

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	17 Montgomery Avenue, Takoma Park	Meeting Date:	3/23/2022
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	3/16/2022
Applicant:	Kerry Richter (Scott Wilets, Architect)	Public Notice:	3/9/2022
Review:	HAWP	Tax Credit:	N/A
		Staff:	Michael Kyne

Permit Number: 986199

PROPOSAL: New rear addition, deck, and hardscape

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Bungalow
DATE: c. 1910s-20s

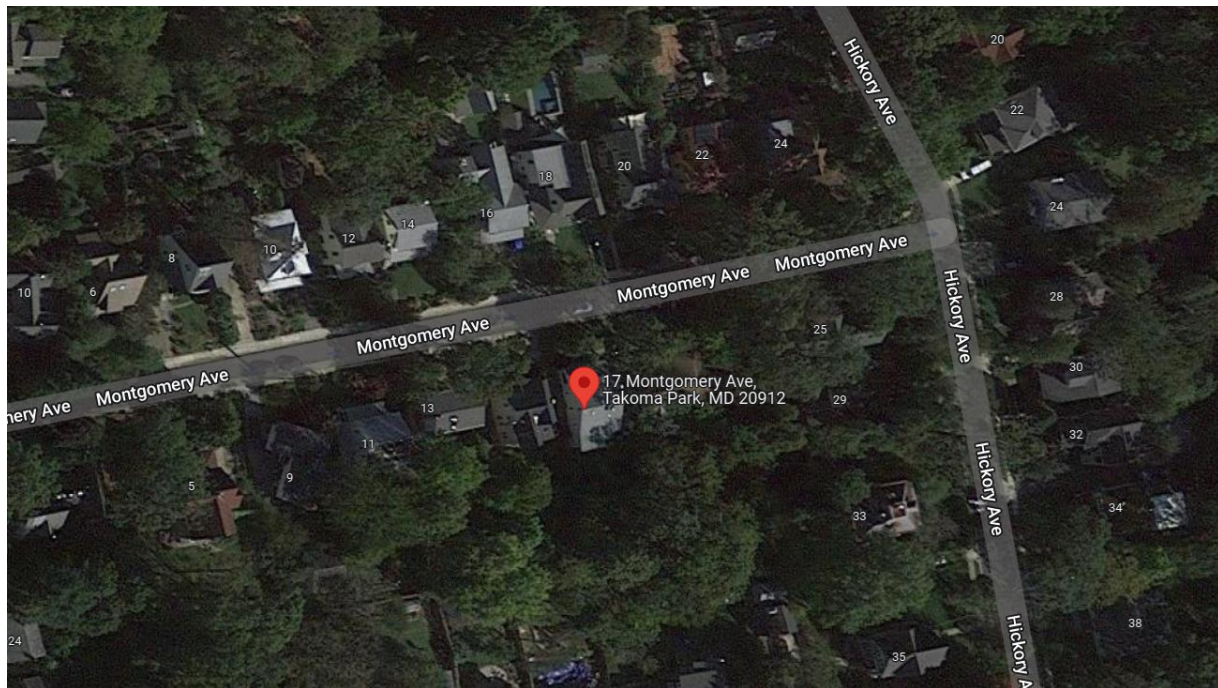


Fig. 1: Subject property.

PROPOSAL

The applicant proposes a new rear addition, deck, and hardscape at the subject property.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The *Guidelines* define Outstanding Resources as:

A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historical associations that make the resource especially representative of an architectural style, it must be especially important to the history of the district, and/or it must be especially unique within the context of the district.

The *Guidelines* state the following regarding the review of Outstanding Resources:

These resources have the highest level of architectural and/ or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, change and additions to Outstanding Resources.

As a set of guiding principles for design review of Outstanding Resources, the Historic Preservation Commission will utilize the Secretary of the Interior's "Standards for Rehabilitation".

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources [only guidelines applicable to this project included]:

- Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks, and materials
- Emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way

- While additions should be compatible, they are not required to be replicative of earlier architectural styles
- Preservation of original and distinctive architectural features, such as porches, dormers, decorative details, shutters, etc. is encouraged
- Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged
- Preservation of original building materials and use of appropriate, compatible new materials is encouraged
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a c. 1910s-20s Bungalow-style Outstanding Resource within the Takoma Park Historic District. The historic house has experienced previous alterations, including the enclosure of the two story open porch at the rear, the removal of an attached one story garage at the rear, and the removal of a non-original (not present in the 1927 Sanborn Fire Insurance Map) one story detached cinder block garage at the southeast (rear/right, as viewed from the public right-of-way of Montgomery Avenue) corner of the property (see *Fig. 2* below).

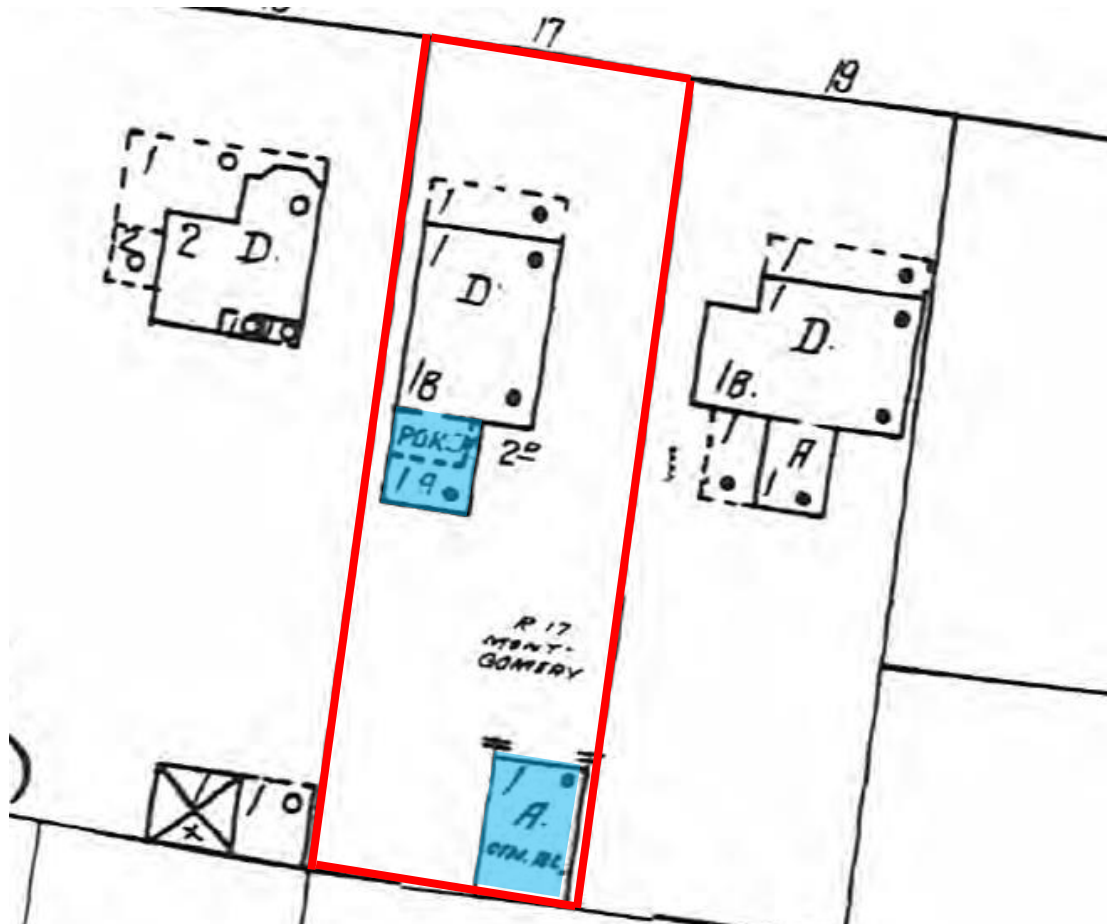


Fig. 2: 1959 Sanborn Fire Insurance Map, with subject property outlined in red and altered and/or removed features highlighted in blue.

The applicants propose the following work items at the subject property:

- Removal of the existing enclosed two story porch at the rear, and construction of a new one-and-a-half story addition on parged piers in its place.
 - Proposed materials include fiber cement siding and trim, wood brackets to match the existing, aluminum-clad wood SDL fixed and casement windows, aluminum-clad wood SDL doors on the first floor, a solid fiberglass door at the basement level, and three-tab asphalt shingle roofing to match the existing.
- Construction of a new deck at the rear of the historic house and proposed addition.
 - Proposed materials include wood decking, wood posts, caps, and rails, and high tension cables.
- Extension of the existing gravel driveway at the east/left side of the property by approximately 15' in length toward the rear, creating a turnaround area, and construction of a 12' x 24' concrete parking pad under the proposed new rear deck.
- Basement level window alterations to include: replacement of four original three-lite wood awning windows (three on the west/right elevation, and one on the east/left elevation) with three-lite aluminum-clad wood SDL awning windows (one on the west/right elevation being a tempered glass window); conversion of one original three-lite wood awning window on the west/right elevation to an aluminum-clad wood SDL egress casement window, with style to match those proposed for the addition; and replacement of the non-original paired steel casement

windows on the east/left elevation with aluminum-clad woodcasement windows, with style to match those proposed for the addition.

- Modification of the rearmost original 6-over-1 double-hung window on the first floor of the east/left elevation, reducing its height and installing a new aluminum-clad wood SDL double-hung window, with style to match those proposed for the addition, in its place.

Staff supports the applicant's proposal. The proposed alterations are generally compatible with the resource's original design, and the proposed new addition and deck are sympathetic with the existing architectural character, massing, height, setback, and materials of the historic house, per the *Guidelines*. The proposed new addition and deck are also in the preferred location at the rear of the historic house, where they are less visible from the public right-of-way. Likewise, staff finds that the proposed gravel driveway extension and new parking pad are in the appropriate location, respecting the existing environmental setting, landscaping, and pattern of open space. Staff notes that the proposed parking pad will be entirely at the rear, and it will not be visible from the public right-of-way.

While several original basement level windows are proposed to be replaced and/or modified, the Commission typically exercises greater leniency when reviewing basement level fenestration alterations on secondary elevations. Regarding the original window to be modified on the first floor of the east/left elevation, staff finds that this window is on a secondary elevation and is far removed from the public right-of-way, being the rearmost window, and the proposed modification will not significantly detract from the character of the subject property or surrounding streetscape.

Staff finds that the proposal will not remove or alter character-defining features or materials of the subject property and/or surrounding streetscape, per *Standards #2* and *#9*. Consistent with *Standard #10*, the proposed new addition and deck will be constructed in a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

After full and fair consideration of the applicant's submission, staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9 and #10*, and *Takoma Park Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d), having found that the proposal is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*.

and with the general condition that the applicant shall present the 3 electronic permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will

contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 986199
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Kerry Richter
Address: 17 Montgomery Avenue
Daytime Phone: 301-232-2826

E-mail: krichter99@gmail.com
City: Takoma Park Zip: 20912
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: Scott Wilets, AIA
Address: 8009 Hamilton Spring Road
Daytime Phone: 301-980-4823

E-mail: scott@wiletsarchitecture.com
City: Bethesda Zip: 20817
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Takoma Park
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 17 Street: Montgomery Avenue
Town/City: Takoma Park Nearest Cross Street: Hickory Avenue
Lot: 9 Block: 17 Subdivision: B.F. Gill Parcel: +

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Scott E. Wilets Scott E. Wilets March 7, 2022
Signature of owner or authorized agent Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Subject property is a rectangular lot with a gentle slope down towards the south from the Montgomery Avenue front.

House is an arts & crafts bungalow with covered front porch, wood framed with a walk-out basement and small finished attic. There is a gravel driveway partially shared with a neighbor.

Surrounding lots are built with similar-scaled single family residences.

There are a few mature trees on the property, but none are near the area of proposed work.

Description of Work Proposed: Please give an overview of the work to be undertaken:

First floor rear addition of an expanded kitchen/breakfast room and rebuilt sun room. New wood deck with wood posts and cable rail will be built off the back with steps leading down to an extended gravel driveway.

Basement will be finished.

New windows are aluminum-clad insulated glass wood with 7/8" Simulated Divided Lites (SDL) including spacers between panes. Dividers are matching 6/1 lites at double hung units, and top row dividers at casements and patio doors.

Existing windows at non-work areas will not be replaced.

Siding, trim, and bracket details will match existing.

Work Item 1: <u>Breakfast Room</u>	
Description of Current Condition: Dilapidated pantry closet	Proposed Work: Remove closet and build new breakfast room addition on concrete piers finished to match existing lower level
Work Item 2: <u>Sun Room</u>	
Description of Current Condition: Un-insulated sun room is an enclosed sleeping porch in poor condition	Proposed Work: Rebuild sun room with level floor, insulated walls, and windows to match existing house per Specifications.
Work Item 3: <u>Windows</u>	
Description of Current Condition: Existing windows are original wood with storm windows, all in poor condition.	Proposed Work: No Work

HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



G001	COVER SHEET, VICINITY MAP, SITE PLAN, PROJECT INFORMATION
G001	PROJECT SCOPE, OUTLINE SPECIFICATIONS, AND GENERAL NOTES
G002	ZONING ANALYSIS, ENERGY CONSERVATION
D001	FIRST FLOOR AND SECOND FLOOR DEMOLITION PLANS
D002	DEMOLITION ELEVATIONS & KEY NOTES
A001	BASEMENT, FIRST FLOOR, AND ATTIC NEW WORK PLANS
A002	ELEVATIONS - NEW WORK
E001	BASEMENT AND FIRST FLOOR POWER/REFLECTED CEILING PLANS DOOR & WINDOW SCHEDULES

	FINISH SIDING		FINISH INTERIOR
	SHEATHING & SUBFLOOR		FINISH FLOOR & TRIM
	EXPANSION JOINT		PLYWOOD
	METAL ANCHORS & TIES		FRAMING MEMBER
	RIGID INSULATION		FRAMING CUT END
	CMU		BATT INSULATION
	BRICK		WIRE MESH
	CONCRETE		MEMBRANE/VAPOR BARRIER
	SAND		WEEP HOLE
	GRAVEL		FLASHING
			EARTH

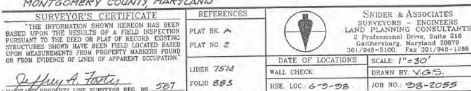
SITE ANALYSIS
SEE G002

BUILDER	JUST GENERAL CONTRACTORS 7200 15TH AVENUE TAKOMA PARK, MD 20912 202-215-8224	STRUCTURAL ENGINEER	KNF ENGINEERING, PLLC 42350 EQUALITY STREET SOUTH RIDING, VA 20152 703-946-3188
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[illegible]

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing, or re-financing
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

****** See also/ For More Information taken from available sources and is subject to interpretation of original source.*



HORIZONTAL/BOUNDARY AND SITE PLAN INFORMATION BASED ON
SURVEY PREPARED BY SNIDER & ASSOCIATES, INC. DATED JUNE 9, 1998
AND SITE OBSERVATIONS BY WILFETS ARCHITECTURE, LLC.

The map shows the location of the study site in Hanoi, Vietnam. The city of Hanoi is marked with a red dot, and the Red River is shown flowing through the city. The study site is located in the northern part of the city, near the Red River. The map also shows the city's boundaries and the surrounding area.



The above drawings and specifications, and the ideas, designs and arrangements represented thereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these conditions.

TESTING CONDITIONS	NOV. 05,
SCHEMATIC DESIGN	NOV. 12,
SCHEMATIC DESIGN	DEC. 02,
PRICING CHECK SET	DEC. 28,
PRICING CHECK SET	JAN. 14,
PRICING CHECK SET	JAN. 18,
WP SET	MAR. 07,

RICHTER RESIDENCE
17 MONTGOMERY AVENUE
TAKOMA PARK, MD 20912

C001

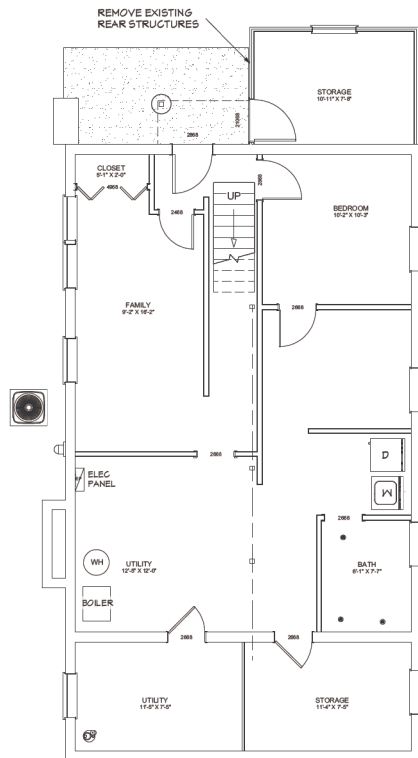


EXISTING REAR SUNROOM & PANTRY - REMOVE

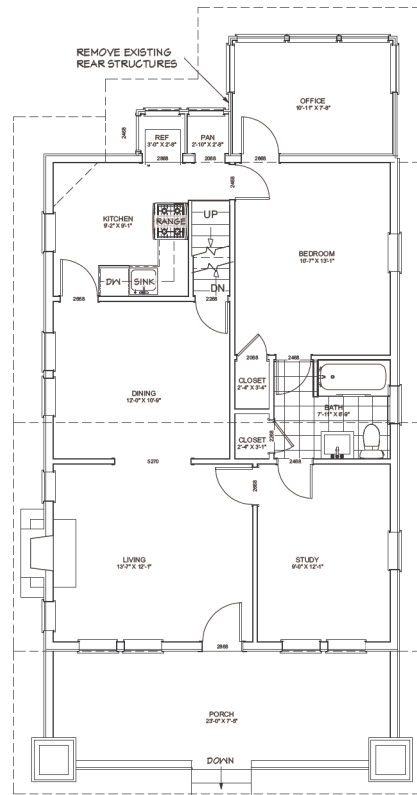


EXISTING KITCHEN - SALVAGE PORCELAIN SINK

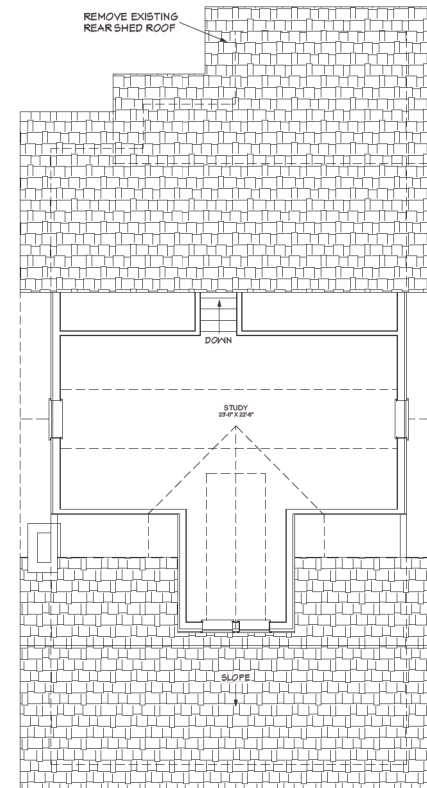
LEGEND	
	EXISTING TO REMAIN
	WALL TO BE DEMOLISHED
	AREA TO BE DEMOLISHED
	NEW CONSTRUCTION



1 D001 BASEMENT DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



2 D001 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



3 D001 ATTIC DEMOLITION PLAN
SCALE: 1/4" = 1'-0"





EXISTING WINDOWS



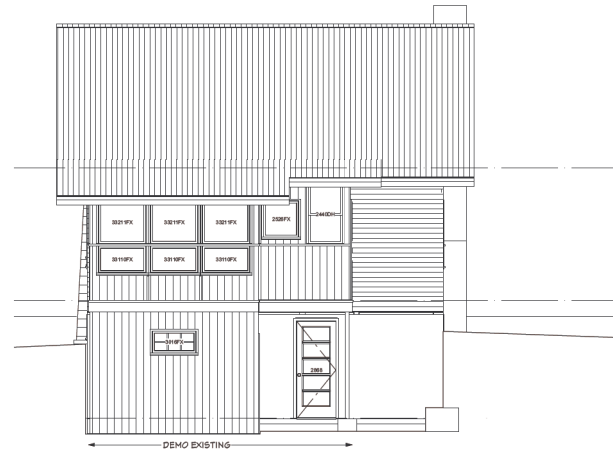
1
D002 EAST ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



2
D002 NORTH ELEVATION - NO WORK
SCALE: 1/4" = 1'-0"



3
D002 WEST ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"



4
D002 SOUTH ELEVATION - DEMOLITION
SCALE: 1/4" = 1'-0"

**HAWP SET
NOT FOR
CONSTRUCTION**

PROFESSIONAL CERTIFICATION
I, SCOTT WILETS, ARCHITECT, hereby certify that I am a duly licensed architect under the laws of the State of Maryland, License Number 10851, expiring on 04/01/2024.

The above drawings and specifications, and the Notes, are the property of Wilets Architecture LLC. They are not to be reproduced, copied, or used in any way without the written consent of Wilets Architecture LLC. Any use of these drawings without the written consent of Wilets Architecture LLC is strictly prohibited. This document is the property of Wilets Architecture LLC and is not to be distributed or used for any other purpose without the written consent of Wilets Architecture LLC.

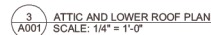
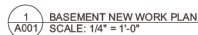
After discussion of these drawings and specifications, the architect and the owner have agreed upon the scope of work and the construction of the project. The architect shall be responsible for all dimensions and construction of the project. The owner shall be responsible for all materials and construction costs. The drawings are the property of Wilets Architecture LLC and are not to be distributed or used for any other purpose without the written consent of Wilets Architecture LLC.

PHASE:	
EXISTING CONDITIONS	NOV. 05, 2021
SCHEMATIC DESIGN	NOV. 05, 2021
SCHEMATIC DESIGN	DEC. 02, 2021
PRICING CHECK SET	DEC. 28, 2021
UPDATED CHECK SET	JAN. 14, 2022
PRELIM PRICING SET	JAN. 18, 2022
HAWP SET	HAWP 07, 2022

RICHTER RESIDENCE
17 MONTGOMERY AVENUE
TAKOMA PARK, MD 20912
JOB NUMBER: 2021-19

EXTERIOR ELEVATIONS
DEMOLITION
EXISTING WINDOWS

D002

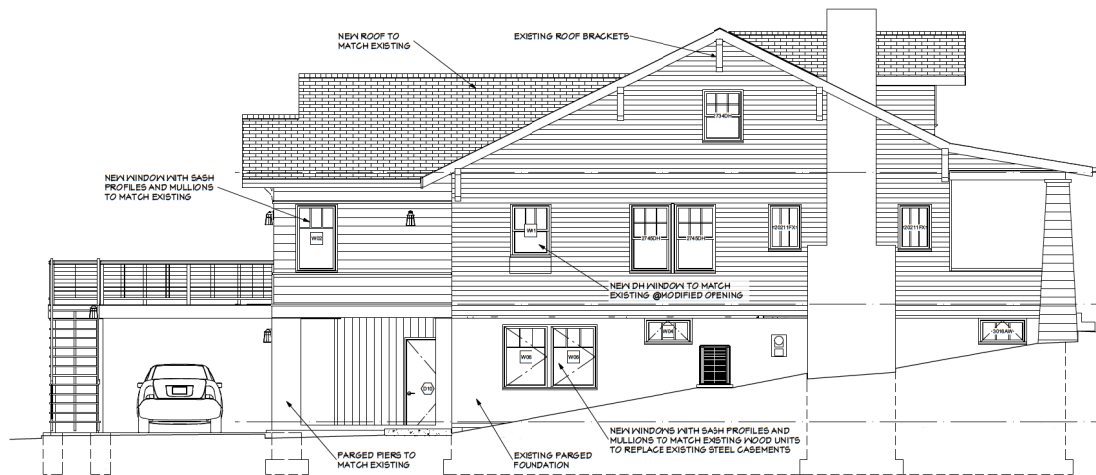


- HAWP SET
NOT FOR
CONSTRUCTION

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AWP SET	MAR 07, 2022

JOB NUMBER: 2021-19

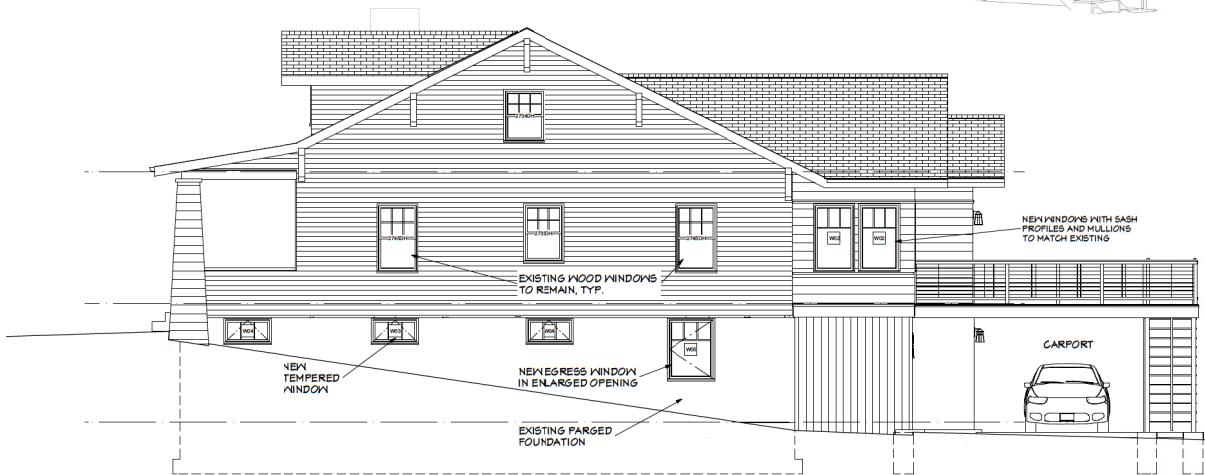
A001



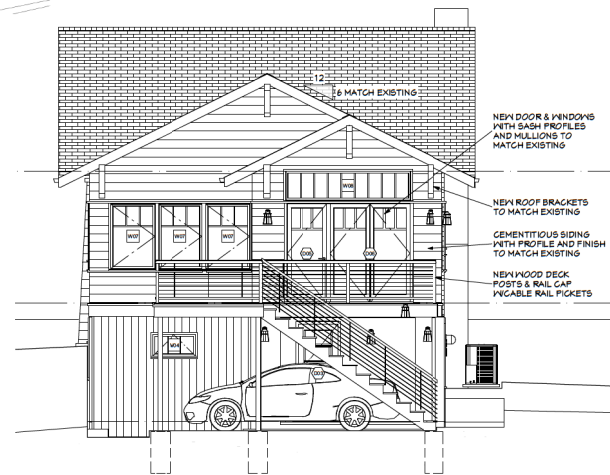
1
A002 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



2
A002 NORTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



3
A002 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



4
A002 SOUTH ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

**HAWP SET
NOT FOR
CONSTRUCTION**

PROFESSIONAL CERTIFICATION
THIS DOCUMENT IS THE PROPERTY OF WILETS ARCHITECTURE LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF WILETS ARCHITECTURE LLC. THE DATE OF APPROVAL, LICENSE NUMBER, EXPIRATION DATE, AND TITLE OF THE ARCHITECT ARE AS FOLLOWS:

The above drawings and specifications, and the plans, drawings and specifications, shall be read and interpreted as a whole. No part of this set of drawings shall be used in any way without the written consent of Wilets Architecture LLC. The architect shall not be responsible for any errors or omissions in these drawings or specifications, or for any consequences arising therefrom, whether or not such errors or omissions are caused by negligence or otherwise. The architect shall not be responsible for any consequences arising from the use of these drawings or specifications for any purpose other than that for which they were prepared.

Wilets Architecture is a firm of independent professionals who shall not be responsible for any errors or omissions in these drawings or specifications, or for any consequences arising therefrom, whether or not such errors or omissions are caused by negligence or otherwise. The architect shall not be responsible for any consequences arising from the use of these drawings or specifications for any purpose other than that for which they were prepared.

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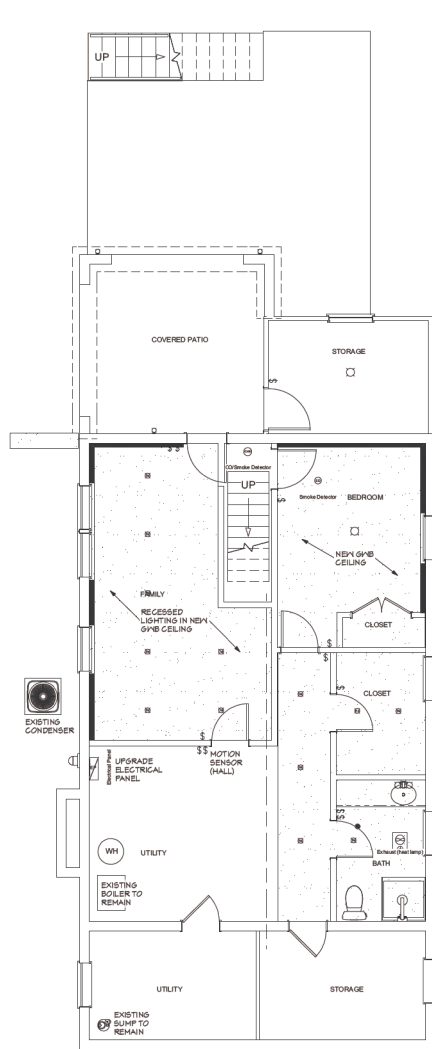
RICHTER RESIDENCE

17 MONTGOMERY AVENUE
TAKOMA PARK, MD 20912

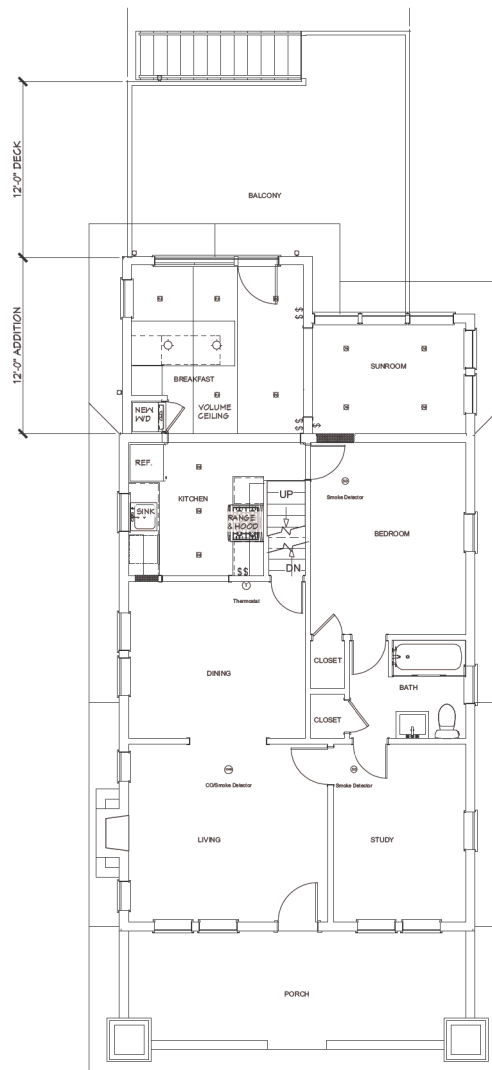
JOB NUMBER: 2021-19

EXTERIOR ELEVATIONS

A002



1 BASEMENT REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



2 FIRST FLOOR REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE									
NUMBER	LABEL	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	THICKNESS	MANUFACTURER	COMMENTS
D01	2968	1	2	2'00" R IN	24"	80"	HINGE CLOUTIERED	1 3/8"	REVERSE DOOR SWING
D02	2968	1	1	2'00" L IN	30"	80"	HINGE CLOUTIERED	1 3/8"	REVERSE DOOR SWING
D03	2968	1	1	2'00" L EX	32"	80"	EXT. HINGED-DOOR P04	1 3/4"	REPLACE EXISTING
D04	2968	1	1	2'00" L IN	32"	80"	HINGE CLOUTIERED	1 3/8"	REVERSE SWING/REPLACE EXIST.
D05	2969	1	2	2'00" L EX	32"	81"	EXT. HINGED-GLASS	1 3/4"	FIXED
D06	2969	1	2	2'00" L EX	32"	81"	EXT. DOUBLE HINGED-GLASS	1 3/4"	REVERSE DOOR SWING
D07	2968	1	2	2'00" L IN	28"	80"	HINGE CLOUTIERED	1 3/8"	REVERSE DOOR SWING
D08	2968	1	2	2'00" L IN	30"	80"	HINGE CLOUTIERED	1 3/8"	REVERSE DOOR SWING
D09	4068	1	1	4'00" L EX	48"	80"	DOUBLE HINGED-PANEL	1 3/8"	REPLACE EXISTING
D10	21068	1	1	2'10" L EX	34"	80"	EXT. HINGED-SLAB	1 3/4"	REPLACE EXISTING

DOOR NOTES:

- INTERIOR DOORS SHALL BE SOLID WOOD PANEL PAINTED TO MATCH EXISTING WITH LEVER HARDWARE BY SCHLAGE OR BETTER
- EXTERIOR DOORS TO HAVE CLAD EXTERIOR AND PRIMED INTERIOR.

WINDOW SCHEDULE									
NUMBER	LABEL	FLOOR	SIZE	WIDTH	HEIGHT	DESCRIPTION	THICKNESS	MANUFACTURER	COMMENTS
W01	2740H	1	2	27'40" L IN	48"	15'40" DOUBLE SLING	1 3/8"	MOORE	NEW RAISED BILL
W02	2740FX	3	2	27'40" L IN	53"	15'40" DOUBLE SLING	1 3/8"	MOORE	NEW RAISED BILL
W03	3016AW	1	1	30'16" L IN	18"	38'20" AWNING	1 3/8"	MOORE	REPLACE EXISTING
W04	3016AW	4	1	30'16" L IN	18"	38'20" AWNING	1 3/8"	MOORE	REPLACE EXISTING
W05	3042SC	1	1	30'42" L IN	50"	38'20" SING. CASEMENT-HL	1 3/8"	MOORE	REPLACE EXISTING
W06	3042SC	2	1	30'42" L IN	50"	38'20" SING. CASEMENT-HR	1 3/8"	MOORE	REPLACE EXISTING
W07	3042SC	3	2	30'42" L IN	53"	38'20" SING. CASEMENT-HL	1 3/8"	MOORE	REPLACE EXISTING
W08	3042SC	1	2	30'42" L IN	53"	38'20" SING. CASEMENT-HR	1 3/8"	MOORE	REPLACE EXISTING

WINDOW NOTES:

- CONTRACTOR SHALL VERIFY ALL ROUGH AND MASONRY OPENING SIZES PRIOR TO PLACING WINDOW ORDER. CONTACT ARCHITECT AND OWNER TO RESOLVE DISCREPANCIES.
- PROVIDE TEMPERED/SAFETY GLASS WHERE WINDOWS SILL ARE LESS THAN 18 INCHES ABOVE FINISHED FLOOR.
- PROVIDE TEMPERED/SAFETY GLASS WHERE WINDOWS AND SIDELITES ARE WITHIN 24 INCHES OF A DOOR OPENING.
- PROVIDE TEMPERED/SAFETY GLASS WHERE WINDOWS AND SIDELITES ARE ADJACENT TO BATHTUB AND SHOWER ENCLOSURES.
- PROVIDE ONE EMERGENCY EGRESS WINDOW CONFORMING WITH CODE IN EACH SLEEPING AREA AND BEDROOM. THE MINIMUM NET CLEAR OPENING SHALL BE 57 SQUARE FEET. THE MINIMUM CLEAR HEIGHT SHALL BE 20 INCHES, MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES, MAXIMUM SILL HEIGHT SHALL BE 44 INCHES ABOVE FINISH FLOOR.
- WINDOWS ARE TO BE ALUMINUM CLAD WOOD UNITS BY PELLA LIFESTYLE WITH MATCHING SASHES AND 7/16" MULLIONS AS APPROVED BY MONTGOMERY COUNTY PLANNING, UNLESS OTHERWISE NOTED. UNITS ARE TO BE LOW E" INSULATED GLASS / 6-W / 16" JAMB WIDTH / CHARCOAL SCREENS AT OPERABLE WINDOWS.
- WINDOWS SHALL MEET OR EXCEED ENERGY PERFORMANCE OF U-32 AND SHGC-40

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fan: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT6 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

HAWP SET NOT FOR CONSTRUCTION

PROFESSIONAL CERTIFICATION
I, Scott Wilets, hereby certify that these drawings were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License Number 1000, Expiration Date April 11, 2022.

The above drawings and specifications, and the Notes, are to be read and understood in connection with the HAWP Set and the drawings and specifications for the building. The architect and the contractor shall be responsible for the accuracy of the drawings and specifications. The contractor shall be responsible for the accuracy of the construction. The architect shall not be responsible for the construction of the building. The contractor shall be responsible for the construction of the building. The architect shall not be responsible for the construction of the building. The contractor shall be responsible for the construction of the building.

Other drawings or those drawings shall have precedence over these drawings. Contractors shall verify and be responsible for the accuracy of the drawings and specifications. The contractor shall be responsible for the construction of the building. The architect shall not be responsible for the construction of the building. The contractor shall be responsible for the construction of the building. The architect shall not be responsible for the construction of the building. The contractor shall be responsible for the construction of the building.

PHASE:
EXISTING CONDITIONS NOV. 05, 2021
SCHEMATIC DESIGN NOV. 12, 2021
SCHEMATIC DESIGN DEC. 02, 2021
PRELIM PRICING SET DEC. 28, 2021
HAWP SET JAN. 14, 2022
PRELIM PRICING SET JAN. 15, 2022
HAWP SET JAN. 17, 2022

RICHTER RESIDENCE
17 MONTGOMERY AVENUE
TAKOMA PARK, MD 20912
JOB NUMBER: 2021-19

REFLECTED CEILING/
LIGHTING PLANS
DOOR & WINDOW
SCHEDULES

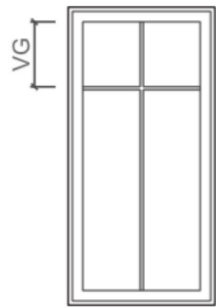
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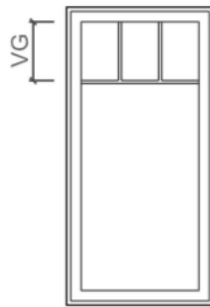
Grille Patterns



9-Lite



Cross



Top Row

9-Lite Prairie

- Standard corner lite dimension for Prairie patterns = 2-1/2" VG.
- Available in transoms \geq 1'3" height and width.

Cross

- Minimum DH frame height 35".
- Horizontal bar will be at 1/2" of the VG height of the top sash.

Top Row

- Minimum DH frame height 35".
- Horizontal bar will be at 1/2" of the VG height of the top sash.

For traditional patterns, see size tables.

VG = Visible Glass

Lite dimensions noted can vary.

For size and pattern availability; contact your local Pella sales representative.



DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 3/10/2022

Application No: 986199
AP Type: HISTORIC
Customer No: 1429499

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 17 Montgomery AVE
Takoma Park, MD 20912

Othercontact Wilets (Primary)

Homeowner Richter

Historic Area Work Permit Details

Work Type ADD

Scope of Work Addition of a breakfast area, sun room, and deck to an existing circa 1923 bungalow. Basement will be finished.

Pella® Lifestyle Series Casement

Aluminum EnduraClad® Exterior

Detailed Product Descriptions

Frame

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine.
- Exterior surfaces are clad with aluminum.
- Components are assembled with screws, staples and concealed corner locks.
- Overall frame depth is 5" (127 mm) for a wall depth of 3-11/16" (94 mm).
- Optional factory-applied jamb extensions available between 3-13/16" (97) and 9-3/16" (233).
- Optional factory-installed fold-out installation fins with flexible fin corners.
- Optional factory-applied EnduraClad® exterior trim.

Sash

- Select softwood, immersion treated with Pella's EnduraGuard® wood protection formula in accordance with WDMA I.S.-4. The EnduraGuard formula includes three active ingredients for protection against the effects of moisture, decay, stains from mold and mildew. Plus, an additional ingredient adds protection against termite damage.
- Interior exposed surfaces are clear pine.
- Exterior surfaces are clad with aluminum, lap-jointed and sealed.
- Corners mortised and tenoned, glued and secured with metal fasteners.
- Sash thickness is [1-3/4" (45 mm) dual-pane] [2-3/16" (55mm) triple-pane, (2-1/4" (57 mm) including hinged glass panel)].

Weatherstripping

- Dual weatherstripping.
 - ♣ Flexible santoprene material compressed between frame and sash for positive seal on all four sides.
 - ♣ Secondary thermoplastic vulcanizate (TPV) weatherstrip between edge of sash and frame [Dual-Pane: leaf-type on the vertical sides and bottom side, and Santoprene® bulb-type weatherstrip on the top side] [Triple-Pane: leaf-type on all four sides].

Glazing System

- Quality float glass complying with ASTM C 1036.
- High altitude glazing available.
- Silicone-glazed 11/16" [obscure] dual-seal insulating glass [[annealed] [tempered]] [[Advanced Low-E] [SunDefense™ Low-E] [AdvancedComfort Low-E] [NaturalSun Low-E] with argon].

-or-
- Triple-Pane Glazing System:
 - ♣ Exterior silicone-glazed 11/16" [obscure] dual-seal insulating glass. [[annealed] [tempered]] [[Advanced Low-E] [SunDefense™ Low-E] [AdvancedComfort Low-E] [NaturalSun Low-E] with argon].
 - ♣ Interior hinged glass panel set in a [veneered fiberglass composite] [aluminum (advanced comfort)] frame finished to match interior (aluminum frames are veneered for stain finishes), fitted to sash with continuous gasket seal, clear [annealed] [tempered] glass.
 - ♣ Airspace between insulating glass and hinge glass panel is 1-1/32".

Exterior

- Exterior aluminum surfaces are finished with EnduraClad® protective finish, in a multi-step, baked-on finish.
- Finish color [Standard [Black] [White] [Brown] [Fossil]] [Feature [Iron Ore] Wolf gray] [Classic White] [Almond] [Portobello] [Putty] [Brick Red] [Hartford Green]].

Interior

- [Unfinished, ready for site finishing] [factory primed with one coat acrylic latex] [factory prefinished [White] [Linen White] [Bright White] [stain₁]].

Hardware

- Roto operator assembly
 - ♣ Steel worm gear sash operator with hardened gears.
 - ♣ Operator base to be zinc die cast with painted finish.
 - ♣ Operator linkage, hinge slide, and hinge arms are stainless steel.
 - ♣ Exposed fasteners are stainless steel.
 - ♣ Hardware will exceed 1,000 hours salt spray exposure per ASTM B 117.

- Innovative Locking System — A single handle locking system which operates positive-acting arms that reach out and pull the sash into a locked position: one operating lock installed on units with lock-side frame dimension [Dual-pane ≤ 29"] [Triple-pane ≤ 41"], two unison operating locks are installed on units with lock-side frame dimension [Dual pane > 29"] [Triple-pane > 41"].
- Standard Integrated fold-away crank and lock handle finish is [baked enamel [Champagne] [White] [Brown] [Matte Black]] [Satin Brass] [Satin Nickel].

Optional Products

Grilles

- Simulated-Divided-Light [with optional spacer] (Dual-pane glazing)
 - ♣ 7/8" Grilles permanently bonded to the interior and exterior of glass.
 - ♣ Patterns are [Traditional] [Prairie] [Cross] [Top Row] [Custom – Equally Divided].
 - ♣ Interior surfaces are [unfinished, ready for site finishing] [factory primed] [pine: factory prefinished [White] [Linen White] [Bright White] [stain₁]].
 - ♣ Exterior color to match the exterior cladding color.
- Simulated-Divided-Light with Grilles-Between-the-Glass (Triple-pane glazing)
 - ♣ 3/4" Grilles permanently bonded to the exterior of glass.
 - ♣ Patterns are [Traditional] [Prairie] [Cross] [Top Row] [Custom – Equally Divided].
 - ♣ Exterior color to match the exterior cladding color.
 - ♣ Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - ♣ Interior color is [White] [Ivory] [Tan₃] [Brickstone₃] [Black] [Putty₃] [Brown] [Harvest] [Cordovan].

– or –
- Grilles-Between-the-Glass₂
 - ♣ Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - ♣ Patterns are [Traditional] [9-Lite Prairie] [Top Row] [Cross] [Custom – Equally Divided].
 - ♣ Interior color is [White] [Ivory] [Tan₃] [Brickstone₃] [Black] [Putty₃] [Brown] [Fossil] [Harvest] [Cordovan].
 - ♣ Exterior color [matched to the exterior cladding color] [White]₄.

Flat Insect Screen

- InView™ Screens
 - ♣ Vinyl-coated 18/18 mesh fiberglass screen cloth complying with the performance requirements of SMA 1201, set in aluminum frame fitted to inside of window, supplied complete with all necessary hardware.
 - ♣ Screen frame finish is baked enamel, [Champagne] [White] [Brown] [Black].

– or –
- Rolscreen® Soft-close Retractable Screen
 - ♣ InView™ Screen cloth, self-storing, rolling, black vinyl-coated 18/18 mesh fiberglass screen cloth complying with ASTM D 3656 and the performance requirements of SMA 1201 mounted behind overhead cover.
 - ♣ Cover finish is [factory prefinished paint₁] [pine veneer wrapped over extruded aluminum with factory prefinished stain₁].
 - ♣ Guides are aluminum extrusion with [pine veneer wrapped over extruded aluminum with factory prefinished stain₁] [factory prefinished paint₁].

Integrated Between-the-Glass Window Fashions (Triple-Pane glazing only)₁

- Slimshade® Blinds
 - ♣ 15 mm aluminum slat, bottom-up blinds with polyester cord ladder
 - ♣ Installed in sash between double glazing and interior hinged glass panel.
 - ♣ Operated with cordless operator or motorized with Insynctive® technology.

– or –
- Cellular Fabric Shades
 - ♣ 11/16" width, bottom-up shades with hidden polyester cord, spun bond Polyethylene Terephthalate (PET) cellular fabric.
 - ♣ Installed in sash between double glazing and interior hinged glass panel.
 - ♣ Operated with cordless operator or motorized with Insynctive® technology.

Hardware

- ♣ Optional factory applied limited opening hardware available for vent units in stainless steel; nominal 3" opening.
- ♣ Optional window opening control device available for field installation. Device allows window to open less than 4" with normal operation, with a release mechanism that allows the sash to open completely. Complies with ASTM F2090-17.

Sensors

- ♣ Optional factory installed integrated security sensors available in vent units.

- (1) Contact your local Pella sales representative for current designs and color options.
- (2) Available on units glazed with Low-E insulated glass with argon, and obscure insulated glass.
- (3) Tan, brickstone and putty Interior GBG colors are available only with matching interior and exterior colors.
- (4) Appearance of exterior grille color will vary depending on Low-E coating on glass.



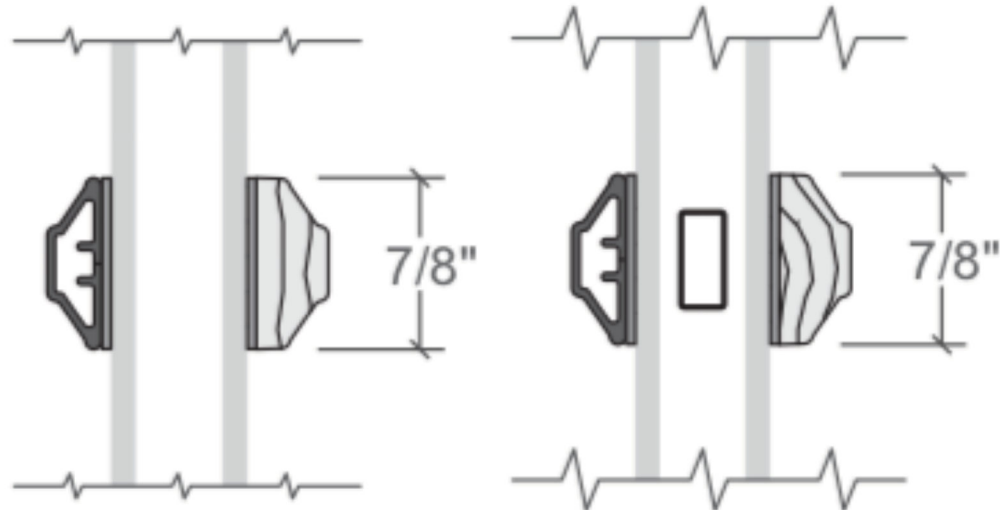
Lifestyle Series

Grilles

Grille Profiles - Dual-Pane

7/8" Simulated Divided Lights

3/4"



with Optional Spacer