

**EXPEDITED**  
**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	12 Hesketh Street, Chevy Chase	<b>Meeting Date:</b>	2/2/2022
<b>Resource:</b>	Contributing Resource (Chevy Chase Village Historic District)	<b>Report Date:</b>	1/26/2022
<b>Applicant:</b>	Nolan Duncan	<b>Public Notice:</b>	1/19/2022
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Permit Number:</b>	976689	<b>Staff:</b>	Michael Kyne
<b>PROPOSAL:</b> Installation of generator			

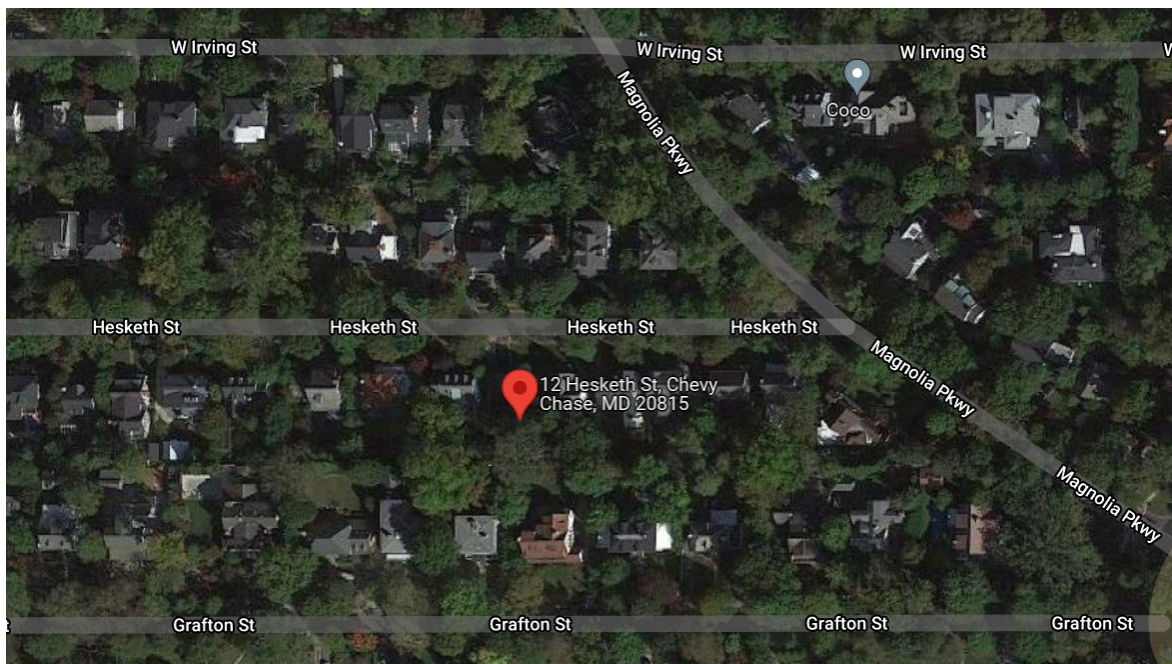
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**STAFF RECOMMENDATION:**

☒ Approve  
☐ Approve with conditions

**ARCHITECTURAL DESCRIPTION:**

**SIGNIFICANCE:** Contributing Resource within the Chevy Chase Village Historic District  
**STYLE:** Dutch Colonial  
**DATE:** c. 1916-27



***Fig. 1: Subject property.***

**PROPOSAL:**

The applicant proposes to install a new generator at the southwest (rear/right, as viewed from the public right-of-way of Hesketh Street) side of the subject property beside the existing garage.

Staff notes that this application was initially scheduled to be heard at the January 19, 2022 HPC meeting. In the initial application, the generator was proposed to be installed at the southeast (rear/left) side of the subject property, 5' from the rear and left side property lines. Prior to the January 19 meeting, Chevy Chase Village contacted the applicant to inform them that the proposal did not conform with the Village's 7' side and rear setback requirements. Staff also received testimony in opposition to the proposal from an adjacent neighbor, due to its proximity to a large elm tree and the potential for the associated trenching to damage the tree's root system. Per the current application, the applicant has relocated the proposed generator to conform with the Village's setback requirements and protect the elm tree by rerouting the trenching away from the tree (going directly from the rear/right corner of the house to the revised generator location).

**APPLICABLE GUIDELINES:**

IV. The Expedited Staff Report format may be used on the following type of cases:

2. Modifications to a property, which do not significantly alter its visual character.

**Montgomery County Code; Chapter 24A-8**

- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to ensure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
  - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
- (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (*Ord. No. 9-4, § 1; Ord. No. 11-59*)

***Secretary of Interior's Standards for Rehabilitation***

The Secretary of the Interior defines rehabilitation as “the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.” The *Standards* are as follows:

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application under the Criteria for Issuance in Chapter 24A-8(b), (1), (2) & (d), having found that the proposal is consistent with the *Chevy Chase Village Historic District Guidelines*, and therefore will not substantially alter the exterior features of the historic resource and is compatible in character with the district and the purposes of Chapter 24A;

and with the *Secretary of the Interior's Standards for Rehabilitation* #2 and #9;

and with the general condition that the applicant shall present an electronic set of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that final project design details, not specifically delineated by the Commission, shall be approved by HPC staff or brought back to the Commission as a revised HAWP application at staff's discretion;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make any alterations to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



APPLICATION FOR  
HISTORIC AREA WORK PERMIT  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# 976689

DATE ASSIGNED

APPLICANT:

Name: Nolen Duncan

E-mail: Nolen@Holtelectrical.com

Address: 12154 Darnestown Rd Suite 228

City: Gaithersburg Zip: 20878

Daytime Phone: 301-840 0797

Tax Account No.:

AGENT/CONTACT (if applicable):

Name:

E-mail:

Address:

City: Zip:

Daytime Phone:

Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name Chevy Chase Village Historic District  
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 12 Street: Hesketh St.

Town/City: Chevy Chase Nearest Cross Street: Magnolia Pkwy

Lot: PB Block: 25 Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- ☐ New Construction  
☐ Addition  
☐ Demolition  
☐ Grading/Excavation

- ☐ Deck/Porch  
☐ Fence  
☐ Hardscape/Landscape  
☐ Roof

- ☐ Shed/Garage/Accessory Structure  
☐ Solar  
☐ Tree removal/planting  
☐ Window/Door  
☒ Other: Generator

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date



**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<b>Owner's mailing address</b> 12 Hesketh St. Chevy Chase, MD 20815	<b>Owner's Agent's mailing address</b>
<b>Adjacent and confronting Property Owners mailing addresses</b>	
10 Hesketh St. Chevy Chase, MD 20815	11 Grafton Street Chevy Chase, MD
14 Hesketh St. Chevy Chase, MD 20815	13 Grafton Street Chevy Chase, MD
7 Hesketh St Chevy Chase, MD 20815	5 Hesketh Street Chevy Chase, MD

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Single family home with a detached garage

Description of Work Proposed: Please give an overview of the work to be undertaken:

Install a generator at the right rear corner of the property. Trench from the right corner of the house to the generator location for the power and gas lines

Replace the two disconnects on the right side of the house with 2 - 200 amp ATS.

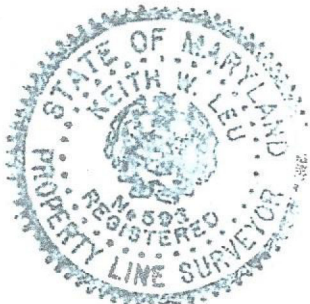
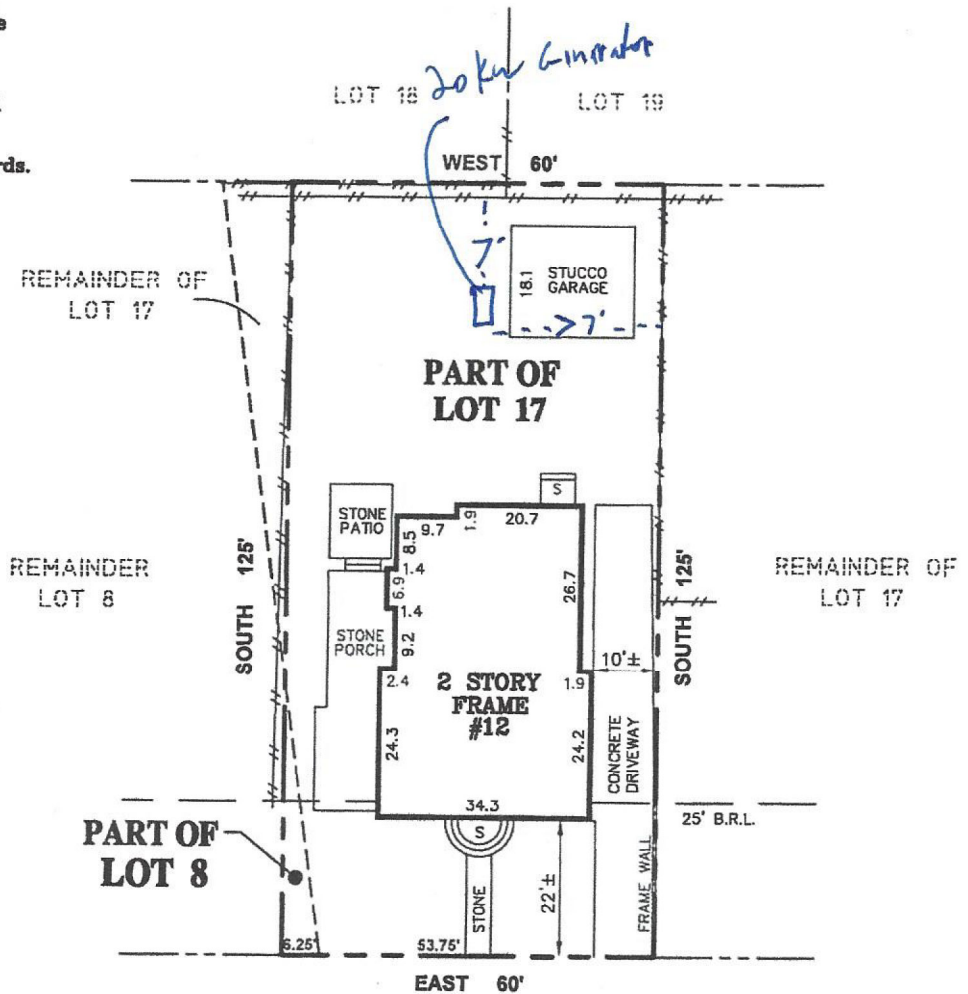
Run power and control cables down the house into the trench

# CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

## Notes:

1. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 3 feet.
2. Fences, if shown, have been located by approximate methods.
3. Total Area: 7,500 S.F. per Tax Records.



LOCATION DRAWING  
PART OF LOT 8, BLOCK 25  
AND  
PART OF LOT 17, BLOCK 24  
SECTION No. 2  
**CHEVY CHASE**  
MONTGOMERY COUNTY, MARYLAND

**HESKETH STREET**  
(60' R/W)

## SURVEYOR'S CERTIFICATE

"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

MARYLAND PROPERTY LINE SURVEYOR REG. NO. 592  
Expires: 04-07-2023

## REFERENCES

PLAT BK. 2  
PLAT NO. 108  
LIBER 53922  
FOLIO 140



## SNIDER & ASSOCIATES LAND SURVEYORS

19544 Amaranth Drive  
Germantown, Maryland 20874  
301/948-5100 Fax 301/948-1288  
WWW.SNIDERSURVEYS.COM

DATE OF LOCATIONS

SCALE: 1" = 30'

WALL CHECK:

DRAWN BY: D.M.L.

HSE. LOC.: 11-18-21

JOB NO.: 21-04777HL











