

Preliminary Consultation
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7006 Carroll Ave., Takoma Park	Meeting Date:	1/19/2022
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	1/12/2022
Applicant:	Mark Choe	Public Notice:	1/5/2022
Review:	Preliminary Consultation for HAWP #961034	Staff:	Dan Bruechert
Proposal:	Construction of Accessory Structure in Adjacent Alley		

RECOMMENDATION

Staff recommends the applicant make revisions based on feedback from the HPC and return for a HAWP.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Colonial Revival
DATE: 1923

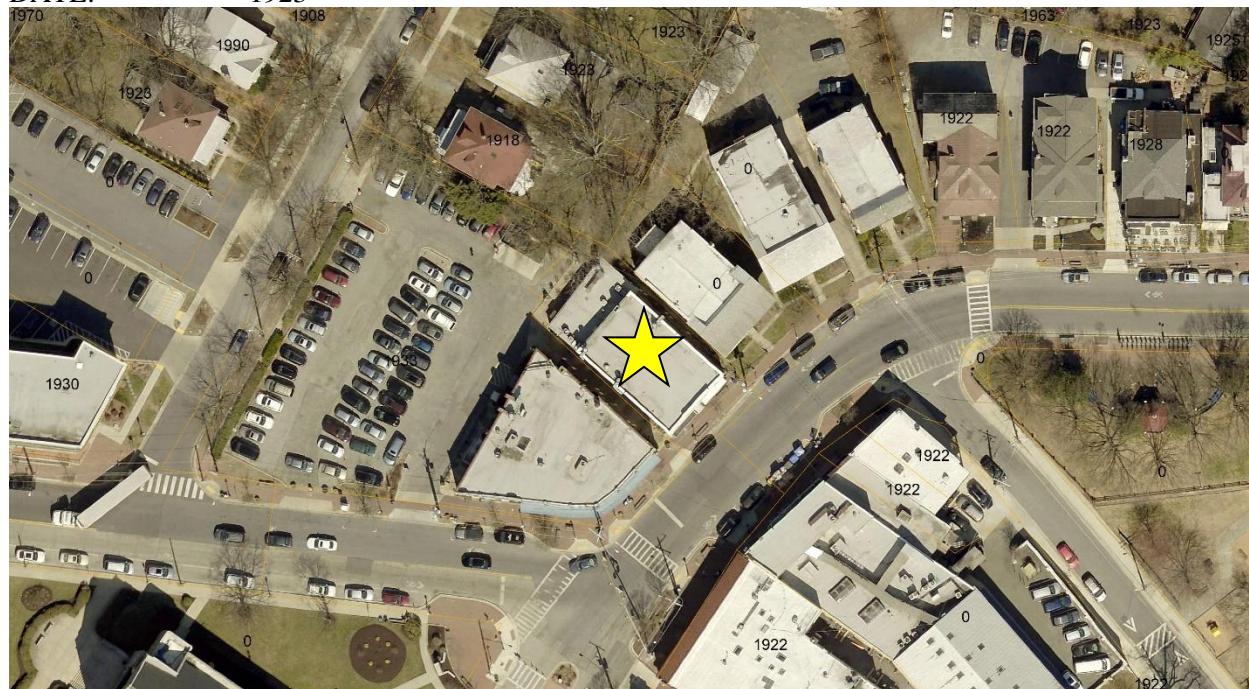


Figure 1: 7006 Carroll Ave. is located in Old Town Takoma Park.

PROPOSAL

The applicant proposes to construct an accessory structure for outdoor eating in the alley to the left of the building.

APPLICABLE GUIDELINES

When reviewing alterations and additions for new construction to Contributing Resources within the Takoma Park Historic District, decisions are guided by the Takoma Park Historic District Design Guidelines (*Guidelines*) and Montgomery County Code Chapter 24A (*Chapter 24A*), and the Secretary of the Interior's Standards for Rehabilitation (*Standards*).

Takoma Park Historic District Design Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code, Chapter 24A Historic Resources Preservation

(b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

(1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation

- 2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- 9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- 10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The subject property is a two-story commercial structure with an alley to the left of the building. The surrounding area is largely comprised of traditional “Main Street” commercial architecture with ground-floor retail and office/residential on the second floor. Several buildings were also constructed as multi-family residences that have subsequently been converted to commercial use.

In response to COVID-19 and the need to provide additional outdoor seating, the applicant proposes to construct a free-standing 280 ft² pergola with a translucent roof. No changes are proposed to the building itself.

The proposed pergola will be constructed out of 8” square timbers set in concrete footers. The pergola will be 9’ 8” (nine feet, eight inches) wide and is approximately 28’ (twenty-eight feet) deep. The pergola’s roof uses a scissor truss system and has rigid translucent panels between the joists. The application materials indicate that signage will be part of the final proposal, but it is not included in the preliminary submission.

Staff finds that there aren’t any provisions of the *Design Guidelines* that provide specific guidance about the type of work proposed. In evaluating this proposal, Staff’s primary consideration is whether or not the proposed structure will negatively impact the character of the setting of the surrounding district. Many of the buildings in Old Town are built to the lot lines with minimal space between the buildings and Staff finds the alley adjacent to the subject property is an outlier.

Staff finds a proposal of this nature would not be presented to the HPC were it not for the COVID-19 pandemic and the need for the applicant to provide additional safe seating for customers. Staff finds that 24A-8(b)(4) and (5) provide reasonable justification for supporting the approval of the project. Staff

additionally finds because the proposed structure is in the alley, it will have less impact on the streetscape than an earlier HAWP for a dining pergola approved in 2021.

Staff also finds that the proposed structure will not visually compete with the surrounding significant historic resources due to its one-story size, largely see-through design, and placement in an existing alley. In considering the Standards, Staff finds that the proposed structure could easily be removed without damaging any historic fabric, per Standard 10. The proposed structure will not impact any of the character-defining features of the subject property, as it is adjacent to the building and set back from the front wall plane, per Standard 2. Evaluation under Standard 9 is more difficult to conduct because of the nature of the proposal. The proposed structure will not read like a building addition nor does it look like an accessory structure. Its design reflects the structure's purpose and is more akin to a beer garden with a roof, than some other type of dependency. Staff finds that the proposed structure is designed so as not to detract from the character of the historic building. Under these considerations, Staff finds the proposal will satisfy the requirements of Standard 9.

Staff's primary question for the HPC is, do they find the proposal negatively impacts the character of the site and surrounding district? And if so, does the HPC concur with Staff's finding that 234A-8(b)(4) and (5) provide a reasonable justification for approval?

In addition to the questions for the HPC, Staff has several outstanding questions for the applicant before the final HAWP submission:

- Does this comply with the zoning requirements for the property?
- Does the structure comply with DPS requirements for a structure of this type?
 - Staff is unsure if additional concerns for egress and/or fire suppression will require revisions to the design.
- Can the structure include signage and still meet the requirements of the County signage ordinance?
- More information is needed regarding the proposed roofing material (i.e. manufacturer's specifications)

STAFF RECOMMENDATION

Staff recommends the applicant make any changes to their proposal recommended by the HPC and returns for a HAWP.



FOR STAFF ONLY:
HAWP# 961034
DATE ASSIGNED _____

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____

E-mail: _____

Address: _____

City: _____ Zip: _____

Daytime Phone: _____

Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____

No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---------------------------------------------|----------------------------------------------|----------------------------------------------------------|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:

Adjacent and Confronting Properties:

Takoma Park, MD 20912

7117 Willow Avenue

7000 Carroll Avenue

7012 Carroll Avenue

7001 Carroll Avenue

Work Item 1: _____

Description of Current Condition:

Proposed Work:

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

Montgomery County
Historic Preservation Commission
2425 Reedie Drive, 7th Floor
Wheaton, MD 20902



7003 Carroll Avenue
Takoma Park, Maryland 20912
Ph. 301-814-9213
www.wals-studios.com

re: HAWP App. #961034 for Mark's Kitchen Pergola

October 15, 2021

Dear Montgomery County Historic Preservation Commission, please accept this submittal in support of HAWP App. #961034 for Mark's Kitchen Dining Pergola to be located adjacent to the current Mark's Kitchen restaurant in Takoma Park. We are attaching this document to the Historic Area Work Permit Application.

Written Description of Work

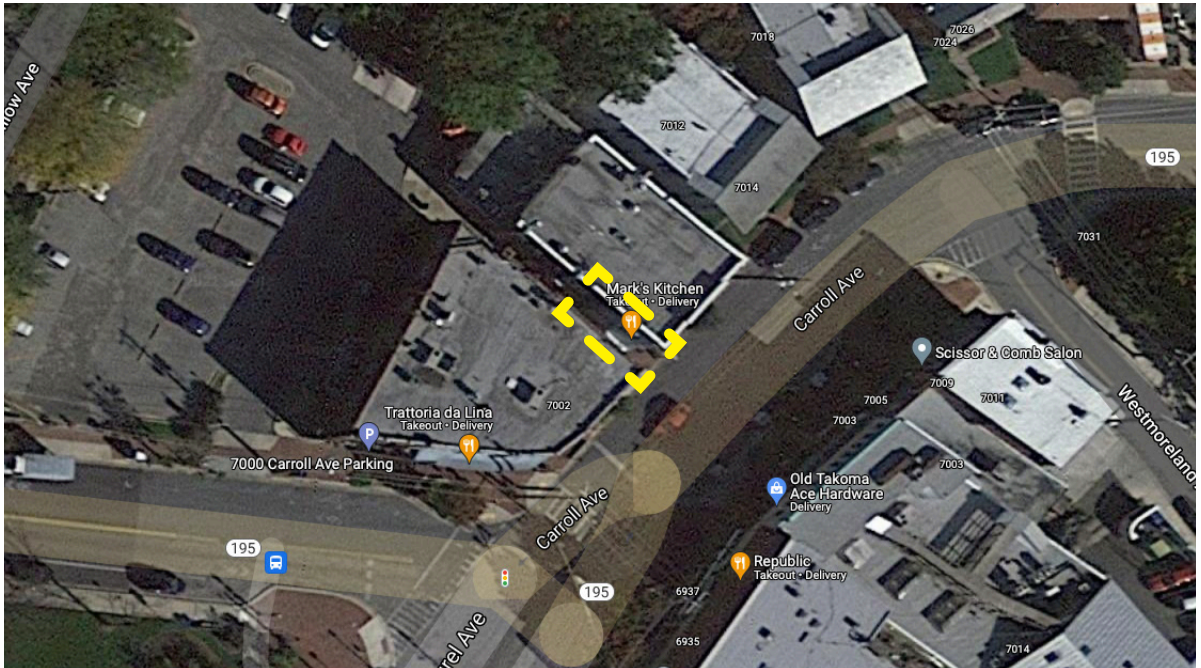
The Mark's Kitchen pergola addition infill project will add approximately 280SF to the existing restaurant for outside dining. Given the unprecedented effect of COVID-19 on local restaurants, Mark's Kitchen is seeking safe ways to continue and even grow service into the winter of 2021 and beyond. A covered dining area in the privately owned alley adjacent to the restaurant is not only a logical next step, but a way to add interest and softness to an under-utilized, utility-faced hardscape in the heart of Takoma Park.

The pergola is designed as a wood-framed, translucent roofed open colonnade, fully independent of the adjacent brick buildings. The 8x8 wood posts are spaced to fit between the existing buildings and will be 9'-8" wide with three bays. The first two bays from the Carroll Avenue side of the alley are 10'-0" deep on the column centerlines. The third bay toward the center of the alley is two feet shorter to keep well clear of the kitchen hood exhaust and associated restaurant ductwork. The wood structure will be supported on concrete footings below the gray, decorative stamped concrete.

The beams and joists will be framed with 2x wood members. The entire wood structure will be stained with a medium brown, redwood-like color that will allow the grain to show through.

The scissor-trussed roof structure is pitched to the sides from a central ridge ending in a gable at both the Carroll Ave and parking lot side of the pergola. The roof structure will project slightly over the entrance at Carroll Avenue. The Carroll Avenue entrance gable projection will align with the existing Mark's Kitchen canopy at approximately 8'-0" above the sidewalk surface. The gable end of the roof structure is pitched to fit between the existing adjacent awning and a decorative brick band on the adjacent Mark's Kitchen front elevation.

The central bay of the pergola will be framed to be raised above the first and last bays for airflow.



Site Plan

The area of work is shown with the dashed yellow line on the aerial image above. The area of work is roughly the first half of the alley toward the southeast. Please see EXHIBIT A for the proposed pergola/alley plan.

Plan and Elevations

Please see EXHIBITS A, B, and C for the proposed pergola/alley plan, section, and elevation.

Material Specifications

In addition to the items listed below, please reference EXHIBIT B for the location of proposed materials and colors.

The columns will be 8x8 wood posts set on concrete piers (to be designed by a structural engineer) below the existing stamped finished gray concrete.

The cross beams, roof joist structure, and outside beams will be designed with 2x wood lumber. Miscellaneous wood supports will be sized as needed to accommodate signage.

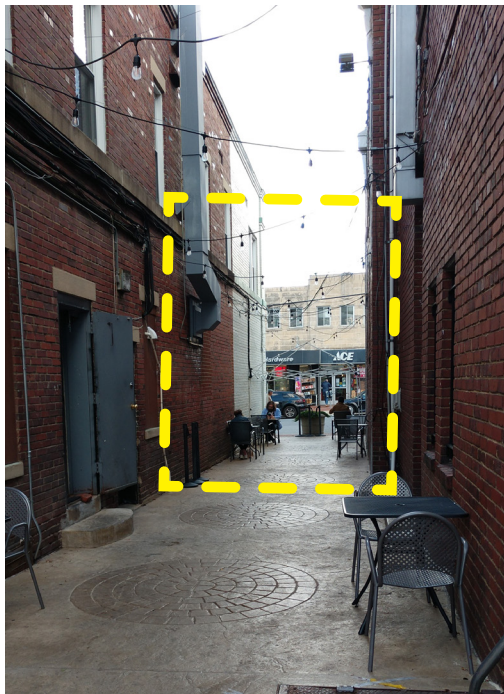
All wood will be stained a “medium brown” color and also allow the wood grain to show through. The stain color will be a direct complement of the current light green paint color and darker green trim of the adjacent Mark's Kitchen restaurant.

The roof panels will be lightweight rigid, translucent panels fastened to the roof joists to allow daylight, but to still shelter restaurant patrons and workers from rainfall.

Photographs



View of alley from Carroll Avenue (dashed, yellow outline around proposed area of work)



View of alley from the parking lot (dashed, yellow outline around proposed area of work)

Tree Survey

The project is located in an area without trees. The street trees along Carroll Avenue are visible on the photo above, but outside of the area of work.

Property Owner Addresses

Properties on both sides of the proposed work area are owned by Bill Kirchiro of K.C. Associates, LLC. The address is 10511 Summit Ave., Kensington, MD and the phone number is 301-270-1234.

Submitted By:

 10/15/21
wals STUDIOS for Mark Choe date

List of attached EXHIBITS:

- EXHIBIT A: PERGOLA / ALLEY PLAN - PROPOSED
- EXHIBIT B: PERGOLA ENTRY ELEVATION - PROPOSED
- EXHIBIT C: PERGOLA SECTION - PROPOSED



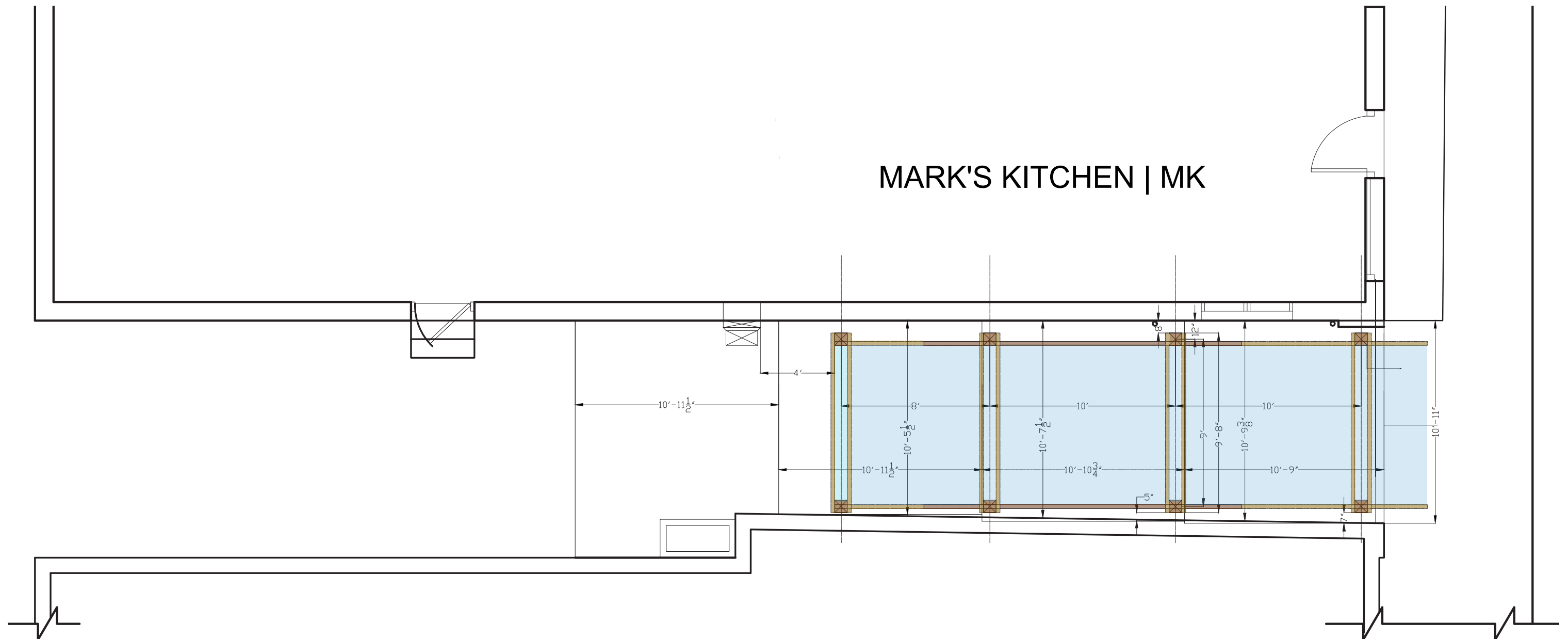


EXHIBIT A: PERGOLA / ALLEY PLAN - PROPOSED

09/30/21



EXHIBIT B: PERGOLA ENTRY ELEVATION - PROPOSED

09/30/21

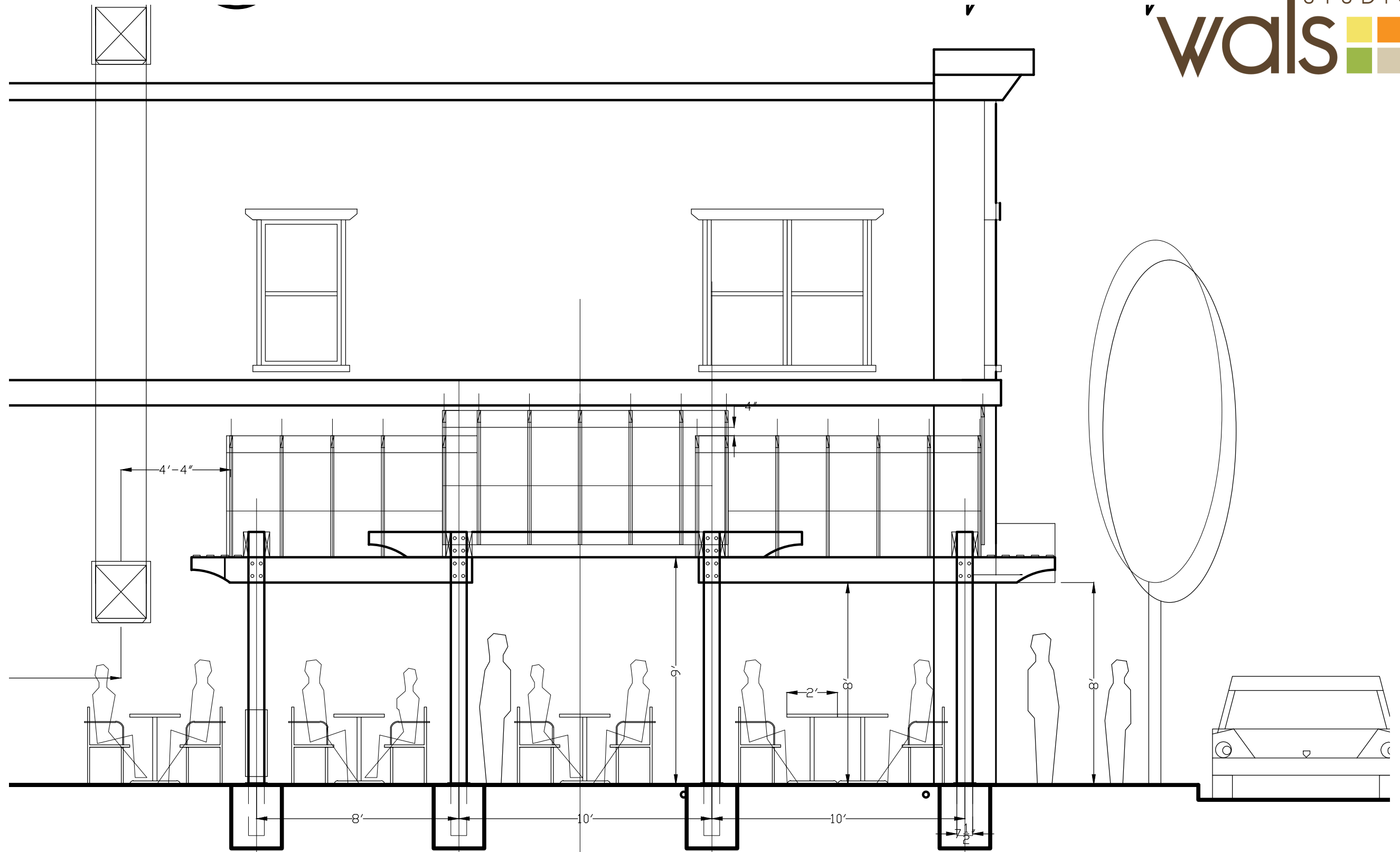


EXHIBIT C: PERGOLA SECTION - PROPOSED

09/30/21