

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7410 Baltimore Ave., Takoma Park	Meeting Date:	4/6/2022
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	3/30/2022
Applicant:	Melissa Tooley & Daniel Mazmanian	Public Notice:	3/23/2022
Review:	HAWP	Tax Credit:	n/a
Permit No.:	984559	Staff:	Dan Bruechert
Proposal:	Rear deck construction		

STAFF RECOMMENDATION

Staff recommends the HPC **approve** the HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource to the Takoma Park Historic District
 STYLE: Colonial Revival
 DATE: 1996



Figure 1: 7410 Baltimore Ave. is a 1996 infill construction.

PROPOSAL

The applicant proposes to install a rear deck with a screened-in porch.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and *the Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Montgomery County Code; Chapter 24A-8

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation:

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a traditionally designed, two-story, 1996 infill house along Baltimore Ave. The applicant proposes to construct a deck across the full width of the rear elevation of the house, measuring 26' 4 ¼" × 14' (twenty-six feet four and one-quarter inches by fourteen feet). The northern 14' (fourteen feet) of the deck will be a screened-in porch with wood stairs and shingles to match the existing roof. The deck and porch will have a cable rail.

The proposed deck and screened-in porch will not be at all visible from the public right-of-way. Additionally, as a non-contributing resource, changes that do not affect the visible size or mass of the resource are to be approved as a matter of course. Staff recommends the HPC approve the deck under the *Design Guidelines* and 24A-8(d).

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application; under the Criteria for Issuance in Chapter 24A-8(d) and the *Takoma Park Historic District Guidelines*;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will **contact the staff person** assigned to this application at 301-563-3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 984559
DATE ASSIGNED _____

APPLICANT:

Name: Melissa Tooley and Daniel Mazmanian
Address: 7410 Baltimore Ave
Daytime Phone: 973-980-5221

E-mail: melissatooley@gmail.com
City: Takoma Park Zip: 20912
Tax Account No.: 01068777

AGENT/CONTACT (if applicable):

Name: Alan Abrams c/o All Eco Design Center LLC
Address: 2662 University Blvd W
Daytime Phone: 202-437-8583

E-mail: alan@abramsdesignbuild.com
City: Wheaton Zip: 20902
Contractor Registration No.: 103227

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property N/A

Is the Property Located within an Historic District? Yes/District Name Takoma Park
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 7410 Street: Baltimore Avenue
Town/City: Takoma Park Nearest Cross Street: Albany Avenue
Lot: 17 Block: 75 Subdivision: 0025 Parcel: N/A

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

2/23/22

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
 7410 Baltimore Ave
 Takoma Park, MD 20912

Owner's Agent's mailing address
 All Eco Design Center LLC
 2662 University Blvd W
 Wheaton, MD 20902

Adjacent and confronting Property Owners mailing addresses

Julie Kurland and Marcia Diehl
 7408 Baltimore Ave
 Takoma Park, MD 20912

Robert and Genevieve Chase
 7416 Baltimore Ave
 Takoma Park, MD 20912

Isabelle and Andrew Hasty
 7411 Baltimore Ave
 Takoma Park, MD 20912

Adjacent and Confronting Properties:

Takoma Park, MD 20912

7416 Baltimore Avenue

7408 Baltimore Avenue

505 Albany Avenue

7411 Baltimore Avenue

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The existing house is a wood frame, wood shingled, two story hipped roof house on a wedge shaped lot, 50' wide along the front boundary. Adjacent houses also feature hipped roofs. The front porch with its doric columns echos the front porch of the house immediately across the street. The house faces ESE on the convex side of the street's arc.

The house was built in 1996, and won the Montgomery Prize for new construction in an historic district. The house was designed by Alan Abrams. It does not seem to appear in the Atlas of the TP historic district, so its resource classification is unknown

Description of Work Proposed: Please give an overview of the work to be undertaken:

The project is a screened porch and sundeck across the back of the existing house. It is inset from the sides, so it will not be visible from a sightline along either side of house. The roof will be hipped to complement the hipped main roof and front porch roof. Screens will be retractible. Deck and porch rails will be made of aircraft cable to minimize visual impact. There will be a privacy screen at the side of the deck made of wood posts and aircraft cable in a geometric pattern. It will be substantially transparent. There will also be small sets of stairs at either end.

A small deteriorating wood deck will be removed before construction begins. The new porch will occupy the same location.

Construct here

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Work Item 1: Remove existing deck

Description of Current Condition: approximately 14' x 14' wood deck in poor condition

Proposed Work: remove deck. salvage suitable materials for reuse or donation.

Work Item 2: Construct new porch

Description of Current Condition: see above

Proposed Work: +/- 14' x 14' covered porch with retractable screens

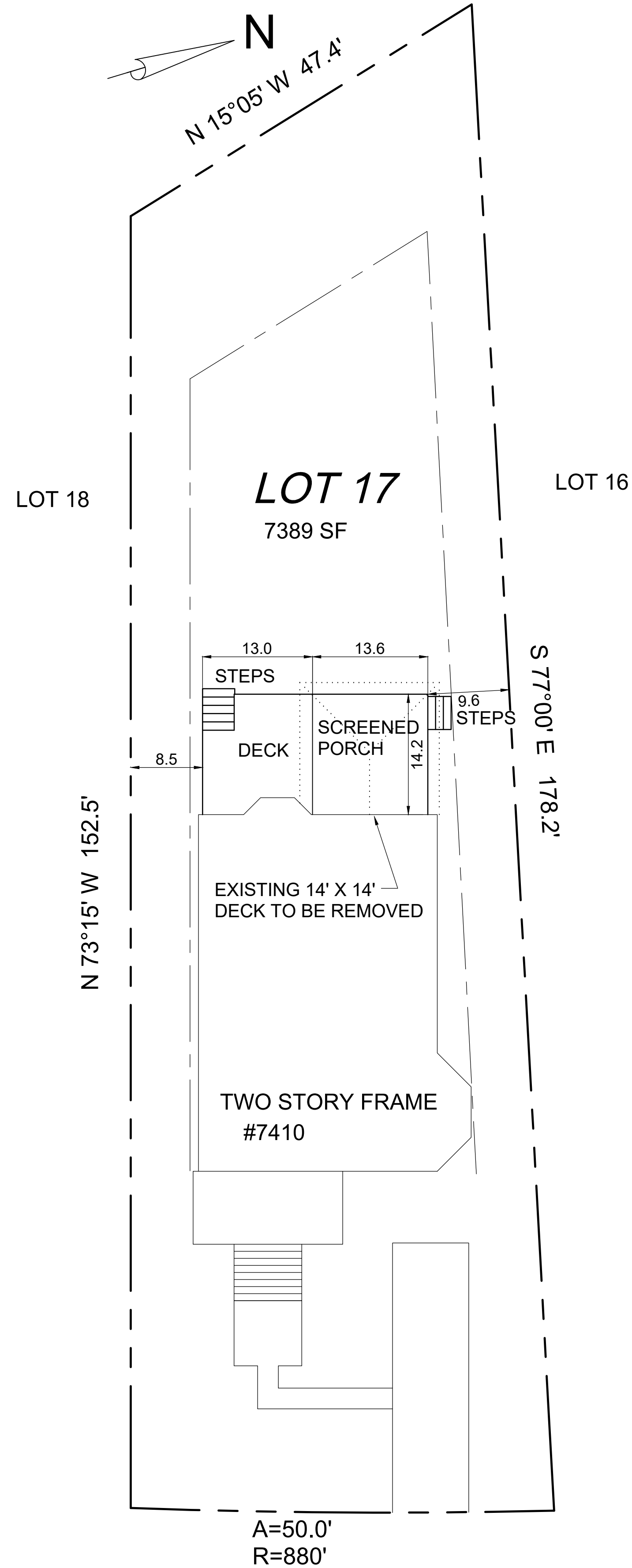
Work Item 3: Construct new deck

Description of Current Condition:

Proposed Work: +/- 14' x 14' sundeck with privacy screen.

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	1. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



BALTIMORE AVENUE

BUILDING CODE

INTERNATIONAL BUILDING CODE IRC 2018

DESIGN LOADS

DESIGN LIVE LOADS ARE AS FOLLOWS:

SNOW ON ROOFS 30 LBS. /SQ. FT.

DESIGN SUPER IMPOSED DEAD LOADS ARE AS FOLLOWS

ROOF RAFTERS 17 LBS. /SQ. FT.
(INCLUDING SELF WEIGHT OF RAFTERS & SHEETING)

FOOTINGS

1-A GEOTECHNICAL ENGINEERING REPORT HAS NOT BEEN PREPARED ALLOWABLE SOIL BEARING CAPACITY UTILIZED FOR FOOTINGS IS 1500 PSF, ON NATURAL SOIL.

2-ALL FOUNDATION SUB GRADES SHALL BE INSPECTED AND APPROVED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER PRIOR TO BEING CONCRETED. FOOTINGS MAY BE LOWERED TO ACHIEVE BEARING CAPACITY, IF REQUIRED, SUBJECT TO REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER.

3- BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 30" BELOW FINISH GRADE

LUMBER

1-LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

2- LUMBER GRADE AND DESIGN VALUES SHALL BE AS FOLLOWS:

LUMBER GRADE DESIGN VALUES					
LUMBER GRADE	FB	FC	FC	FV	E
	PSI	(PERPENDICULAR)	(PARALLEL)	PSI	PSI
SPF #2 (STUDS, PLATES, ETC)	875	425	1150	135	1,400,000
6"X6" POSTS SP #2	850	375	525	-	1,200,000
8"X8" POSTS DFL (N) #2	725	625	700	-	1,300,000
SP P.T. (BALCONY, EXT.)	1100 FOR 2X4	565	-	175	1,400,000

SP (NON PT, ROOF. PLATE)	1000 FOR 2X6 925 FOR 2X8 800 FOR 2X10 750 FOR 2X12	565	-	175	1,400,000
LVL	3000 FOR 12" MULTIPLY BY (12/D) ^{0.136} FOR OTHERS	750	-	285	2,000,000
PSL	2900 FOR 12" MULTIPLY BY (12/D) ^{0.111} FOR OTHERS	750	-	290	2,000,000
PSL PLUS (WOLMANIZED) USE SERVICE LEVEL 2	1827 FOR 12" MULTIPLY BY (12/D) ^{0.111} FOR OTHERS	368	-	197	1,460,000

3-PLYWOOD SHALL BE 5/8" THICK FOR ROOF IDENTIFIED WITH THE DFPA GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

5- ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA (NATIONAL FOREST PRODUCTS ASSOCIATION) REQUIREMENTS. MEMBERS ARE NOT TO DRILLED IN EXCESS OF NDS OR LOCAL CODE REQUIREMENTS. ALL POSTS AND STUDS SHALL STACK CONTINUOUSLY TO SOLID BEARING ON FOUNDATION WALLS OR BEAMS; PROVIDE SOLID BLOCKING OR CRIPPLES BETWEEN FLOORS.

6-STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDHEIGHT BETWEEN FLOOR (AND ROOF) LEVELS. STUDS AND POSTS SHALL BE ONEPIECE CONTINUOUS BETWEEN FLOOR LEVELS AND BETWEEN FLOOR LEVEL AND ROOF DIAPHRAGMS. ALL DOUBLE STUDS SHALL BE NAILED TO EACH OTHER AT 8 INCH MAXIMUM SPACING FULLHEIGHT.

7-ALL DOUBLE (OR MORE) RAFTERS, JOISTS, PLYWOOD BEAMS, AND FLOOR TRUSSES MUST BE MECHANICALLY FASTENED OR NAILED TO EACH OTHER TO ACT AS A SINGLE UNIT WHEN LOADED.

8-WOOD COLUMNS AND POSTS SHALL BE FRAMED TO TRUE END BEARINGS, AND SHALL BE POSITIVELY ANCHORED TO FOUNDATION WITH APPROVED POST BASES. FREE STANDING POSTS SHALL BE CONNECTED TO BEAMS, HEADERS OR GIRDER TRUSSES WITH APPROVED POST CAPS. SUPPORT COLUMN AND POST SECURELY IN POSITION AND PROTECT BASE FROM DETERIORATION. COLUMNS AND POSTS OF TREATED WOOD MAY BE PLACED DIRECTLY ON CONCRETE OR MASONRY. USE TREATED WOOD FOR ALL FLOOR JOISTS AND BEAMS WHICH ARE EXPOSED OR WITHIN 18" OF THE GROUND, OR IN PERMANENT CONTACT WITH EARTH.

9-WHEN MULTIPLE 2X(-) MEMBERS USED AS POSTS THEY SHALL BE CONNECTED TO EACH OTHER AS FOLLOWS:

2 MEMBERS: 10 D NAILS @ 12" ON CENTER BOTH SIDES
3 MEMBERS: 10 D NAILS @ 8" ON CENTER BOTH SIDES
4 MEMBERS MIDDLE 2 MEMBERS CONNECTED TO EACH OTHER AS ABOVE OUTER MEMBERS CONNECTED TO MIDDLE MEMBERS WITH 10 D NAILS @ 12" ON CENTER

10-BEAR BEAMS AND GIRDERS AT LEAST 4" ON MASONRY OR CONCRETE. BEAR BEAMS, GIRDERS, JOISTS, RAFTERS AND TRUSSES ON CONTINUOUS WOOD PLATE WITH 5/8" DIAMETER BOLTS @ 48" O.C. X 18" LONG, UNLESS OTHERWISE NOTED. FLOOR JOISTS, CEILING JOISTS AND ROOF RAFTERS SHALL HAVE 4" NOMINAL BEARING ON WOOD OR WOOD PLATES ON METAL OR MASONRY.

11-PROVIDE 2" NOMINAL THICKNESS FULL DEPTH SOLID BLOCKING FOR JOISTS AND RAFTERS AT ENDS AND AT SUPPORTS. OMIT SOLID BLOCKING WHEN JOISTS ARE NAILED TO A CONTINUOUS HEADER. LAP JOISTS FRAMING FROM OPPOSITE SIDES OF A BEAM, GIRDER OR PARTITION AT LEAST 6". SECURE JOISTS FRAMED END TO END WITH METAL STRAPS. USE APPROVED FRAMING ANCHORS TO SUPPORT JOISTS FRAMING INTO THE SIDES OF WOOD OR STEEL BEAMS. FASTEN SOLID WOOD BLOCKING TO STEEL BEAM WEB WITH 2 ROWS OF 1/2" DIAMETER THROUGH BOLTS @ 16" O.C PRIOR TO INSTALLING JOIST HANGERS. PROVIDE DOUBLED (OR EQUIVALENT CROSSSECTION) TRIMMER AND HEADER JOISTS AROUND OPENINGS UNLESS NOTED OTHERWISE. SUPPORT HEADER JOISTS FROM FRAMING ANCHORS OR JOIST HANGERS UNLESS BEARING ON A BEAM, PARTITION OR A WALL. JOISTS CARRYING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH. JOISTS CARRYING PARTITIONS PARALLEL TO JOISTS SHALL BE DOUBLED.

CONCRETE (CAST IN PLACE)

1- CONCRETE DESIGN AND DETAILING SHALL CONFORM TO THE REQUIREMENTS OF LATEST 318.

2- MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE.

SLABS ON GRADE 3500 PSI

3-ALL EXTERIOR CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.

4-SLABS POURED ON GRADE SHALL BE MINIMUM 5 INCHES THICK, PLACED OVER VAPOR BARRIER AND 5 INCHES OF WASHED GRAVEL UNLESS NOTED OTHERWISE. SLABS ON GRADE SHALL BE REINFORCED WITH TWO LAYER 6x6-W1.4xW1.4 WELDED WIRE FABRIC PLACED AT THE MID DEPTH OF THE SLAB. LAP WELDED WIRE FABRIC ONE FULL MESH AT ENDS AND SIDES.

5-ALL CONCRETE WORK, REINFORCING PLACEMENT, SHALL BE INSPECTED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.

LEGAL DESCRIPTION

OWNERS: MELISSA TOOLEY AND DANIEL MAZMANIAN
DISTRICT 13 ACCOUNT NO. 01068777
MAP JN42 SUBDIVISION 0025 BLOCK 75 LOT 17

AREA CALCULATIONS

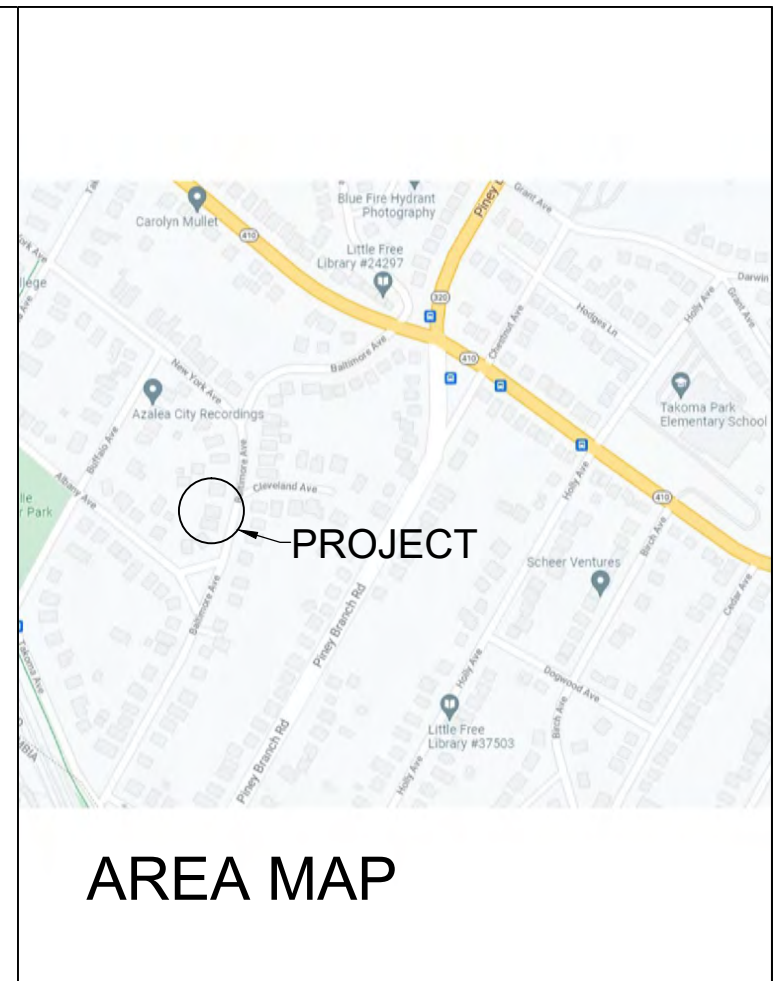
	EXISTING	PROPOSED
LOT AREA	7389 SF	7389 SF
PAVED AREA	393 SF	411 SF
HOUSE FOOTPRINT	1239 SF	1239 SF
NEW DECK & PORCH		379.6 SF
DECKS AND PORCHES	573 SF	962.6 SF
AREA DEMOLISHED		-196 SF
TOTAL LOT COVERAGE	2205 SF	2388.6 SF
PERCENTAGE OF COVERAGE	30%	32.5%
NEW IMPERVIOUS AREA*		196.6 SF

*INCLUDES NEW AREA THAT IS NOT UNDER EXISTING ROOF OVERHANGS, MINUS AREA DEMOLISHED

INDEX OF DRAWINGS

- 001 COVER SHEET-SITE PLAN-SCTRUCTURAL NOTES
- A001 SECTIONS AND DETAILS
- A002 SECTIONS AND DETAILS
- A003 EXISTING EAST AND NORTH ELEVATIONS
- A004 EXISTING WEST AND SOUTH ELEVATIONS

deck & screened porch
addition for the
Mazmanian-Tooley residence



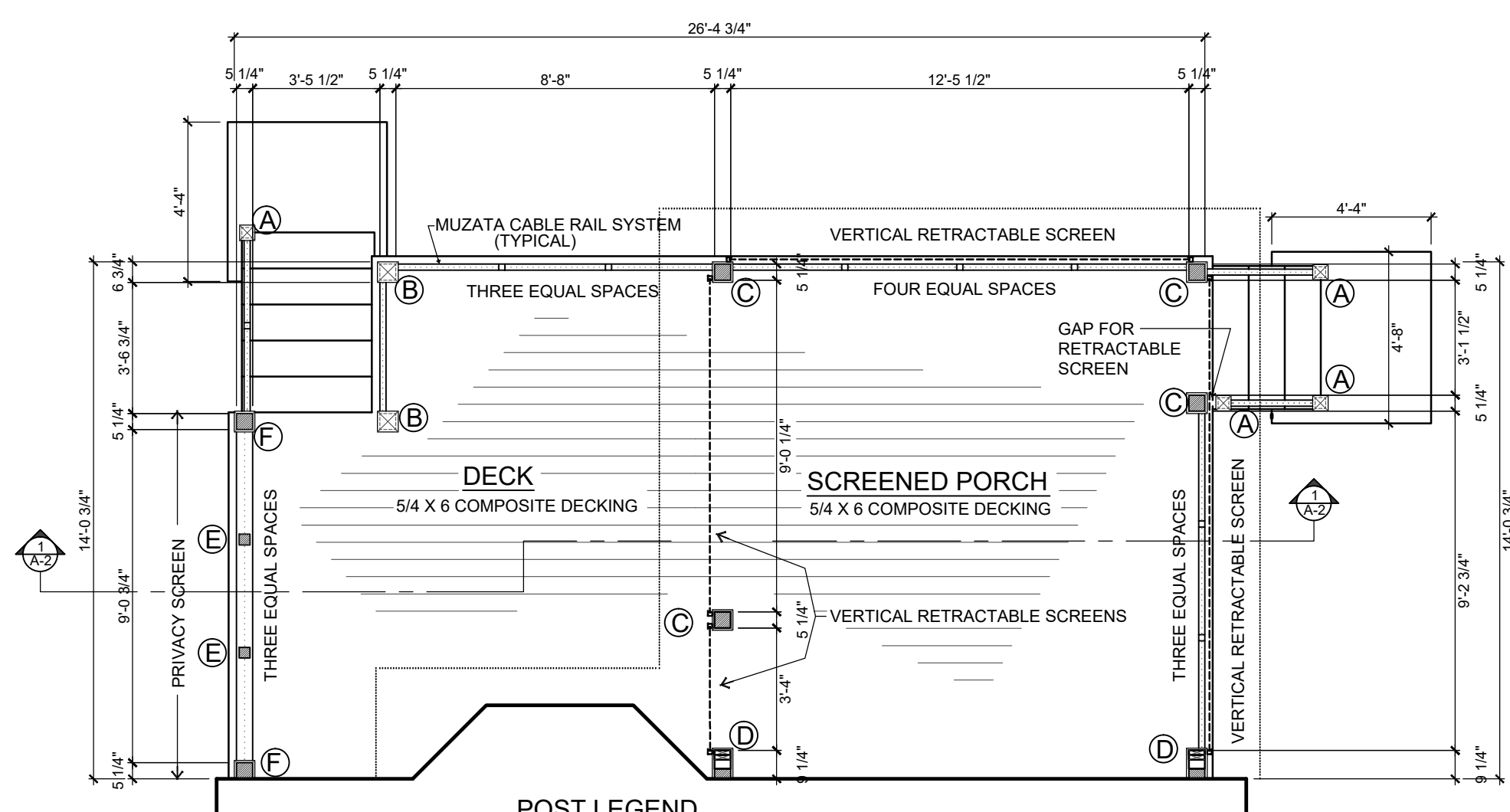
SITE PLAN
STRUCTURAL NOTES
ZONING NOTES
SCALE: 1"=10'

ALL ECO DESIGN CENTER
26662 UNIVERSITY BLVD., WHEATON, MD 20902
301-949-4326 <https://allecocenter.com/>

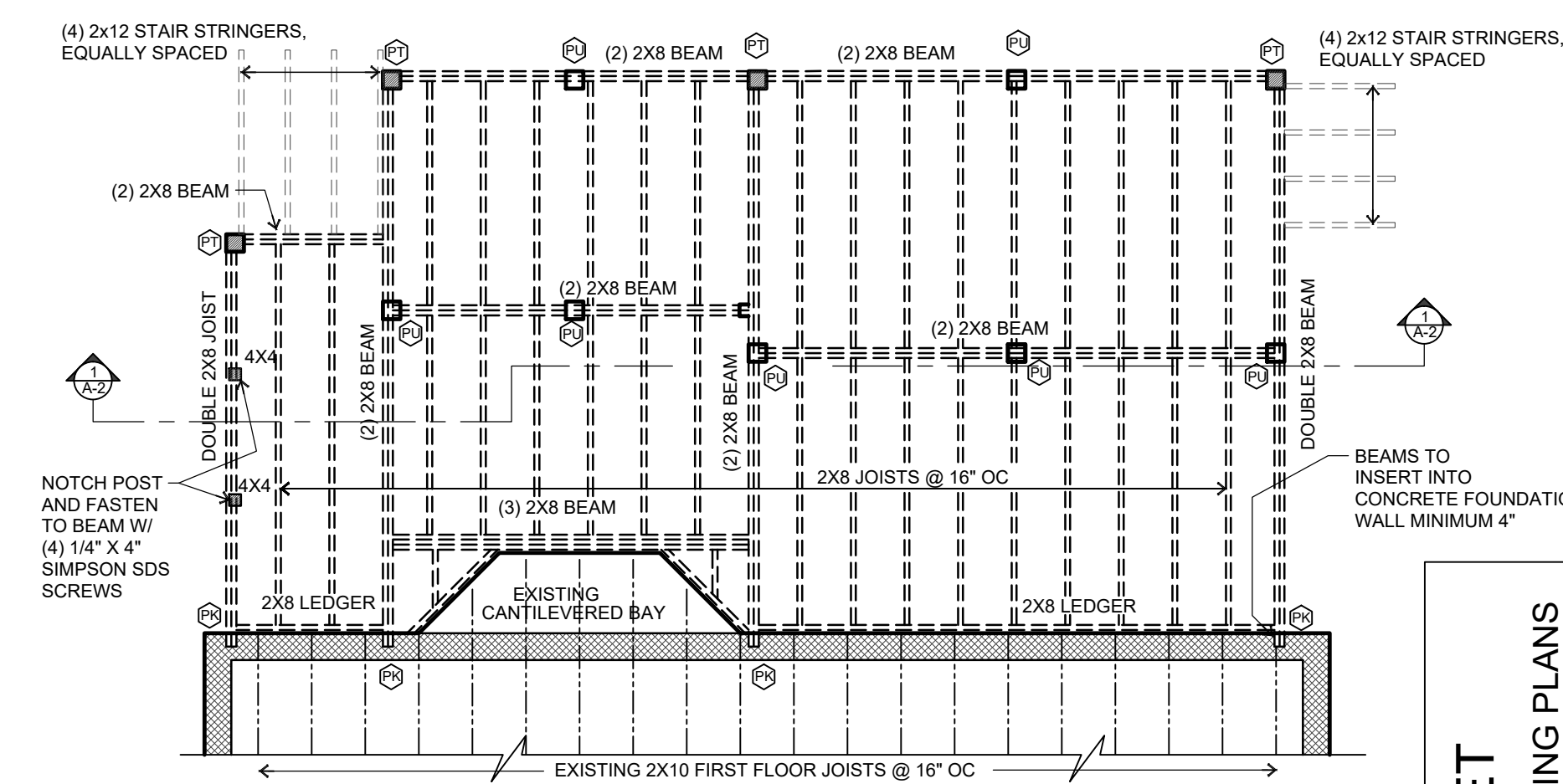
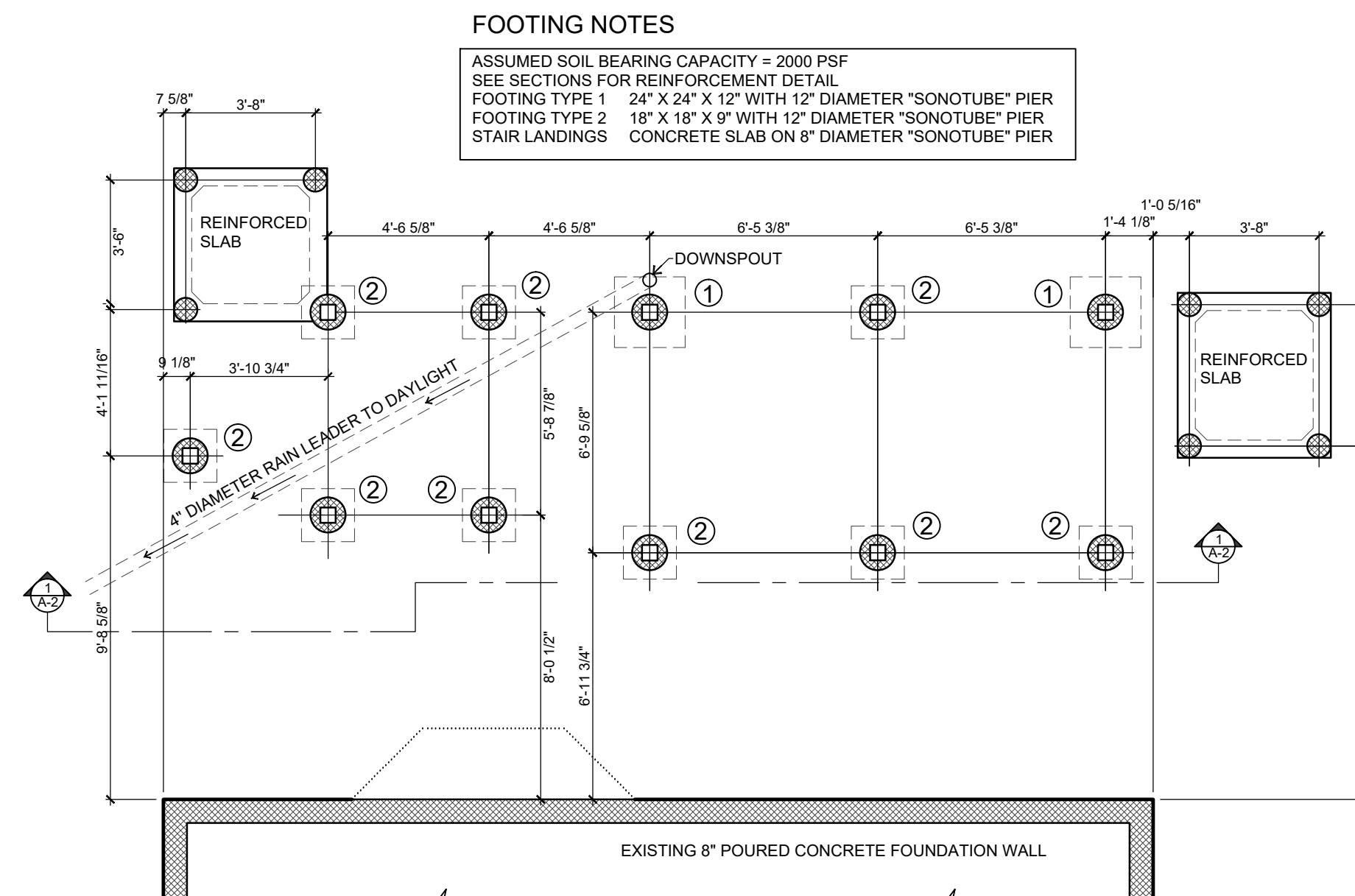
SCREENED PORCH AND DECK ADDITION TO
THE MAZMANIAN AND TOOLEY RESIDENCE
7410 BALTIMORE AVENUE
TAKOMA PARK, MD 20912

FEB. 24, 2022

001
1 OF 5



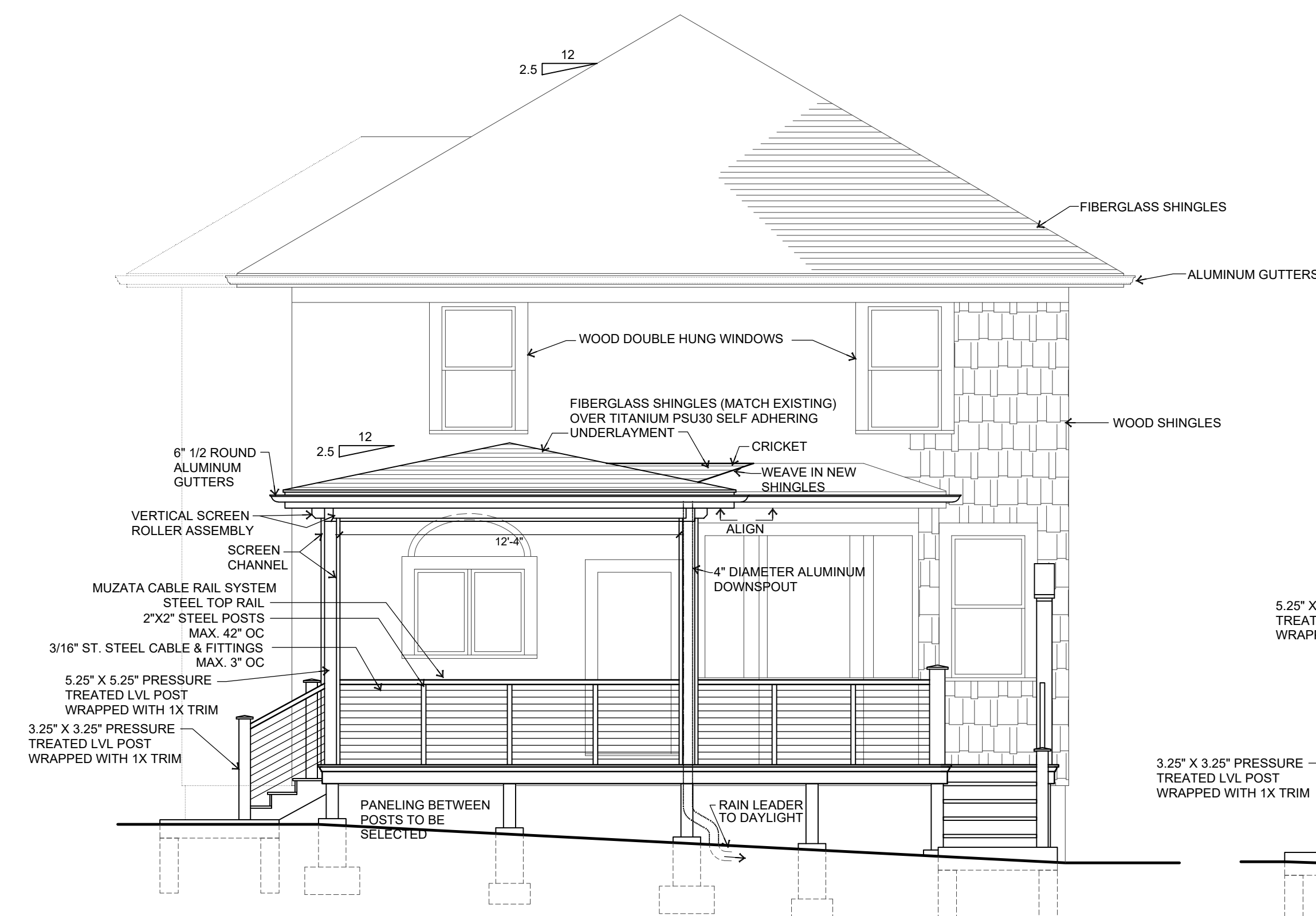
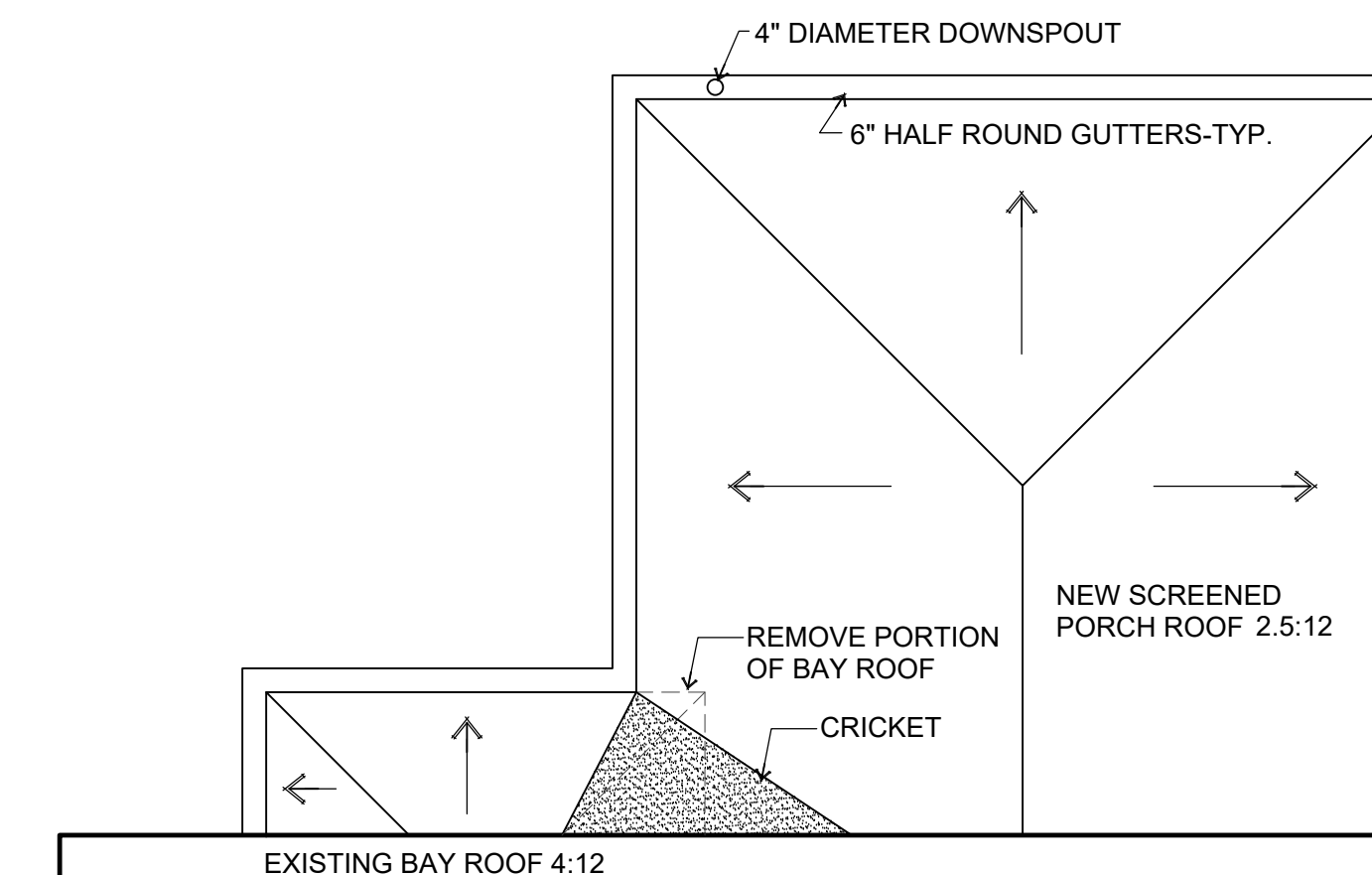
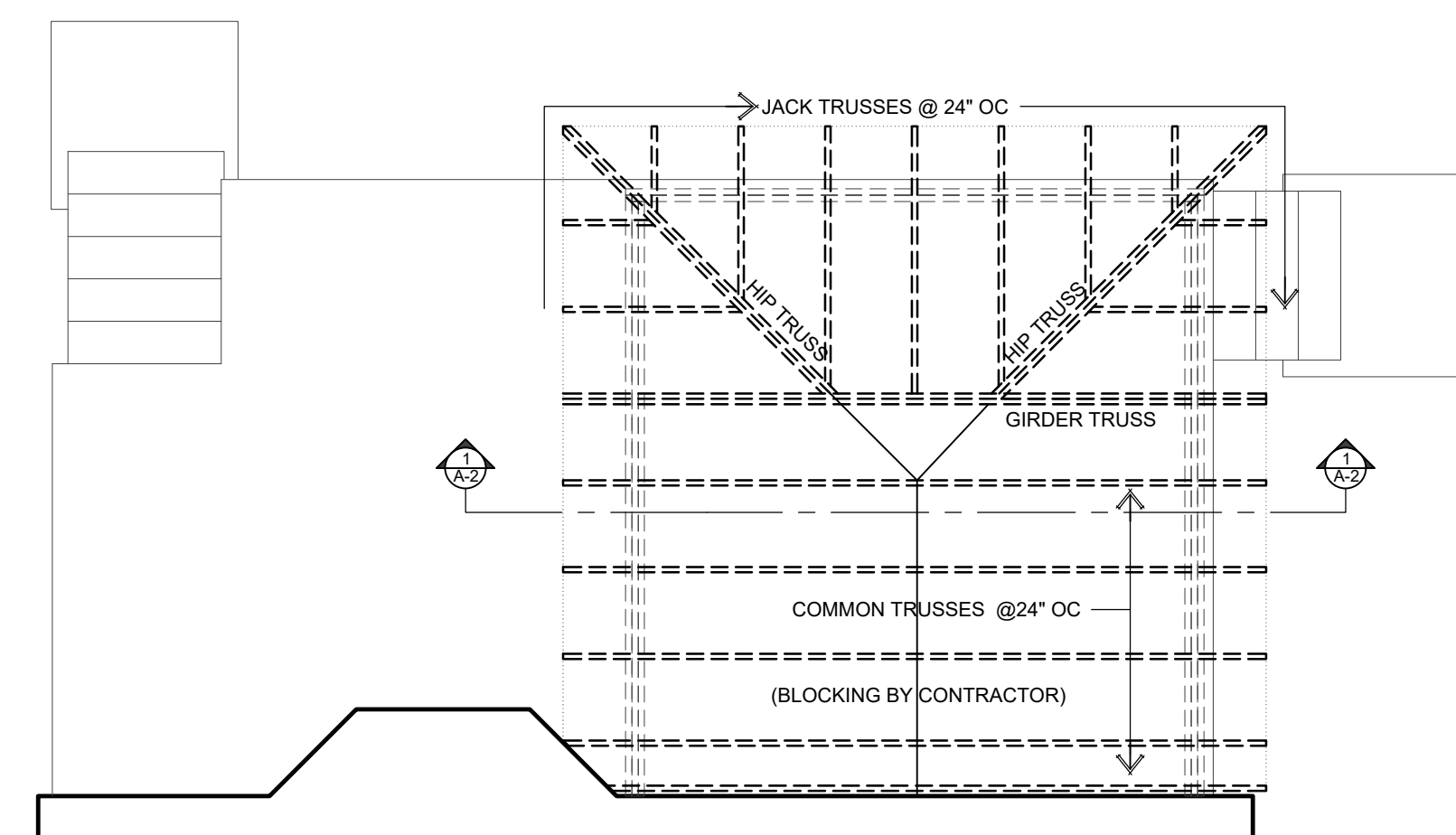
POST LEGEND
ALL PARALLAM POSTS WRAPPED WITH 1X STOCK
A LOWER NEWEL 3.25" X 3.25" PT PARALLAM
B UPPER NEWEL 5.25" X 5.25" PT PARALLAM
C FULL HEIGHT POST 3.25" X 5.25" PT PARALLAM
D FULL HEIGHT POST 3.25" X 5.25" PT PARALLAM WITH WIRING CHASE & BLOCKING
E APPEARANCE GRADE 4x4 POST
F PRIV. SCREEN POST 5.25" X 5.25" PT PARALLAM



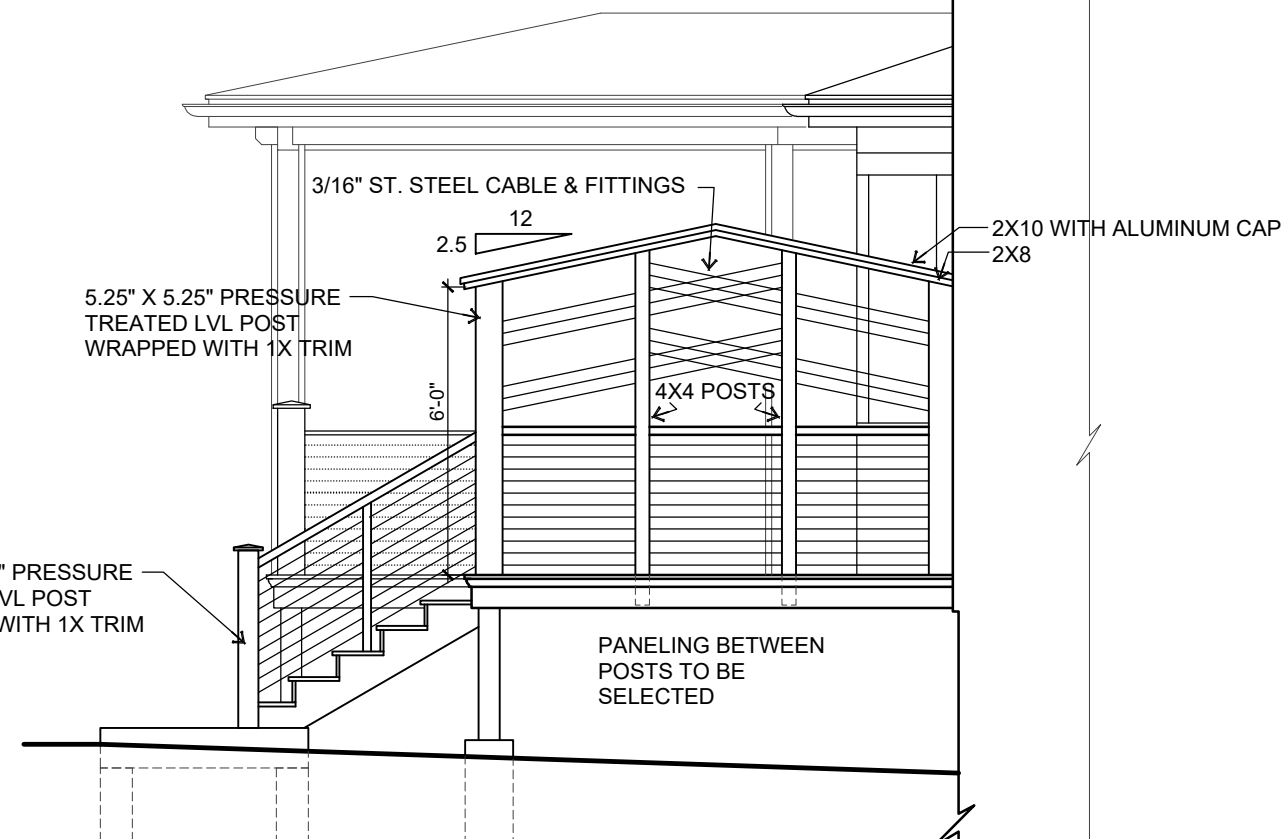
FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

POST UNDER
POST THROUGH
POCKET-BEAR ON TOP OF CONCRETE WALL

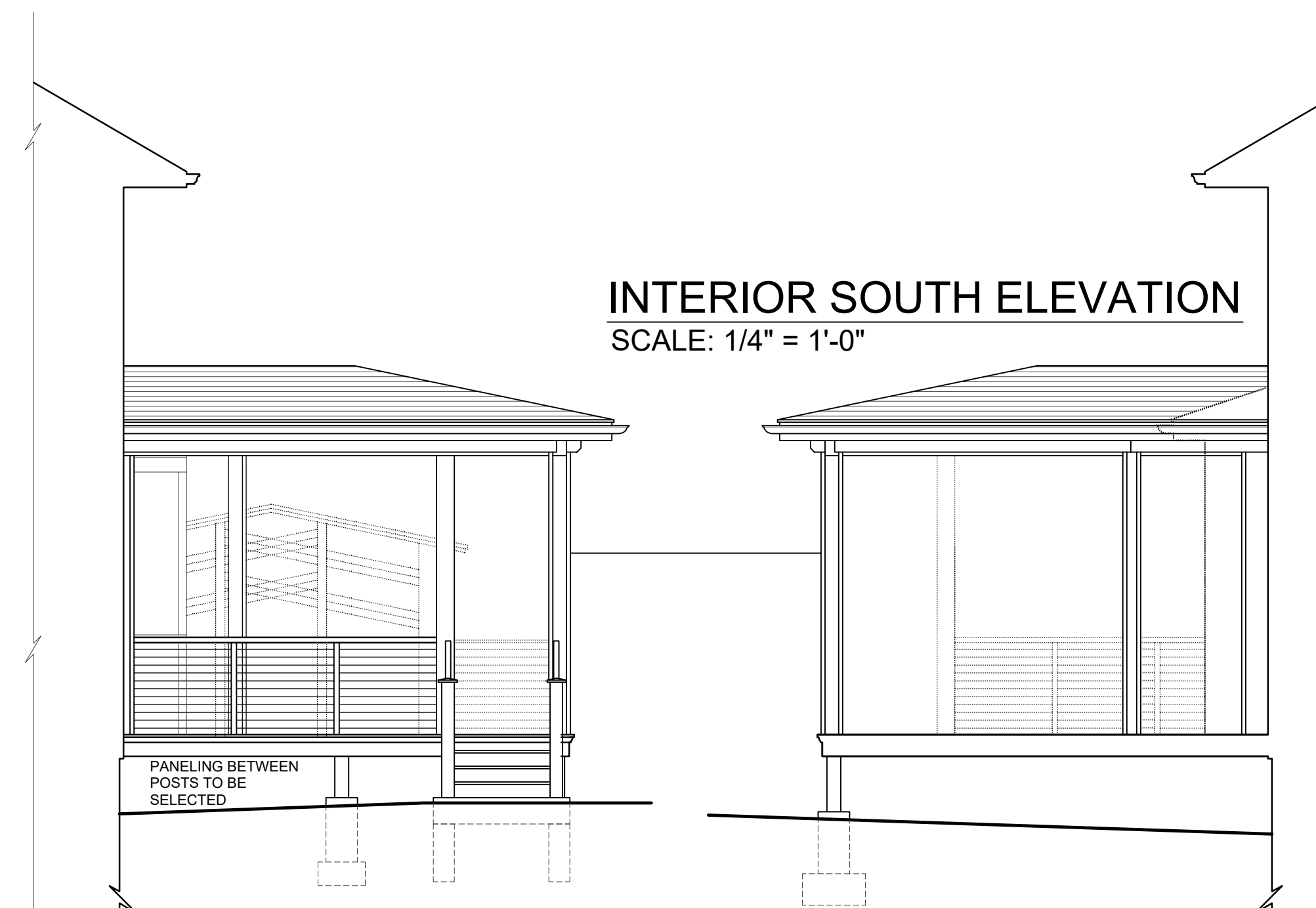
ALL FLOOR FRAMING LUMBER TO BE PRESSURE TREATED #2 SOUTHERN PINE



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



INTERIOR SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



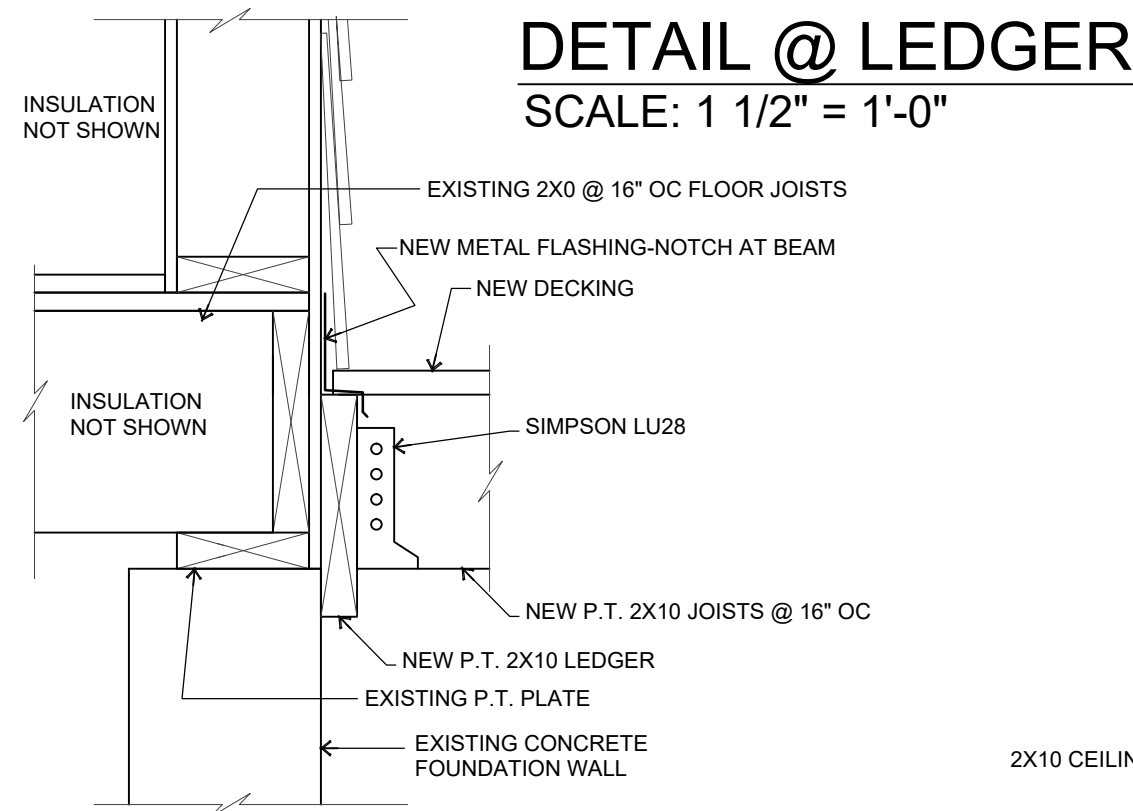
BID SET
PLANS AND FRAMING PLANS
ELEVATIONS
SCALE: AS NOTED

ALL ECO DESIGN CENTER
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301-949-4326 <https://allecoecenter.com/>

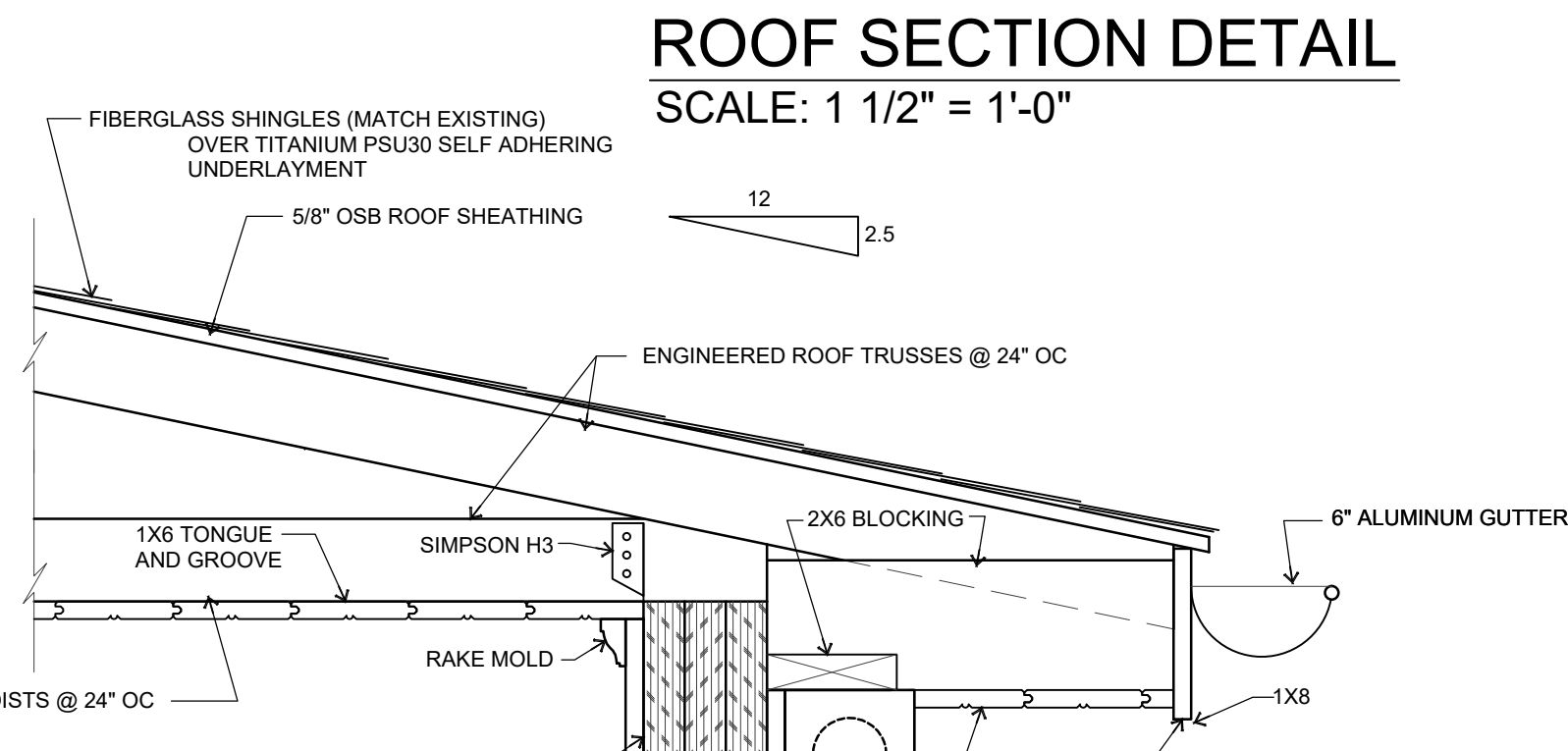
SCREENED PORCH AND DECK ADDITION TO
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TAKOMA PARK, MD 20912

FEB. 24, 2022

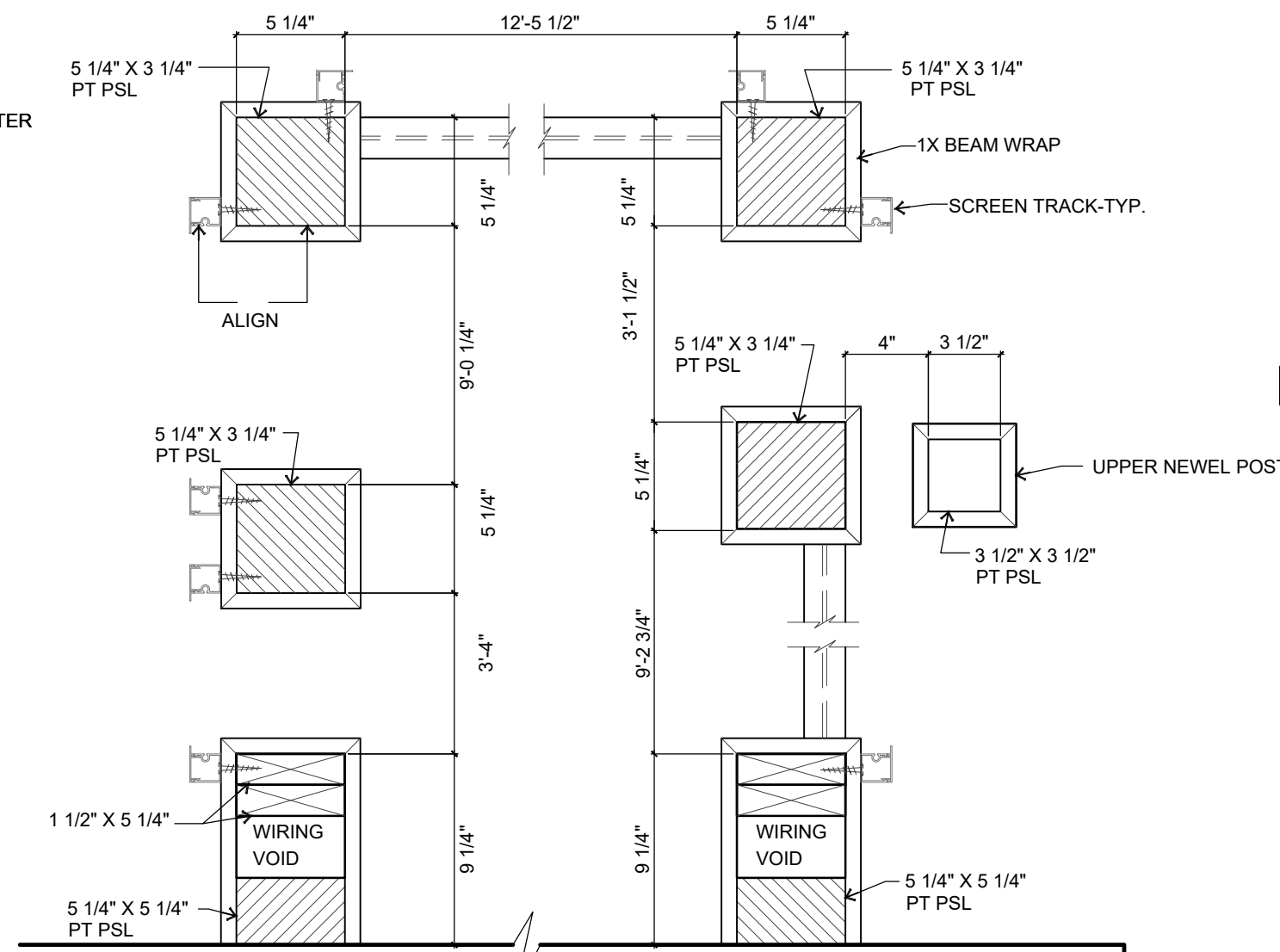
A001
2 OF 5



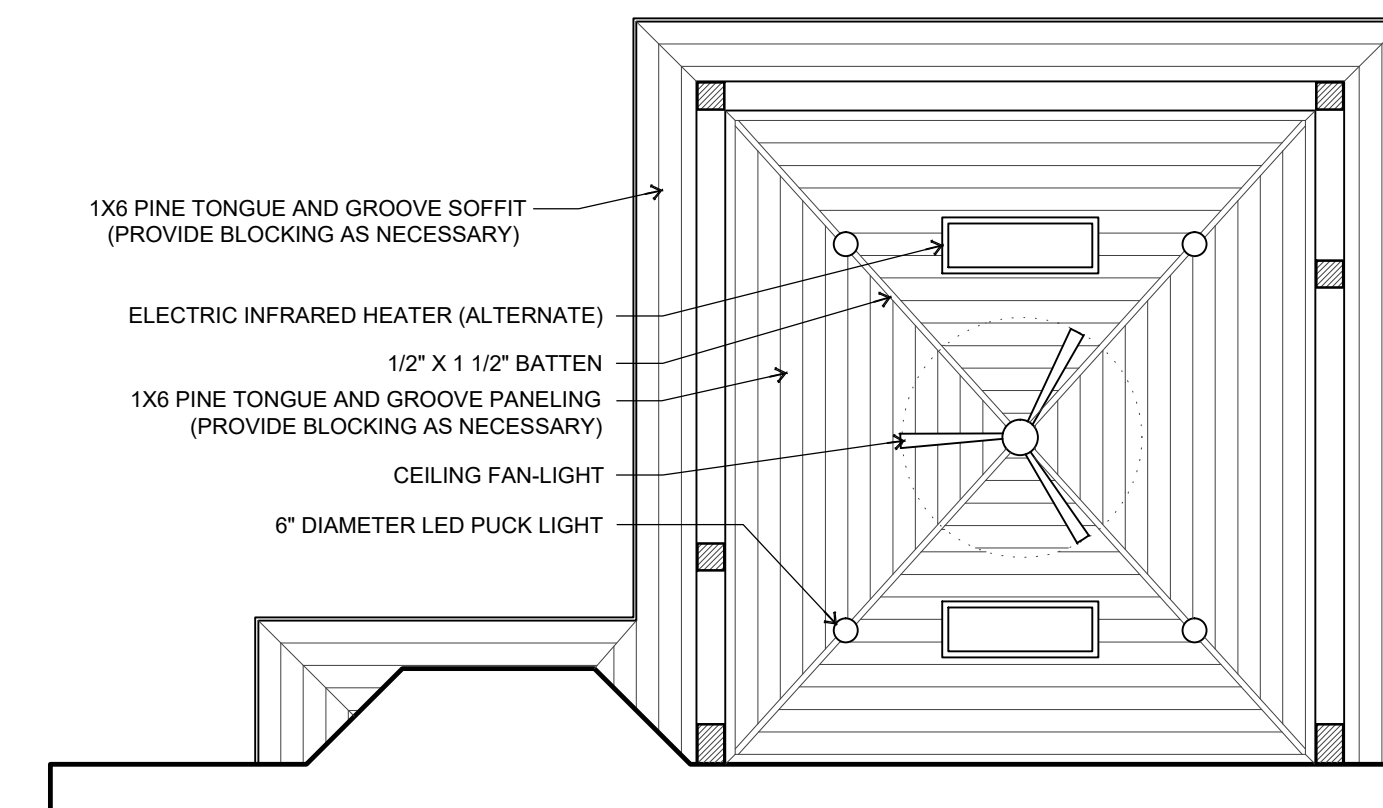
DETAIL @ LEDGER
SCALE: 1 1/2" = 1'-0"



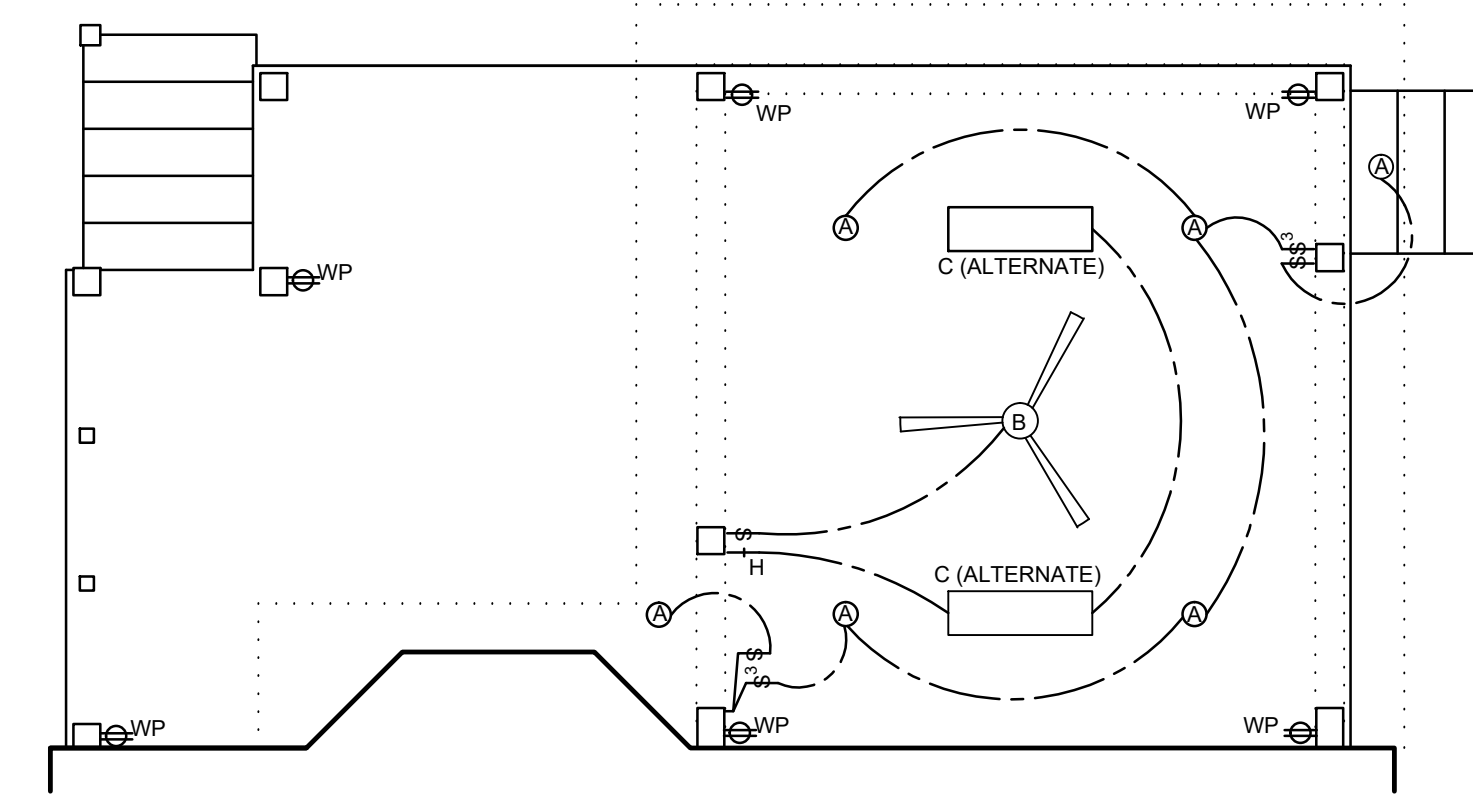
ROOF SECTION DETAIL
SCALE: 1 1/2" = 1'-0"



PORCH POST DETAIL AND SPACING
SCALE: 1 1/2" = 1'-0"



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

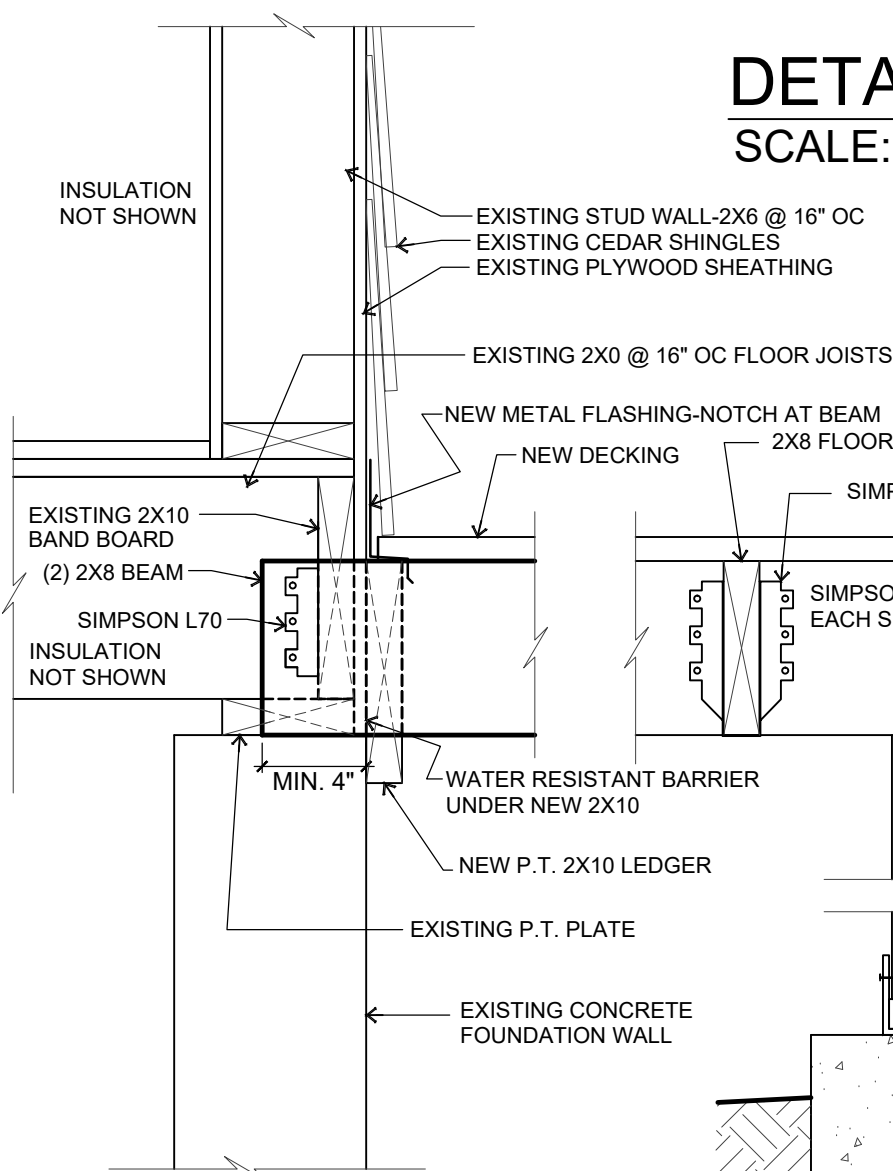


ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

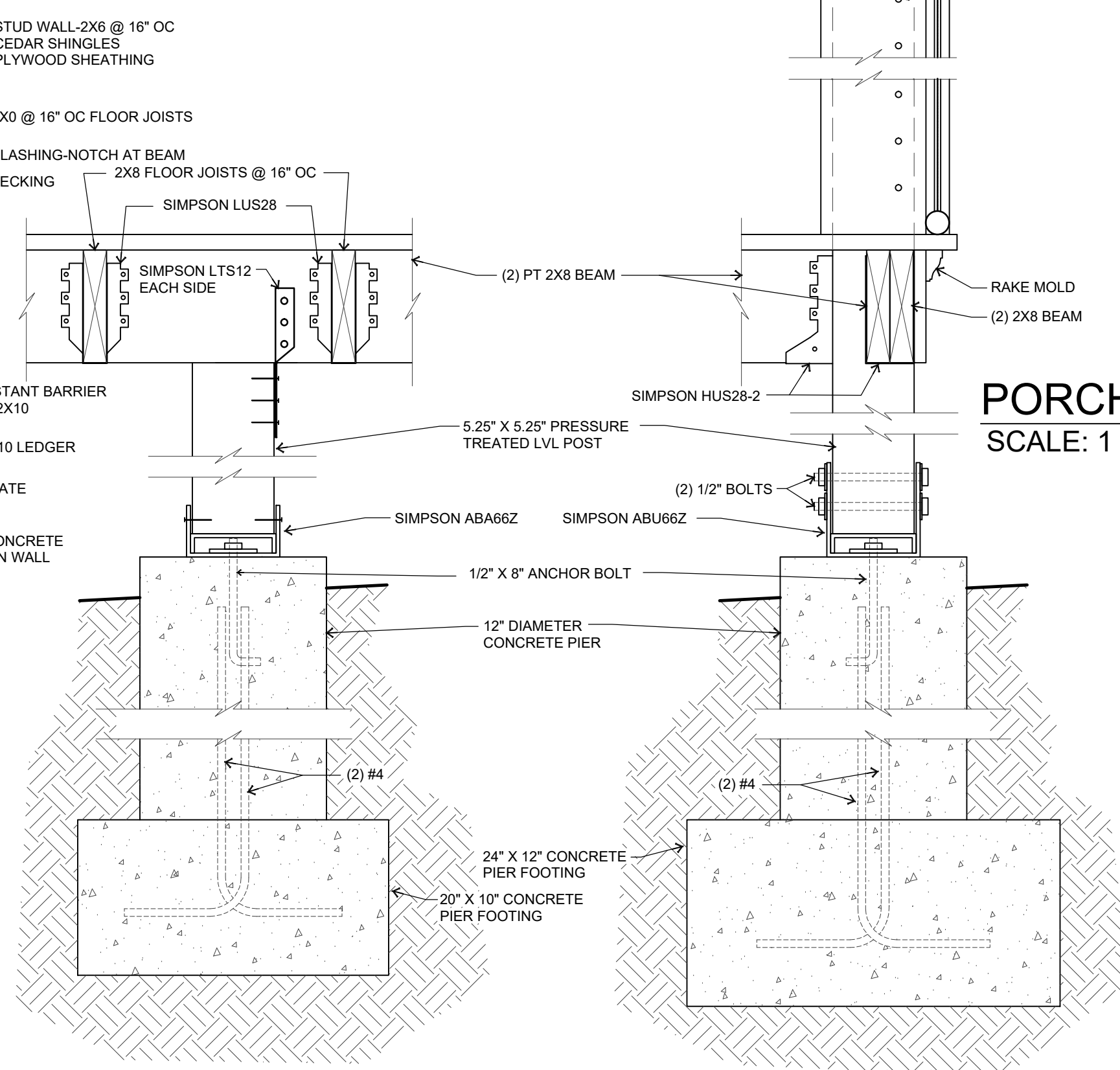
ELEC. LEGEND

- ⓐ 6" DIAMETER 120V PUCK LIGHT SATCO S29339 OR EQ
- ⓑ PADDLE FANLIGHT W/ REMOTE (TBS)
- ⓒ (ALTERNATE) INFRAHEAT C30 PATIO HEATER INCLUDING RECESSED FRAME AND DPDT SWITCHING
- ⓓ WEATHERPROOF DUPLEX OUTLET, GFI PROTECTED
- ⓔ THREE WAY SWITCH
- ⓕ SINGLE POLE SWITCH
- ⓖ HEATER CONTROLLER
- WIRING TO BE IN WATER RESISTANT RACEWAYS OR CONDUIT. SURFACE MOUNTED DEVICE BOXES TO BE WATER RESISTANT, SURFACE MOUNTED

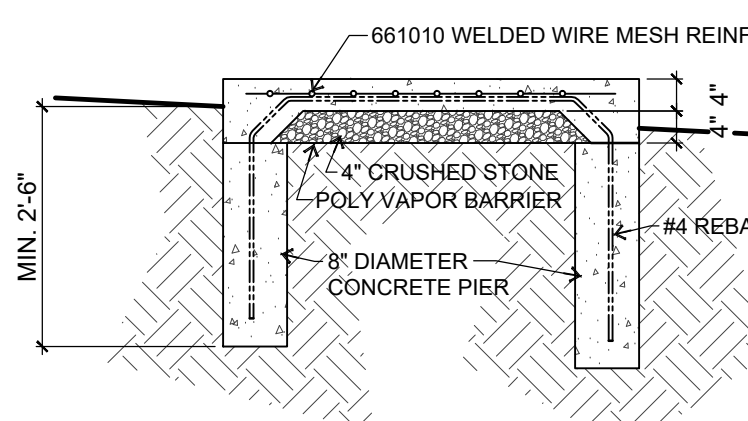
DETAIL @ BEAM INSERTION
SCALE: 1 1/2" = 1'-0"



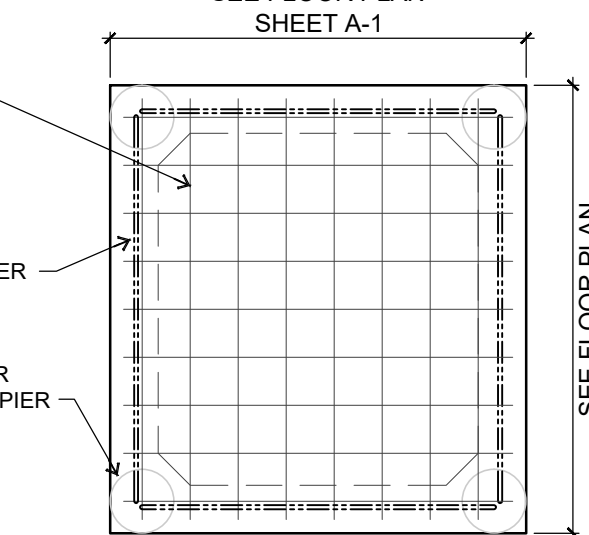
DETAIL @ CENTER OF SPAN
SCALE: 1 1/2" = 1'-0"



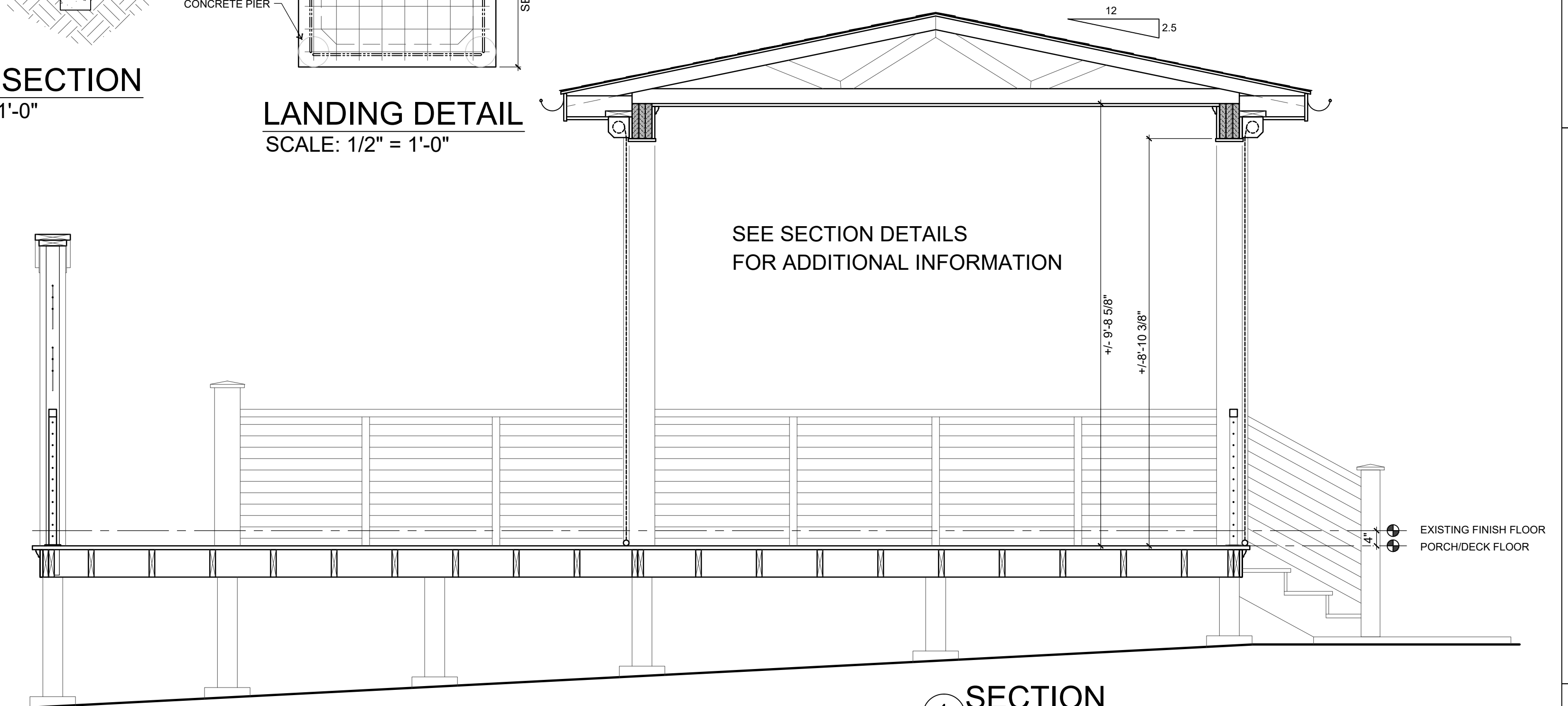
PORCH CORNER FOOTING & POST SECTION DETAIL (TYP)
SCALE: 1 1/2" = 1'-0"



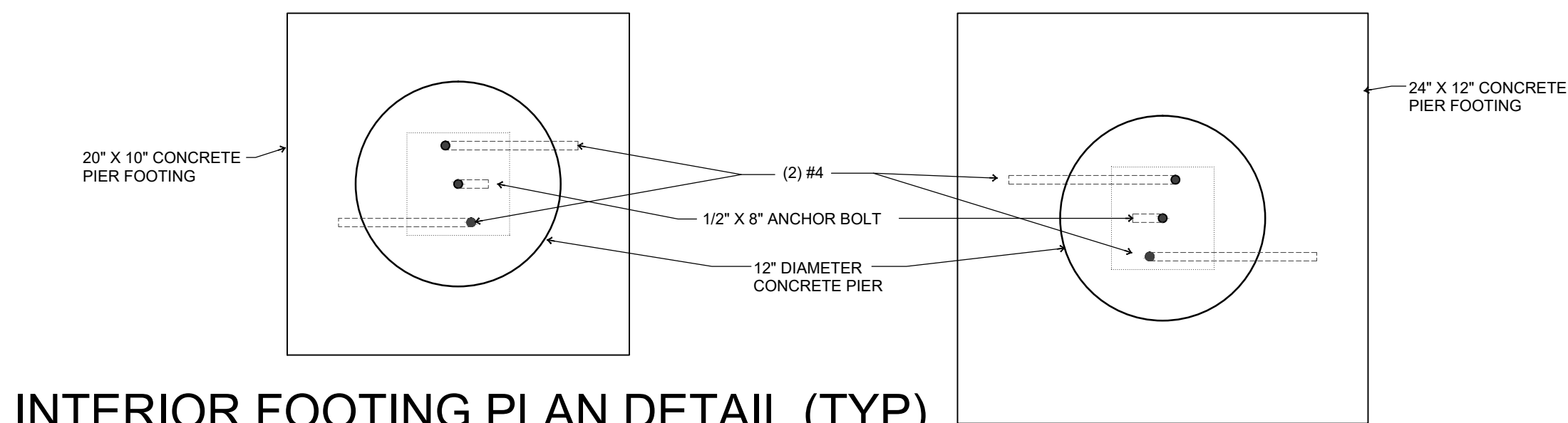
LANDING SECTION
SCALE: 1/2" = 1'-0"



LANDING DETAIL
SCALE: 1/2" = 1'-0"



SECTION
SCALE: 1/2" = 1'-0"



INTERIOR FOOTING PLAN DETAIL (TYP)
SCALE: 1 1/2" = 1'-0"

PORCH CORNER FOOTING PLAN DETAIL (TYP)
SCALE: 1 1/2" = 1'-0"

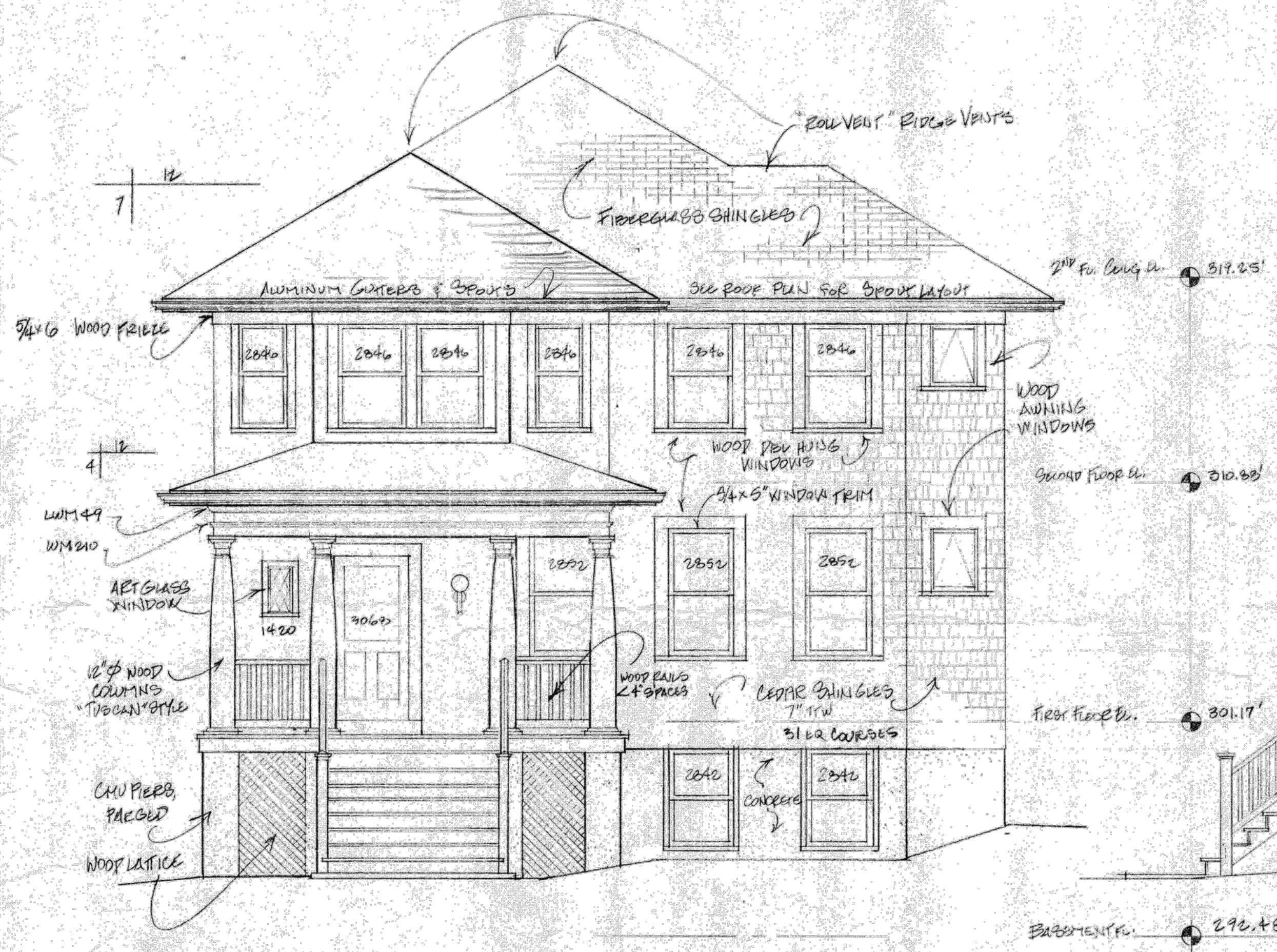
BID SET
SECTIONS
DETAILS
SCALE: AS NOTED

ALL ECO DESIGN CENTER
26662 UNIVERSITY BLVD, WHEATON, MD 20902
301-949-4326 <https://allecocenter.com/>

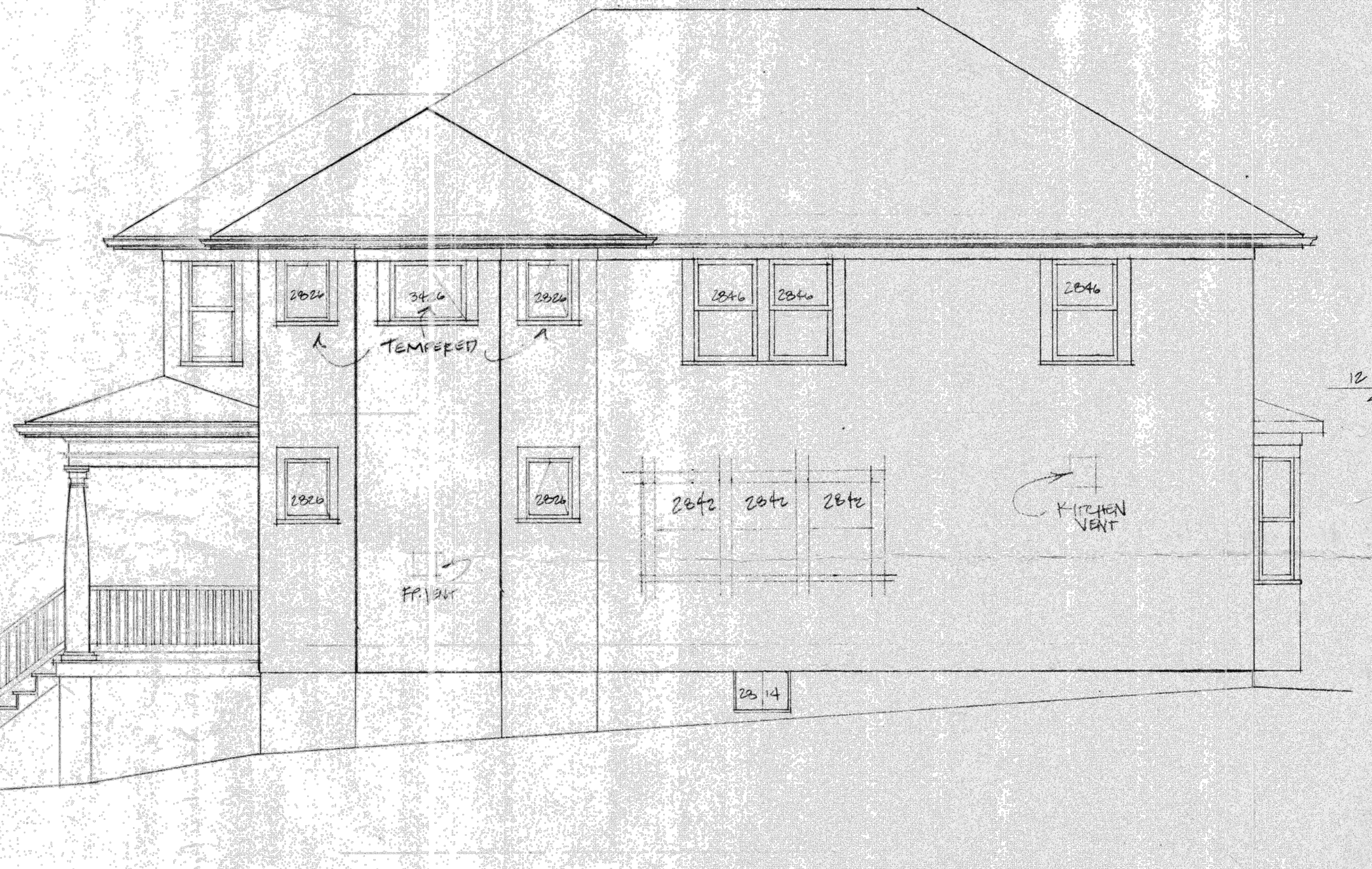
SCREENED PORCH AND DECK ADDITION TO THE MAZMANIAN AND TOOLEY RESIDENCE
7410 BAL TIMORE AVENUE
TAKOMA PARK, MD 20912

FEB. 24, 2022

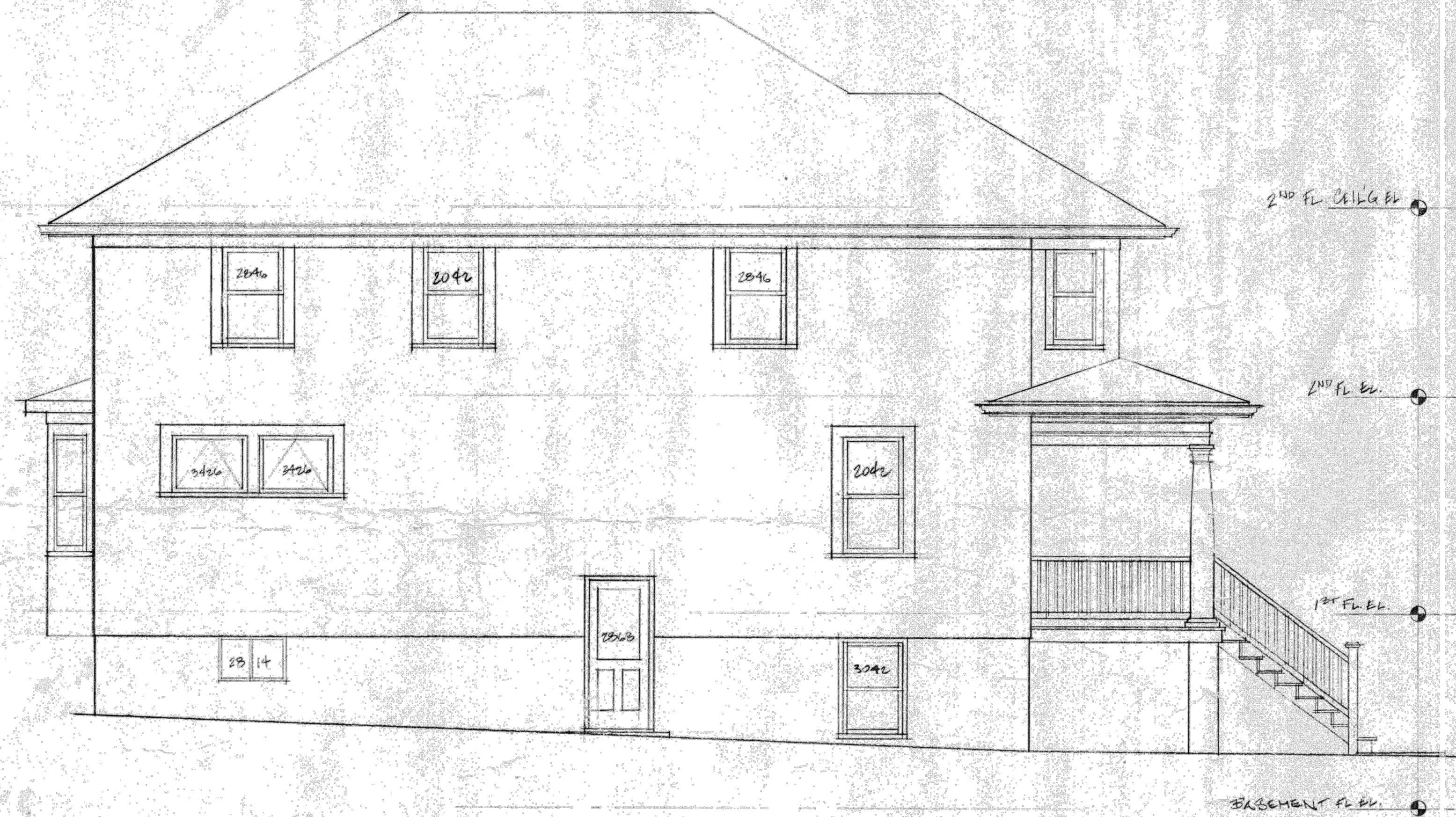
A002
3 OF 5



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
 $\frac{1}{4}'' = 1'-0''$



WEST ELEVATION
 $\frac{1}{4}'' = 1'-0''$



(https://takomaparkmd.gov/)

My TKPK Online

Main Menu



Home

(SupportHome.aspx?sSessionID=6914068162QTRNLWZUUC[QDQBJPFLAUZLSRVJVM])

Reference No: W007753-022322

Contact E-Mail: daniel.mazmanian@gmail.com



Submit a Request

(RequestSelect.aspx?sSessionID=6914068162QTRNLWZUUC[QDQBJPFLAUZLSRVJVM])



Report a Violation

(ViolationSelect.aspx?sSessionID=6914068162QTRNLWZUUC[QDQBJPFLAUZLSRVJVM])

RE: Tree Impact Assessment Request Reference # W007753-022322

(https://takomaparkmd.mycusthelp.com/webapp/_rs/CustomerIssues.aspx)



My Request Center

(CustomerHome.aspx?sSessionID=6914068162QTRNLWZUUC[QDQBJPFLAUZLSRVJVM])

Dear Daniel Mazmanian,

Online Payment Services



Landlord Registration and Licensing Fee

(https://www.eb2gov.com/scripts/eb2gov.dll/TownLaunch?towncode=8001)

Thank you. Your request has been submitted. An invoice for the \$50 inspection fee is now ready. Your application will not be processed until payment has been received. Please click the link below to navigate to the invoice payment page.

Pay My Invoice (https://takomaparkmd.mycusthelp.com/webapp/_rs/CustomerIssues.aspx)

You can also send check or money order to:

Takoma Park Public Works Department
31 Oswego Avenue
Takoma Park, MD 20912



Parking Fines

(https://www.parkingticketpayment.com/takomapark/)

Please make payment out to: **City of Takoma Park**



Recreation Programs Fee

(https://activenet010.active.com/takomaparkrecreation/)

Other Resources



City Calendar

(https://takomaparkmd.gov/events-and-meetings)

/city-calendar/)

