

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	24 Holt Pl., Takoma Park	<b>Meeting Date:</b>	2/16/2022
<b>Resource:</b>	Non-Contributing Resource Takoma Park Historic District	<b>Report Date:</b>	2/9/2022
<b>Applicant:</b>	Ryan Doyle	<b>Public Notice:</b>	2/2/2022
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	n/a
<b>Permit No.:</b>	980115	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Solar Panel Installation		

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**STAFF RECOMMENDATION**

Staff recommends the HPC **approve** the HAWP.

**ARCHITECTURAL DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource to the Takoma Park Historic District  
**STYLE:** Colonial Revival  
**DATE:** 1921

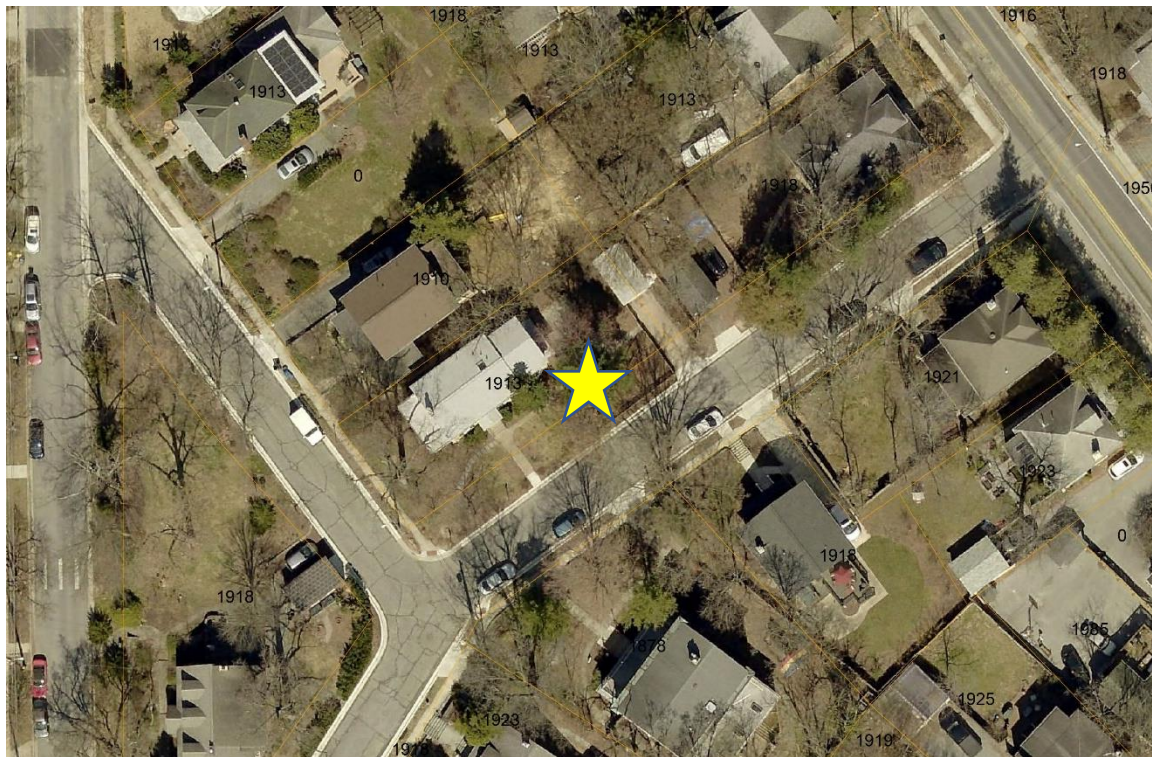


Figure 1: 24 Hold Place, Takoma Park.

## **PROPOSAL**

The applicant proposes to install 18 roof-mounted solar panels on two arrays.

## **APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Takoma Park Historic District Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

### ***Montgomery County Code; Chapter 24A-8***

- (a) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

### ***Secretary of the Interior's Standards for Rehabilitation:***

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

***Historic Preservation Commission Policy No. 20-01: ADDRESSING EMERGENCY CLIMATE MOBILIZATION THROUGH THE INSTALLATION OF ROOF-MOUNTED SOLAR PANELS***

Now, THEREFORE:

WHEREAS, Historic Area Work Permit decisions are guided by the criteria in Section 24A, The Secretary of the Interior's Standards for Rehabilitation, and pertinent guidance from applicable master plan amendments and/or site or district-specific studies;

WHEREAS, The Secretary of the Interior's Standards for Rehabilitation as interpreted by the National Park Service limit the placement of rooftop solar panels under Standards 2, 9, and 10 to less conspicuous locations;

WHEREAS, the County Council has established a Climate Emergency;

WHEREAS, the Historic Preservation is a body established by the County Executive and County Council;

WHEREAS, Section 24-8(b)(6) states, "In balancing the interest of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit;"

WHEREAS, the widespread use of solar panels, both for hot water and for electricity production, will reduce greenhouse gases in the county, in accordance with the aims of the Emergency Climate Mobilization resolution (Resolution No.: 18-974), it shall be the policy of the Historic Preservation Commission that:

1. The preferred locations for solar panel installation(s) on a designated historic site or an historic resource located within an historic district is a) on the rear of the property, b) on non-historic building additions, c) on accessory structures, or d) in ground-mounted arrays;
2. If it is not feasible to install solar panels in one of the identified preferred locations due to resource orientation or other site limitations; and,
3. The roof is determined to be neither architecturally significant, nor a character-defining feature of the resource, nor is it a slate or tile roof, that unless it can be demonstrated that the solar array will be installed without damaging the historic character of the resource or historic fabric; then
4. The public welfare is better served by approving a Historic Area Work Permit for solar panels on all visible side or front roof slopes under Section 24A-8(b)(6).
5. A Historic Area Work Permit (HAWP) is required for all work referenced in this policy.

**STAFF DISCUSSION**

The subject property is a two-story Colonial Revival house with a side-gable roof asphalt shingle roof. The records in the Approved and Adopted Master Plan Amendment creating the Takoma Park Historic District classifies the subject property as "Non-Contributing" as an out-of-period resource. However, tax

records indicate the subject property was constructed in 1921, not 1930-194 as indicated in the Master Plan Amendment Creating the historic district. Staff is unsure why this designation level was selected in 1992. While the house has been altered by enclosing the side porch and constructing a right-side addition, Staff finds the house's character-defining features have been preserved. HP staff conducted additional research on the property (attached) documenting its evolution and recommended to the Maryland Historical Trust (MHT) that the subject part should be considered 'contributing' for the purposes of state rehabilitation tax credits. MHT concurred with HP Staff's recommendations. Despite the possible discrepancy in designation, Staff finds that the proposed work satisfies the requirements for both "Non-Contributing" or "Contributing" resources to the district for the reasons described below.

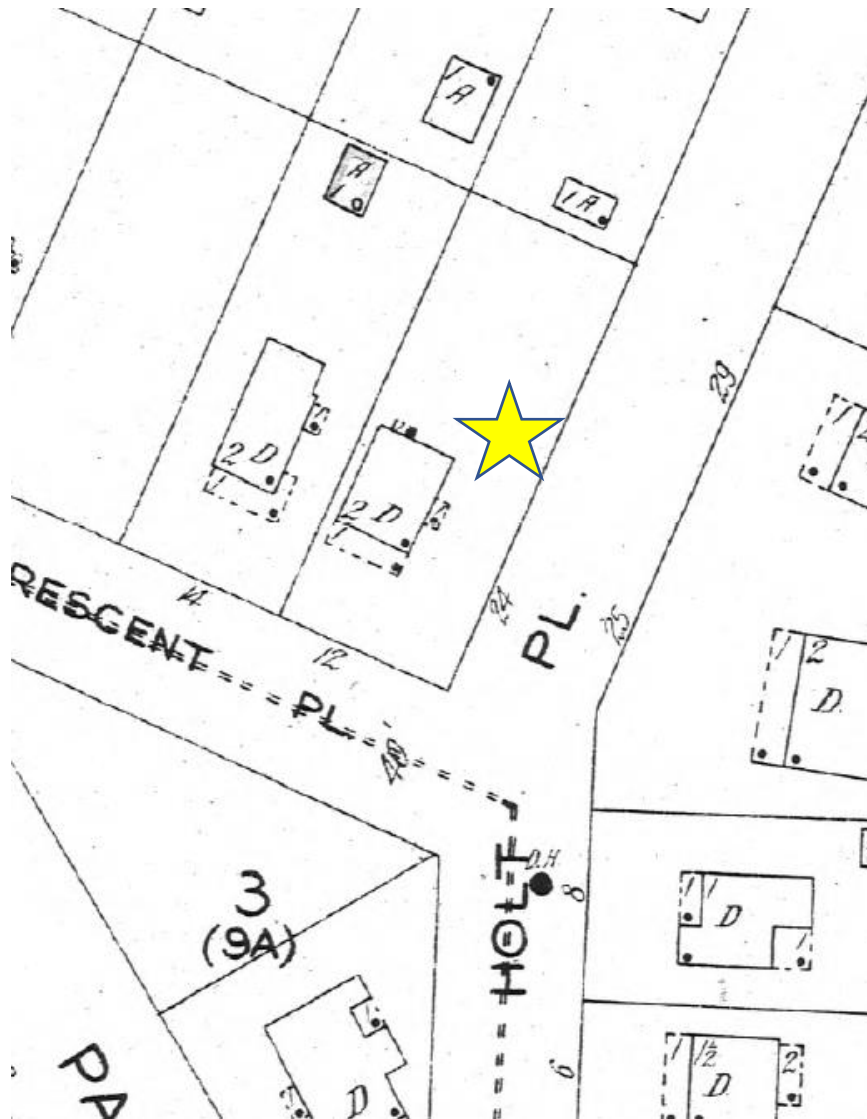


Figure 2: 1927 Sanborn Map showing a smaller house footprint and an open porch on the left side near Crescent Pl.

The applicant proposes to install a total of 18 (eighteen) solar panes in two arrays. The larger,  $3 \times 5$  array is on the south-facing (front) roof slope, and a smaller 3-lite array is on the north (rear) roof slope. The panels will all be flush mounted to the existing asphalt shingle roof.

As a "Non-Contributing" resource, the primary concern is how the change alters the size and massing of the subject property and impacts the surrounding district. In this instance, Staff finds the proposed solar

panels will not have an impact on the size of the resource and will only slightly modify the massing, certainly not to the extent that it will impact the character of the surrounding district. Under this analysis, even though the majority of the panels are on the front roof slope, Staff finds it is unnecessary to consider the impacts under the solar policy guidance to recommend approval.

The preferred locations for solar at the subject property are either inappropriate or insufficient. First, the rear roof slope faces north. The three panels proposed for the north roof slope are not sufficient to generate a significant amount of electricity. Installing more solar panels on this roof slope is insufficient for solar collection. Second, there is not enough space to construct a ground-mounted system on the lot. Third, the detached garage is in the shade of a very large tree and does not receive sufficient sunlight to justify installing an array. Finally, the small non-historic addition to the east-northeast is too small to accommodate more than six panels and is in the shadow of existing trees, which would block solar collection. Dividing the single array into two arrays would require additional wiring and would introduce a second, highly visible rectangle of solar panels. Staff finds that a single, compact array in a visible location is preferable to two compact arrays, even if that means that one of them is installed on a non-historic portion of the building.

Next, Staff finds the side gable roof is neither architecturally significant nor unique; and that installing a solar array in the proposed location will not damage any historic fabric.

Therefore, Staff finds the public welfare is better served by granting the HAWP application under 24A-8(b)(6) and recommends the HPC approve this HAWP.

### **STAFF RECOMMENDATION**

Staff recommends that the Commission **approve** the HAWP application; under the Criteria for Issuance in Chapter 24A-8(b)(6) and the *Takoma Park Historic District Guidelines*, and the *Historic Preservation Commission Policy No. 20-01: ADDRESSING EMERGENCY CLIMATE MOBILIZATION THROUGH THE INSTALLATION OF ROOF-MOUNTED SOLAR PANELS*; having found that the proposal will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2, 9, and 10;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.

**December 16, 2021**

**Meg Voorhes**

24 Holt Place

Takoma Park, Maryland 20912

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**Dear Ms. Voorhes,**

Thank you for contacting the Historic Preservation office regarding your house at 24 Holt Place, Takoma Park. Please submit this letter and the attached narrative to the Maryland Historical Trust when submitting your Part One application for your historic preservation tax credit. It provides the justification for consideration of your property as a contributing resource to the Takoma Park Master Plan Historic District. I am available for any questions that you or the state tax credit reviewer may have regarding the history and development of the property. Please feel free to contact the Historic Preservation office with any other questions.

Sincerely,



John Liebertz

Historic Preservation Planner Coordinator

Montgomery County Planning Department

2425 Reedie Drive, 13th Floor, Wheaton, MD 20902

[john.liebertz@montgomeryplanning.org](mailto:john.liebertz@montgomeryplanning.org)



#### 24 Holt Place – Summary

In 1993, Montgomery County incorrectly listed the Colonial Revival-styled house as a non-contributing resource in the Takoma Park Master Plan Historic District (Figure 1). The original authors of the designation noted the date of construction as “c. 1930-1940s” and stated that the property fell outside of the period of significance for the district.<sup>1</sup> Additional research has confirmed that builder Gilbert S. Seek constructed the house for Charles and Grace Johnson in 1921. Therefore, the property should be considered a contributing resource to the Takoma Park Master Plan Historic District as it falls within the period of significance and retains all aspects of historic integrity. The house has its original form, massing, fenestration patterns, and materials (including eight-over-one, double hung and six-over-one, double-hung, wood windows and wood siding). A sympathetic addition to the side of the dwelling does not detract from the house or character of the surrounding district. In addition, there is a historic one-car, wood-frame garage (built ca. 1927-1931) towards the eastern edge of the property (Figure 2).

The Montgomery County Historic Preservation Office recommends that the Maryland Historical Trust finds the property as potentially eligible for the National Register of Historic Places for the purposes of the tax credit program. This would allow the property owner to receive state historic preservation tax credits under the provision that it is regulated by a local historic district and eligible for the National Register. The property is located directly between the two discontinuous sections of the Takoma Park National Register Historic District (Figure 3). Resurvey of the historic district would likely incorporate properties from this area. In addition, the Maryland Historical Trust found a similar property at 7226 Spruce Avenue eligible for the National Register.<sup>2</sup> The justification for its eligibility states:

The resource contributes to the historic significance of this historic district in location, design, setting, and materials. Contributing resource in eligible area immediately adjacent to NR listed Takoma Park Historic District. Modest bungalow type residence on street of similar simple but picturesque houses c. 1920-1930. Modest examples of house types which characterize the early suburb.<sup>3</sup>

Therefore, the subject property should be found eligible for the National Register using the same justification: 1) it was built in the same period as 7226 Spruce Avenue and falls within the overall period of significance for the district; 2) it reflects the early suburbanization in Montgomery County; and 3) it retains its historic integrity.

#### 24 Holt Place – Research

The subject property (Block 4, Lot 11) is located within the Hillcrest Subdivision, Takoma Park, Maryland, subdivided by Charles Seldon, Jr. in 1911. The property transferred ownership a number of times and tax assessment records indicated there were no improvements on the property from 1911

<sup>1</sup> Maryland-National Capital Park and Planning Commission, *Takoma Park Approved and Adopted Amendment* (1992): <https://montgomeryplanning.org/wp-content/uploads/2019/09/Takoma-Park-Approved-and-Adopted-Amendment.pdf> (accessed December 16, 2021).

<sup>2</sup> Maryland Historical Trust, “7226 Spruce Avenue, Takoma Park,” <https://mht.maryland.gov/secure/medusa/PDF/Montgomery/M;%2037-3-9.pdf> (accessed December 16, 2021).

<sup>3</sup> Ibid.

to 1920.<sup>4</sup> Edith B. Seek acquired the property in 1921. The United States Federal Census, *Washington Herald*, and other local newspapers noted Gilbert Seek, Edith's husband, as a local builder who constructed homes in Takoma Park and Montgomery County.<sup>5</sup> In all likelihood, the Seeks constructed the dwelling for Charles V. and Grace V. Johnson who purchased the property later in 1921.<sup>6</sup> The Johnsons took out a \$3,000 mortgage on the property.<sup>7</sup> That year's tax assessment for the Johnsons noted an improvement valued at \$3,000 on the subject property.<sup>8</sup> The *Takoma Park Directory and Year Book* confirmed that the couple lived at the house by 1922.<sup>9</sup> In 1928, the Johnsons listed the property for sale in the *Evening Star*.<sup>10</sup> The advertisement included a photograph of the dwelling that reaffirms the earlier date of construction and retention of historic integrity (Figure 5).

<sup>4</sup> Montgomery County Historic Preservation staff reviewed records at the Maryland State Archives. Department of Assessments and Taxation, Montgomery County Supervisor of Assessments, "Election District 13, Takoma Park" T221, 1910-1918 and 1918-1922.

<sup>5</sup> *Washington Herald*, May 29, 1921, Newspapers.com.

<sup>6</sup> Maryland County Circuit Court, "Edith B. and Gilbert S. Seek to Charles V. and Grace V. Johnson," June 24, 1921, Liber 308, Folio 206.

<sup>7</sup> Maryland County Circuit Court, "Charles V. and Grace V. Johnson deed of trust to C. Francis Owens and C.A.M. Wells," July 22, 1921, Liber 307, Folio 67.

<sup>8</sup> Department of Assessments and Taxation, Montgomery County Supervisor of Assessments, "Election District 13, Takoma Park" T221, 1918-1922.

<sup>9</sup> The Takoma Record, *Takoma Directory and Year Book* (1922), Historic Takoma, <https://www.historictakoma.org/archives.html> (accessed December 16, 2021).

<sup>10</sup> "A Quiet Corner in Takoma Park, 24 Holt Place," July 7, 1928.





*Figure 1: View of 24 Holt Place, Takoma Park. The house was built in 1921.*



*Figure 2: View of the garage at 24 Holt Place. The garage was built between 1927 and 1931.*



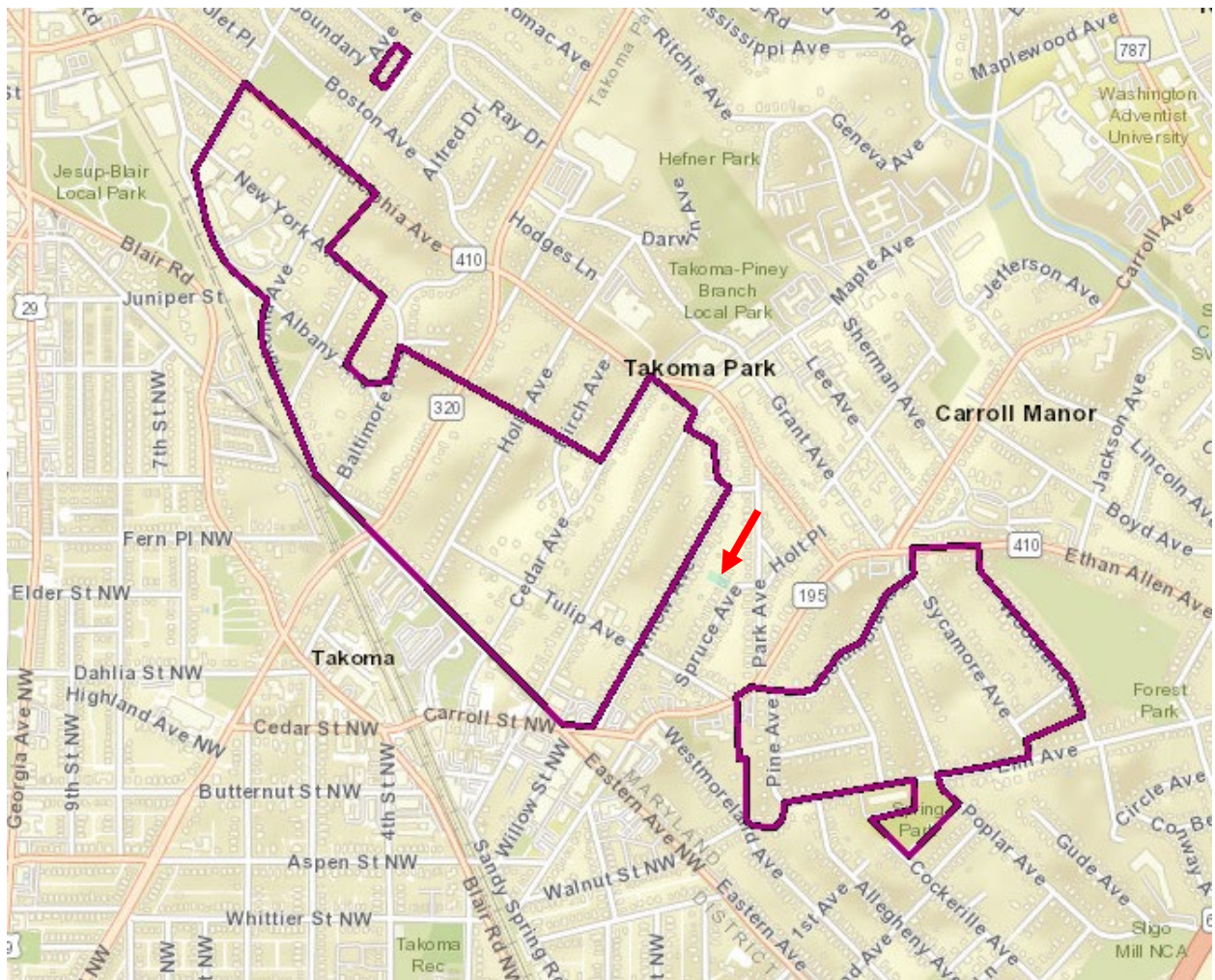


Figure 3: The subject property at 24 Holt Avenue (red arrow) is located between the two discontiguous sections of the Takoma Park National Register Historic District.



Figure 4: 1927 Sanborn Fire Insurance Map. The map depicts a two-story building with a one-story, full-width, open porch on the south (side) elevation and a one-story portico centered on the facade.

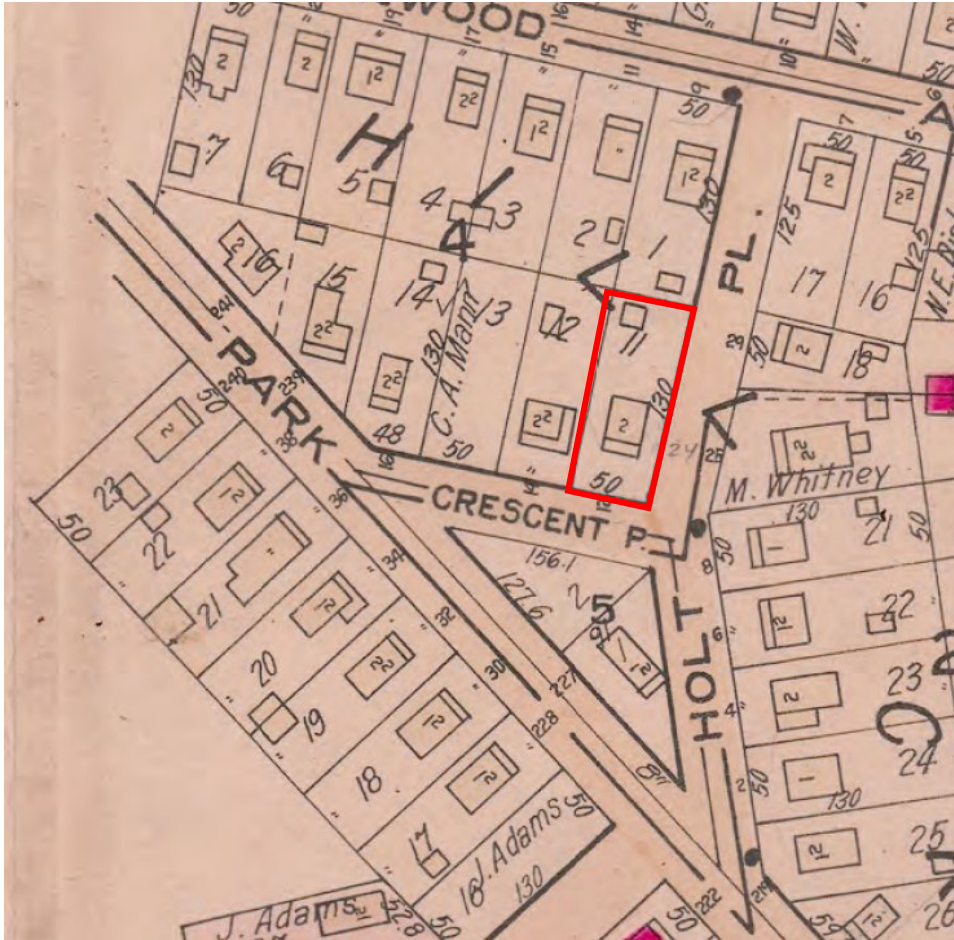


Figure 5: 1931 Klinge Real Estate Atlas of Montgomery County, MD. The red box shows the subject property. The map suggests the construction of the extant detached garage between 1927 and 1931.



## A Quiet Corner in Takoma Park

### 24 Holt Place



One of the kind of properties that is available only when an owner is leaving. Lots like this are scarce.

Everything inside is what it should be to go with a home of this attractiveness.

Large living room, with fireplace. Three bedrooms. Oak floors. Hot-water heat. Lot 50 by 130 feet.

Convenient to stores, school and one-fare cars, on 14th street line. The highest point in Takoma.

This property will be sold at less than its today's value.

**R. D. LILLIE**  
*Exclusive Agent*

Citizens Bank Bldg. (End of 14th St. "Takoma" car line)

**Shepherd 3092**

Figure 6: Advertisement for 24 Holt Place, Takoma Park, in the July 7, 1928, issue of the Evening Star. Many of the original architectural features of the house including the massing, form, fenestration, siding, windows, and entry portico are still intact.



APPLICATION FOR  
HISTORIC AREA WORK PERMIT  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# \_\_\_\_\_

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Ryan Doyle

E-mail: permitting@solarenergyworld.com

Address: 24 Holt Pl.

City: Takoma Park Zip: 20912

Daytime Phone: 410-579-5172

Tax Account No.: 01062532

**AGENT/CONTACT (if applicable):**

Name: Ryan Doyle

E-mail: permitting@solarenergyworld.com

Address: 5681 Main St.

City: Elkridge Zip: 21075

Daytime Phone: 410-579-5172

Contractor Registration No.: MHIC 127353

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? ☒ Yes/District Name \_\_\_\_\_  
☐ No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 24 Street: Holt Place

Town/City: Takoma Park Nearest Cross Street: Crescent Place

Lot: 11 Block: 4 Subdivision: 0025 Parcel: N/A

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input checked="" type="checkbox"/> Solar                |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                     |
|   |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Ryan Doyle  
Signature of owner or authorized agent

1/11/2022

Date



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p><b>Owner's mailing address</b>                  Mary Voorhes                  24 Holt Pl.                  Takoma Park, MD 20912</p>	<p><b>Owner's Agent's mailing address</b>                  Ryan Doyle                  5681 Main St.                  ElKridge, MD 21075</p>
<p align="center"><b>Adjacent and confronting Property Owners mailing addresses</b></p>	
<p>9 Philadelphia Avenue                  Takoma Park, MD 20912                  Benjamin Hickman                  Adjacent</p>	<p>14 Crescent Place                  Takoma Park, MD 20912                  Mary Coleman                  Backyard Confronting</p>

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

*Single Family Dwelling built in 1913*

Description of Work Proposed: Please give an overview of the work to be undertaken:

- Install 18 roof mounted solar panels
- Micro-inverters to be installed under each panel
- Utility disconnect to be installed next to utility meter along with electrical combiner box for micro-inverters
- Panels placed on roof for maximum efficiency
- Galvanized steel conduit to run from equipment, along + tucked into the attic

**Historic Area Work Permit Application for Roof Mounted Solar Panels**  
**Mary Voorhes, 24 Holt Place, Takoma Park, MD 20912**

**Existing Property Conditions**



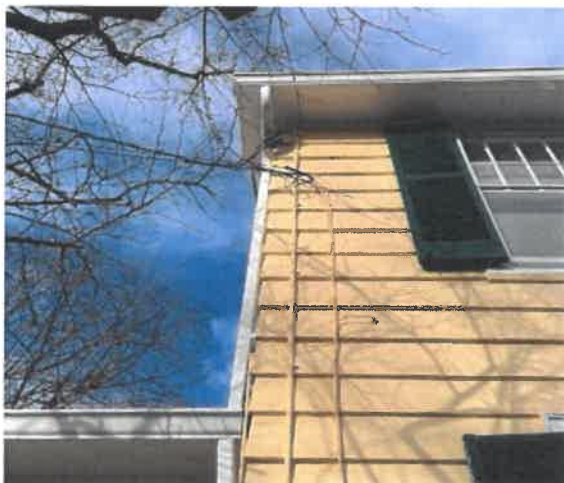
**Front View**



**East View**



**West View**

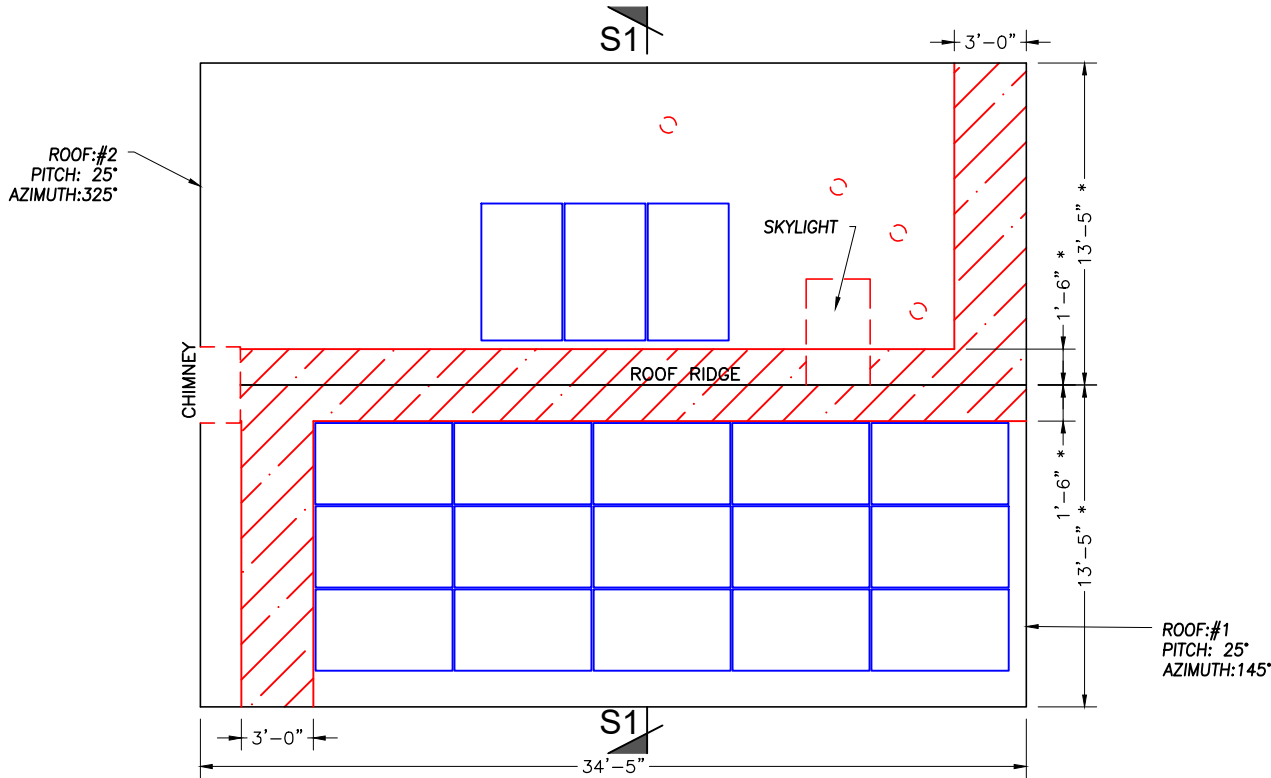


**Utility Side Before Installation**



**Utility Side Example After Installation**

IQ7



KEY



PLAN VIEW TOTAL ROOF AREA: 1480 sqft

SOLAR ARRAY AREA: 347.58 sqft

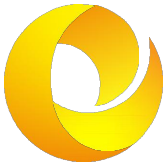
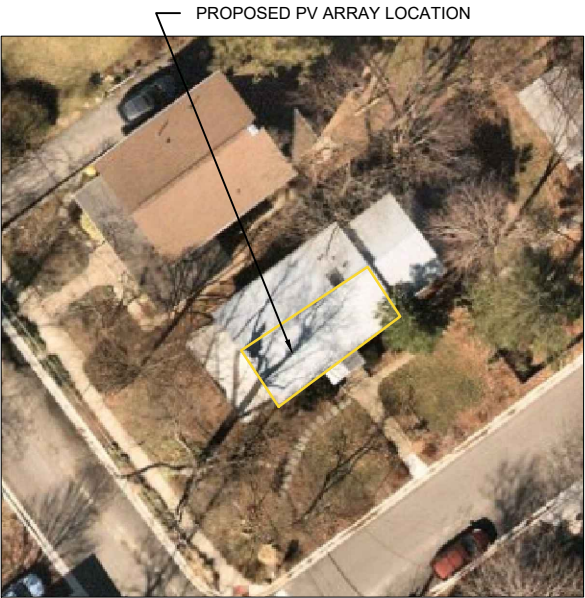
THE SOLAR ARRAY IS 23% OF THE PLAN VIEW TOTAL ROOF AREA

NOTES:

1. THE SYSTEM SHALL INCLUDE [18] HANWHA Q.PEAK DUO BLK-G6+-340W MODULES.
2. SNAPNRACK UR-40 RAIL WILL BE INSTALLED IN ACCORDANCE WITH SNAPNRACK INSTALLATION MANUAL.
3. DIMENSIONS MARKED (\*) ARE ALONG ROOF SLOPE.
4. REFER TO STRUCTURAL DRAWING FOR SECTIONS MARKED AND ADDITIONAL NOTES.

SOLAR PANEL LAYOUT

Scale: 1/8" = 1'-0"



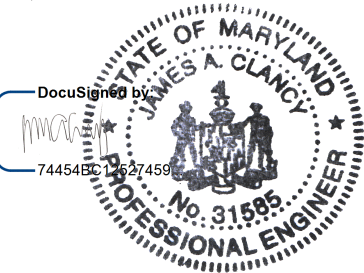
Solar Energy World  
Because Tomorrow Matters

Solar Energy World LLC.  
5681 Main Street  
Elkridge, MD 21075  
(888) 497-3233

Disclaimer:

This drawing is the property of Solar Energy World Inc. The information herein contained shall be used for the sole benefit of Solar Energy World. It shall not be disclosed to others outside the recipient's organization, in whole or in part, without the written permission of Solar Energy World, except in connection with the sale and use of the respective Solar Energy equipment.

Stamp



I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, license No. 31585, expiration date: JULY 18, 2023. Stamped and signed for structures only

\*STAMPED AND SIGNED FOR STRUCTURES ONLY

Revisions

REV	DESCRIPTIONS	BY	DATE
01	-----	--	--

Plotted By: Engineering Laptop 2 on 12/23/2021 4:45 PM

Project Name and Address

Mary Voorhes & David Hauck  
24 Holt Place  
Takoma Park, MD, 20912  
6.12kW  
MD10769

Drawn by

G. Connors

Date

23-DEC-2021

Scale

AS NOTED

Sheet

A001

18