

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	517 Philadelphia Avenue, Takoma Park	Meeting Date:	3/2/2022
Resource:	Outstanding Resource Takoma Park Historic District	Report Date:	2/23/2022
Applicant:	Scott Russell	Public Notice:	2/16/2022
		Tax Credit:	N/A
Review:	HAWP	Staff:	Michael Kyne
Permit Number: 981519			
PROPOSAL: New rear addition and porch, and other alterations			

STAFF RECOMMENDATION

Staff recommends that the HPC **approve** the HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Craftsman
DATE: c. 1920s

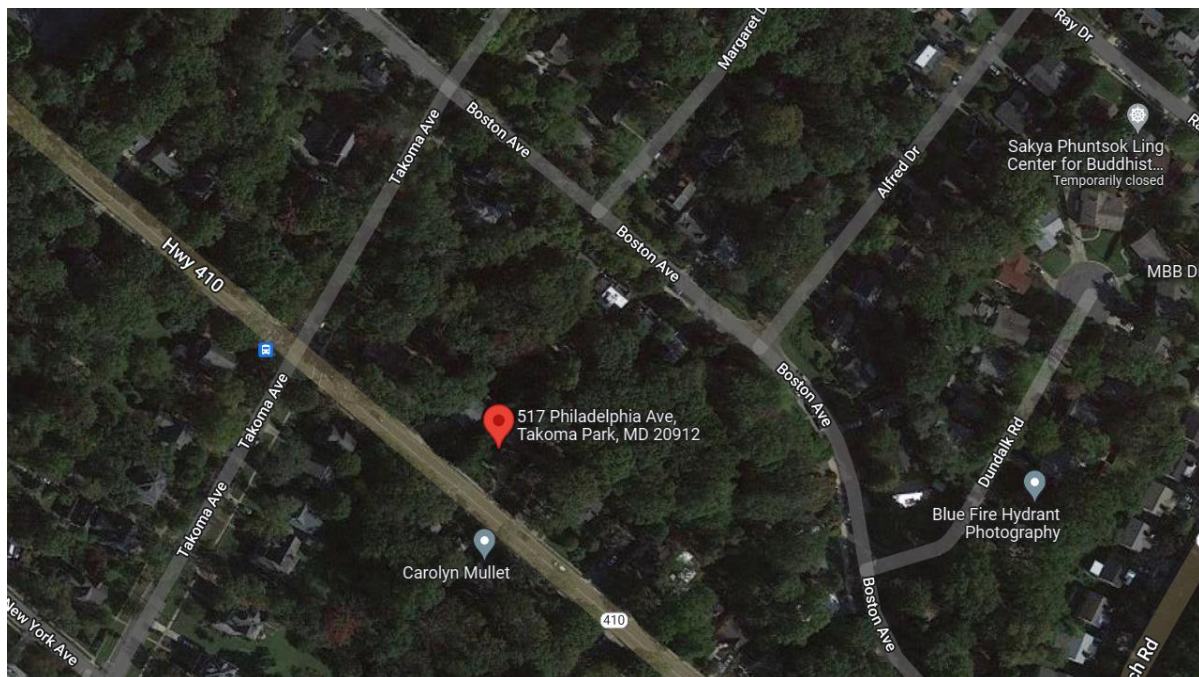


Fig. 1: Subject property.

PROPOSAL

The applicants propose a new rear addition and porch, and other alterations at the subject property.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

- The design review emphasis will be restricted to changes that are all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and
- The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the historic district.

The *Guidelines* define Outstanding Resources as:

A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historical associations that make the resource especially representative of an architectural style, it must be especially important to the history of the district, and/or it must be especially unique within the context of the district.

The *Guidelines* state the following regarding the review of Outstanding Resources:

These resources have the highest level of architectural and/ or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, change and additions to Outstanding Resources.

As a set of guiding principles for design review of Outstanding Resources, the Historic Preservation Commission will utilize the Secretary of the Interior's "Standards for Rehabilitation".

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources [only guidelines applicable to this project included]:

- Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks, and materials
- Emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way

- While additions should be compatible, they are not required to be replicative of earlier architectural styles
- Preservation of original and distinctive architectural features, such as porches, dormers, decorative details, shutters, etc. is encouraged
- Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged
- Preservation of original building materials and use of appropriate, compatible new materials is encouraged
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space

Montgomery County Code; Chapter 24A-8

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
 - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a c. 1920s Craftsman-style Outstanding Resource within the Takoma Park Historic District. The historic house has experienced previous post-1959 alterations, including the enclosure of an open porch at the northwest (rear/left, as viewed from the public right-of-way of Philadelphia Avenue) corner of the historic house and replacement of the original full-width front porch with a west/left-side projecting front porch (see Fig. 2 below).

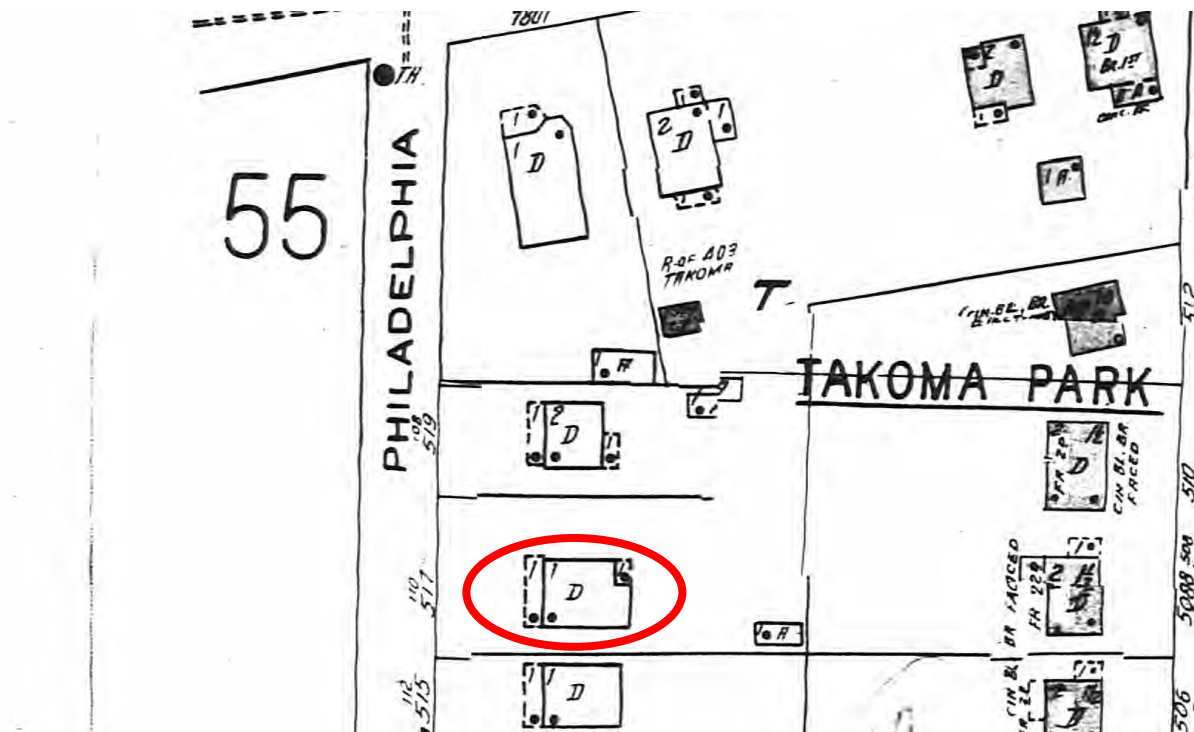


Fig. 2: 1959 Sanborn Fire Insurance Map, with subject property circled in red.

The applicants propose the following work items at the subject property:

- Construction of a screened in porch addition at the northwest (rear/left) corner of the historic house.
 - Proposed materials included PVC composite-clad pressure treated wood posts, PVC composite trim, MeshGuard screening, painted wood lattice screening beneath, asphalt shingle roofing to match the existing, cedar shingle siding to match the existing (east elevation above the roofline only), and painted decorative wood brackets to match the existing.
- Construction of an open porch and stair at the rear of the historic house, adjacent to the east/right side of the proposed new screened in porch addition.
 - Proposed materials include PVC composite-clad pressure treated wood posts, painted pressure treated wood risers, PVC composite treads, PVC composite-clad railing with PVC composite balusters, and PVC composite trim.
- Other work items include replacing the existing non-historic rear door with a new multi-lite wood door and replacing a non-historic window on north elevation (northwest, rear/left corner) of the historic house with a sliding door to provide access to the proposed new screened in porch.

Staff fully supports the applicant's proposal. The proposed alterations are compatible with the resource's original design, and the proposed screened in porch addition is sympathetic with the existing architectural character, massing, height, setback, and materials of the historic house, per the *Guidelines*. While the proposed new screened in porch projects beyond the west/left side of the historic house, the existing non-historic front porch, which also projects to the west/left, will partially obscure and mitigate its visibility when viewed directly from Philadelphia Avenue.

Additionally, the proposal will not remove or alter character-defining features or materials of the subject property and/or surrounding streetscape, per *Standards #2* and *#9*. Consistent with *Standard #10*, the proposed rear dormer will be constructed in a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

After full and fair consideration of the applicant's submission, staff finds the proposal as being consistent with the Criteria for Issuance in Chapter 24A-8(b), (1), (2), and (d), having found the proposal is consistent with the *Secretary of the Interior's Standards for Rehabilitation #2, #9 and #10*, and *Takoma Park Historic District Guidelines* outlined above.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d), having found that the proposal is consistent with the *Takoma Park Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation #2, #9, and #10*.

and with the general condition that the applicant shall present the 3 electronic permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they

propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



FOR STAFF ONLY:
HAWP# 981519
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: scott russell
Address: 517 philadelphia ave
Daytime Phone: 301.325.3296

E-mail: strussell70@gmail.com
City: takoma park Zip: 20912
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: n/a
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name Takoma Park Historic District
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 517 Street: philadelphia ave
Town/City: Takoma Park Nearest Cross Street: Takoma Ave
Lot: 10 Block: 72 Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|--|--|--|
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

scott russell

1/27/2022

Signature of owner or authorized agent

Date

7

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing 2 story wood frame residence with covered front porch and rear steps to main level, recessed steps to basement level. Existing detached wood garage to remain

Description of Work Proposed: Please give an overview of the work to be undertaken:

Add 200 sf attached screened in porch to the northwest corner of the residence, matching main floor level of house. Refurbish the rear stairs in place in conjunction with new structure for porch.

Adjacent and Confronting Properties:

Takoma Park, MD 20912

515 Philadelphia Avenue

519 Philadelphia Avenue

520 Philadelphia Avenue

506 Boston Avenue

508 Boston Avenue

Work Item 1: _____	
Description of Current Condition:	Proposed Work:
Work Item 2: _____	
Description of Current Condition:	Proposed Work:
Work Item 3: _____	
Description of Current Condition:	Proposed Work:

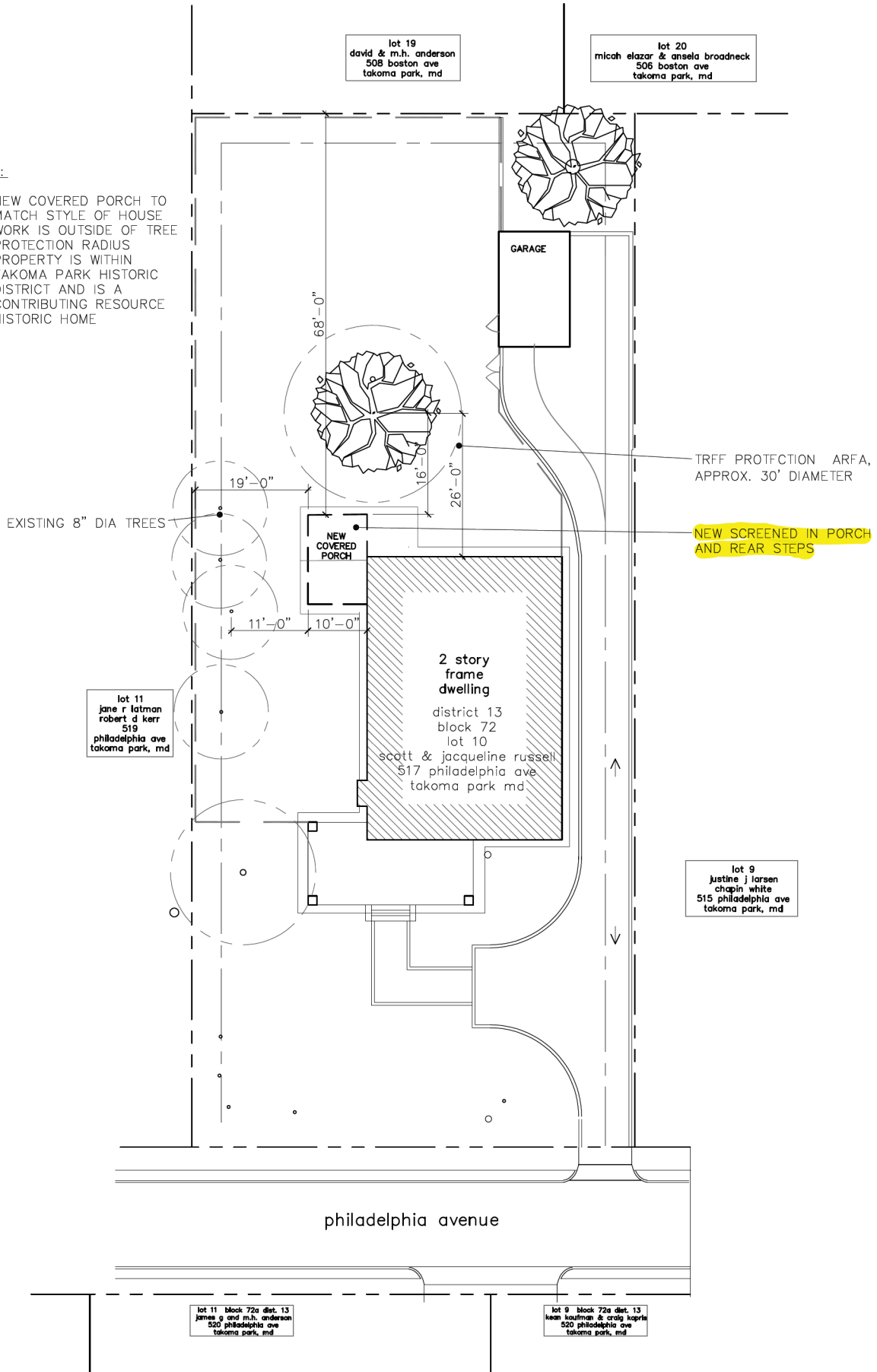
HISTORIC AREA WORK PERMIT CHECKLIST OF APPLICATION REQUIREMENTS

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

NOTES:

1. NEW COVERED PORCH TO MATCH STYLE OF HOUSE
2. WORK IS OUTSIDE OF TREE PROTECTION RADIUS
3. PROPERTY IS WITHIN TAKOMA PARK HISTORIC DISTRICT AND IS A CONTRIBUTING RESOURCE HISTORIC HOME

EXISTING 8" DIA TREES



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517 philadelphia ave.
takoma park, md. 20912
ph
301.329.3296
e-mail
strussell17@gmail.com
Copyright 1992 Scott Russell, AIA



revision... issue record... date
historic preservation permit

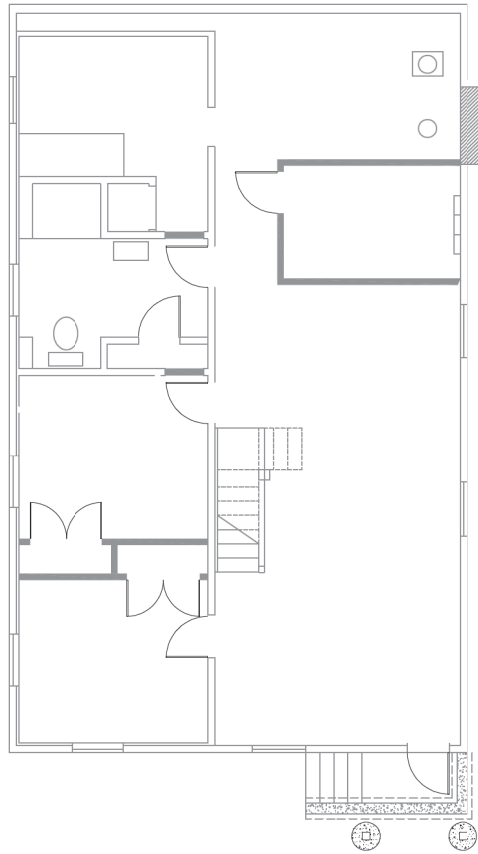
project title
property
alterations
at
517 philadelphia ave.
takoma park, md.

drawing information
scale: 1/16" = 1'-0"
drawn by: str
project no: 003
file name: sp 01.dwg

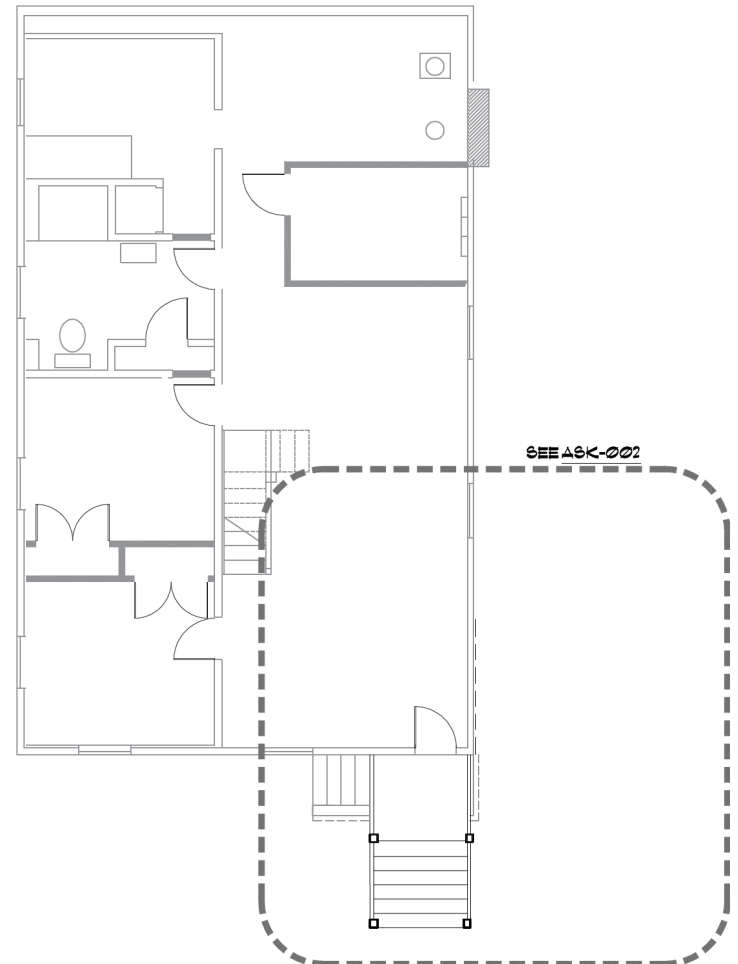
drawing title
PROPOSED SITE PLAN
sheet

COVER 2





1 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"

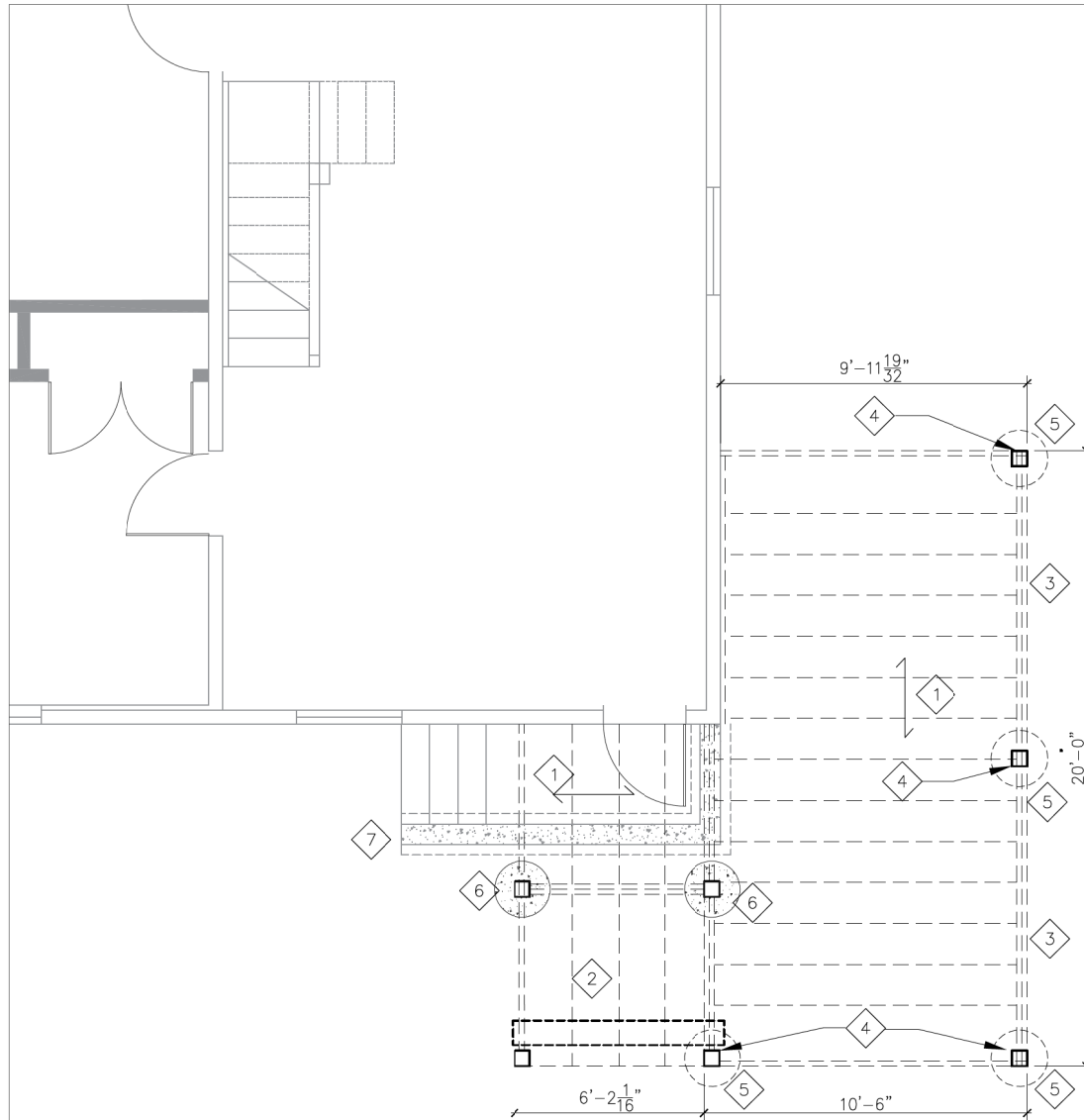


2 EXISTING MAIN LEVEL PLAN
SCALE: 1/8" = 1'-0"

existing plans
517 philadelphia avenue
takoma park, md 20912

PROJECT NUMBER 0002
DRAWING SCALE NTS
DRAWN BY str
SKETCH TITLE project location plans
SKETCH NUMBER ASK-000





1 BASEMENT AND FRAMING PLAN
SCALE: 1/4" = 1'-0"

FRAMING NOTES

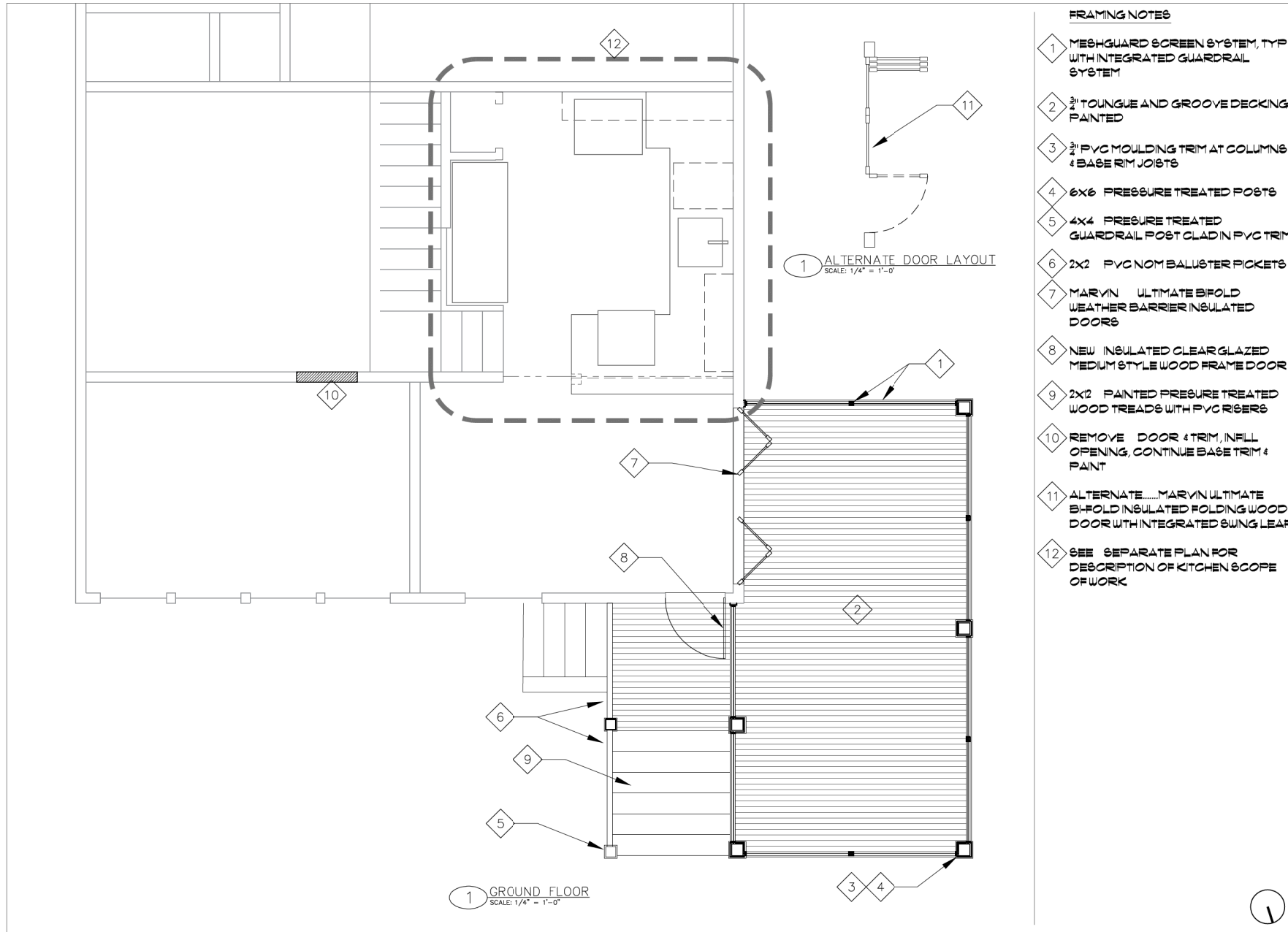
- 1 NEW EXTERIOR PRESSURE TREATED WOOD FRAMING 2X10 @ 16" OC MAX
- 2 NEW 2X10 WOOD STRINGERS
- 3 NEW 2X10 DOUBLE RIM JOIST
- 4 NEW 6X6 PRESSURE TREATED STRUCTURAL WOOD POST
- 5 NEW 24" DIA 36" DEEP CONCRETE FOOTING
- 6 NEW 24" DIA X 36" CONCRETE FOOTING
- 7 EXISTING 8" CONCRETE RETAINING WALL



porch addition
517 philadelphia avenue
takoma park, md 20912

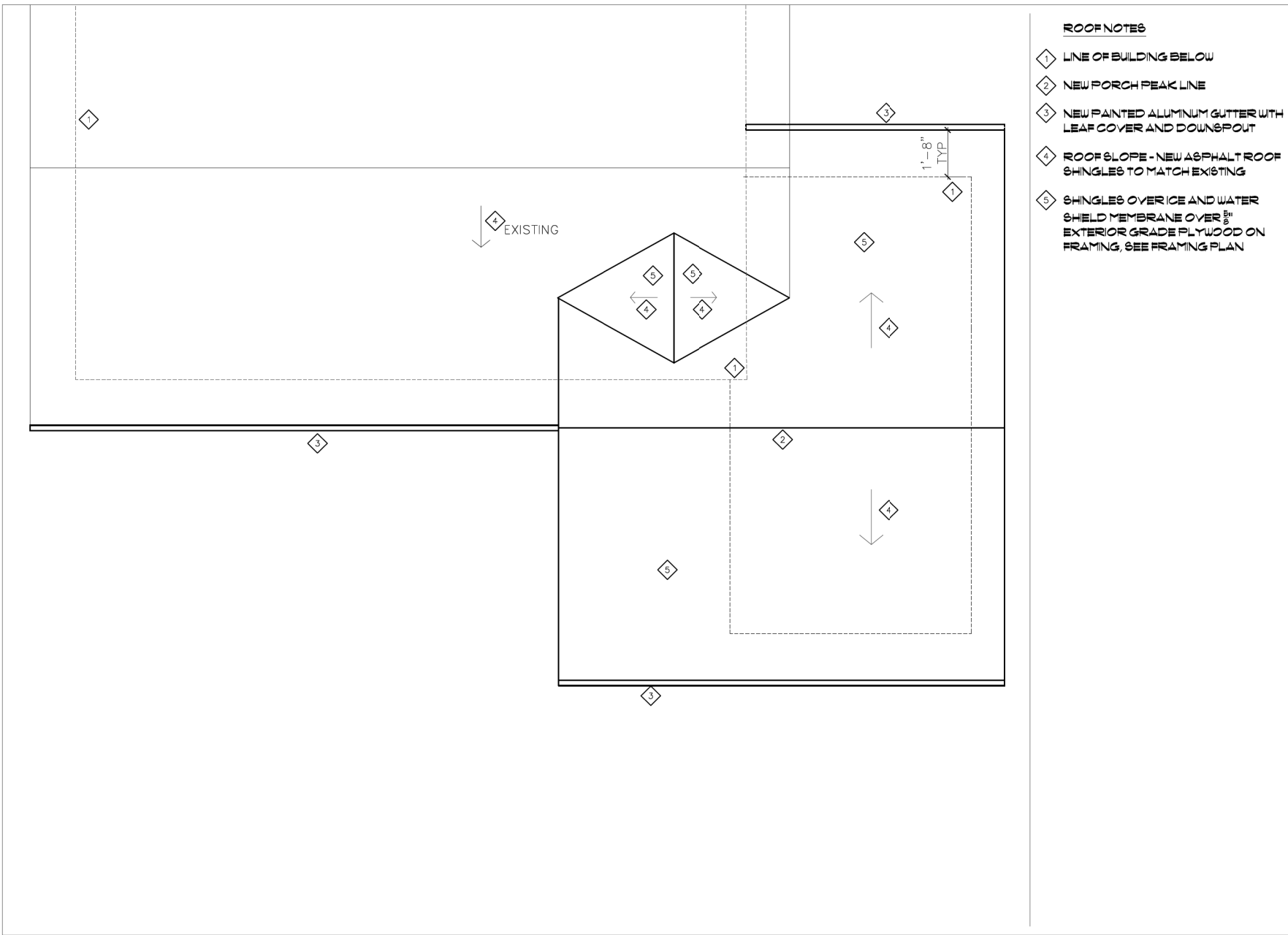


PROJECT NUMBER 0003	DRAWING SCALE 1/4" = 1'-0"	SKETCH TITLE BASEMENT PLAN	SKETCH NUMBER ASK-001
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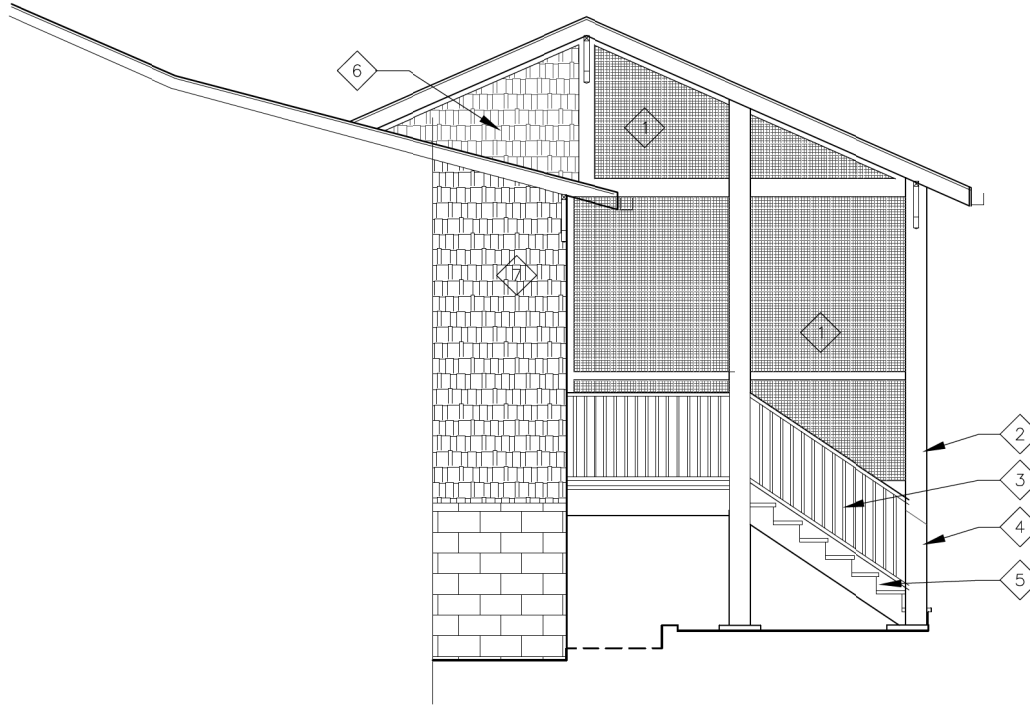
porch addition
517 Philadelphia Avenue
Takoma Park, MD 20912

PROJECT NUMBER 0003
DRAWING SCALE 1/4" = 1'-0"
DRAWN BY str
SKETCH TITLE main level porch plan
SKETCH NUMBER ASK-A002



PROJECT NUMBER	0003
DRAWING SCALE	$\frac{1}{4}" = 1'-0"$
DRAWN BY	str
SKETCH TITLE	roof plan
SKETCH NUMBER	ASK-003

porch addition
 517 philadelphia avenue
 takoma park, md 20912



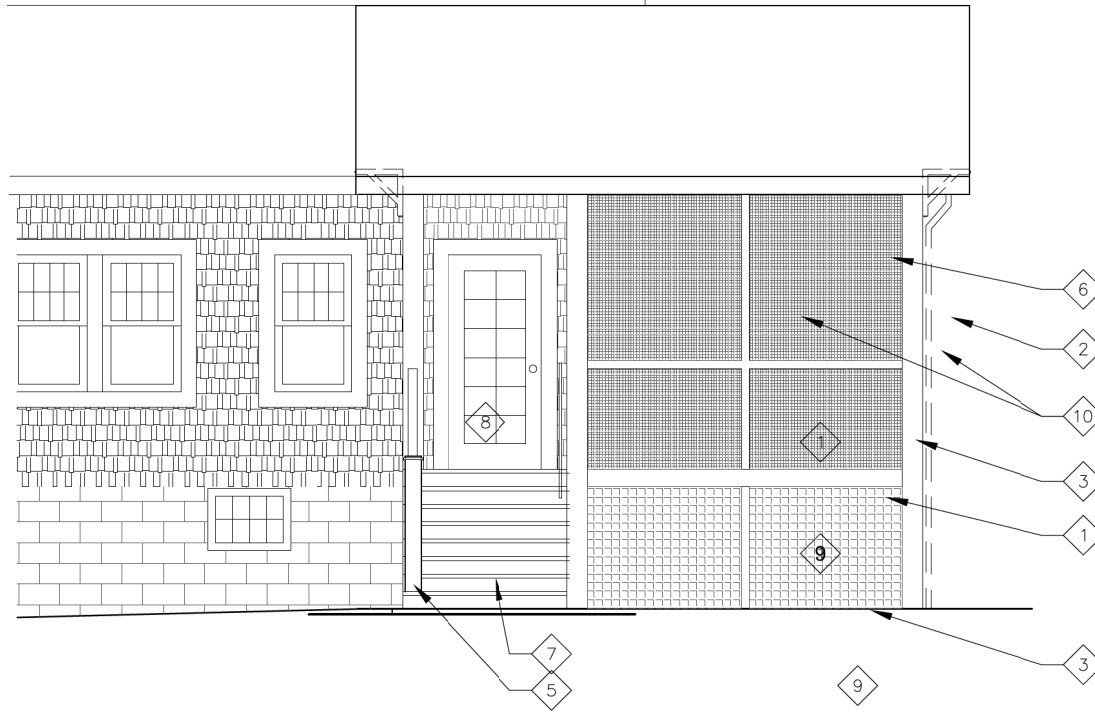
1 EAST PORCH ELEVATION
SCALE: 1/4" = 1'-0"

NOTES

- 1 MESHGUARD SCREEN SYSTEM, TYP WITH INTEGRATED SYSTEM
- 2 3/4" PVC MOULDING TRIM AT COLUMNS & BASE RM JOISTS
- 3 PVC NOM BALUSTER PICKETS
- 4 4X4 PRESURE TREATED GUARDRAIL POST CLAD IN PVC TRIM
- 5 2X12 PAINTED PRESURE TREATED WOOD TREADS WITH PVC RISERS
- 6 NEW CEDAR SHINGLES PAINTED TO MATCH EXISTING
- 7 EXISTING SHINGLE SIDING

porch addition
517 Philadelphia Avenue
Takoma Park, MD 20912

PROJECT NUMBER	0003
DRAWING SCALE	1/4" = 1'-0"
DRAWN BY	ST
SKETCH TITLE	East Porch Elevation
SKETCH NUMBER	ASK-005



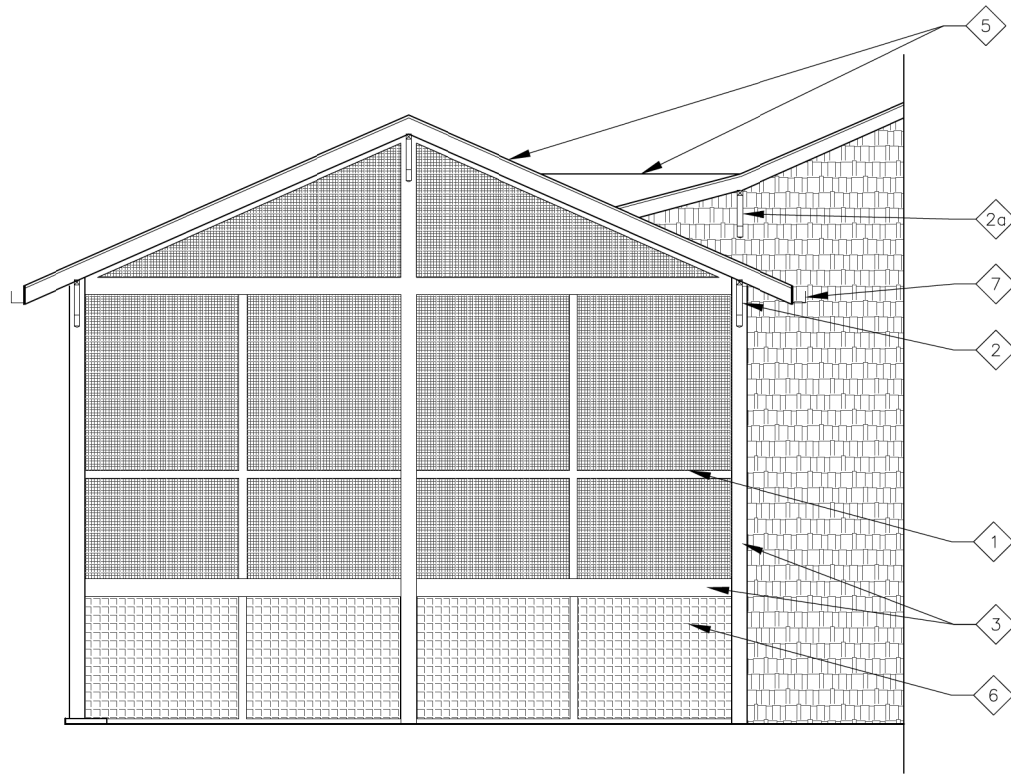
1 NORTH PORCH ELEVATION
SCALE: 1/4" = 1'-0"

NOTES

- 1 MESHGUARD SCREEN SYSTEM, TYP WITH INTEGRATED FRAMING
- 2 PAINTED WOOD RAFTER BRACKET TO MATCH EXISTING
- 3 3/4" PVC MOULDING TRIM AT COLUMNS & BASE RM JOISTS
- 4 6X6 PRESSURE TREATED POSTS
- 5 4X4 PRESURE TREATED GUARDRAIL POST CLAD IN PVC TRIM
- 6 NEW ASPHALT SHINGLE ROOF ON ICE AND WATER SHEILD
- 7 2X12 PAINTED PRESURE TREATED WOOD TREADS WITH PVC RISERS
- 8 NEW MEDIUM STYLE WOOD DOOR WITH INSULATED GLAZING
- 9 PAINTED WOOD LATTICE
- 10 NEW GUTTER AND RAIN LEADERS

porch addition
517 Philadelphia Avenue
Takoma Park, MD 20912

PROJECT NUMBER 0003
DRAWING SCALE 1/4" = 1'-0"
DRAWN BY str
SKETCH TITLE north porch elevation
SKETCH NUMBER ASK-006



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

NOTES

- 1 MESHGUARD SCREEN SYSTEM, TYP WITH INTEGRATED FRAMING
- 2 PAINTED WOOD RAFTER BRACKET TO MATCH EXISTING (2a)
- 3 3/4" PVC MOULDING TRIM AT COLUMNS & BASE RM JOISTS
- 4 6X6 PRESSURE TREATED POSTS
- 5 NEW ASPHALT SHINGLE ROOF ON ICE AND WATER SHIELD
- 6 PAINTED WOOD LATTICE
- 7 NEW GUTTER AND RAIN LEADERS

porch addition
517 Philadelphia Avenue
Takoma Park, MD 20912

PROJECT NUMBER	0003
DRAWING SCALE	1/4" = 1'-0"
DRAWN BY	ST
SKETCH TITLE	West Porch Elevation
SKETCH NUMBER	ASK-001

Historic Area Work Permit Summary of intended work

517 Philadelphia Ave, Takoma Park

1/27/2022

The enclosed design concept illustrates the intent to add a screened in porch to the Northwest corner of the residence at 517 Philadelphia Ave in Takoma Park. The overall area of the work is about 240 sf including the stairs. The roof will be wood joist supported with an asphalt shingle roof material to match the existing. The finish floor will be at the same level as the main level of the residence. The walls will be entirely screened in, with columns and fascia to be finished painted trim to match the existing house. Additional detailing such as the roof overhang brackets will be duplicated to continue the continuity of the original design style. The existing large window that is not original to the house on the west side at the north west corner will be replaced with a sliding operable door to allow for free passage from interior to the new screened in porch area. The stairs will be replaced in kind to address new structure for the porch and replace rotting members.

City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119
Fax 301-270-4568
www.takomaparkmd.gov



7500 Maple Avenue
Takoma Park, MD 20912

MUNICIPALITY LETTER

January 27, 2022

To: Jacqueline & Scott Russell / 310-325-3296 / strussell70@gmail.com
517 Philadelphia Ave
Takoma Park, MD 20912

To: Department of Permitting Services
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166 Fax 240-777-6398; 240-777-6262; 240-777-6223

From: Planning and Development Services Division

THIS IS NOT A PERMIT – For Informational Purposes Only
VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

Representative/email: Jacqueline & Scott Russell / 310-325-3296 / strussell70@gmail.com

Location of Project: 517 Philadelphia Ave, Takoma Park, MD 20912

Proposed Scope of Work: The addition of a 200sf screened in porch on the rear of the property, matching the materials, detailing and style of the original house.

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

City Of Takoma Park

The City of Takoma Park permits for the following issues:

Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: <https://takomaparkmd.gov/services/permits/tree-permits>. The City's Urban Forest Manager can be reached at 301-891-7612 or UrbanForestManager@TakomaParkMd.gov.

Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information: <https://takomaparkmd.gov/government/public-works/stormwater-management-program/>. The City Engineer should be contacted to determine if a City permit is required at 301-891-7620.

City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see <https://takomaparkmd.gov/services/permits/> or contact the Takoma Park Department of Public Works at 301-891-7633.

Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.