

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address: 2 East Lenox Street, Chevy Chase **Meeting Date:** 3/23/2022
Resource: Outstanding Resource
(Chevy Chase Village Historic District) **Report Date:** 3/16/2022
Applicant: Marijke Jurgens Dupree
(Eric Morrison, Architect) **Public Notice:** 3/9/2022
Review: HAWP **Tax Credit:** N/A
Staff: Michael Kyne
Permit Number: 981893
PROPOSAL: Garage fenestration and door alterations, chimney alteration, roof replacement, and skylight installation

STAFF RECOMMENDATION:

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION:

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District
STYLE: Tudor Revival
DATE: 1918

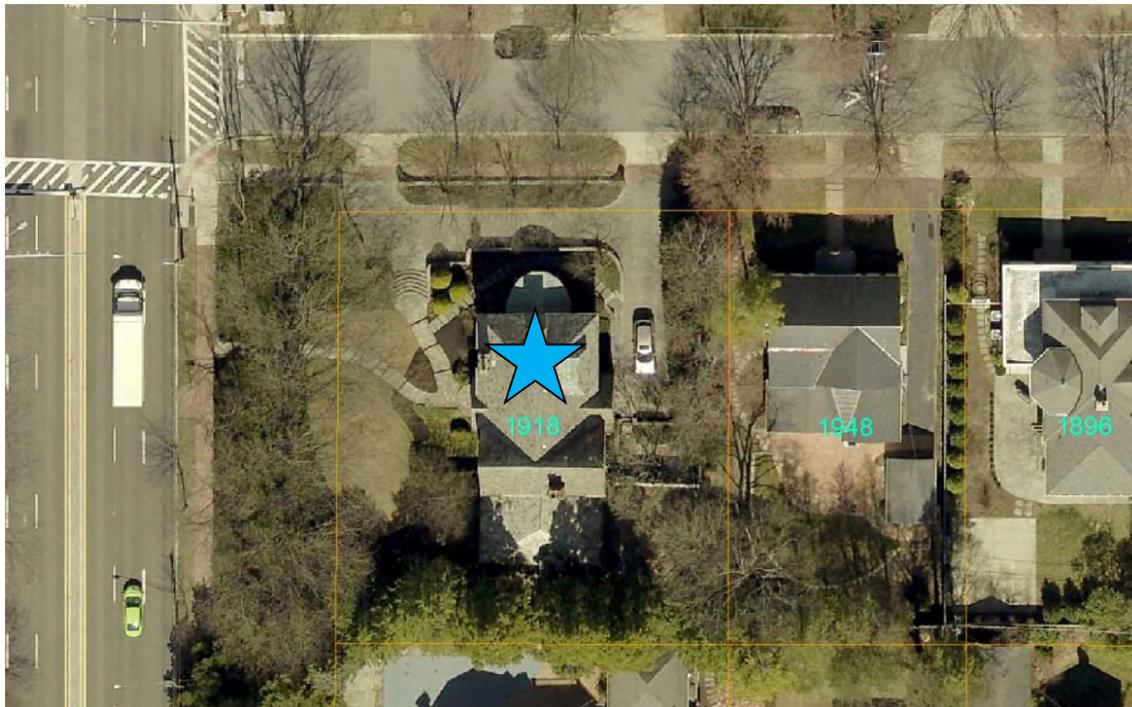


Fig. 1: Subject property, with subject property marked by the blue star.

PROPOSAL:

The applicant proposes window, door, and chimney alterations, as well as roof replacement and skylight installation on the attached garage at the south side (rear) of the subject property.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)*, the historic preservation review guidelines in the approved and adopted amendment for the *Chevy Chase Village Historic District (Guidelines)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Chevy Chase Village Historic District Guidelines

The *Guidelines* state that the following five basic policies should be adhered to:

1. Preserving the integrity of the proposed Chevy Chase Village Historic District. Any alterations should, at a minimum, perpetuate the ability to perceive the sense of time and place portrayed by the district.
2. Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
3. Maintaining the variety of architectural styles and the tradition of architectural excellence.
4. Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
5. Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* break down specific projects into three levels of review – Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale and compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this project are as follows:

Doors should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny if they are visible from the public right-of-way. Addition of compatible storm doors should be encouraged.

Garages and accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building. If an existing garage or accessory building has any common wall with, or attachment to, the main residence, then any addition to the garage or accessory building should be subject to review in accordance with the Guidelines applicable to “major additions.” Any proposed garage or accessory building which is to have a common wall with or attachment to the

main residence should also be reviewed in accordance with the Guidelines applicable to “major additions.”

Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources. These guidelines recognize that for outstanding resources replacement in kind is always advocated. For example, replacement of slate roofs in kind is usually required. However, the application should be reviewed with consideration given to economic hardship. Furthermore, as technology continues to change and improve, other building materials may become available to provide an appropriate substitute for replacement in kind, and the reviewing agency should be open to consideration of these alternative solutions.

Skylights should be subject to strict scrutiny if visible from the public right-of-way, otherwise they should be subject to lenient scrutiny.

Windows (including window replacement) should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. For outstanding resources, they should be subject to strict scrutiny. Addition of compatible exterior storm windows should be encouraged, whether visible from the public right-of-way or not. Vinyl and aluminum windows (other than storm windows) should be discouraged. Addition of security bars should be subject to lenient scrutiny, whether visible from the public right-of-way or not.

Secretary of the Interior’s Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The applicable *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

STAFF DISCUSSION:

The subject property is a c. 1918 Tudor Revival-style Outstanding Resource within the Chevy Chase Village Historic District. The property is located on a large corner lot at the southeast intersection of East Lenox Street and Connecticut Avenue. There is an attached one-story garage at the south side (rear) of the historic house. For many years, the garage has been used as a family room, and the applicant intends to convert it to a kitchen.

While the attached rear garage appears in the 1927 Sanborn Fire Insurance Map (*Fig. 2*), the original blueprints (*Figs. 3-5*) for the house demonstrate that it has been significantly altered (likely when it was converted to a family room). Notably, the original garage was constructed from timber framing and stucco, while it is currently clad in stone to match the first floor of the historic house. The garage has also been enlarged, and a covered porch has been added to the west (right, as viewed from the public right-of-way of East Lenox Street) elevation. Staff notes that the original roof pitch of the garage was steeper, as the ridge was not raised when the garage was enlarged. The existing chimney at the south side (rear) of the garage is not present in the original blueprints, and the original south (rear) fenestration has been

altered (i.e., there was originally a casement window where the chimney is now located, and the two windows flanking the chimney were later additions). The two original garage doors have been removed, and a centered sliding glass door has been installed on the east (left) elevation. The two original entry doors on the west (right) elevation have also been removed, with a centered sliding glass door added.

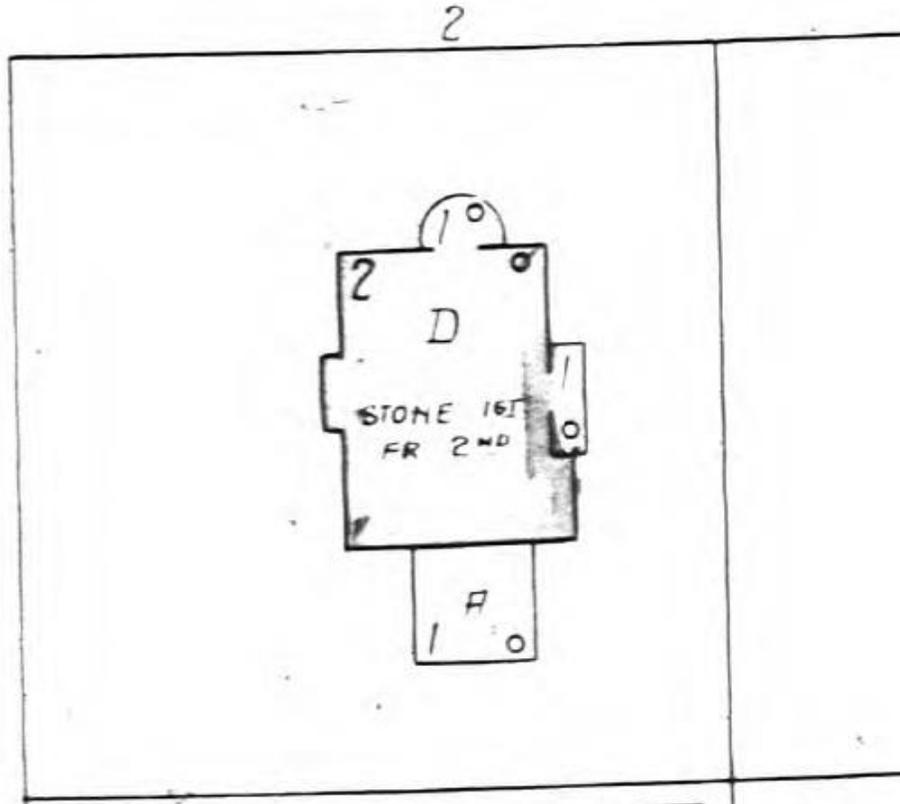


Fig. 2: 1927 Sanborn Fire Insurance Map, showing the attached one-story garage at the south (rear).



Fig. 3: House blueprint, showing the south (rear) elevation of the original garage.

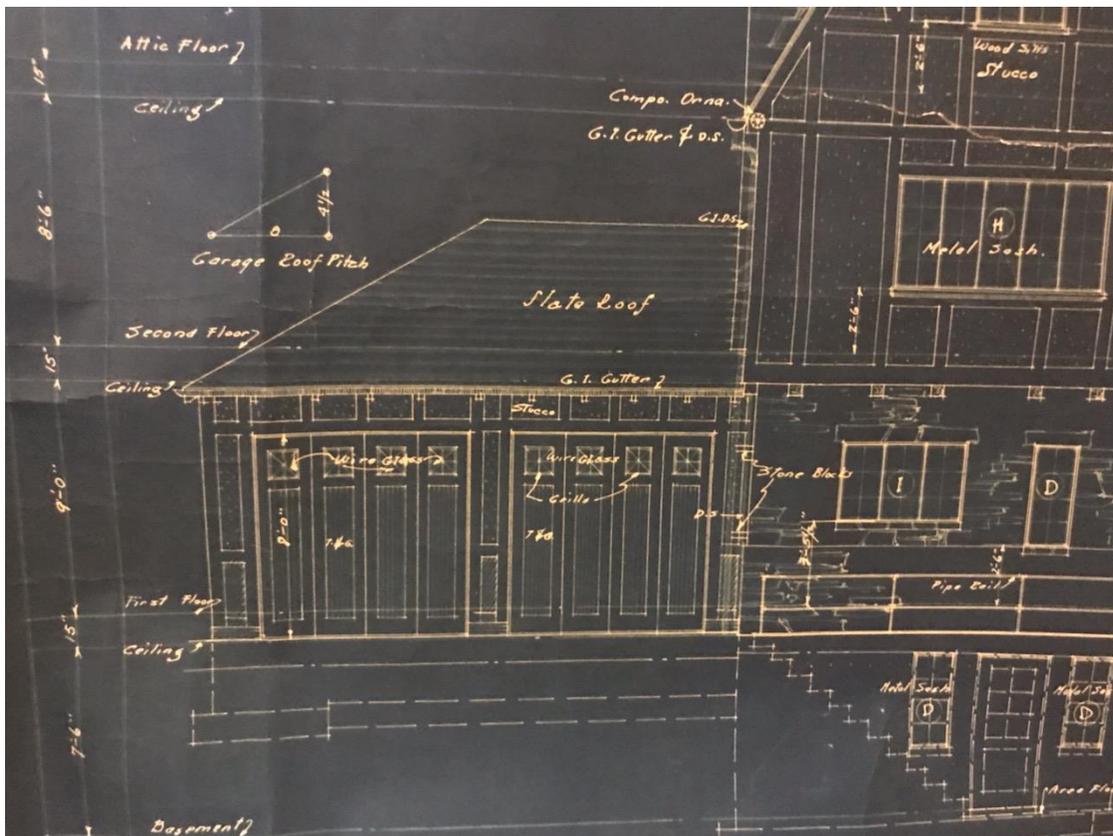


Fig. 4: House blueprint, showing the east (left) elevation of the original garage.

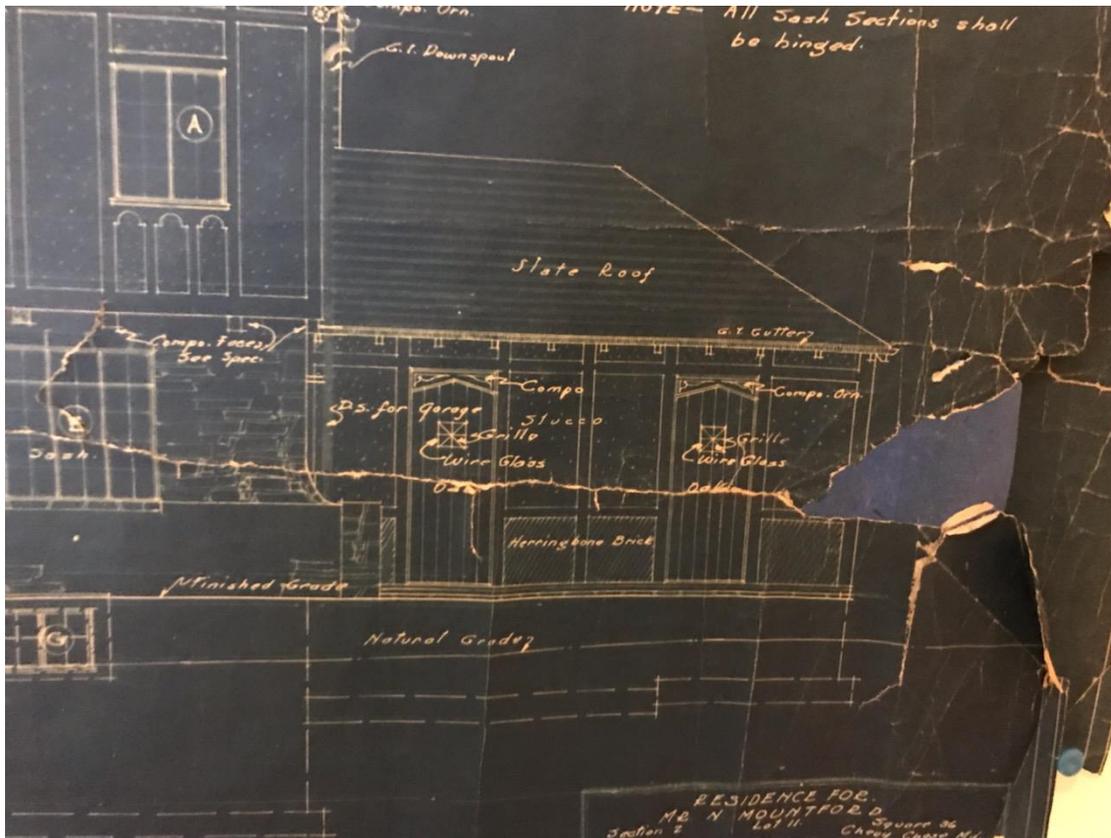


Fig. 5: House blueprint, showing the west (right) elevation of the original garage.

The applicant proposes the following work items at the subject property:

- Addition of an exterior woodburning fireplace to the existing non-original chimney at the south side (rear) of the garage.
- Infilling the two existing non-original windows on the south (rear) elevation of the garage.
 - Infill to be stone and “toothed in” to match the existing.
- Replacement of the existing non-original sliding glass doors on the east (left) elevation of the garage with wood SDL French doors within the existing opening.
- Addition of two new windows on the east (left) elevation of the garage (flanking the proposed French doors).
 - Proposed new windows to be wood SDL casement windows to match those on the historic house.
- Replacement of the existing non-original sliding glass doors on the west (right) elevation of the garage with wood SDL French doors within the existing opening.
- Addition of two new windows on the west (right) elevation of the garage (flanking the proposed French doors).
 - Proposed new windows to be wood SDL casement windows to match those on the historic house.
- Replacement of the existing slate tile roofing on the garage with standing seam copper roofing.
- Installation of one skylight on the east (left) roof slope of the garage.

Staff notes that the replacement of the non-original windows on the historic house, which is listed as a proposed work item in the application, was approved by staff as in-kind repair work in February 2022.

Staff finds that the proposed alterations on the east (left) elevation (and roof slope) of the garage will not be visible from the public right-of-way, while the proposed alterations on the south (rear) and west (right) elevations of the garage will be visible (those on the south (rear) elevation being minimally visible, at best), due to the property's location on a corner lot. However, staff fully supports the applicant's proposal, even when applying "Strict Scrutiny" to all proposed work items. The *Guidelines* state:

"Strict Scrutiny" means that the planned changes should be reviewed to ensure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be "strict in theory but fatal in fact" i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care."

As noted, the original garage has been significantly altered, and staff finds that the proposed work items are compatible with the historic house, in terms of materials and design. Accordingly, staff finds that the significant exterior architectural features and details of the historic house and garage will not be compromised, per the *Guidelines*.

Regarding roofing materials, the *Guidelines* state that "...for outstanding resources replacement in kind is always advocated. For example, replacement of slate roofs in kind is usually required." While the garage currently has slate tile roofing (and the original blueprints indicate that it originally did as well), staff supports the proposed roof replacement.

As previously noted, the garage (and its roof) has been significantly altered, and when the garage was expanded the ridge was not raised. According to the original blueprints, the roof originally had an approximately 8:12 roof slope, while the expanded/altered roof has an approximately 3:12 roof slope. It is widely accepted that a minimum roof slope of 4:12 is required for slate tile roofing to prevent wind and water damage. Further, staff finds that the proposed standing seam copper roofing is generally compatible with the subject property, noting that the original one-story half-round enclosed porch with low sloped roof at the north side (front) of the historic house currently has a painted standing seam metal roof. The original blueprints also indicate that this porch originally had a tin roof (see *Fig. 6* below).



Fig. 6: House blueprint, showing the north (front) elevation of the original garage, with the original enclosed porch roofing enlarged for detail.

Staff finds that the proposal will not remove or alter character defining features of the subject property or surrounding streetscape, consistent with *Standards #2* and *#9*.

After full and fair consideration of the applicant's submission staff finds the proposal, as revised, as being consistent with the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2* and *#9*, and *Chevy Chase Village Historic District Guidelines* outlined above.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b)(1), (2), and (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines* identified above, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2* and *#9*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:

HAWP# 981893

DATE ASSIGNED _____

APPLICANT:

Name: Marijke Jurgens Dupree
Address: 2 E Lenox St
Daytime Phone: 2022519406

E-mail: marijkejurgens@earthlink.net
City: Chevy Chase Zip: 20815
Tax Account No.: 07-00456731

AGENT/CONTACT (if applicable):

Name: Eric Morrison, AIA
Address: 1726 Connecticut Ave., NW Suite 300
Daytime Phone: 2024917852

E-mail: eric@morrisonarchitects.com
City: Washington, DC Zip: 20009
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Chevy Chase Village
 No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 2 Street: E Lenox ST
Town/City: Chevy Chase Nearest Cross Street: Connecticut Ave
Lot: pt11 Block: 36 Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input checked="" type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>modify ext chimney</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Eric Morrison, AIA jan 31, 2022

Signature of owner or authorized agent

Date

11

FOR PERMIT APP
981983

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
JURGENS-DUPREE Owner's mailing address 2 EAST LENOX ST CHEVY CHASE MD 20815	MORRISON Owner's Agent's mailing address 1726 Connecticut Ave NW #300 WASHINGTON DC 20009
Adjacent and confronting Property Owners mailing addresses	
1 EAST LENOX ST CHEVY CHASE MD 20815	3 E LENOX ST CHEVY CHASE MD 20815
4 EAST LENOX ST CHEVY CHASE MD 20815	1 E KIRKE ST CHEVY CHASE MD 20815
	3 E KIRKE ST CHEVY CHASE MD 20815

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing single family house-late 1920s- large lot on the corner of East Lenox and Connecticut Ave, sloping to Connect and Lenox

(Address used to be 5903 Connecticut Ave)

Neighborhood is fully developed, with renovated houses of various vintage

Windows are not original to the house.

Doors to be replaced are 1970 sliders, to be replaced with french doors.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Addition of windows and replacement of doors to an existing small wing of the existing house. It is the portion of the house most out of view from the street(s).

It historically used to be an attached garage, for many years it has been a " family room".

Now it is to be the kitchen. Also adding, within the existing chimney construction, a fireplace open to the exterior, using same flues. New copper roof for this section. Changing several windows in the main house due to failure and/or egress requirements. New windows to match the existing.

Windows are not original to the house, but the few replacement will match existing

Doors to be replaced are 1970 sliders, to be replaced with french doors.

No disturbance to any grading and/or landscaping

No disturbance to trees

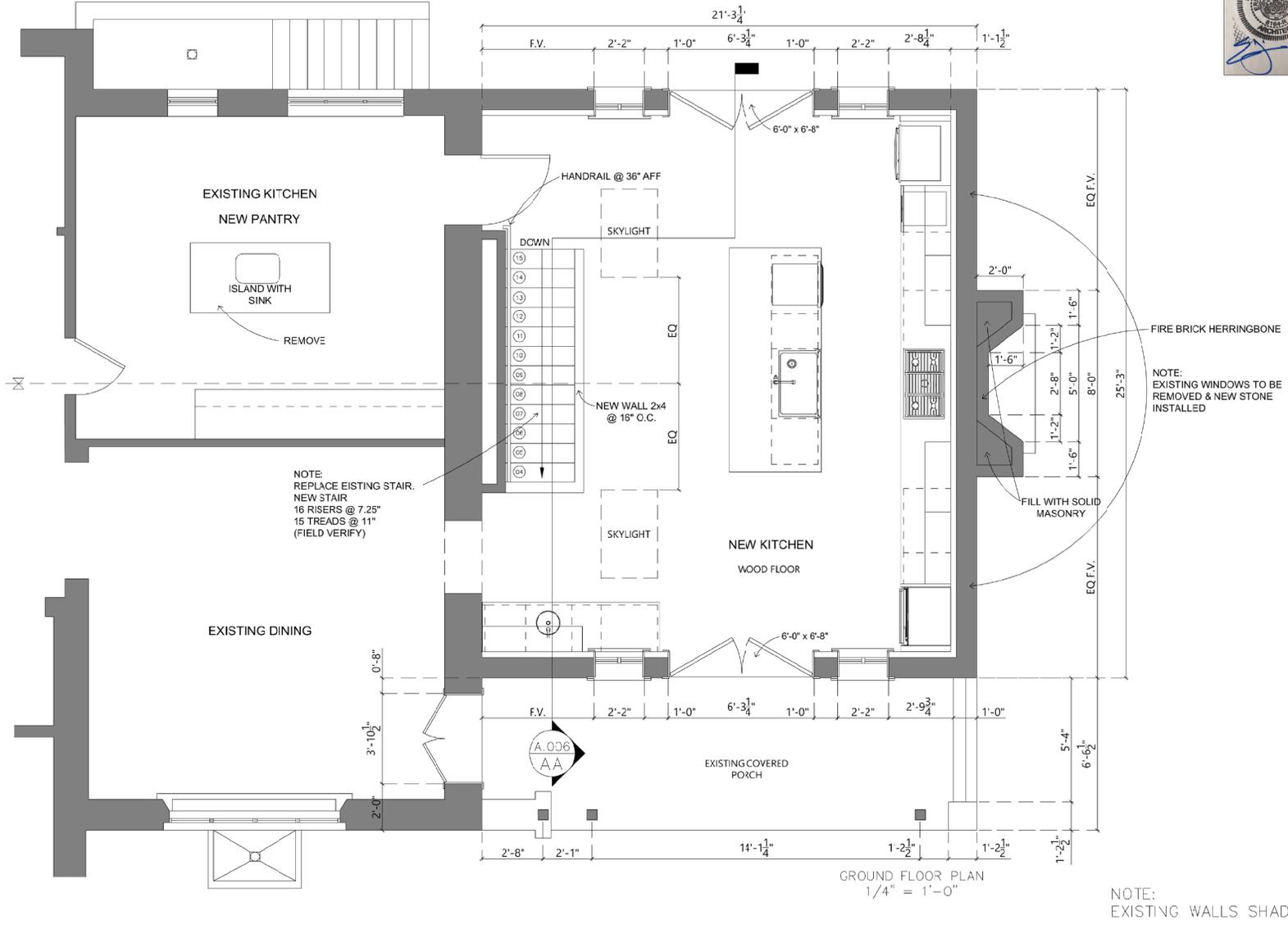
Work Item 1: <u>Add windows and replace doors</u>	
<p>Description of Current Condition: out of date sliding doors</p> <p>1970 windows failing insulated glass units</p> <p>certain windows are not code complaint for egress (casement french)</p>	<p>Proposed Work: out of date sliding doors to be replaced with french doors, to current energy code. New flanking windows to be installed to these doors.</p> <p>failing window units to be repalced " in kind" to match the exisiting remaining (majority) windows.</p> <p>non complaint ewindows to be replaced with code complaint "true french" windows, eg the center division moves with the window instead of remaioning fixed.</p> <p>Visullay matching the exisiting</p>

Work Item 2: <u>Roof</u>	
<p>Description of Current Condition: Existing roof of the historical attached garage is a low slope tiled roof</p>	<p>Proposed Work: New roof to be standing seam copper, natual patina in time</p>

Work Item 3: <u>Chimney</u>	
<p>Description of Current Condition: there is an existing vestigial chimney</p>	<p>Proposed Work: Add, within the footprint , size and shape of the existing chimney, a fireplace open to the exterior patio. This will use the existing abandoned flue/</p>

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



date	issued
1/18/2022	

GROUND FLOOR PLAN

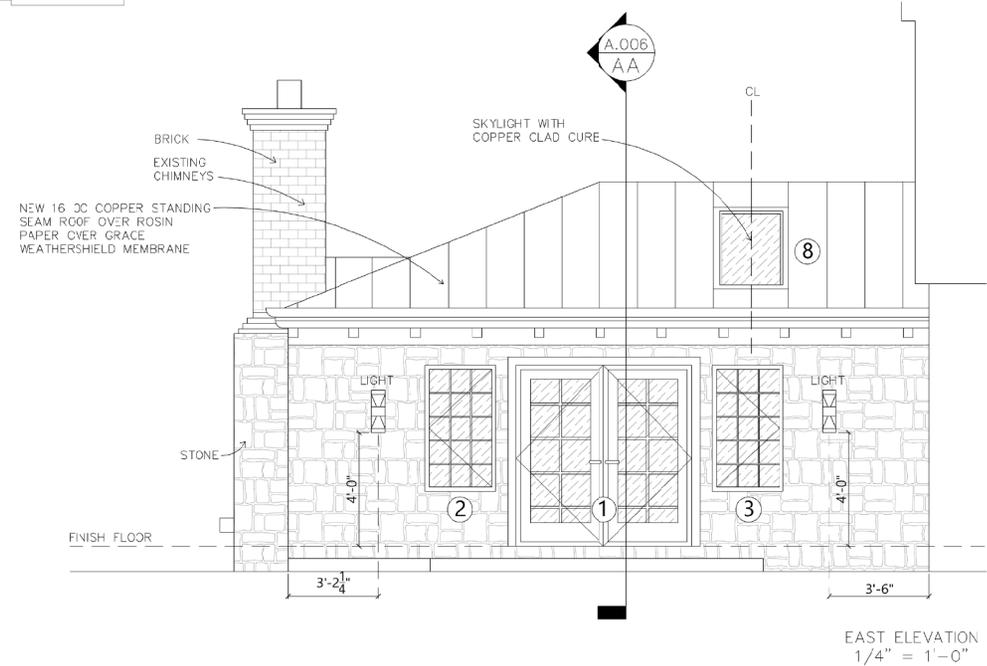
2 E. LENOX ST
PART LOT 11, BLOCK 36, SECTION 2,
CHEVY CHASE, MONTGOMERY CTY, MD

MORRISON ARCHITECTS
1726 CONNECTICUT AVENUE, NW SUITE 300, WASHINGTON D.C. 20009
TELEPHONE: 202.265.8182 FAX: 202.265.8184
E-MAIL: WELCOME@MORRISONARCHITECTS.COM

A.001



DOOR & WINDOW SCHEDULE			
No.	DESCRIPTION	SIZE	REMARKS
1/5	FRENCH DOOR	6'-0" X 6'-8"	
2/3	CASEMENT	2'-2" X 4'-0"	
4/6	CASEMENT	2'-2" X 3'-0"	
7/8	SKYLIGHT	2'-0" X 3'-0"	I.G. LOWE



NOTE: PROVIDE SAFETY GLAZING TO THE FOLLOWING LOCATIONS AND AS REQUIRED BY CODE:

- 1- IN EGRESS AND INGRESS DOORS.
- 2- IN DOORS AND ENCLOSURES OF BATHTUBS AND SHOWERS
- 3- IN FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN CLOSED POSITION WITH A BOTTOM EDGE LESS THAN 60" FROM THE FLOOR.
- 4- GLAZING IN A FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - a. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
 - b. BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
 - c. TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
- 5- WINDOWS TO BE PRIMED INTERIOR AND FACTORY ALUMINUM CLAD EXTERIOR, COLOR TO BE SELECTED
- 6- INSULATED GLASS - LOW E. ARGON FILLED
- 7- HARDWARE FINISH: TBD
- 8- ALL OPERABLE WINDOWS TO HAVE STANDARD SCREENS
- 9- 3/4" PROFILED INNER GRILLE

1- REPLACE DOOR
2- NEW WINDOWS WITH NEW OPENINGS

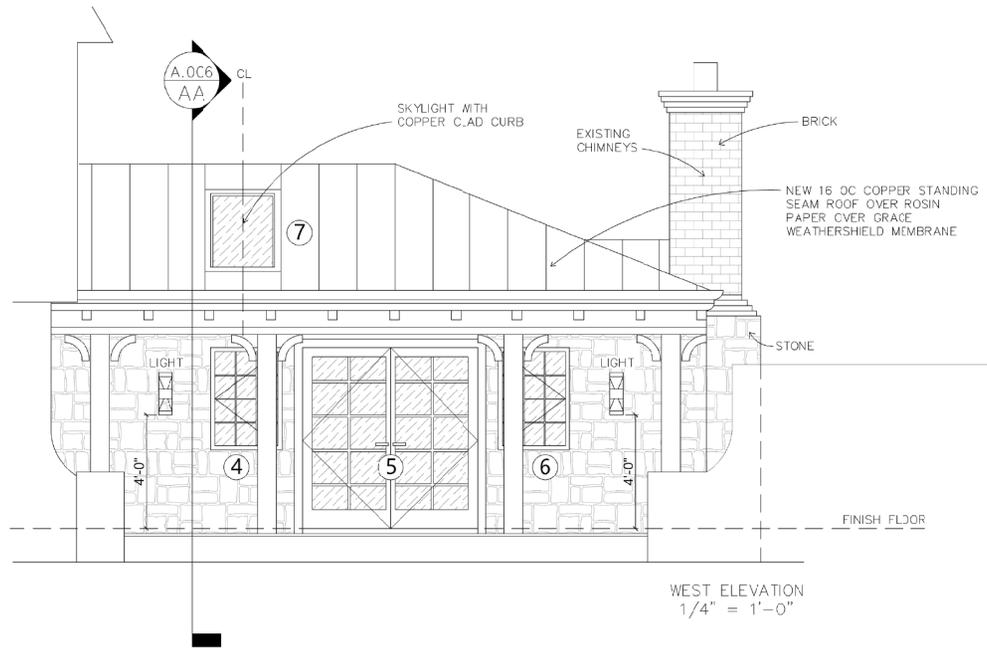
date	issued
1/18/2022	

EAST ELEVATION

2 E. LENOX ST
PART LOT 11, BLOCK 36, SECTION 2,
CHEVY CHASE, MONTGOMERY CTY, MD

MORRISON ARCHITECTS
1726 CONNECTICUT AVENUE, NW SUITE 300, WASHINGTON D.C. 20009
TELEPHONE: 202.265.8182 FAX: 202.265.8184
E-MAIL: WELCOME@MORRISONARCHITECTS.COM

A.004



- 1- REPLACE DOOR
- 2- NEW WINDOWS WITH NEW OPENINGS

date	issued
1/18/2022	

WEST ELEVATION

2 E. LENOX ST
PART LOT 11, BLOCK 36, SECTION 2,
CHEVY CHASE, MONTGOMERY CTY, MD

MORRISON ARCHITECTS
1726 CONNECTICUT AVENUE, NW SUITE 300, WASHINGTON D.C. 20009
TELEPHONE: 202.265.8182 FAX: 202.265.8184
E-MAIL: WELCOME@MORRISONARCHITECTS.COM

A.005







DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedocem
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 1/31/2022

Application No: 981893
AP Type: HISTORIC
Customer No: 1425848

Comments

no addition, no change to grading, proposed work is barely visible from the streets

Affidavit Acknowledgement

The Contractor is the Primary applicant authorized by the property owner
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Location 2 E Lenox ST chevy chase, MD 20815
Othercontact morrison (Primary)

Historic Area Work Permit Details

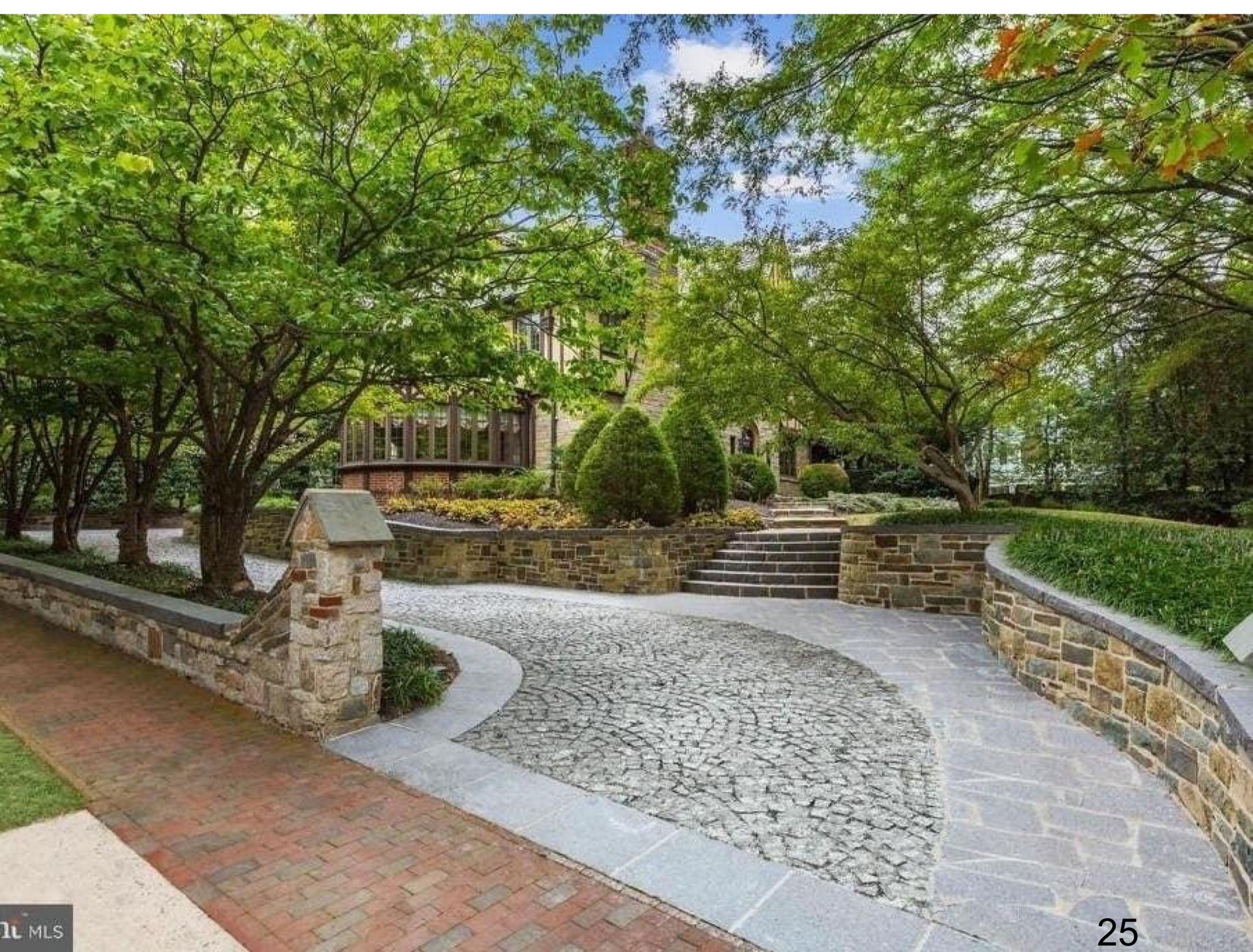
Work Type ALTER

Scope Addition of windows and doors to an existing small wing of the existing house. It historically used to be a garage, for many years it has been a " family of room". Now it is to be the kitchen. Also adding, within the existing chimney construction, a fireplace open to the exterior, using same flues. New copper Work roof for this section. Changing several windows in the main house due to failure and/or egress requirements. New windows to match the existing.

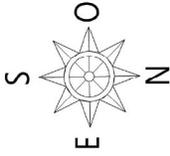




bright MLS





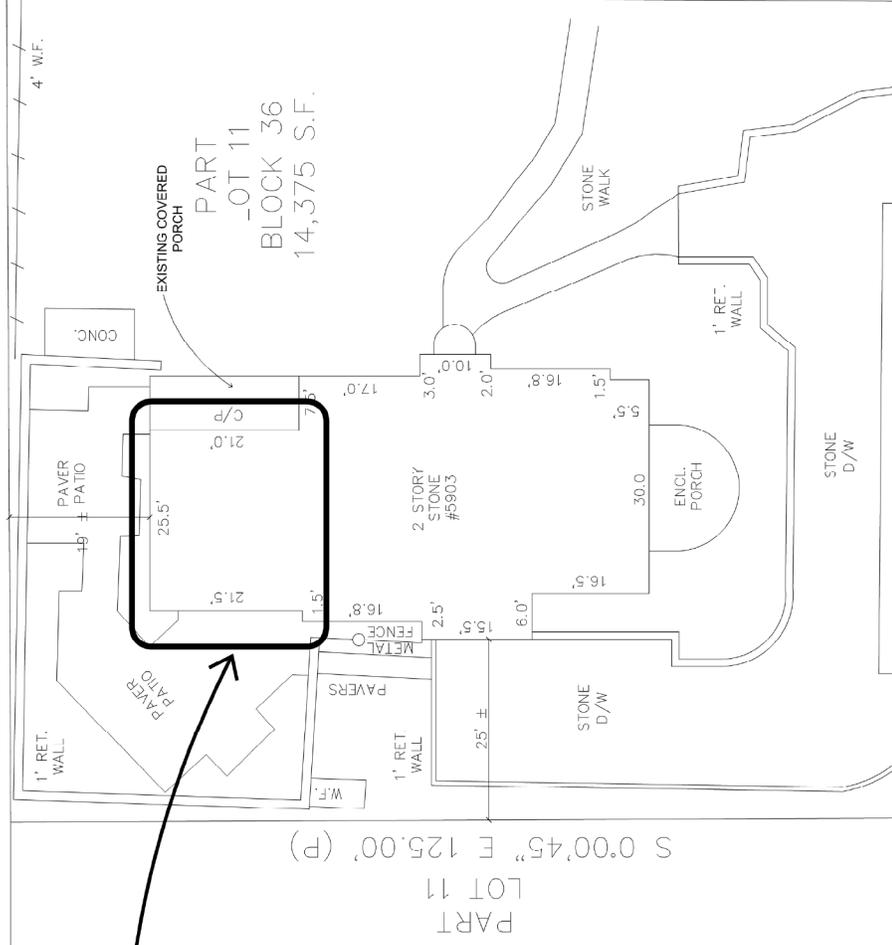


NOTE:
 1- No change to grading
 2- area of work
 3- no addition

LOT 9

LOT 10

S89°59'15" W115.00' (P)



N 0°00'45" W 125.00' (P)
 (130' R/W)
 CONNECTICUT AVENUE

S 0°00'45" E 125.00' (P)
 LOT 11
 PART

N89°59'15" E115.00' (P)
 LENOX STREET
 (60' R/W)

LOT 12

Real Property Data Search	
Search Results for MONTGOMERY COUNTY	
View Map View GroundRent Redemption View GroundRent Registration	
Special Tax Recapture: None	Account Identifier: District: 07 Account Number: 0046731
Owner Name: JURGENS-DUPREE MARISE	Use: RESIDENTIAL
2 E LENOX ST	Principal Residence: YES
CHEVY CHASE, MD 20815	Deed Reference: R3467/0007
Legal Description: CHEVY CHASE SEC 2	
Map: 2 E LENOX ST	Parcel: 759 SF
Neighborhood: Above Grade Living Area	Finished Basement Area: 14,375 SF
Parcel: 720800.0	Section: 36
Year: 2009	Lot: P11
Assessment Year: 2020	Property and Area: 111
Stories: 2	Yes
Structure Type: 1/2 STONE FRAME/UNIT	Garage: Last Notice of Major Improvements
Exterior: STONED	Quality: 7
Foundation: 4.0x1.1x11	Basement: 4.0x1.1x11

2009.6402
 LOCATION DRAWING
 PART LO 11, BLOCK 36
 SECTION TWO, CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND
 10-01-2020

date: 1/19/2022
 issued: _____

SITE PLAN- ZONING

2 E LENOX ST
 PART LOT 11, BLOCK 36, SECTION 2,
 CHEVY CHASE, MONTGOMERY CITY, MD

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