review:	HAWP	Tax Credit:	n/a
Permit No.:	985601	Staff:	Dan Bruechert
Proposal:	Fenestration alteration, siding replacement, painting unpainted masonry		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Greenwich Forest Historic District
STYLE: Colonial Revival
DATE: 1940

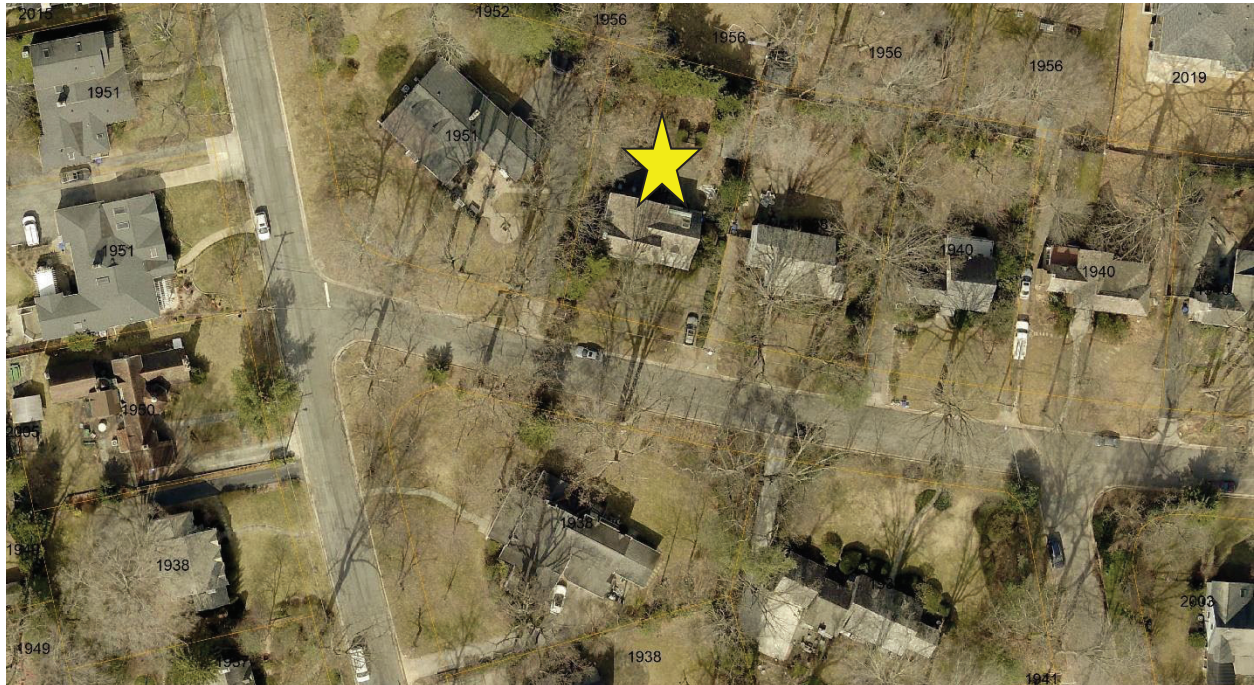


Figure 1: 5633 Lambeth Rd.

PROPOSAL

The applicant proposes to remove and replace non-historic windows, install new shutters, replace wood siding with fiber cement, and paint the house exterior.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Greenwich Forest Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Greenwich Forest Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Greenwich Forest Historic District Guidelines

A. PRINCIPLES

The preservation of the following essential elements of Greenwich Forest is the highest priority in making decisions concerning applications for work permits. These Principles are not meant to stop or create unreasonable obstacles to normal maintenance, reasonable modifications, and the evolving needs of residents.

A1. Greenwich Forest was conceived of, built, and to a great degree preserved as a park-like canopied forest with gentle topographic contours, in which the presence of houses and hardscape are understated relative to the natural setting. The removal of mature trees and the significant alteration of topographic contours on private property, the Greenwich Forest Triangle, and the public right-of-way in Greenwich Forest should be avoided whenever possible. The Greenwich Forest Citizens Association (GFCA) will continue to support the replacement of trees. In order to protect mature trees and the natural setting of Greenwich Forest, and to limit runoff into the Chesapeake Bay, the creation of extensive new impermeable hardscape surfaces should be avoided whenever possible.

A2. The houses in Greenwich Forest create an integrated fabric well-suited to its forest setting. These Guidelines are intended to preserve this environment by ensuring that approved work permits include appropriate safeguards that protect the following three essential elements of this fabric:

c. High quality building materials and high level of craftsmanship.

A3. The neighborhood needs to evolve to meet the needs of its residents while maintaining the charm and architectural integrity that have been maintained since the 1930s. Introducing new *architectural styles* that are not already present in the neighborhood will detract from its integrated fabric.

B. BALANCING PRESERVATION AND FLEXIBILITY

Greenwich Forest represents a period in the evolution of Montgomery County worthy of preservation, but it has also changed in response to the needs of residents since it was created in the 1930s. These Guidelines seek a reasonable compromise between preservation and the needs of residents in several ways.

B1. Most of the houses in the Greenwich Forest Historic District are designated “contributing” because

they contribute to the architectural and historic nature of the district. Contributing structures are shown in the map of the districts. These Guidelines are more specific for contributing structures.

B2. Other houses in the district are designated non-contributing either because (1) they were built more recently than contributing houses with other architectural styles (see Appendix 3) or (2) their original features have been significantly altered by subsequent modifications. Non-contributing structures are shown on the map of the District. The Guidelines provide greater flexibility for owners of non-contributing houses.

B3. These Guidelines reflect the reality that nearly all houses in Greenwich Forest have been modified since their construction. Owners are not expected to return their houses to their original configurations. The modifications they are permitted to make under these Guidelines are based on the current reality in the neighborhood, provided that those modifications are consistent with the Principles in these Guidelines.

B4. Property owners have additional flexibility under these Guidelines to make more extensive changes to the parts of their houses that are less visible from the public rights-of-way in front of their houses. The Guidelines accomplish this by stipulating different levels of review for specific elements on different parts of houses.

The *Guidelines* that pertain to this project are as follows:

D1. Changes to *architectural style*: Changes to the *façades of contributing houses* and additions thereto are permitted if the new *front elevation* (1) is consistent with a style of another *contributing house* (see Appendix 3); and (2) is suitable to and does not significantly alter the original outline, shape and scale of the original structure.

D7. Building materials: Replacement of roofs, siding, and trim with original materials is strongly recommended and is considered maintenance that will not require an application for a work permit. Use of non-original “like materials” such as architectural asphalt shingles requires a work permit to ensure that they match the scale, texture, and detail of the original materials and are consistent with the overall design of the existing house. For example, homeowners wishing to replace slate or tile roofs may use alternative materials that match the scale, texture, and detail of the roof being replaced. If an original slate or tile roof had been replaced with non-original material before July 1, 2011, the homeowner may replace the existing roof in kind or with another material consistent with the architectural style of that house.

D17. Windows, dormers, and doors: Door and window replacements are acceptable, as long as the replacements are compatible with the architectural style of the house. Replacement windows with true or simulated divided lights are acceptable, but removable (‘snap-in’) muntins are not permitted on front-facing windows of contributing houses. Front-facing dormer additions to third floors are permitted on non-contributing houses and on contributing houses, if such additions do not involve raising the main roof ridge line (as specified in D5) and if the addition is compatible in scale, proportion, and architectural style of the original house.

According to the *Guidelines*, the three levels of review are as follows:

Limited scrutiny is the least rigorous level of review. With this level, the scope or criteria used in the review of applications for work permits is more limited and emphasizes the overall structure rather than materials and architectural details. The decision-making body should base its review on maintaining compatibility with the design, texture, scale, spacing and placement of surrounding houses and the impact of the proposed change on the streetscape.

Moderate scrutiny is a higher level of review than limited scrutiny and adds consideration of the preservation of the property to the requirements of limited scrutiny. Alterations should be designed so the altered structure does not detract from the fabric of Greenwich Forest while affording homeowners reasonable flexibility. Use of compatible new materials or materials that replicate the original, rather than original building materials, should be permitted. Planned changes should be compatible with the structure's existing architectural designs.

Strict scrutiny is the highest level of review. It adds consideration of the integrity and preservation of significant architectural or landscape features and details to the requirements of the limited and moderate scrutiny levels. Changes may be permitted if, after careful review, they do not significantly compromise the original features of the structure or landscape.

Sec. 24A-8. Same-Criteria for Issuance

(a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

(2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

(d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

Secretary of Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” Standards 2, 9, and 10 most directly apply to the application before the commission:

#2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

STAFF DISCUSSION

The subject property is a two-story brick Colonial Revival with a slate gambrel roof. To the right, the original porch has been enclosed with large picture windows and T1-11 siding. The applicant proposes to remove the picture windows and install new double-hung aluminum clad windows with shutters, replace the T1-11 and wood siding with fiber cement siding, and paint the house. Staff finds the work will not have a significant impact on the house or character of the district and recommends the HPC approve the HAWP.

Window Replacement

On the right side of the house, historically, there was an open porch. Sometime before the district was established, the porch was enclosed with three large picture windows and T-11 siding. The applicant proposes to remove the windows and replace them with two six-over-six aluminum clad SDL windows with fiber cement siding in a 7" (seven inch) exposure.

Staff finds the proposed changes will not have a significant impact on the historic character of the house, as the alterations are non-historic. Staff finds the six-over-six windows match the configuration of the existing windows and are compatible with Colonial Revival architecture. Staff additionally finds the proposed siding will replace non-historic siding, and while the fiber cement siding has a narrower shadow line than wood siding, Staff finds it is a significant improvement over the T1-11. Finally, Staff finds the paired louvered wood shutters and consistent with the shutters on the first floor and are an appropriate feature under the *Design Guidelines* and 24A-8(b)(2).

Exterior Painting

The second work item proposed is painting the exterior of the house. The applicant provided colors for each of the materials, and while that is beneficial in visualizing the finished product, is not necessary, because the HPC regulates finish not color.

Staff finds painting the fiber cement siding, windows, and shutters is all in-kind work and does not require a HAWP. The applicant proposes painting the exterior brick as part of this HAWP. The HPC considered and denied a similar HAWP application in Greenwich Forest in October 2021.¹ In that case, the applicant sought approval to paint the historic brick house and the HPC determined that painting the historic brick would not preserve the house as a recognizable entity as required for building additions proposals under guideline D4. This proposal differs in that it does not include a building addition, so the reasoning in the October 2021 HAWP does not apply in this instance.

Painting an unpainted brick surface is not a recommended historic preservation practice, primarily because it obscures the historic fabric and can rarely be removed in its entirety without damaging the brick. Staff acknowledges that painting the brick would contravene Standard 2, however, the *Greenwich Forest Design Guidelines* provide more flexibility to homeowners; similarly, the HPC's Executive Regulations for 24A require that when there is a conflict between the Standards and local guidelines, the local guidelines control.

Staff begins the analysis of the proposal by considering the introduction to the *Guidelines*, which states, "Any work permit sought for any situation not specifically covered by these Principles and *Guidelines* shall be deemed to have an insignificant effect on the historic resource and must be approved by the decision making body." Exterior painting and/or exterior finish is not specifically addressed in either the Principles, Major Guidelines, or Guidelines for Specific Elements. Guideline D7 encourages replacing materials in-kind, which does not require a HAWP, but does not address consideration of exterior finishes.

In a broader consideration, Staff looks both to Section A – Principals and Section B – Balancing Preservation and Flexibility, for more general guidance. Both of these sections of the *Guidelines* stress preserving the historic style and setting over specific building materials and support "reasonable modifications" and seek "a reasonable compromise between preservation and the needs of residents."

¹ The Staff Report for the HAWP to paint 7823 Overhill Rd. is available here: <https://montgomeryplanning.org/wp-content/uploads/2021/10/I.F-7823-Overhill-Road-Bethesda-967939-REVISION.pdf>. The HPC held a hearing on this case and denied the proposal 8-0 under 24A-8(a) and citing the D4 of the Design Guidelines, because painting the historic brick would not have preserved the historic building as a recognizable entity as part of the proposed addition. The hearing is available here: http://mncppc.granicus.com/MediaPlayer.php?publish_id=c11113dc-3801-11ec-88a7-0050569183fa.

The lack of specificity in the *Guidelines* and the broader theme of a loose application of preservation rules leads Staff to conclude that exterior painting is not covered in the *Guidelines* and the HPC is recommended to approve the HAWP as stated in the introduction to the *Guidelines*.

If one were to argue that exterior paint was covered under the Guideline for Building Materials, Limited Scrutiny is supposed to apply. Limited Scrutiny is:

“the least rigorous level of review. With this level, the scope or criteria used in the review of applications for work permits is more limited and emphasizes the **overall structure rather than materials and architectural details**. The decision-making body should base its review on maintaining compatibility with the design, texture, scale, spacing and placement of surrounding houses and the impact of the proposed change on the streetscape. (*emphasis added*).”

There seems to be a conflict in the internal logic of reviewing building materials under a standard that minimizes consideration of building materials and architectural details. Regardless, Staff finds it is necessary to apply the Principles and Guidelines in a manner that is fair and predictable. As the Principles and Guidelines do not address exterior painting or finish; and Limited Scrutiny places its emphasis on the overall structure, Staff finds the *Guidelines* lead to a conclusion that the painting of otherwise unremarkable masonry of no particular character should be approved as a matter of course.

In addition to the language of the *Guidelines* Staff also considered the character of the district. The two houses directly across the street at 8025 Hampden Ln. and 5620 Lambeth Rd. both have large sections of painted exterior brick, as does the house to the right of the subject property at 5629 Lambeth Rd. (the houses to the west and north of the subject property, while painted, are outside of the boundaries of the historic district). Additionally, 5625 York Ln., 8020 Hampden Ln., 8013 Hampden Ln., 8004 Hampden Ln., 7821 Hampden Ln., 7814 Hampden Ln., and 7823 Overhill Rd. are all, like the subject property, Contributing Resources, and have – at a minimum – sections of painted brick. Many of these buildings were painted before the district was established, so no review was required, but Staff finds it illuminating that more than 10% of the contributing resources include painted brick. Staff recommends the HPC approve the HAWP for the reasons stated above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application; under the Criteria for Issuance in Chapter 24A-8(b)(2) and (d), and the *Greenwich Forest Historic District Design Guidelines*, having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the surrounding district and the purposes of Chapter 24A;

and with the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 985601
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Jane and Steve Jepson
Address: 5633 Lambeth Rd
Daytime Phone: 716 510 5151

E-mail: jmjepson10@gmail.com
City: Bethesda Zip: 20814
Tax Account No.: 00496122

AGENT/CONTACT (if applicable):

Name: David Merrick
Address: 3300 Plyers Mill Rd
Daytime Phone: 301 448 0280

E-mail: dmerrick@mdbi.us
City: Kensington Zip: 20895
Contractor Registration No.: 38984

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 35/165

Is the Property Located within an Historic District? Yes/District Name Greenwich Forest
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>Siding</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

David Merrick

3/7/22

Signature of owner or authorized agent

Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address Jane and Steve Jepson 5633 Lambeth Rd Bethesda, MD 20814	Owner's Agent's mailing address David Merrick Merrick Design and Build Inc. 3300 Plyers Mill Road Kensington, MD 20895
Adjacent and confronting Property Owners mailing addresses	
Kelvin and Kristina Garcia 8101 Hampden Lane Bethesda, MD 20814	Matthew and Carolyn Miller 5629 Lambeth Rd Bethesda, MD 20814
Rita Burks Tr 8025 Hampden Lane Bethesda, MD 20814	Michael and PO Hertzberg 5620 Lambeth Rd Bethesda, MD 20814

Adjacent and Confronting Properties:

Bethesda, MD 20814

5629 Lambeth Road

8025 Hampden Lane

8101 Hampden Lane

5606 Huntington Parkway

5608 Huntington Parkway

5620 Lambeth Road

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

One and one half story English Gambrel Colonial solid masonry single family house and a flat lot. There is an attached garage with rear entry on the right side, the front section of the garage has been enclosed with wood siding and 3 large picture windows. The garage itself has been converted into a family room. The front section may have originally been an open porch, there is very little evidence of what it might have been.

Existing windows on the main house are 6/6 wood double hung with triple track aluminum storm windows with a wood panel below, there is no brick sill.

Wood siding was used to infill the assumed open porch, the wood wall section is 1x6 vertical V groove wood siding with 8" beaded wood siding in the end gable. The siding has been painted brick red to match the original exposed brick.

Description of Work Proposed: Please give an overview of the work to be undertaken:

The original open or screened front porch was enclosed with 3 large windows that do not match the style of the house, we propose to remove the 3 large picture windows and reduce the opening size to create 2 new window openings that are balanced and in proportion to the rest of the house.

We will use the 2 windows on the left as examples of correctly sized windows but reduce them slightly to fit the space. The top of the new windows is 7" lower than the main house windows and limits the height. Because there is limited space below we will not match the panel and shutter details at the base of these windows.

New windows will be aluminum clad wood windows with simulated divided lights, SDL in a 6/6 configuration. New custom wood louver shutters with operable hardware and shutter dogs to match shutters on the left.

The wood siding on the front wall and end gable will be removed and replaced with new James Hardy, straight lap, beaded, smooth siding.

The entire house will be repainted

- Brick and wood siding, light grey, taupe similar to Sherwin Williams Alabaster
- Window frames, white
- Front Door will remain stained wood grain
- Shutters, dark grey/blue similar to Sherwin Williams Gale Force

Work Item 1: Replace Picture Windows and Wood Siding

Description of Current Condition:



Proposed Work: Install (2) new aluminum clad double hung wood windows with 6/6 simulated divided lights and Low e glazing.
Install (2) pair of wood louver shutters with operable hardware that matches the shutters on the main house (without the panel detail)
See attached Elevation for layout details.



Existing Window

Work Item 2: Replace Vertical Siding with Beaded Lap

Description of Current Condition: The first floor walls are covered with 1x6 V Grove wood siding painted barn red. There is a small section of original beaded wood siding in the gable area.



Proposed Work: Install new primed James Hardie beaded, 7" exposure cement lap siding with 5/4 x 4 PVC (painted) corners.

Existing soffit, fascia, curved rake and gutter remain.
See attached Elevation for layout details.

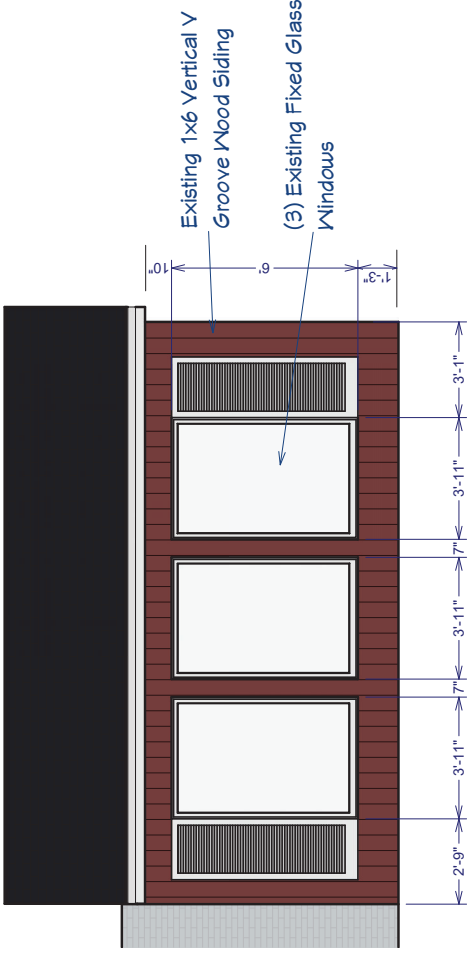
Work Item 3: Paint brick to match siding

Description of Current Condition: The current siding was painted to match the red/orange brick

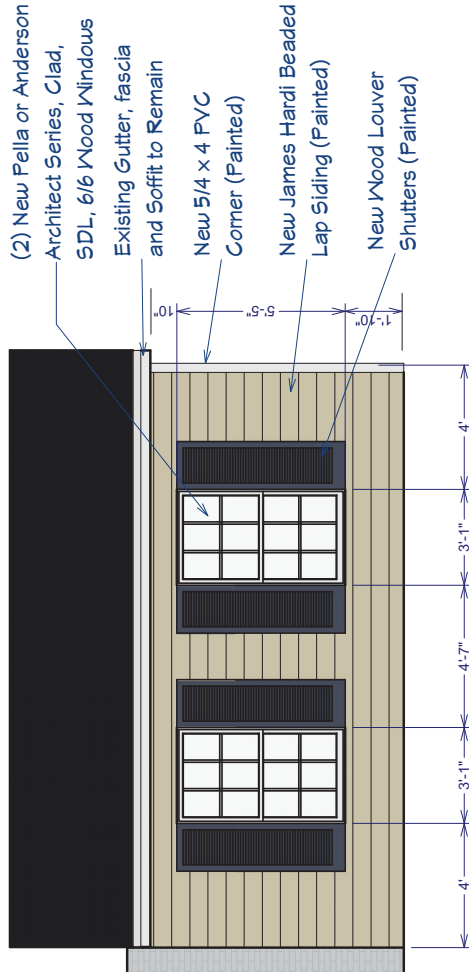


Proposed Work: A lighter siding is desired and to maintain a consistent look the brick will be painted to match the siding
-Brick and Siding will be Sherwin Williams Alabaster
-Door and Shutters will be SW Gale Force

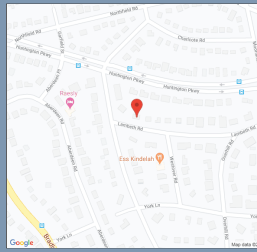




Existing Partial Front Elevation



Proposed Partial Front Elevation



PROPERTY ADDRESS: 5633 LAMBETH ROAD, BETHESDA, MARYLAND 20814

SURVEY NUMBER: 2006.7261

FIELD WORK DATE: 6/30/2020

REVISION HISTORY: (REV0 7/1/2020)

2006.7261
LOCATION DRAWING
LOT 11, BLOCK "H"
GREENWICH FOREST
MONTGOMERY COUNTY, MARYLAND
07-01-2020 SCALE 1"=30'

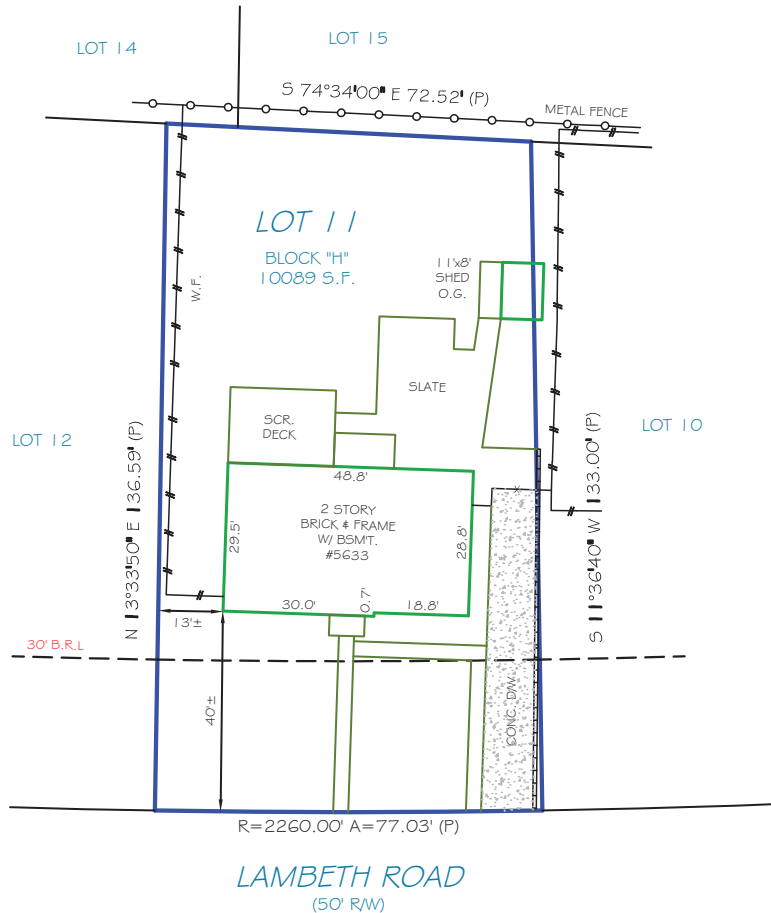


PLEASE NOTE

This House Location Drawing is for informational purposes only. Per Maryland State Code it may not be relied upon to determine property boundaries and may not be used for building permits or construction.



EXPIRES 5-26-2022



GRAPHIC SCALE (In Feet)
1 inch = 30' ft.

ACCURACY=1±

POINTS OF INTEREST:
THE FENCE APPEARS TO EXTEND OVER THE PROPERTY LINE

CLIENT NUMBER: 1259-20 ORANGE

DATE: 07/01/20

BUYER: STEPHEN G. JEPSON AND JANE M. JEPSON

CERTIFIED TO:
STEPHEN G. JEPSON AND JANE M. JEPSON

A LICENSEE EITHER PERSONALLY PREPARED THIS DRAWING OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT.



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MARYLAND SURVEYORS
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LB# 21535
www.exactamd.com

LEGAL DESCRIPTION:

LOT NUMBERED 11 IN BLOCK H IN THE SUBDIVISION KNOWN AS "GREENWICH FOREST" AS PER PLAT RECORDED IN PLAT BOOK 10 AT PLAT NO. 722 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND.

JOB SPECIFIC SURVEYOR NOTES:

THE DIMENSIONS AND DIRECTIONS SHOWN HEREON HAVE BEEN REFERENCED TO A PLAT AS RECORDED IN PLAT BOOK 10 AT PLAT 722 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND

ACCURACY EQUALS ONE FOOT PLUS OR MINUS

GENERAL SURVEYOR NOTES:

1. This plat is of benefit to the consumer insofar as it is required by a lender or title insurance company or its agent in connection with contemplated transfer, financing or refinancing.
2. This drawing is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This drawing does not provide for the accurate identification of the property boundary lines, but this identification might not be required for the transfer of title or securing financing or refinancing.
4. Unless otherwise noted, no title report was reviewed by the surveyor. Easements, restrictions, and/or right-of-ways may exist that are not shown.
5. Underground facilities not shown, may exist.
6. This survey does not address wetlands, contaminated waste or toxic soil conditions, nor have any reports, studies or information regarding such been provided to this surveyor.
7. The information contained on this survey has been performed exclusively, and is the sole responsibility, of Exacta Surveyors. Additional logos or references to third party firms are for informational purposes only.
8. Structures are measured at ground level.
9. Points of Interest (POI's) are selected above-ground improvements which may be in conflict with boundary, building setback or easement lines, as defined by the parameters of this survey. There may be additional POI's which are not shown, not called-out as POI's, or which are otherwise unknown to the surveyor. These POI's may not represent all items of interest to the viewer.
10. Utilities shown on the subject property may or may not indicate the existence of recorded or unrecorded utility easements.
11. House measurements should not be used for new construction or planning. Measurements should be verified prior to such activity.

LEGEND:

LINETYPES: (UNLESS OTHERWISE NOTED)		SURFACE TYPES: (UNLESS OTHERWISE NOTED)		SYMBOLS: (UNLESS OTHERWISE NOTED)	
BOUNDARY LINE	IRON FENCE	ASPHALT	BRICK OR TILE	BENCH MARK	FIRE HYDRANT
STRUCTURE	OVERHEAD LINES	CONCRETE	COVERED AREA	CENTERLINE	END OR SET MONUMENT
CENTERLINE	SURVEY TIE LINE	WOOD FENCE	WOOD	CENTRAL ANGLE or DELTA	GUYWIRE OR ANCHOR
CHAIN-LINK or WIRE FENCE	WALL OR PARTY WALL			COMMON OWNERSHIP	MANHOLE
EASEMENT	VINYL FENCE			CONTROL POINT	TREE
EDGE OF WATER				CONCRETE MONUMENT	UTILITY OR LIGHT POLE
				CATCH BASIN	WELL
				ELEVATION	

(C)	CALCULATED	E.O.W.	EDGE OF WATER	N.T.S.	NOT TO SCALE	R.P.	RADIUS POINT	A.E.	ACCESS EASEMENT
(D)	DEED	ELEV.	ELEVATION	NAV/D88	NORTH AMERICAN VERTICAL DATUM OF 1988	R/W	RIGHT OF WAY	AN.E.	ANCHOR EASEMENT
(F)	FIELD	EM	ELECTRIC METER	NGVD29	NATIONAL GEODETIC VERTICAL DATUM OF 1929	RES.	RESIDENCE	C.M.E.	CANAL MAINTENANCE ESMT.
(M)	MEASURED	ENCL.	ENCLOSURE	O.C.S.	ON CONCRETE SLAB	RGE.	RANGE	C.U.E.	COUNTY UTILITY ESMT.
(P)	PLAT	ENT.	ENTRANCE	O.G.	ON GROUND	S.B.L.	SET BACK LINE	D.E.	DRAINAGE EASEMENT
(R)	RECORD	EUB	ELECTRIC UTILITY BOX	O.R.B.	OFFICIAL RECORD BOOK	S.C.L.	SURVEY CLOSURE LINE	D.U.E.	DRAINAGE AND UTILITY ESMT.
(S)	SURVEY	F.F.	FINISHED FLOOR	O.R.V.	OFFICIAL RECORD VOLUME	S.T.L.	SURVEY TIE LINE	ESMT.	EASEMENT
A.S.B.L.	ACCESSORY SETBACK LINE	F.O.P.	EDGE OF PAVEMENT	O/A	OVERALL	S.W.	SEAWALL	I.E./E.E.	INGRESS/EGRESS ESMT.
A/C	AIR CONDITIONING	F/DH	FOUND DRILL HOLE	O/S	OFFSET	S/GD	SET GLUE DISC	IRR.E.	IRRIGATION EASEMENT
B.C.	BLOCK CORNER	FCM	FND. CONCRETE MONUMENT	OFF	OUTSIDE OF SUBJECT PARCEL	S/W	SIDEWALK	L.A.E.	LIMITED ACCESS ESMT.
B.F.P.	BACKFLOW PREVENTOR	FIP	FOUND IRON PIPE	OH.	OVERHANG	SCR.	SCREEN	L.E.	LANDSCAPE BUFFER ESMT.
B.R.	BEARING REFERENCE	FIRC	FOUND IRON PIPE & CAP	OHL	OVERHEAD LINES	SEC.	SECTION	L.E.	LANDSCAPE ESMT.
B.R.L.	BUILDING RESTRICTION LINE	FIR	FOUND IRON ROD	OH.	OVERHANG	SEP.	SEPTIC TANK	L.M.E.	LAKE OR LANDSCAPE MAINTENANCE EASEMENT
B/W	BAY/BOX WINDOW	FIRC	FOUND IRON ROD & CAP	INSIDE OF SUBJECT PARCEL		SEW.	SEWER	M.E.	MAINTENANCE EASEMENT
BLDG.	BUILDING	FN	FOUND NAIL	P.B.	PLAT BOOK	SIRC	SET IRON ROD & CAP	P.U.E.	PUBLIC UTILITY EASEMENT
BLK.	BLOCK	FND	FOUND NAIL AND DISC	P.C.	POINT OF CURVATURE	SN&D	SET NAIL & DISC	R.O.E.	ROOF OVERHANG ESMT.
BM	BENCHMARK	FPKN	FOUND PARKER-KALON NAIL	P.C.C.	POINT OF COMPOUND CURVATURE	STY.	STORY	S.W.E.	SIDEWALK EASEMENT
BSMT.	BASEMENT	FPKN&D	FOUND PK NAIL & DISC	P.C.P.	PERMANENT CONTROL POINT	SV	SEWER VALVE	S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
C	CURVE	FRSPK	FOUND RAILROAD SPIKE	P.I.	POINT OF INTERSECTION	T.O.B.	TOP OF BANK	T.U.E.	TECHNOLOGICAL UTILITY ESMT.
C.B.	CONCRETE BLOCK	GAR.	GARAGE	P.O.B.	POINT OF BEGINNING	TBM	TEMPORARY BENCHMARK	U.E.	UTILITY EASEMENT
C.L.F.	CHAIN LINK FENCE	GM	GAS METER	P.O.C.	POINT OF COMMENCEMENT	TEL.	TELEPHONE FACILITIES		
C.O.	CLEAN OUT	ID.	IDENTIFICATION	P.P.	PINCHED PIPE	TWP.	TOWNSHIP		
C.V.G.	CONCRETE VALLEY GUTTER	ILL.	ILLEGIBLE	P.R.C.	POINT OF REVERSE CURVATURE	TX	TRANSFORMER		
C.L.	CENTER LINE	INST.	INSTRUMENT	P.R.M.	PERMANENT REFERENCE MONUMENT	TYP.	TYPICAL		
C/P	COVERED PORCH	INT.	INTERSECTION			UG	UNDERGROUND		
C/S	CONCRETE SLAB	L	LENGTH			UR	UTILITY RISER		
CATV	CABLE TV RISER	LB#	LICENSE # - BUSINESS			V.F.	VINYL FENCE		
CH	CHORD BEARING	LS#	LICENSE # - SURVEYOR			W.F.	WOODEN FENCE		
CHIM.	CHIMNEY	M.B.	MAP BOOK			W/C	WITNESS CORNER		
CONC.	CONCRETE	M.E.S.	MITERED END SECTION			W/F	WATER FILTER		
COR.	CORNER	MES	MITERED END SECTION			WM	WATER METER/VALVE BOX		
CS/W	CONCRETE SIDEWALK	MH	MANHOLE			WV	WATER VALVE		
D.F.	DRAIN FIELD	N.R.	NON-RADIAL						
D.H.	DRILL HOLE								
D/W	DRIVEWAY								

PRINTING INSTRUCTIONS:

1. While viewing the survey in Adobe Reader, select the "Print" button under the "File" tab.
2. Select a printer with legal sized paper.
3. Under "Print Range", click select the "All" toggle.
4. Under the "Page Handling" section, select the number of copies that you would like to print.
5. Under the "Page Scaling" selection drop down menu, select "None."
6. Uncheck the "Auto Rotate and Center" checkbox.
7. Check the "Choose Paper size by PDF" checkbox.
8. Click OK to print.

TO PRINT IN BLACK & WHITE:

1. In the main print screen, choose "Properties".
2. Choose "Quality" from the options.
3. Change from "Auto Color" or "Full Color" to "Gray Scale".

POWERED BY:



surveystars



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STATE OF MARYLAND REQUIRED APPROVAL FORM

PRIOR TO CLOSING, PLEASE SIGN & EMAIL this page to
ORDERS@EXACTAMD.COM
for COMAR compliance.

Exacta Maryland Surveyors, Inc. has been requested to prepare a location drawing. A location drawing shows the property inspected and the locations of buildings or other visible improvements affecting the property. **A LOCATION DRAWING IS NOT A BOUNDARY SURVEY AND CANNOT BE RELIED UPON BY ANYONE TO SHOW WHERE THE PROPERTY'S BOUNDARIES ARE.** The only purpose of a location drawing is to provide some assurance that improvements are located on the property. This assurance is for the use of a lender or an insurer only. If a boundary survey, which could be relied upon for various purposes (for example setting the property markers, erecting a fence, building a garage, or making other improvements on the property), is desired, a surveyor should be contacted independently. The cost of a boundary survey will be greater than the cost of a location drawing.

For further information, contact: Exacta Maryland Surveyors, Inc. at 1220 E Churchville Road, Suite 100 BEL AIR, MD 20613, (443) 692-6523 or www.exactamd.com. I/we approve the preparation of a location drawing.

☐ I/we have read and understand that, in the absence of any problem revealed by or during the preparation of this drawing, it will be all that is required by the lending institutions and title companies for settlement.

☐ I/we request a boundary survey that will include a location drawing, and will identify property boundary lines and mark property boundary corners. I/we have read and understand that this may not be required for settlement purposes.

Consumer's Signature: _____ Date: _____

Phone Number: _____

In connection with the purchase or refinancing of the property located at:

PROPERTY ADDRESS	JOB NO: 2006.7261
5633 LAMBETH ROAD BETHESDA, MARYLAND 20814	
LEGAL DESCRIPTION	
LOT NUMBERED 11 IN BLOCK H IN THE SUBDIVISION KNOWN AS "GREENWICH FOREST" AS PER PLAT RECORDED IN PLAT BOOK 10 AT PLAT NO. 722 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND.	
CLIENT NAME	
PARAGON TITLE & ESCROW COMPANY	





